

City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 29 Hillcrest Ave		Owner: Vincenzo Marzilli	Phone: **761-6970	Permit No: 990965
Owner Address: SAA		Lessee/Buyer's Name:	Phone:	
Contractor Name: Self		Address:		Zoning: CEB PORTLAND
Past Use: 1-fam		Proposed Use: Same	COST OF WORK: \$ 1600	
Proposed Project Description: Construct Pool and deck as per plans		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: Type:
		Signature:		Signature:
Permit Taken By: KA		Date Applied For: August 16, 1999		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.		Signature:		Date:
2. Building permits do not include plumbing, septic or electrical work.		Signature:		Date:
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		Signature:		Date:

Please call for pick up 761-6970

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

August 16, 1999

SIGNATURE OF APPLICANT ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

Zoning Approval:

OK per plan 9/9/99

Special Zone or Reviews:

Shoreland
 Wetland
 Flood Zone
 Subdivision
 Site Plan maj minor mm

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:

Approved
 Approved with Conditions
 Denied

Date: _____

CEO DISTRICT

3

BUILDING PERMIT REPORT

-022

DATE: 16 Aug. 99. ADDRESS: 29 Hillcrest Ave CBL: 260-C-0002

REASON FOR PERMIT: To Construct Pool and deck

BUILDING OWNER: Vincezo Marzilli

PERMIT APPLICANT: SAO Contractor 11

USE GROUP R-3 CONSTRUCTION TYPE 5B

The City's Adopted Building Code (The BOCA National Building Code/1996 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions are met: *1 *2 *3 *4 *11 *13
*22 *29 *32 *35
Approved with the following conditions:

1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
2. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2 Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' o.c. between bolts. (Section 2305.17)
3. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
4. Precastion must be taken to protect concrete from freezing. Section 1908.0
5. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
6. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1996)
7. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NPPA 211
8. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
9. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2, M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 3e4" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0) - Handrails shall be on both sides of stairway. (Section 1014.7)
10. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
11. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0) See attached detail.
12. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (68") 1014.4
13. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1018.6)
14. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
- 15.
- 16.

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Building or Use Permit Pre-Application
Additions/Alterations/Accessory Structures
To Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: 89 Hillcrest Ave

Tax Assessor's Chart, Block & Lot Number		Owner:		Telephone#:
Chart# <u>260</u>	Block# <u>C</u>	Lot# <u>002</u>	<u>Vincenzo Marzilli</u>	<u>761-6970</u>
Owner's Address:			Lesse/Buyer's Name (If Applicable)	
<u>89 Hillcrest Ave</u>				
Proposed Project Description: (Please be as specific as possible)		Cost Of Work:	Fee	
<u>Pool Deck 18'x20' Deck 12'x20'</u>		<u>\$ 1600</u>	<u>\$ 36.00</u>	

Contractor's Name, Address & Telephone: COVER

Read By: [Signature]

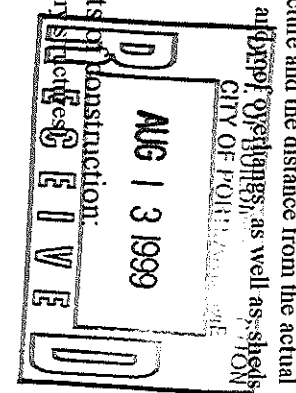
Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
 - All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
 - All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
 - HVAC(Heating, Ventilation and Air-Conditioning) installation must comply with the 1993 BOCA Mechanical Code.
- You must include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

If there is expansion to the structure, a complete plot plan (Site Plan) must include:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and
- Scale and required zoning district setbacks



- 4) Building Plans (Sample Attached)**
- A complete set of construction drawings showing all of the following elements of construction:
 - Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
 - Floor Plans & Elevations
 - Window and door schedules
 - Foundation plans with required drainage and dampproofing
 - Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature] Date: 8/13/99

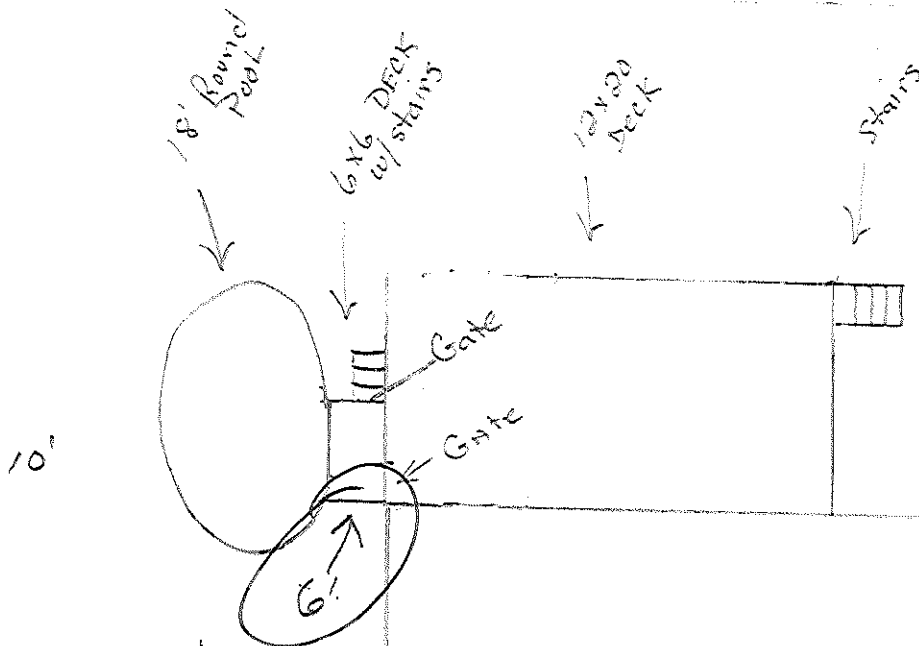
Building Permit Fee: \$25.00 For the 1st \$1000.00 plus \$5.00 per \$1,000.00 construction cost thereafter.

114 ±

Gates on deck
HAVE Key locks

R-3 zone

See other
plot plan showing
The rear setbacks for
Deck



pool
to be
moved toward
The rear so
that the 10'
from rear side
and principal
structure shall
be met.

per owner 9/9/99

Existing
House

Existing
Foundation

114 ±

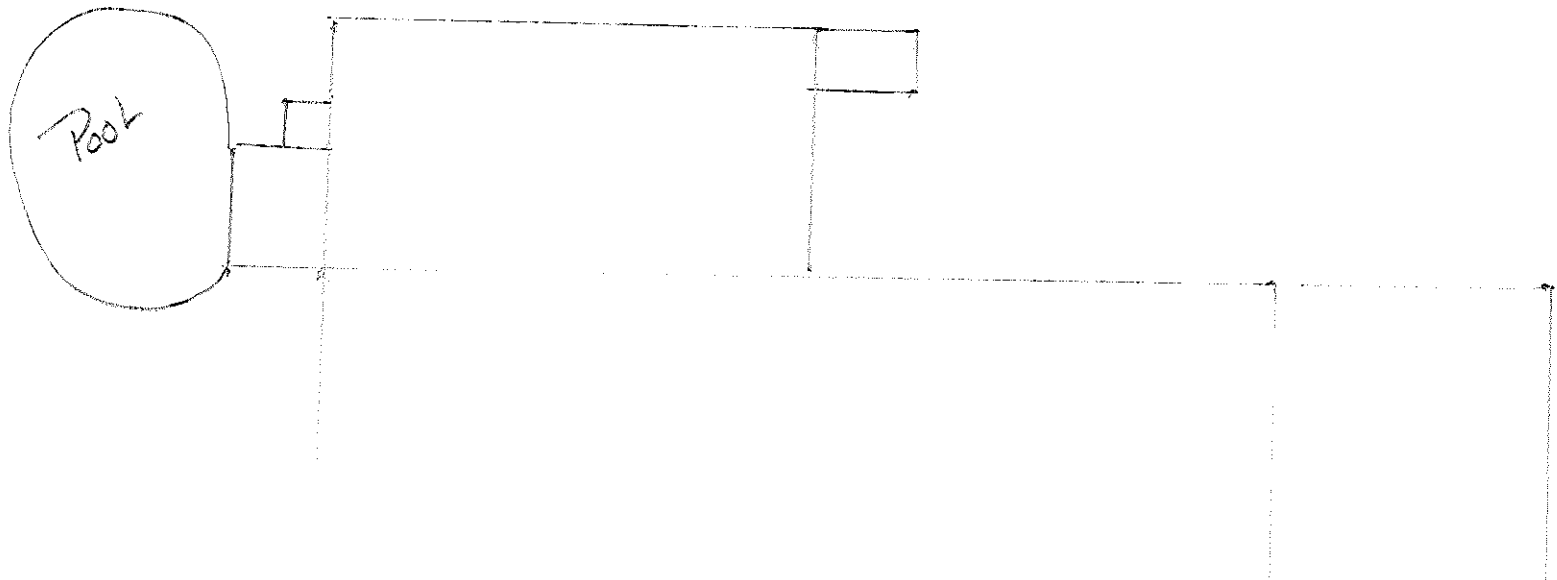
79' ±

102 ±


HILL CREST

Pool
18' Round
52" Deep

Elec
15amp breaker
Grounded @ pump



- 17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.) (Section 710.0)
- 18. The boiler shall be protected by enclosing with (1)hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)
- 19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 &19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
- 20. In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required) Section 920.3.2. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
- 21. The Fire Alarm System shall maintained to NFPA #72 Standard.
- 22. The Sprinkler System shall maintained to NFPA #13 Standard.
- 23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1996)
- 24. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year"
- 25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
- 26. Ventilation shall meet the requirements of Chapter 12 Sections 1210.0 of the City's Building Code. (Crawl spaces & attics).
- 27. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
- 28. All requirements must be met before a final Certificate of Occupancy is issued.
- 29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (the BOCA National Building Code/1996).
- 30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993). (Chapter M-16)
- 31. Please read and implement the attached Land Use Zoning report requirements. MMH per phone conversation Pool shall be Boring, cutting and notching shall be done in accordance with Sections 2305.4.4, 2305.5.1 and 2305.5.3 of the City's Building Code.
- 32. Glass and glazing shall meet the requirements of Chapter 24 of the building code.
- 33. All signage, shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code 1996).
- 34. All requirements for swimming pools shall be added to. See attached section 421.0 of the Bldg. Code.
- 35.
- 36.
- 37.
- 38.


 Daniel Malises, Building Inspector
 cc: D. McDougall, PFD
 Marge Schmuckal, Zoning Administrator

**On the basis of plans submitted and conditions placed on these plans any deviations shall require a separate approval.

COMMENTS

9-14-99 I spoke with Mrs. Martinez and they are waiting for a load of gravel and then the will Relocate the pool and give me a call! She said they are waiting on their contractor to start the Garage + the down stairs. (TR)

10/20/99 Jeff was answered 10' from furnace at west door. snow

Inspection Record	Type	Date
Foundation:	_____	_____
Framing:	_____	_____
Plumbing:	_____	_____
Final:	_____	_____
Other:	_____	_____

4x4 to cement

Railings

41" High Sp-4"

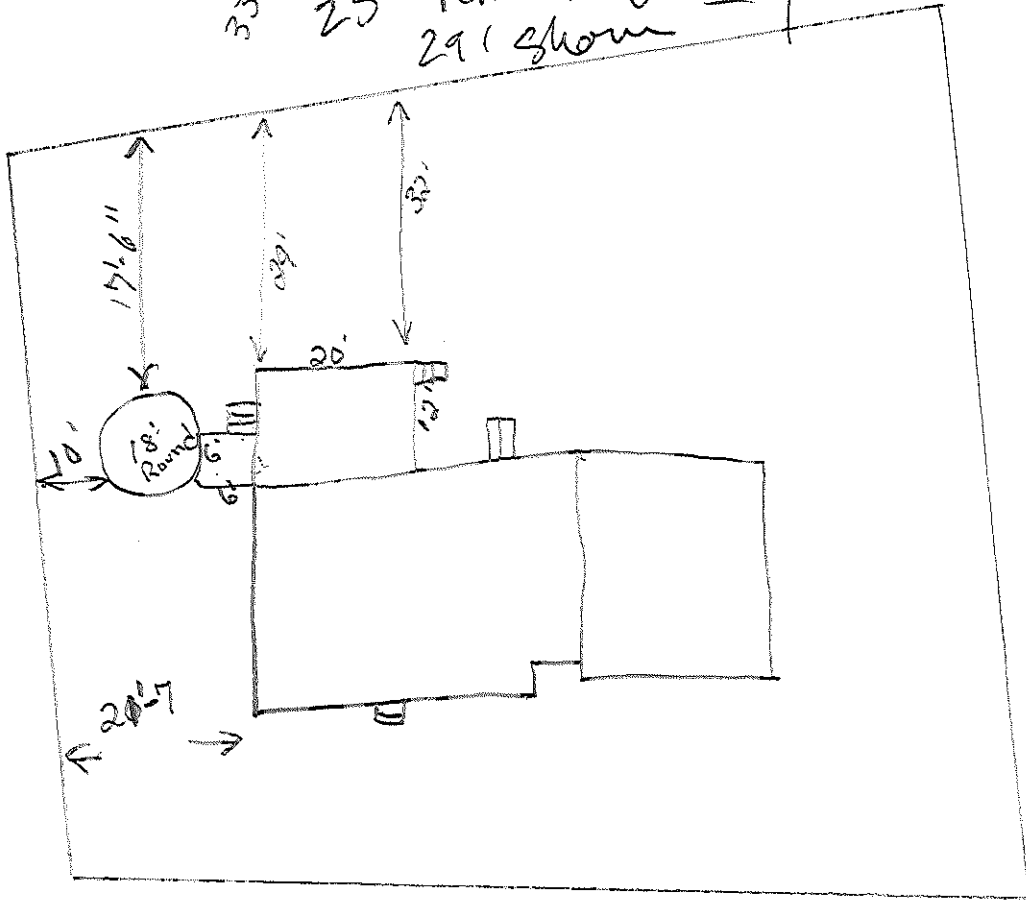
tube 8" x 3'

Key locks on gates

R-3 zone

side for deck

33' 25' Rear Reg -
29' show -

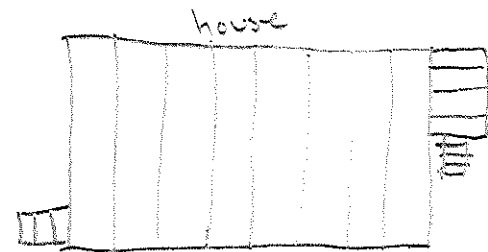


DECK:

1" deck boards

2x8 16' O.C.

4x4 every 5' on front

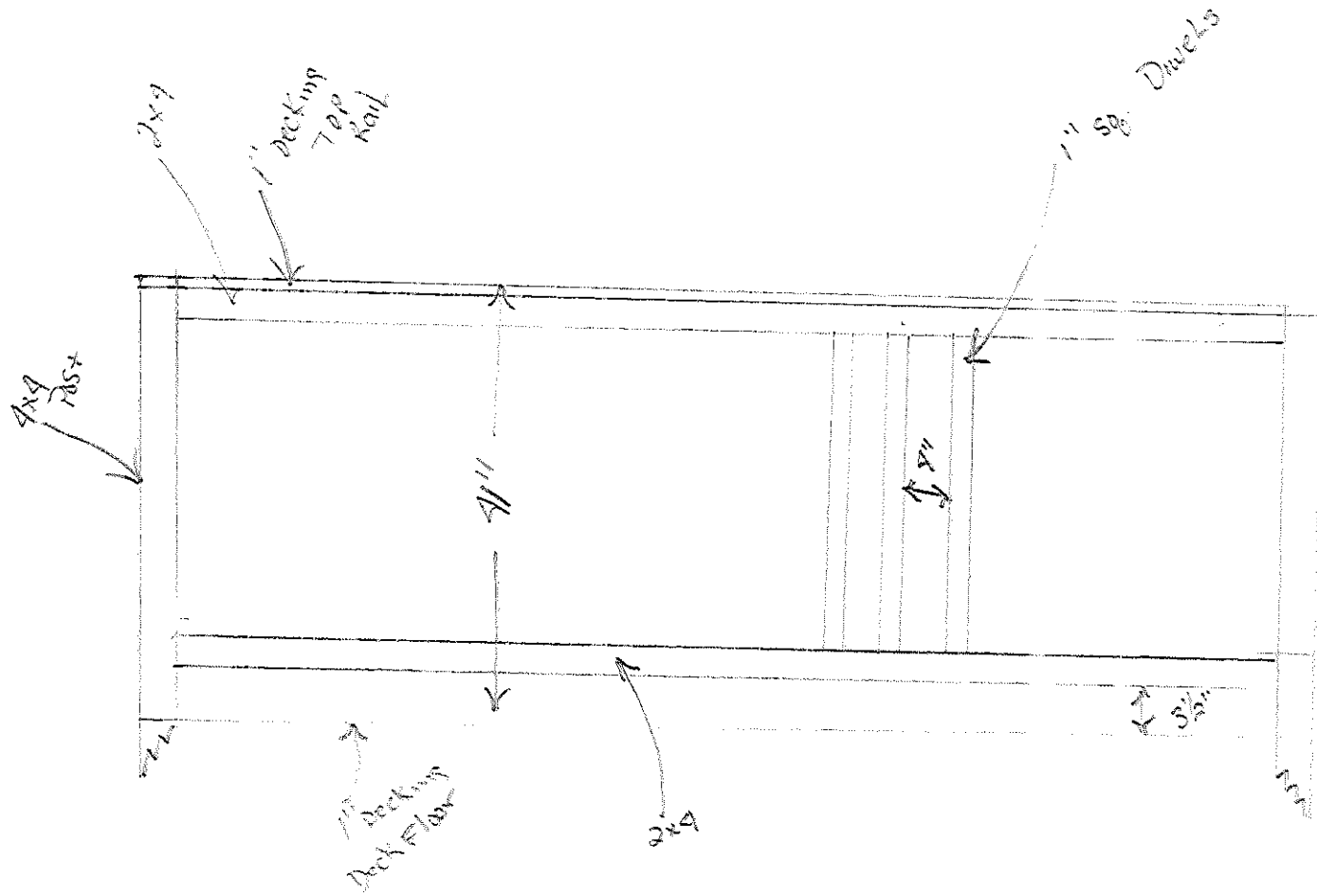


Pool

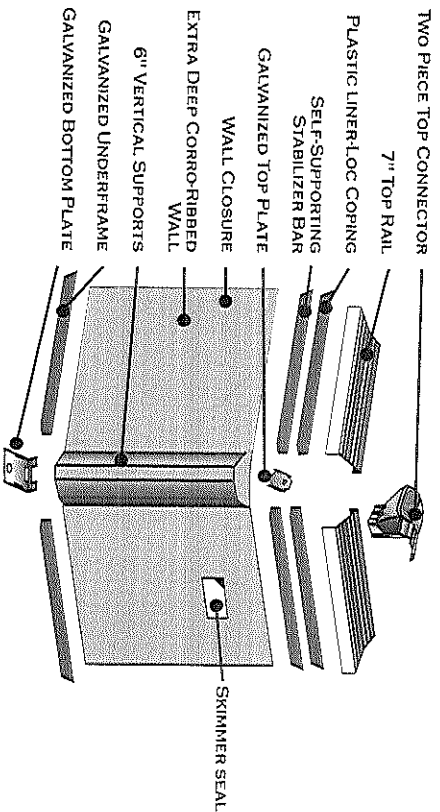
18' Round

52" High

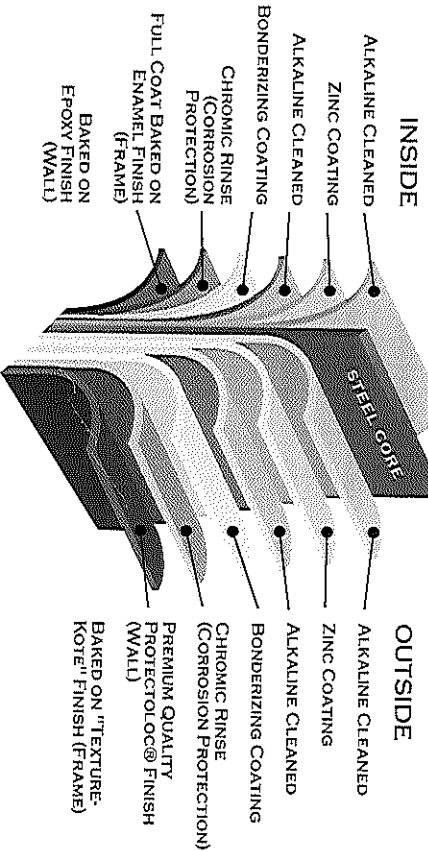
Railing



FRAME CONSTRUCTION



WALL & FRAME COATINGS



J1000

J1000 FEATURES UNEQUALLED STRUCTURAL STRENGTH, SUPERB FIT AND FINISH WITH TRIM AND WALL COLOUR SCHEMES FIT FOR A KING. OUR J1000 POOL HAS IT ALL, A PREMIUM POOL FOR THOSE WHO SEEK ONLY THE HIGHEST QUALITY FOR THEIR QUALITY TIME.

HERE'S MORE: THE J1000 COMBINES UNBEATABLE STYLE VALUE WITH THE BEST ALL-WEATHER FINISH IN THE BUSINESS.

J1000: THE BEST-BUILT AND BEST-LOOKING POOL FOR YOUR DOLLAR.

SHAPE	SIZE	METRES	VOLUME U.S. GAL	LITRES
ROUND POOL 48"	15 X 48"	4.57 X 1.22	4,715	17,850
	18 X 48"	5.49 X 1.22	6,752	25,560
	21 X 48"	6.40 X 1.22	9,341	35,360
ROUND POOL 52"	24 X 48"	7.32 X 1.22	12,133	45,930
	27 X 48"	8.23 X 1.22	15,200	57,540
	33 X 48"	10.06 X 1.22	22,904	86,701
OVAL POOL 48"	15 X 52"	4.57 X 1.32	5,019	18,997
	18 X 52"	5.49 X 1.32	7,186	27,202
	21 X 52"	6.40 X 1.32	9,941	37,631
OVAL POOL 52"	24 X 52"	7.32 X 1.32	12,913	48,881
	27 X 52"	8.23 X 1.32	16,177	61,237
	33 X 52"	10.06 X 1.32	25,057	94,851
OVAL POOL 48"	12 X 24 X 48"	3.66 X 7.32 X 1.22	6,843	25,903
	15 X 30 X 48"	4.57 X 9.14 X 1.22	10,692	40,472
	18 X 33 X 48"	5.49 X 10.1 X 1.22	13,982	52,929
OVAL POOL 52"	12 X 24 X 52"	3.66 X 7.32 X 1.32	7,300	27,633
	15 X 30 X 52"	4.57 X 9.14 X 1.32	11,430	43,270
	18 X 33 X 52"	5.49 X 10.1 X 1.32	14,880	56,330



ATLANTIC

QUALITY BUILT POOLS

DANGER: NO JUMPING OR DIVING. ABOVE-GROUND POOLS ARE DESIGNED FOR SWIMMING ONLY. NEVER LEAVE CHILDREN UNATTENDED.

ELECTRICAL PERMIT

City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the City of Portland Electrical Ordinance, National Electrical Code and the following specifications:

Date 8-18-99
 Permit # MS600136608
 CBL# 260-C-022

SITE LOCATION: 29 Hillcrest Ave

OWNER Vincento Marzilli TENANT _____

							TOTAL EACH FEE
OUTLETS	Receptacles	Switches	Smoke Detectors				.20
FIXTURES	Incandescent	fluorescent	Strips				.20
SERVICES	Overhead	Underground	TTL AMPS	<800			15.00
	Overhead	Underground		>800			25.00
Temporary Service	Overhead	Underground	TTL AMPS				25.00
METERS	(number of)						25.00
MOTORS	(number of)						1.00
RESID/COM	Electric units	Interior	Exterior				2.00
HEATING	oil/gas units	Ranges	Cook Tops				5.00
	Ranges	Insta-Hot	Water heaters				2.00
APPLIANCES	Dryers	Compactors	Disposals				2.00
	Others (denote)	Spa	Washing Machine				2.00
MISC. (number of)	Air Cond/win						3.00
	Air Cond/cent		Pools	1			10.00
	HVAC	EMS	Thermostat				5.00
	Signs						10.00
	Alarms/res						5.00
	Alarms/com						15.00
	Heavy Duty(CRKT)						2.00
	Circus/Carnv						25.00
	Alterations						5.00
	Fire Repairs						15.00
	E Lights						1.00
	E Generators						20.00
PANELS	Service	Remote	Main				4.00
TRANSFORMER	0-25 Kva						5.00
	25-200 Kva						8.00
	Over 200 Kva						10.00
INSPECTION:	MINIMUM FEE/COMMERCIAL 35.00	TOTAL AMOUNT DUE	MINIMUM FEE	25.00			35.00
	Will be ready _____	or will call <input checked="" type="checkbox"/>					

CONTRACTORS NAME J.R.C. Contractors Inc MASTER LIC. # MS600136608
 ADDRESS 15 FOX RUN ROAD FAIRBURY LIMITED LIC. #
 TELEPHONE 797-8917
 SIGNATURE OF CONTRACTOR [Signature]