

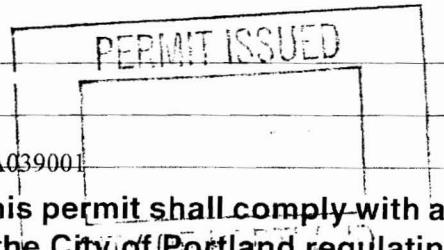
DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK  
**CITY OF PORTLAND**

BU **PERMIT** ION

Permit Number: 090389

Please Read Application And Notes, If Any, Attached

This is to certify that W&C LLC/IT Construction  
has permission to Build 24' x 32' cape no garage Single Family Home  
AT 33 ROWE AVE



provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise red-in. 24 HOUR NOTICE IS REQUIRED.

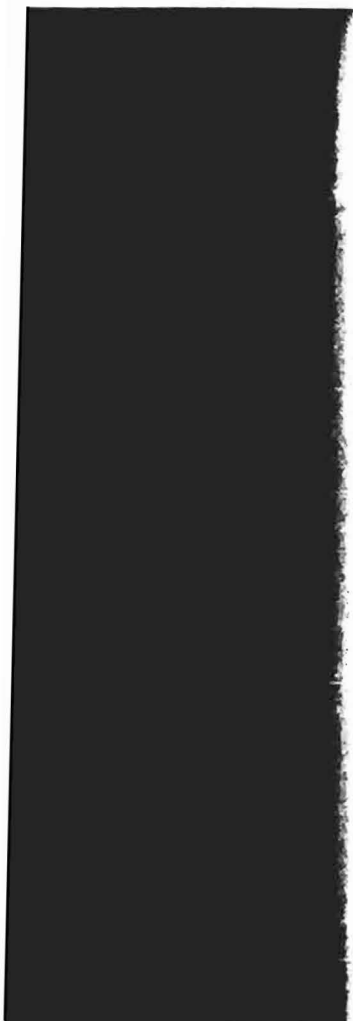
A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**  
Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

*[Signature]*  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**SCANNED**





CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION 33 ROWE AVE CBL 260 A039001

Issued to W & C Llc / J T Construction Date of Issue 10/22/2009

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 09-0389, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

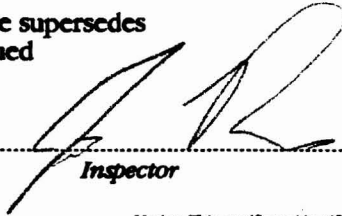
Single Family Home  
Use Group: R3  
Type: 5B  
IRC, 2003

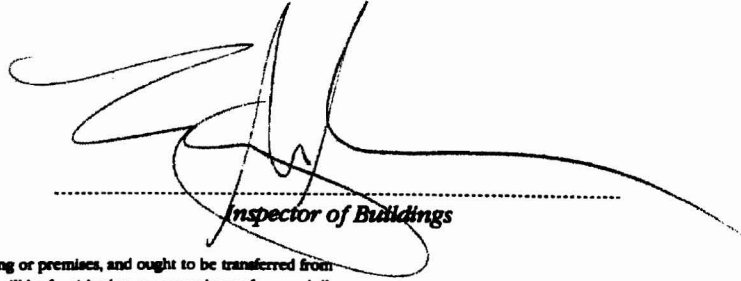
Limiting Conditions:

This certificate supersedes  
certificate issued

Approved:

10/22/09  
(Date)

  
Inspector

  
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

7/21/09 - See Amendment  
for  
setback + footing  
Notes.  
CSH

9-17-09 OK - new drawings for site work

10/21/09 Find. C of O, - OK

10/21/09 Interior & porches completed; site work signed off.  
on JGR

# ELECTRICAL PERMIT

## City of Portland, Me.



no: 329-5487

To the Chief Electrical Inspector, Portland Maine:  
 The undersigned hereby applies for a permit to make electrical installations  
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,  
 National Electrical Code and the following specifications:

Date \_\_\_\_\_  
 Permit # 2009-4533  
 CBL# 260A 39

LOCATION: 33 Rowe Ave METER MAKE & # \_\_\_\_\_  
 CMP ACCOUNT # \_\_\_\_\_ OWNER W + C LLC  
 TENANT \_\_\_\_\_ PHONE # \_\_\_\_\_

							TOTAL EACH FEE		
OUTLETS	<u>35</u>	Receptacles	<u>20</u>	Switches	<u>6</u>	Smoke Detector		.20	
FIXTURES	<u>13</u>	Incandescent		Fluorescent		Strips		.20	
SERVICES	<u>X</u>	Overhead		Underground		TTL AMPS <800		15.00	
		Overhead		Underground		>800		25.00	
Temporary Service		Overhead		Underground		TTL AMPS		25.00	
								25.00	
METERS	<u>1</u>	(number of)						1.00	
MOTORS		(number of)						2.00	
RESID/COM		Electric units						1.00	
HEATING	<u>X</u>	oil/gas units	<u>X</u>	Interior		Exterior		5.00	
		APPLIANCES	<u>1</u>	Ranges	<u>X</u>	Cook Tops		Wall Ovens	2.00
		Insta-Hot		Water heaters	<u>1</u>	Fans		2.00	
	<u>1</u>	Dryers		Disposals	<u>1</u>	Dishwasher		2.00	
		Compactors		Spa	<u>1</u>	Washing Machine		2.00	
		Others (denote)						2.00	
MISC. (number of)		Air Cond/win						3.00	
		Air Cond/cent				Pools		10.00	
		HVAC		EMS		Thermostat		5.00	
		Signs						10.00	
		Alarms/res						5.00	
		Alarms/com						15.00	
		Heavy Duty(CRKT)						2.00	
		Circus/Carnv						25.00	
		Alterations						5.00	
		Fire Repairs						15.00	
		E Lights						1.00	
		E Generators						20.00	
	PANELS	<u>1</u>	Service		Remote		Main		4.00
TRANSFORMER		0-25 Kva						5.00	
		25-200 Kva						8.00	
		Over 200 Kva						10.00	
							TOTAL AMOUNT DUE		
							MINIMUM FEE/COMMERCIAL 55.00	MINIMUM FEE 45.00	<u>49 80</u>

CONTRACTORS NAME Ames Electric LLC MASTER LIC. # MS60013675  
 ADDRESS 69 Rock Ridge Run Camb, ME LIMITED LIC. # \_\_\_\_\_  
 TELEPHONE 774-0604

SIGNATURE OF CONTRACTOR Peter P. Ames

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY )

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers
- Foundation Inspection: Prior to placing ANY backfill for below grade occupiable space
- Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.  
NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

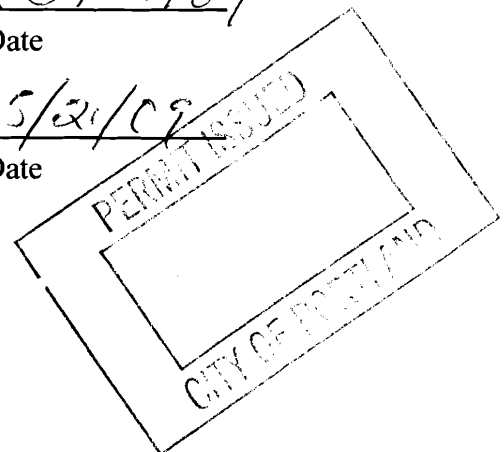
**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.**

*x Lynda Pirtle*  
Signature of Applicant/Designee

*Thomas R. Kauling*  
Signature of Inspections Official

*x 5/26/09*  
Date

*5/21/09*  
Date



TO: Inspections Department

FROM: Philip DiPierro, Development Review Coordinator

DATE: October 8, 2009

RE: C. of O. for # 33 Rowe Avenue  
(Id#2009-0041) (CBL 260 A 039001)

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After visiting the site, I have the following comments:

Site work complete

**At this time, I recommend issuing a permanent Certificate of Occupancy.**

Cc: Barbara Barhydt, Development Review Services Manager  
Tammy Munson, Inspection Services Manager  
File: Urban Insight



# General Building Permit Application

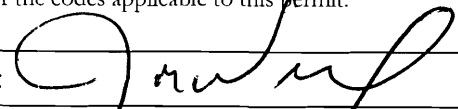
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>33 Rowe Avenue</u>		
Total Square Footage of Proposed Structure/Area <del>10,500</del> <u>1,500</u>	Square Footage of Lot <u>10,500</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>260</u> Block# <u>A</u> Lot# <u>13-15</u> <u>39 1/2</u>	Applicant * <b>must</b> be owner, Lessee or Buyer* Name <u>W+C LLC</u> Address <u>P.O. Box 1456</u> City, State & Zip <u>Portland, ME 04104</u>	Telephone: <u>Bill David</u> <u>671-1051</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>Frank Wilbur</u> Address <u>41 Main St.</u> City, State & Zip <u>Hollis Center, ME</u> <u>04042</u>	Cost Of Work: \$ <u>90,000</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>VACANT LAND</u>	If vacant, what was the previous use? <u>VACANT</u>	<u>830</u> <u>+ 75</u> <u>300</u> <u>\$1205</u>
Proposed Specific use: <u>24x32 Cape House</u>	Is property part of a subdivision? <u>NO</u> If yes, please name _____	
Project description: <u>Construction of 1 Single family 24x32 Cape home</u> <u>NO Garage</u>		
Contractor's name: <u>J. T. Construction</u>		
Address: <u>33 Maggie Lane, Apt 2, Portland, ME</u>		
City, State & Zip: <u>Portland, ME</u>		Telephone: <u>318-2702</u>
Who should we contact when the permit is ready: <u>Inna Rickett</u>		Telephone: <u>318-2702</u>
Mailing address: <u>SAME</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: 	Date: <u>4/13/09</u>
--	----------------------

This is not a permit; you may not commence ANY work until the permit is issue

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 09-0389	<b>Date Applied For:</b> 04/28/2009	<b>CBL:</b> 260 A039001
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<b>Location of Construction:</b> 33 ROWE AVE	<b>Owner Name:</b> W&C LLC	<b>Owner Address:</b> P.O. Box 1456	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> J T Construction	<b>Contractor Address:</b> 33 Maggie Lane Apt 2 Portland	<b>Phone</b> (207) 318-2702
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Single Family	

<b>Proposed Use:</b> Single Family Home - Build 24' x 32' cape no garage Single Family Home	<b>Proposed Project Description:</b> Build 24' x 32' cape no garage Single Family Home
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<b>Dept:</b> Zoning	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Ann Machado	<b>Approval Date:</b> 05/07/2009
<b>Note:</b> Current CBL is 260 A039. When assessing receives the deed, the CBL will be 260 A013.			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> <li>1) Separate permits shall be required for future decks, sheds, pools, and/or garages.</li> <li>2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.</li> <li>3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.</li> </ol>			

<b>Dept:</b> Building	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Tom Markley	<b>Approval Date:</b> 05/15/2009
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> <li>1) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.</li> <li>2) A copy of the enclosed chimney or fireplace disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy.</li> <li>3) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.</li> <li>4) Frost protection must be installed per the enclosed detail as discussed w/owner/contractor.</li> <li>5) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.</li> <li>6) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.</li> </ol>			

<b>Dept:</b> DRC	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Philip DiPierro	<b>Approval Date:</b> 05/20/2009
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> <li>1) A double row of Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily.</li> <li>2) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.</li> <li>3) A street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)</li> <li>4) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext. 8822. The Wastewater and Drainage section of Public Services must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.</li> <li>5) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.</li> </ol>			



<b>Location of Construction:</b> 33 ROWE AVE	<b>Owner Name:</b> W&C LLC	<b>Owner Address:</b> P.O. Box 1456	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> J T Construction	<b>Contractor Address:</b> 33 Maggie Lane Apt 2 Portland	<b>Phone</b> (207) 318-2702
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Single Family	

- 6) The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 7) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 8) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.

**Comments:**

5/5/2009-amachado: Spoke to Bill Dowd, W&C LLC. Told him we need a deed description of lot. Site plan from Gorrill & Palmer needs to be stamped & to scale. Building plans need to be to scale.

5/7/2009-amachado: Received stamped, scalable siteplan & scalable building plans. Received description of property.

5/15/2009-tm: spoke to Bill Dowd and requested info on foundation drainage and smoke detectors. I explained what was needed and he will call with needed info.

5/15/2009-tm: waiting for Site plan approval All other reviews completed. Permit is in Tom's hold basket on floor

**From:** Philip DiPierro  
**To:** Code Enforcement & Inspections  
**Date:** 5/20/2009 3:53:13 PM  
**Subject:** 33 Rowe Ave. Single Family Site Plan

Hi all, this project meets the minimum site plan requirements for the issuance of a building permit. Please see UI for sign off.

Thanks.

phil

Applicant: W & C LLC (Bill David)

Date: 5/5/09

Address: 33 Rowe Ave.

C-B-L: 260-A-39 (13-15/40)

permit # - 09-0389

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - build a new single family home  $\approx$  32' x 24' cape w/ full dormer on rear

Sewage Disposal - city

Lot Street Frontage - 50' min. - 60' given

Front Yard - 25' min - 72' scaled to front steps

Rear Yard - 25' min - ~~24' scaled to deck~~ - 36' to house - no deck

Side Yard - 2 story - 14' min. - reduce to 8' if 20' on other side  
- left is 8'; right is 46' - (OK)

Projections - 10x10 deck, 5x6 ~~bottom~~ bulkhead, side steps 4x4, front steps 4x5

Width of Lot - 65' min. - 90' scaled

Height - max 35' - scales 21'

Lot Area - 6,500  $\Phi$  min. - 10,500  $\Phi$  given

Lot Coverage/ Impervious Surface - 35% = 3675  $\Phi$

Area per Family - 6,500  $\Phi$

Off-street Parking - 2 spaces required - parking area 18' x 26' - (OK)

Loading Bays - N/A

Site Plan - 2009-0041 - minor/minor

Shoreland Zoning/ Stream Protection - <sup>not in</sup> shoreland zone

Flood Plains - panel 6 - zone X

32x24	=	768
<del>10x10</del>	=	<del>100</del>
5x6	=	30
4x4	=	16
4x5	=	20

934
-100
834

ok

\* no deck is being built - see amendment 09-0614.

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Zoning Copy**

2009-0041

Application I. D. Number

**Wilbur Frank Heirs** N 1/2 C LLC (Bill Dawd)

**Marge Schmuckal**

4/28/2009

Application Date

Applicant

41 Main St., Hollis Center, ME 04042 PO Box 1456, Portland ME 04114

Single Family Home

Applicant's Mailing Address

Project Name/Description

Jason Rickett

33 - 33 Rowe Ave, Portland, Maine

Consultant/Agent

Address of Proposed Site

Agent Ph: (207)318-2702

Agent Fax:

260 A039001

Applicant or Agent Daytime Telephone, Fax

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Apt 0  Condo 0  Other (specify)

0

Proposed Building square Feet or # of Units      Acreage of Site      Proposed Total Disturbed Area of the Site      Zoning

**Check Review Required:**

- |   |   |  |  |
|---|---|--|--|
| <input type="checkbox"/> Site Plan (major/minor)          | <input type="checkbox"/> Zoning Conditional - PB  | <input type="checkbox"/> Subdivision # of lots | <input type="checkbox"/> Design Review           |
| <input type="checkbox"/> Amendment to Plan - Board Review | <input type="checkbox"/> Zoning Conditional - ZBA | <input type="checkbox"/> Shoreland             | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Amendment to Plan - Staff Review |   | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> Site Location           |
| <input type="checkbox"/> After the Fact - Major           |   | <input type="checkbox"/> Zoning Variance       | <input type="checkbox"/> Housing Replacement     |
| <input type="checkbox"/> After the Fact - Minor           |   | <input type="checkbox"/> Flood Hazard          | <input type="checkbox"/> Other                   |
|   |   | <input type="checkbox"/> Stormwater            |  |
|   |   | <input type="checkbox"/> Traffic Movement      |  |
|   |   | <input type="checkbox"/> PAD Review            |  |
|   |   | <input type="checkbox"/> 14-403 Streets Review |  |

Fees Paid:      Site Plan      \$50.00      Subdivision      Engineer Review      \$250.00      Date      4/29/2009

**Zoning Approval Status:**

Reviewer

- Approved       Approved w/Conditions See Attached       Denied

Approval Date      Approval Expiration      Extension to       Additional Sheets Attached

Condition Compliance      signature      date

Performance Guarantee       Required\*       Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

- |   |                |  |                 |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted     | date           | amount   | expiration date |
| <input type="checkbox"/> Inspection Fee Paid                | date           | amount   |                 |
| <input type="checkbox"/> Building Permit Issue              | date           |  |                 |
| <input type="checkbox"/> Performance Guarantee Reduced      | date           | remaining balance                                  | signature       |
| <input type="checkbox"/> Temporary Certificate of Occupancy | date           | <input type="checkbox"/> Conditions (See Attached) | expiration date |
| <input type="checkbox"/> Final Inspection                   | date           | signature  |                 |
| <input type="checkbox"/> Certificate Of Occupancy           | date           |  |                 |
| <input type="checkbox"/> Performance Guarantee Released     | date           | signature  |                 |
| <input type="checkbox"/> Defect Guarantee Submitted         | submitted date | amount   | expiration date |
| <input type="checkbox"/> Defect Guarantee Released          | date           | signature  |                 |

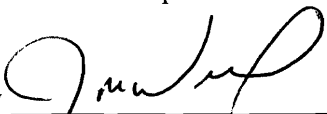
**ASSIGNMENT**

KNOW ALL MEN BY THESE PRESENTS, that **Diversified Properties, Inc.** hereby assigns unto **W & C LLC** of Portland, Maine, the following:

1. Purchase and Sale agreement for 33 Rowe Ave. between Frank Wilbur and Diversified Properties.

IN WITNESS HEREOF, the aforesaid Diversified Properties, Inc. has executed this Assignment on this **13th day of April, 2009.**

Diversified Properties, Inc.

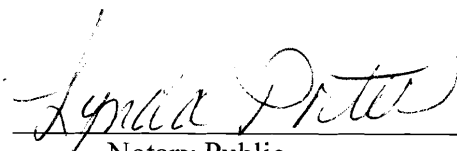
By   
Its Authorized Agent  
*James Wolf - President*

STATE OF MAINE  
CUMBERLAND, ss

**April 13, 2009**

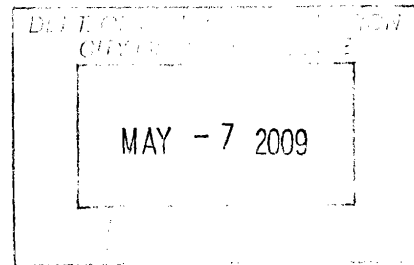
Personally appeared the above-named James M. Wolf, of Diversified Properties, Inc. known to me, **this 13th day of April 2009**, and acknowledge the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of Diversified Properties, Inc.

Before me,

  
Notary Public  
LYNDA PORTER  
Notary Public, Maine  
My Commission Expires January 15, 2016

DESCRIPTION

Meaning and intending to convey lots 127, 128, 129 147 and 148 as shown on a Plan entitled Brighton Avenue Terrace, Portland Maine, for J. W. Wilbur Dated July 9, 1906 and recorded in the Cumberland County Registry of Deeds in Plan Book 11, Page 13.



PURCHASE AND SALE AGREEMENT - LAND ONLY

Feb. 26, 2009

Feb 26, 2009 Effective Date
Effective Date is defined in Paragraph 20 of this Agreement.

1. PARTIES: This Agreement is made between Diversified Properties, Inc. ("Buyer") and Frank Wilbur ("Seller").

2. DESCRIPTION: Subject to the terms and conditions hereinafter set forth, Seller agrees to sell and Buyer agrees to buy (all part of; If "part of" see para. 22 for explanation) the property situated in municipality of Portland, County of Cumberland, State of Maine, located at 2000 Park Ave / Terrace Ave and described in deed(s) recorded at said County's Registry of Deeds Book(s) 260-A-9, 12, 13-15, 39+40, Page(s) 5. City Assessor

3. PURCHASE PRICE: For such Deed and conveyance Buyer agrees to pay the total purchase price of \$ 500. Buyer has made; or will make within business days of the date of this offer, a deposit of earnest money in the amount \$ 500. If said deposit is to be made after the submission of this offer and is not made by the above deadline, this offer shall be void and any attempted acceptance of this offer in reliance on the deposit being made will not result in a binding contract. Buyer agrees that an additional deposit of earnest money in the amount of \$ NA will be paid. Failure by Buyer to make this additional deposit in compliance with the above terms shall constitute a default under this Agreement. The remainder of the purchase price shall be paid by a certified or cashier's check upon delivery of the Deed.

This Purchase and Sale Agreement is subject to the following conditions:

4. EARNEST MONEY/ACCEPTANCE: Frank Wilbur (Owner "Agency") shall hold said earnest money and act as escrow agent until closing; this offer shall be valid until Feb 26, 2009 (date) 1:00 AM PM; and, in the event of non-acceptance, this earnest money shall be returned promptly to Buyer. In the event that the Agency is made a party to any lawsuit by virtue of acting as escrow agent, Agency shall be entitled to recover reasonable attorney's fees and costs which shall be assessed as court costs in favor of the prevailing party.

5. TITLE AND CLOSING: A deed, conveying good and merchantable title in accordance with the Standards of Title adopted by the Maine Bar Association shall be delivered to Buyer and this transaction shall be closed and Buyer shall pay the balance due and execute all necessary papers on May 27, 2009 (closing date) or before, if agreed in writing by both parties. If Seller is unable to convey in accordance with the provisions of this paragraph, then Seller shall have a reasonable time period, not to exceed 30 days, from the time Seller is notified of the defect, unless otherwise agreed to in writing by both Buyer and Seller, to remedy the title. Seller hereby agrees to make a good-faith effort to cure any title defect during such period. If, at the later of the closing date set forth above or the expiration of such reasonable time period, Seller is unable to remedy the title, Buyer may close and accept the deed with the title defect or this Agreement shall become null and void in which case the parties shall be relieved of any further obligations hereunder and any earnest money shall be returned to the Buyer.

6. DEED: The property shall be conveyed by a Quit Claim w/ Covenant deed, and shall be free and clear of all encumbrances except covenants, conditions, easements and restrictions of record which do not materially and adversely affect the continued current use of the property.

7. POSSESSION: Possession of premises shall be given to Buyer immediately at closing unless otherwise agreed in writing.

8. RISK OF LOSS: Until the closing, the risk of loss or damage to said premises by fire or otherwise, is assumed by Seller. Buyer shall have the right to view the property within 24 hours prior to closing for the purpose of determining that the premises are in substantially the same condition as on the date of this Agreement.

9. PRORATIONS: The following items, where applicable, shall be prorated as of the date of closing: rent, association fees, (other) Real estate taxes shall be prorated as of the date of closing (based on municipality's fiscal year). Seller is responsible for any unpaid taxes for prior years. If the amount of said taxes is not known at the time of closing, they shall be apportioned on the basis of the taxes assessed for the preceding year with a reapportionment as soon as the new tax rate and valuation can be ascertained, which latter provision shall survive closing. Buyer and Seller will each pay their transfer tax as required by State of Maine.

July 2006

Page 1 of 4 - P&S-LO

Buyer(s) Initials JW

Seller(s) Initials FW

COPY

10. PROPERTY DISCLOSURE FORM: Buyer acknowledges receipt of Seller's Property Disclosure Form. Buyer is encouraged to seek information from professionals regarding any specific issue or concern.

11. DUE DILIGENCE: Buyer is encouraged to seek information from professionals regarding any specific issue or concern.

Licensee makes no warranties regarding the condition, permitted use or value of Sellers' real property. This Agreement is subject to the following contingencies, with results being satisfactory to Buyer:

CONTINGENCY	YES	NO	DAYS FOR COMPLETION	OBTAINED BY	TO BE PAID FOR BY
1. SURVEY Purpose: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>90</u>	<u>Buyer</u>	<u>Buyer</u>
2. SOILS TEST Purpose: <u>wetlands being less than 4,300</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>45</u>	<u>Buyer</u>	<u>Buyer</u>
3. SEPTIC SYSTEM DESIGN Purpose: _____	<input type="checkbox"/>	<input type="checkbox"/>	_____	_____	_____
4. LOCAL PERMITS Purpose: <u>f.11 / building</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____	_____	_____
5. HAZARDOUS WASTE REPORTS Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
6. UTILITIES Purpose: <u>Availible</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>10</u>	<u>Buyer</u>	<u>Buyer</u>
7. WATER Purpose: <u>Availible</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>10</u>	<u>Buyer</u>	<u>Buyer</u>
8. SUB-DIVISION APPROVAL Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
9. DEP/LURC APPROVALS Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
10. ZONING VARIANCE Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
11. MDOT DRIVEWAY/ ENTRANCE PERMIT Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
12. DEED RESTRICTION Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
13. TAX EXEMPT STATUS Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
14. OTHER Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____

Further specifications regarding any of the above:

Unless otherwise specified above, all of the above will be obtained and paid for by Buyer. If the result of any inspection or other condition specified herein is unsatisfactory to Buyer, Buyer will declare the Agreement null and void by notifying Seller in writing within the specified number of days, and any earnest money shall be returned to Buyer. If the result of any inspection or other condition specified herein is unsatisfactory to Buyer, and Buyer wishes to pursue remedies other than voiding the Agreement, Buyer must do so to full resolution within the time period set forth above; otherwise this contingency is waived. If Buyer does not notify Seller that an inspection is unsatisfactory within the time period set forth above, this contingency is waived by Buyer. In the absence of inspection(s) mentioned above, Buyer is relying completely upon Buyer's own opinion as to the condition of the property.

July 2006

Page 2 of 4 - P&S-LO Buyer(s) Initials Q Seller(s) Initials FW



2. FINANCING: This Agreement  is  is not subject to Financing. If subject to Financing:
- This Agreement is subject to Buyer obtaining a \_\_\_\_\_ loan of \_\_\_\_\_ % of the purchase price, at an interest rate not to exceed \_\_\_\_\_ % and amortized over a period of \_\_\_\_\_ years.
  - Buyer to provide Seller with letter from lender showing that Buyer has made application and, subject to verification of information, is qualified for the loan requested within \_\_\_\_\_ days from the Effective Date of the Agreement. If Buyer fails to provide Seller with such letter within said time period, Seller may terminate this Agreement and the earnest money shall be returned to Buyer.
  - Buyer to provide Seller with loan commitment letter from lender showing that Buyer has secured the loan commitment within \_\_\_\_\_ days of the Effective Date of the Agreement. If Buyer fails to provide Seller with this loan commitment letter within said time period, Seller may deliver notice to Buyer that this Agreement is terminated three business days after delivery of such notice unless Buyer delivers the loan commitment letter before the end of the three-day period. If the Agreement is terminated under the provision of this sub-paragraph, the earnest money shall be returned to Buyer.
  - Buyer hereby authorizes, instructs and directs its lender to communicate the status of the Buyer's loan application to Seller or Seller's licensee.
  - After (b) or (c) are met, Buyer is obligated to notify Seller in writing if the lender notifies Buyer that it is unable or unwilling to proceed under the terms of the financing. Any failure by Buyer to notify Seller within two business days of receipt by Buyer of notice from the lender shall be a default under this Agreement.
  - Buyer agrees to pay no more than \_\_\_\_\_ points. Seller agrees to pay up to \$ \_\_\_\_\_ toward Buyer's actual pre-pays, points and/or closing costs, but no more than allowable by Buyer's lender.
  - Buyer's ability to obtain financing  is  is not subject to the sale of another property. See addendum  Yes  No.
  - Buyer may choose to pay cash instead of obtaining financing. If so, buyer shall notify seller in writing and the Agreement shall no longer be subject to financing, and Seller's right to terminate pursuant to the provisions of this paragraph shall be void.

13. AGENCY DISCLOSURE: Buyer and Seller acknowledge they have been advised of the following relationships:

\_\_\_\_\_  
Licensee of \_\_\_\_\_ Agency is a  Seller Agent  Buyer Agent  
 Disc Dual Agent  Transaction Broker

\_\_\_\_\_  
Licensee of \_\_\_\_\_ Agency is a  Seller Agent  Buyer Agent  
 Disc Dual Agent  Transaction Broker

If this transaction involves Disclosed Dual Agency, the Buyer and Seller acknowledge the limited fiduciary duties of the agents and hereby consent to this arrangement. In addition, the Buyer and Seller acknowledge prior receipt and signing of a Disclosed Dual Agency Consent Agreement.

14. MEDIATION: Except as provided below, any dispute or claim arising out of or relating to this Agreement or the property addressed in this Agreement shall be submitted to mediation in accordance with the Maine Residential Real Estate Mediation Rules. Buyer and Seller are bound to mediate in good faith and pay their respective mediation fees. If a party does not agree first to go to mediation, then that party will be liable for the other party's legal fees in any subsequent litigation regarding that same matter in which the party who refused to go to mediation loses in that subsequent litigation. This clause shall survive the closing of the transaction. Earnest money disputes subject to the jurisdiction of small claims court will be handled in that forum.

15. DEFAULT: In the event of default by the Buyer, Seller may employ all legal and equitable remedies, including without limitation, termination of this Agreement and forfeiture by Buyer of the earnest money. In the event of a default by Seller, Buyer may employ all legal and equitable remedies, including without limitation, termination of this Agreement and return to Buyer of the earnest money. Agency acting as escrow agent has the option to require written releases from both parties prior to disbursing the earnest money to either Buyer or Seller.

16. PRIOR STATEMENTS: Any representations, statements and agreements are not valid unless contained herein. This Agreement completely expresses the obligations of the parties.

17. HEIRS/ASSIGNS: This Agreement shall extend to and be obligatory upon heirs, personal representatives, successors, and assigns of the Seller and the assigns of the Buyer.

18. COUNTERPARTS: This Agreement may be signed on any number of identical counterparts, such as a faxed copy, with the same binding effect as if the signatures were on one instrument. Original or faxed signatures are binding.

19. ADDENDA:  Yes Explain: \_\_\_\_\_  No

20. EFFECTIVE DATE/NOTICE: Any notice, communication or document delivery requirements hereunder may be satisfied by providing the required notice, communication or documentation to the party or their licensee. Withdrawals of offers and counteroffers will be effective upon communication, verbally or in writing. This Agreement is a binding contract when signed by both Buyer and Seller and when that fact has been communicated. Licensee is authorized to complete Effective Date on Page 1 of this Agreement. Except as expressly set forth to the contrary, the use of "by (date)" or "within \_\_\_\_\_ days" shall refer to calendar days being counted from the Effective Date as noted on Page 1 of the Agreement, beginning with the first day after the Effective Date and ending at 5:00 p.m. Eastern Time on the last day counted.

21. CONFIDENTIALITY: Buyer and Seller authorize the disclosure of the information herein to the real estate licensees, attorneys, lenders, appraisers, inspectors, investigators and others involved in the transaction necessary for the purpose of closing this transaction. Buyer and Seller authorize the lender and/or closing agent preparing the entire closing statement to release a copy of the closing statement to the parties and their licensees prior to, at and after the closing.

22. OTHER CONDITIONS:

After 30 days deposit is non-refundable, *June*

A copy of this Agreement is to be received by all parties and, by signature, receipt of a copy is hereby acknowledged. If not fully understood, contact an attorney. This is a Maine contract and shall be construed according to the laws of Maine.

Seller acknowledges that State of Maine law requires buyers of property owned by non-resident sellers to withhold a prepayment of capital gains tax unless a waiver has been obtained by Seller from the State of Maine Revenue Services..

Buyer acknowledges that Maine law requires continuing interest in the property and any back up offers to be communicated by the listing agent to the Seller.

Buyer's Mailing address is Diversified Properties, P.O. Box 10127, Portland, Maine

*June* 2/26/09  
BUYER DATE BUYER DATE

Seller accepts the offer and agrees to deliver the above-described property at the price and upon the terms and conditions set forth and agrees to pay agency a commission for services as specified in the listing agreement.

Seller's Mailing address is Frank Wilbur 41 Main St. Hollis, ME. 04042.

*Frank Wilbur*  
SELLER DATE SELLER DATE

COUNTER-OFFER: Seller agrees to sell on the terms and conditions as detailed herein with the following changes and/or conditions:

The parties acknowledge that until signed by Buyer, Seller's signature constitutes only an offer to sell on the above terms and the offer will expire unless accepted by Buyer's signature with communication of such signature to Seller by (date) \_\_\_\_\_ (time) \_\_\_\_\_ AM \_\_\_\_\_ PM.

SELLER DATE SELLER DATE

The Buyer hereby accepts the counter offer set forth above.

BUYER DATE BUYER DATE

EXTENSION: The time for the performance of this Agreement is extended until \_\_\_\_\_ DATE

BUYER DATE SELLER DATE

BUYER DATE SELLER DATE



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March 13, 2009

**WETLAND DELINEATION  
MAP Z60 / LOTS 13, 14, 15, 39 & 40  
ROWE AVENUE, PORTLAND**

**INTRODUCTION:**

The purpose of this investigation is to flag and locate wetlands on a 10,500 square foot property located on Rowe Avenue in Portland. The site is located on west side of Rowe Avenue, approximately 400 feet from Brighton Avenue.

The wetland delineation was conducted on March 13, 2009. The entire property was surveyed. The investigation involved plant identification, topographic analysis, and soil auger borings. A series of flagged stations were established along the wetland/upland or stream/upland boundary. These flags were located by using a Trimble Geo XT GPS system, capable of sub-meter accuracy.

**LITERATURE REVIEW & SITE DESCRIPTION:**

The site is located on the *U.S.G.S. Portland West, Maine Quadrangle 7.5 Minute Series*. The locus map included in this report is adapted from that publication (Appendix A). A review of the *Cumberland County Soil Survey* shows that the soils on-site are classified as Buxton silt loam. A review of the *National Wetlands Inventory Map of the Portland West, Maine Quadrangle* reveals no mapped wetlands on this property.

The survey area is comprised predominately of upland with one wetland drainage running along the eastern portion of the parcel, parallel to Rowe Avenue, as shown on enclosed Wetland Delineation Map (Appendix B). This wetland is predominately comprised of emergent marsh dominated by common cattail (*Typha latifolia*). Lesser amounts of forested wetland dominated by balsam poplar (*Populus balsamifera*) occur near the northern property line.

**METHODOLOGY AND CLASSIFICATION:**

The delineation of wetlands was conducted according to the *Corps of Engineers Wetlands Delineation Manual* dated January 1987, and according to performance standards and the supplemental definitions issued 1 August 1995 by the New England Division, U.S. Army Corps of Engineers. The term "wetlands" is defined by federal regulation to mean "...those areas that are

inundated or saturated by surface or groundwater at a frequency and duration sufficient to support, and that under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions...” (33 C.F.R. Part 323.2). In order to properly define these areas, three mandatory criteria must be met. These criteria define hydrophytic vegetation, hydric soils, and wetland hydrology. Hydrophytic vegetation fits into the wetland category when more than 50 percent of the dominant vegetation is within the range of obligate through facultative on the *National List of Plant Species That Occur in Wetlands: Northeast (Region 1)*. Hydric soil is any soil that is saturated, flooded, or ponded long enough during the growing season to develop anaerobic conditions in the upper part. Wetland hydrology is the permanent or periodic inundation, or saturation of soil by groundwater for a significant period (usually two weeks or more) during the growing season. All three of the mandatory criteria, i.e., hydrophytic vegetation, hydric soil conditions, and wetland hydrology, were present within the mapped wetland areas.

The State of Maine Department of Environmental Protection Natural Resource Protection Act (Chapter 310 - Wetland and Waterbodies Protection) classifies some wetland areas as Wetlands of Special Significance. All coastal wetlands and great ponds are considered Wetlands of Special Significance. Additionally, certain freshwater wetlands are considered Wetlands of Special Significance. Freshwater Wetlands of Special Significance have one or more of the following characteristics:

- contains critically imperiled (S1) or imperiled community (S2) as defined by the Natural Areas Program (*not examined in this study*);
- contains significant wildlife habitat;
- contain peatlands;
- located within 250 feet of a coastal wetland or GPA great pond (pond less than 10 acres in size);
- located within 25 feet of a river, stream or brook;
- contain at least 20,000 square feet of aquatic vegetation, emergent marsh vegetation or open water. Artificial ponds or impoundments are not included;
- located within a 100-year flood plain based on Federal Emergency Management Agency flood insurance maps or other site-specific information.

The identification of a Significant Vernal Pool must be conducted according to the State of Maine Department of Environmental Protection, Natural Resource Protection Act (Chapter 335 - Significant Wildlife Habitat). The policy reads:

“A vernal pool, also referred to as a seasonal forest pool, is a natural, temporary to semi-permanent body of water occurring in a shallow depression that typically fills during the spring or fall and may dry during the summer. Vernal pools have no permanent inlet and no viable

populations of predatory fish. A vernal pool may provide the primary breeding habitat for wood frogs (*Rana sylvatica*), spotted salamanders (*Ambystoma maculatum*), blue-spotted salamanders (*Ambystoma laterale*), and fairy shrimp (*Eubbranchipus sp.*), as well as valuable habitat for other plants and wildlife, including several rare, threatened, and endangered species. A vernal pool intentionally created for the purposes of compensatory mitigation is included in this definition.

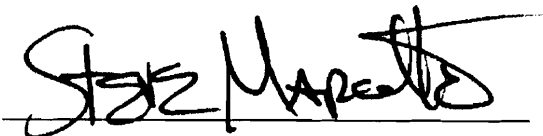
“Whether a vernal pool is a Significant Vernal Pool is determined by the number and type of pool-breeding amphibian egg masses in a pool, or the presence of fairy shrimp, or use by threatened or endangered species as specified in Section 9(B). The Significant Vernal Pool habitat consists of the vernal pool depression and a portion of the critical terrestrial habitat within a 250 foot radius of the spring or fall high water mark of the depression. An activity that takes place in, on, over, or adjacent to a Significant Vernal Pool habitat must meet the standards of this chapter.”

Many natural wetland areas can be ruled out as being or containing a Significant Vernal Pool based on the following criteria: land surface morphology, permanent standing water, a permanently flowing inlet or outlet and/or the presence of fish. However, under many circumstances it is impossible to determine whether or not a particular wetland contains a Significant Vernal Pool. Under these circumstances, two or more vernal pool surveys during the Spring are required to determine whether or not a Significant Vernal Pool exists on-site.

### CONCLUSIONS:

The conclusions of this wetland delineation are as follows:

- All wetlands within the survey area are shown on the attached site plan entitled *Wetland Delineation Map* (Appendix B). Wetland was mapped according to the *Corps of Engineers Wetlands Delineation Manual* (1987) and classified according to the State of Maine Department of Environmental Protection Natural Resources Protection Act. Wetland was flagged with numbered striped pink/black ribbon.
- Potential Significant Vernal Pools were not observed within the survey area.
- 4,300 square feet of wetland on this site can be altered/filled without a permit.

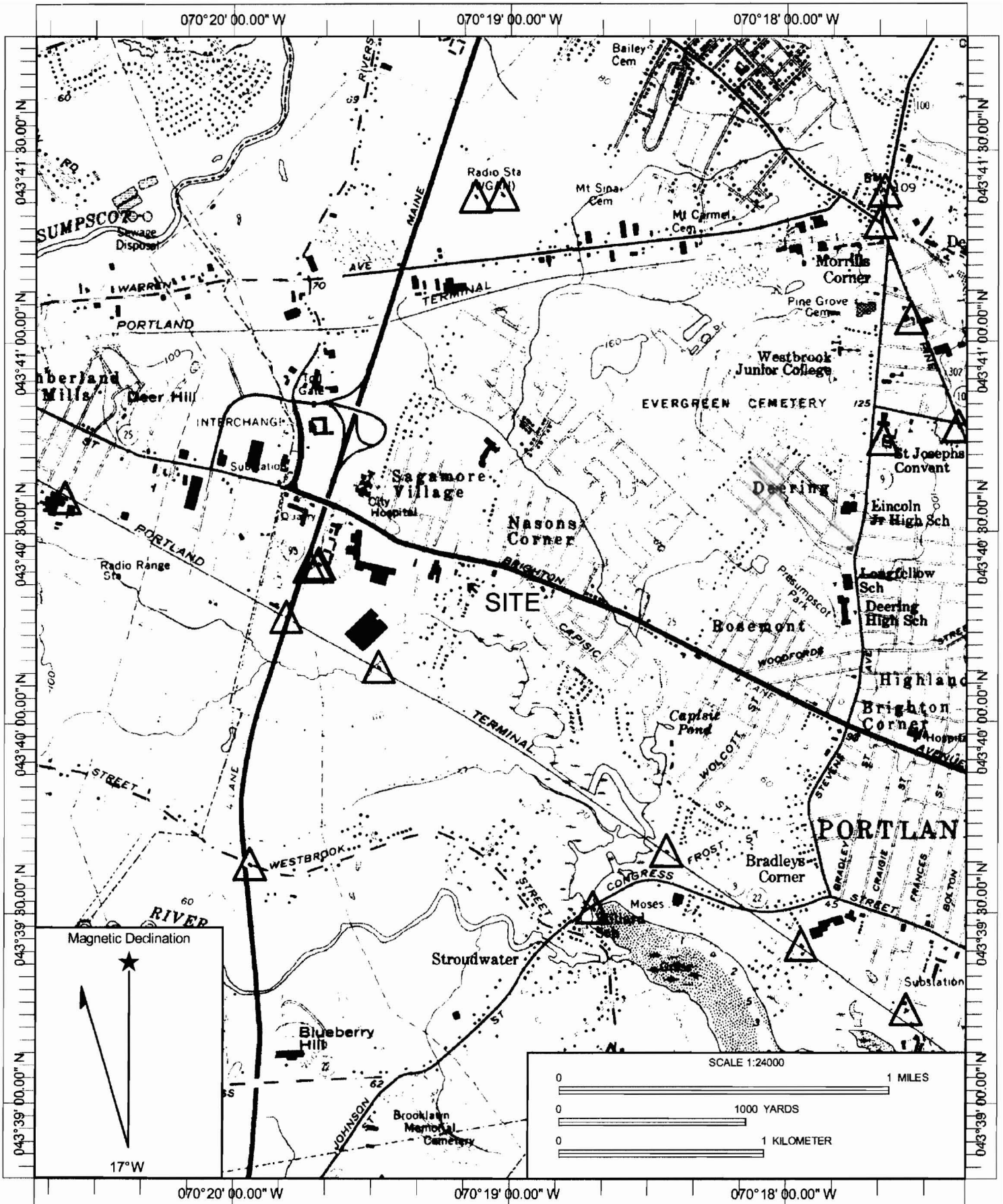


Stephen Marcotte  
Wetland Scientist

SM/smh

**APPENDIX A**

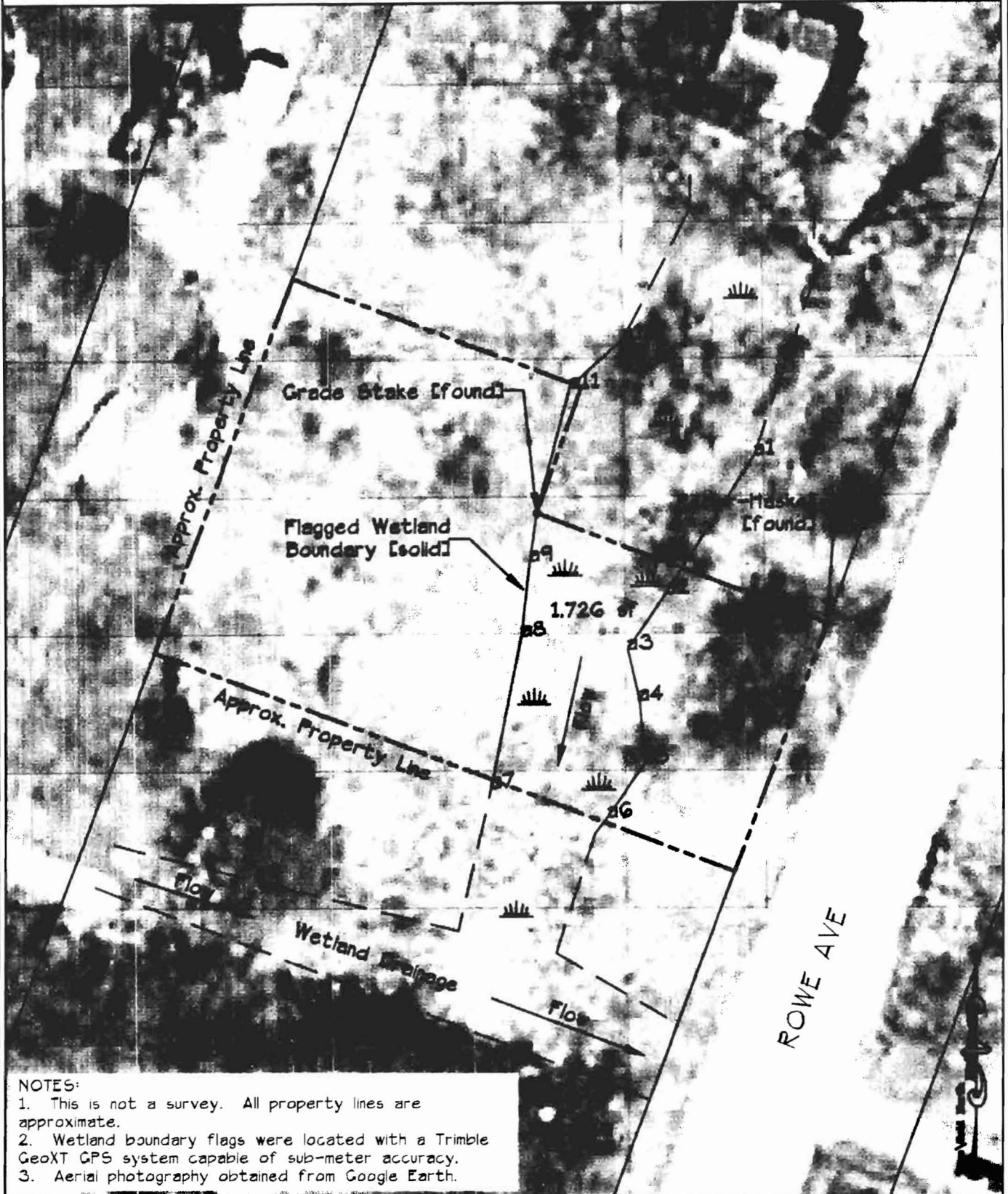
*U.S.G.S. Portland West, Maine Quadrangle 7.5 Minute Series*



Name: PORTLAND WEST  
 Date: 3/13/2009  
 Scale: 1 inch equals 2000 feet

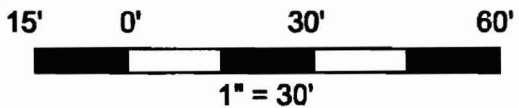
Location: 043°40' 18.21" N 070°19' 02.14" W NAD27  
 Caption: Rowe Avenue Property  
 Map Z60 - Lots 13/14/15/39/40

# WETLAND DELINEATION MAP



**NOTES:**

1. This is not a survey. All property lines are approximate.
2. Wetland boundary flags were located with a Trimble GeoXT GPS system capable of sub-meter accuracy.
3. Aerial photography obtained from Google Earth.



**Rowe Ave Property**  
 Map Z60 / Lots 13, 14, 15, 39 & 40  
 Portland, ME

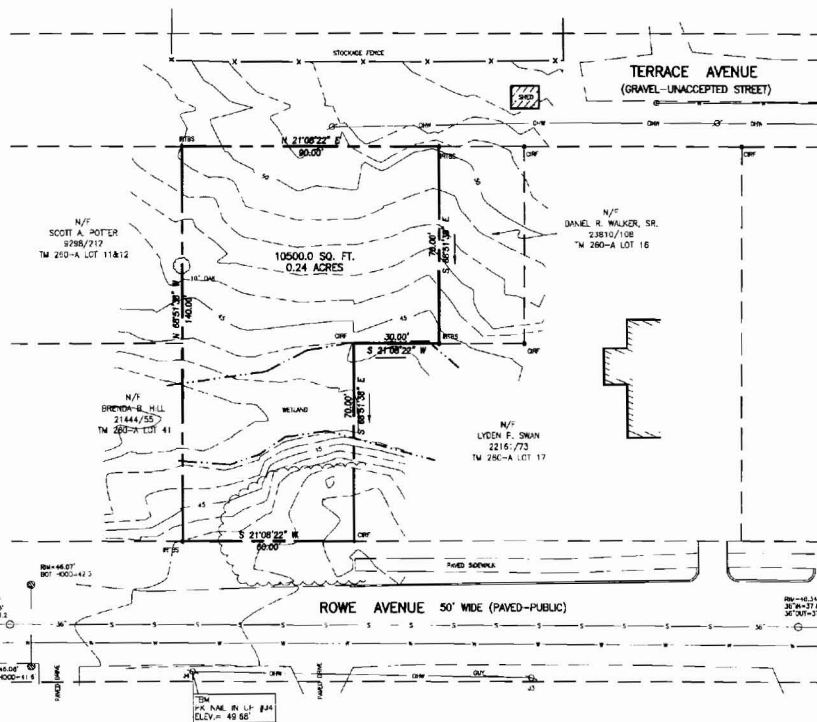
**SWEET ASSOCIATES**

155 Gray Road  
 Falmouth, Maine  
 Phone: (207) 797-2110



**APPENDIX B**

*Wetland Delineation Map*



**LEGEND:**

- CAPPED ROD FOUND
- IRON ROD TO BE SET
- WATER VALVE
- JUMPY POLE
- SERVICE MANHOLE
- CATCH BASIN
- FIRE HYDRANT
- CURB
- OVERHEAD UTILITIES
- WATER LINE
- SANITARY SEWER
- WETLAND BOUNDARY

**PLAN REFERENCE**

- PLAN OF BRIDGTON AVENUE, TOWN OF BRIDGTON, MAINE, OWNED BY J.W. WILBUR DATED JULY 9, 1906 AND RECORDED IN THE C.C.R.D. PLAN BOOK 11, PAGE 2.
- PLAN OF ROWE AVE. HOUSING SUBDIVISION TERRACE, MADE FOR (CORS) CITY OF PORTLAND, BY OWEN HASKELL, INC. DATED 12/20/92 RECORDED IN THE C.C.R.D. PLAN BOOK 203, PAGE 458

**NOTES**

- OWNER OF RECORD - FRANK WILBUR HEIRS (NO DEED FOUND).
- THE SURVEYED BOUNDARIES IS SHOWN ON THE CITY OF PORTLAND TAX MAP 2008 RECKER IN AS LOTS 13 THRU 15 AND LOTS 36 & 40.
- BEARINGS ARE BASED ON STATE PLANE MAINE WEST MAG. E.T.
- ELEVATIONS ARE BASED ON NAVD 83.
- WETLANDS DELINEATED BY SWEET ASSOCIATES ON MARCH 13, 2009, WERE LOCATED BY OWEN HASKELL, INC.
- THIS SURVEY WAS DONE WITHOUT BENEFIT OF A TITLE SEARCH TRACING FRANK WILBUR HEIRS BACK TO J.W. WILBUR AS PER PLAN REF. 1.

**CERTIFICATION**

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE HIGHEST OF LEGISLATION FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.

DATE: \_\_\_\_\_ JOHN W. SWAN, PLS. NO. 1036

**ZONING**

**R-3 ZONE**

- 6500 S.F. MIN. LOT SIZE
- 50' MIN. STREET FRONTAGE
- 25' FRONT SETBACK
- 25' REAR SETBACK
- 5' SIDE SETBACK (1 OR 1.5 STORIES)
- 14' SIDE SETBACK (2 STORIES)
- 14' SIDE SETBACK (2.5 STORIES)

FOR ADDITIONAL ZONING INFORMATION SEE THE CITY OF PORTLAND CODE OF ORDINANCES

**BOUNDARY & TOPOGRAPHIC SURVEY**  
 OF  
 ROWE AVENUE AND TERRACE AVENUE,  
 PORTLAND, MAINE  
 MADE FOR  
**DIVERSIFIED PROPERTIES, INC.**  
 P.O. BOX 10127, PORTLAND, ME 04104

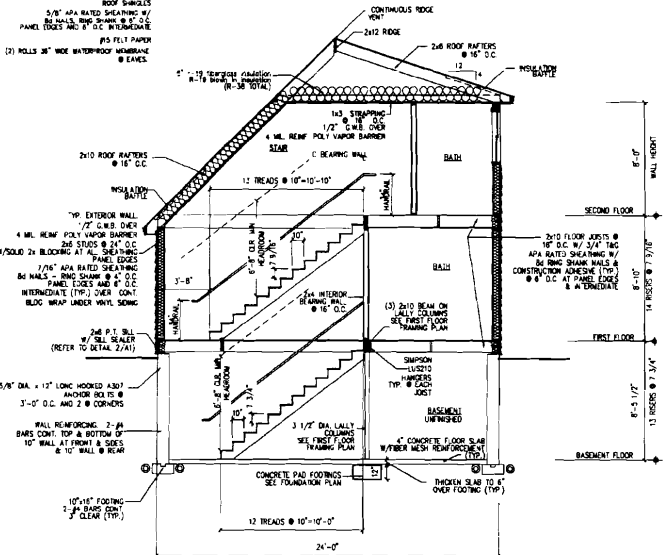
**OWEN HASKELL, INC.**  
 PROFESSIONAL LAND SURVEYORS  
 390 U.S. ROUTE 104, FALMOUTH, MAINE 04103 Phone: 207-774-2424

Drawn By: RSL	Date: MARCH 23, 2009	Job No.: 2009-024P
Trace By: RSL	Scale:	Drawn No.: 1
Check By: JWS	Book No.: 1079	1" = 20'



**TYPICAL ROOF CONSTRUCTION**

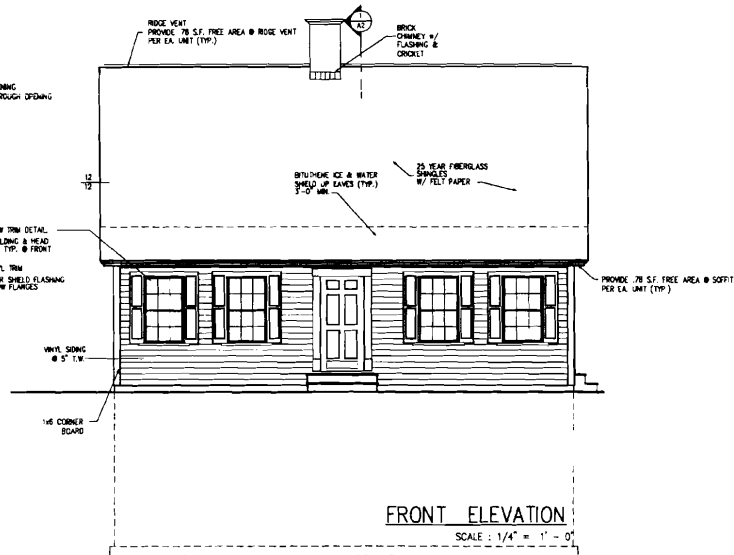
ROOF VENT  
 PRE-MANUFACTURED ROOF  
 THUNDER # 24" O.C.  
 ROOF SHINGLES  
 5/8" ADA WATED SIKKENS W/7  
 BE HALS, ROP SHANK # 8" O.C.  
 PANEL EDGES AND 2" O.C.  
 INTERMEDIATE (TYP.) OVER CONT.  
 BLOC WRAP UNDER WAT. SHING.  
 # 16 F.E. EAVES



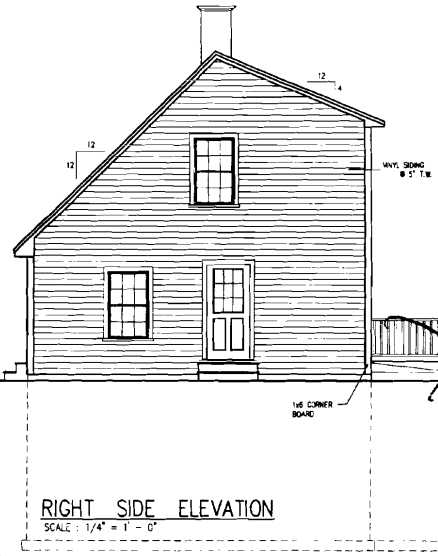
**SECTION THRU HOUSE**  
 SCALE: 1/4" = 1' - 0"

ROUGH OPENING	HEADER SIZE
0 - 5'-0"	(2) - 2x6
5'-0" - 6'-6"	(2) - 2x8
6'-6" - 8'-0"	(2) - 2x10
8'-0" - 9'-6"	(2) - 2x12

NOTE: PROVIDE JAMES BOTH SIDES AS FOLLOWS:  
 2x6 JACK PLUS 2x6 KING UP TO 4'-8" ROUGH OPENING  
 (2) 2x6 JACKS PLUS (2) 2x6 KINGS UP TO 7'-0" ROUGH OPENING

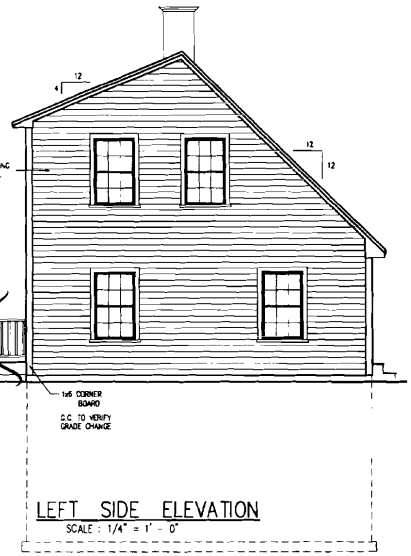


**FRONT ELEVATION**  
 SCALE: 1/4" = 1' - 0"

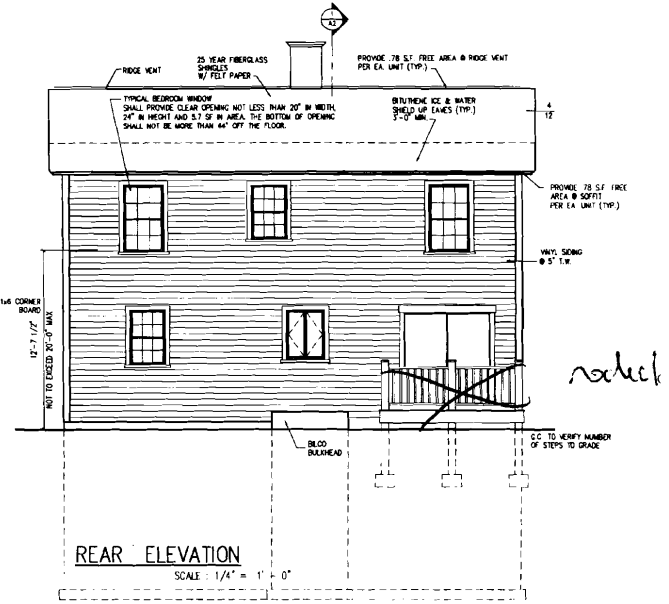


**RIGHT SIDE ELEVATION**  
 SCALE: 1/4" = 1' - 0"

*note: k*



**LEFT SIDE ELEVATION**  
 SCALE: 1/4" = 1' - 0"



**REAR ELEVATION**  
 SCALE: 1/4" = 1' - 0"

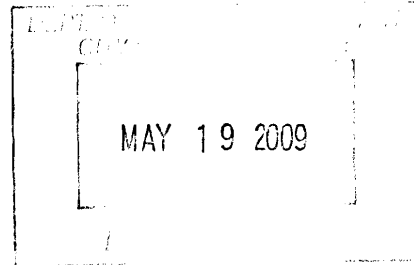
*note: k*

DRAWINGS THIS SHEET  
 ELEVATIONS / SECTION  
 24x32 CAPE  
 15/21/01

A2

## SPACE AND BULK REQUIREMENTS - R-3 ZONE

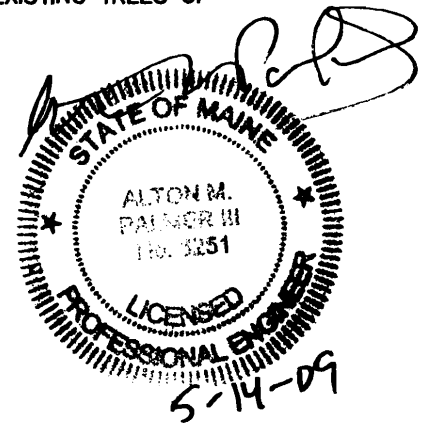
**MINIMUM LOT SIZE:** 6,500 S.F.  
**MINIMUM FRONTAGE:** 50 FT.  
**MINIMUM SETBACKS:**  
     FRONT YARD 25 FT.  
     REAR YARD 25 FT.  
     SIDE YARD\*  
         1 STORY 8 FT.  
         1 1/2 STORY 8 FT.  
         2 STORY 14 FT.  
         2 1/2 STORY 16 FT.  
**MINIMUM LOT WIDTH:**  
     OTHER USES: 65 FT.



\* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.

### NOTES:

1. EACH LOT SHALL BE PROVIDED WITH AT LEAST TWO (2) TREES MEETING THE CITY'S ARBORICULTURE SPECIFICATIONS AND WHICH ARE CLEARLY VISIBLE FROM THE STREET LINE AND ARE LOCATED SO AS TO VISUALLY WIDEN THE NARROW DIMENSION OR PROPORTION OF THE UNIT.
2. ELECTRICAL SERVICE SHALL BE COORDINATED WITH CENTRAL MAINE POWER.
3. SEWER AND WATER SERVICES SHALL BE INSTALLED BY THE DEVELOPER 5' INTO THE PROPERTY. CONNECTION TO THE HOUSE WILL BE THE RESPONSIBILITY OF THE LOT OWNER.
4. EQUIVALENT STREET TREE SHALL INCLUDE RETENTION OF EXISTING TREES OF SAME OR GREATER CALIPER.



Design: -	Date: 4/09
Draft: CAG	Job No.: 2238
Checked: -	Scale: 1"=20'
File Name: 2238-pbase.dwg	



Gorrill-Palmer Consulting Engineers, Inc.  
Engineering Excellence Since 1998

PO Box 1237  
15 Shaker Road  
Gray, ME 04039

Phone: 207-657-6910  
Fax: 207-657-6912  
Email: mailbox@gorrillpalmer.com

Drawing Name: <b>Space &amp; Bulk Requirements</b>
Project: <b>ROWE AVENUE</b>

Figure No.

1



**GENERAL NOTES:**

- All work shall be in accordance with IRC, BOCA Building Code, NFPA-70 National Electric Code, Maine State Plumbing Code, ASHRAE, U.L.I., NFPA Codes, American with Disabilities Act 1990 (ADA) and all local, State and Federal requirements.
- All applicable Federal, State and Municipal regulations shall be followed, including the Federal Department of Labor Occupational Safety and Health act.
- All required City and State permits must be obtained before any construction begins.
- It is the contractor's sole responsibility to determine whether construction and sequence to ensure the safety of the building and its occupants during erection. This includes the addition of necessary shoring, bracing, temporary bracing, type or its absence. Such matters shall remain the property of the contractor after completion of the project.
- Structural, Mechanical, Electrical and Plumbing design and installation by others shall be performed in accordance with local, State and Federal standards.
- All the notings indicated shall be continuous to underside of the metal ceiling or underside of roof deck. Seal of openings & mechanical penetrations with approved fire sealing material.
- Building shall have approved smoke detectors in accordance with NFPA-101, Life Safety Code. Smoke detectors shall be wired down that is suitable in the assembly rooms of each unit.
- Portable fire extinguishers shall be provided in all hazardous areas in accordance with NFPA-101. Local authority having jurisdiction needs to provide written requirements.
- Roofs must maintain a 4" vertical height and shall be well free and clear of ice and snow at all times to ensure the second means of egress.
- HVAC installation to be in accordance with ASHRAE, NFPA-90A, NFPA-90B and all local, state and State codes. Ventilation or heat equipment shall be in accordance with NFPA-91, NFPA-71, NFPA-31, NFPA-54 and NFPA-70 as applicable.

**FOUNDATION NOTES:**

- PROVIDE SILL BEAM ON TOP OF ALL FOUNDATION WALLS.
- FOUNDATION WALLS SHALL BE BACKFILLED SMALL FRACTION 5" ON BOTH SIDES.
- ALL STEEL REINFORCING IN FOOTINGS TO BE A MINIMUM 3" CLEAR FROM BOTTOM OF FOOTING.
- ALL STEEL REINFORCING IN FOUNDATION WALLS BELOW GRADE TO BE A MINIMUM OF 2" CLEAR FROM FACE OF WALL.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESURE PRESERVATIVE TREATED W/CCA TO 0.4% OF RETENTION PER ANCH.
- ALL CONCRETE SURFACES SHALL HAVE A STEEL TIE-IN & LIGHT BROCK FISH.
- SET BOTTOM OF FOOTINGS MIN. 4'-0" BELOW GRADE.
- SET ALL FOOTINGS ON UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL.
- RADIANT HEAT IN SLAB.
- FIRST FLOOR SLAB SHALL BE 4" THICK CONCRETE 3,000 OR GRADE W/ FRESH WITH REINFORCING. PROVIDE CONTROL JOINTS @ 15' MAX SPACING (22095).
- ALL CONCRETE SHALL BE 3000 PSI (f<sub>c</sub>) STRENGTH AT 28 DAYS.
- ALL CONCRETE SHALL BE AIR ENTRAINED W/ 4-8%.
- ALL OTHER ADJUSTURES SHALL BE PRE-APPROVED.
- WATERPROOFING / DAMP PROOFING ASPHALT TAR.

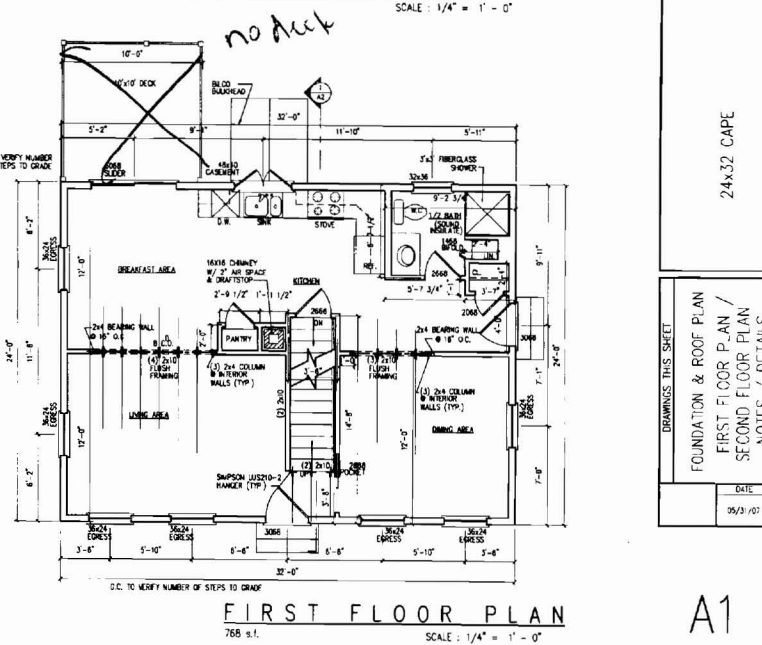
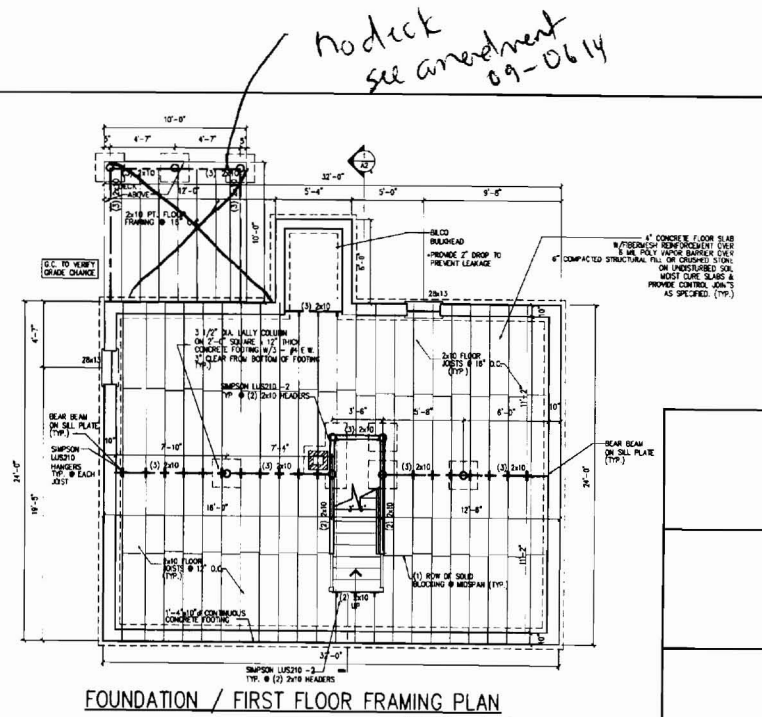
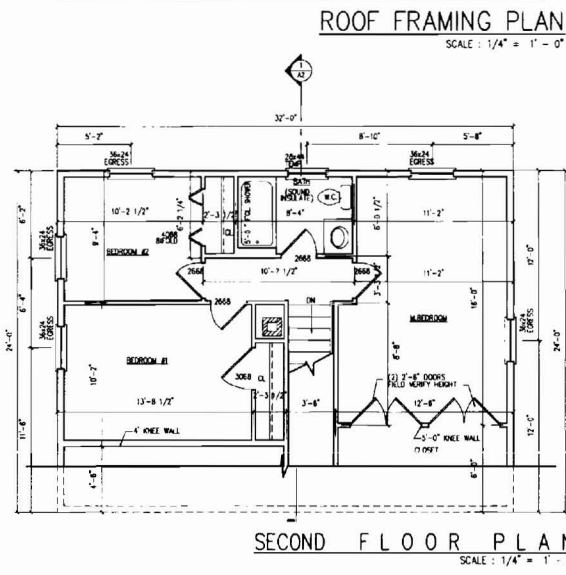
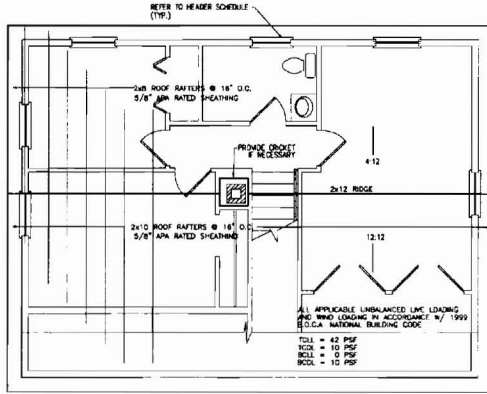
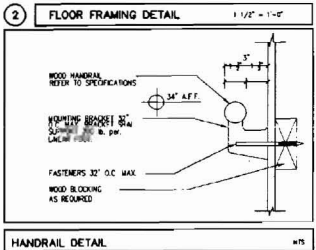
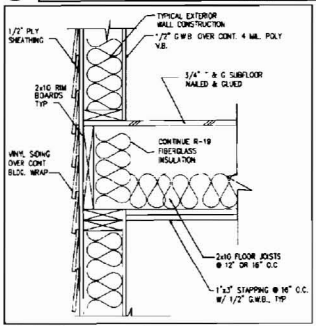
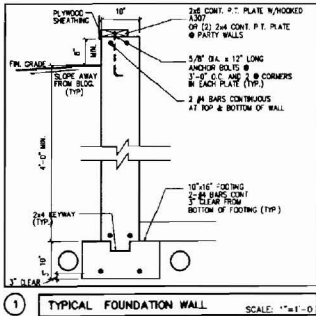
**FRAMING NOTES:**

- ALL EXTERIOR WALLS TO BE 2x6 WOOD STUD WALLS @ 24" O.C. W/ 1/2" GIBBS AND WOOD SHIMMER @ BRIDGE FACE OF WALL. 6" BATT INSULATION (R-19) AND 1/2" APA RATED SHEATHING @ EXTERIOR FACE OF WALL.
- ALL INTERIOR WALLS TO BE 2x4 WOOD STUD WALLS (UNLESS NOTED OTHERWISE) W/ ONE LAYER 1/2" GIBBS EACH SIDE.
- INSTALL BLOCKING BEHIND ALL SURFACE IMPLOD FEATURES, TRIM AND SHELVES WHEN MOUNTED ON WALLS.
- THE LOCATION OF ALL DOOR FRAMES SHALL BE 4 1/2" (UNLESS NOTED OTHERWISE) FROM ADJACENT WALLS.

**HEADER SCHEDULE**

ROUGH OPENING	HEADER SIZE
5'-0" - 5'-2"	(3) 2x6
5'-1" - 4'-6"	(3) 2x6
4'-7" - 5'-8"	(3) 2x10
5'-9" - 7'-0"	(3) 2x12

NOTE: PROVIDE JAMBS BOTH SIDES AS FOLLOWS:  
 (1) 2x6 JACKS PLUS (2) 2x6 KINGS UP TO 4'-6" ROUGH OPENING  
 (2) 2x6 JACKS PLUS (2) 2x6 KINGS UP TO 7'-0" ROUGH OPENING



*no deck  
see amendment  
09-0614*

768 s.f.

24X32 CAPE  
DRAWING THIS SHEET  
FOUNDATION & ROOF PLAN  
FIRST FLOOR PLAN /  
SECOND FLOOR PLAN  
NOTES / DETAILS  
DATE  
25/3/07

A1

33 Rowe Ave permit # 09-0389

CBL 260-A-039007

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST		
Soil type/Presumptive Load Value (Table R401.4.1) _____				
Component	Submitted Plan	Findings	Revisions	Date
<b>STRUCTURAL</b> Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	10x16 Footing 2#4 bars 3 1/2 bally 2 ft square concrete footing	OK		
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	4" Drain - Crushed Stone Filter Fabric - Damp proofing	OK	per Bill Dowd put on plans	
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	NA	OK		
Anchor Bolts/Straps, spacing (Section R403.1.6)	5/8 x 12 Anchor Bolts 3" oc	OK		
Lally Column Type (Section R407)	Concrete lally 2 ft square footing	OK		
Girder & Header Spans (Table R 502.5(2))				
Built-Up Wood Center Girder Dimension/Type	3(2x10)	OK		
Sill/Band Joist Type & Dimensions	2x10 pt sell	OK		
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10 16" oc	OK		
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10 16" oc	OK		
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	NA	OK		

2/2

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1( 8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	4-12 + 12/12 pitch trusses 24" oc (2x8 16" o)	OK
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	3/4 T&E #15 Felt; CPX 5/8 (1/2)	OK
Fastener Schedule (Table R602.3(1) & (2) )	per IRC 2003	
<b>Private Garage</b> (Section R309) Living Space ? (Above or beside)  Fire separation (Section R309.2)  Opening Protection (Section R309.1)	NA	OK
Emergency Escape and Rescue Openings (Section R310)	36x24 Egress windows	OK
Roof Covering (Chapter 9)	Shingles #15 Felt	OK
Safety Glazing (Section R308)	NA	OK
Attic Access (Section R807)	NA	OK
Chimney Clearances/Fire Blocking (Chap. 10)	2 inch min	OK
Header Schedule (Section 502.5(1) & (2))	<del>0-3</del> (3) 2x4 5-9-7-0 3-1-4-6 (3) 2x8 (3) 2x12 4-7-5-8 (3) 2x10	OK
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	R-19 Fiberglass + R-19 Alwn (38) R-21 Walls	OK

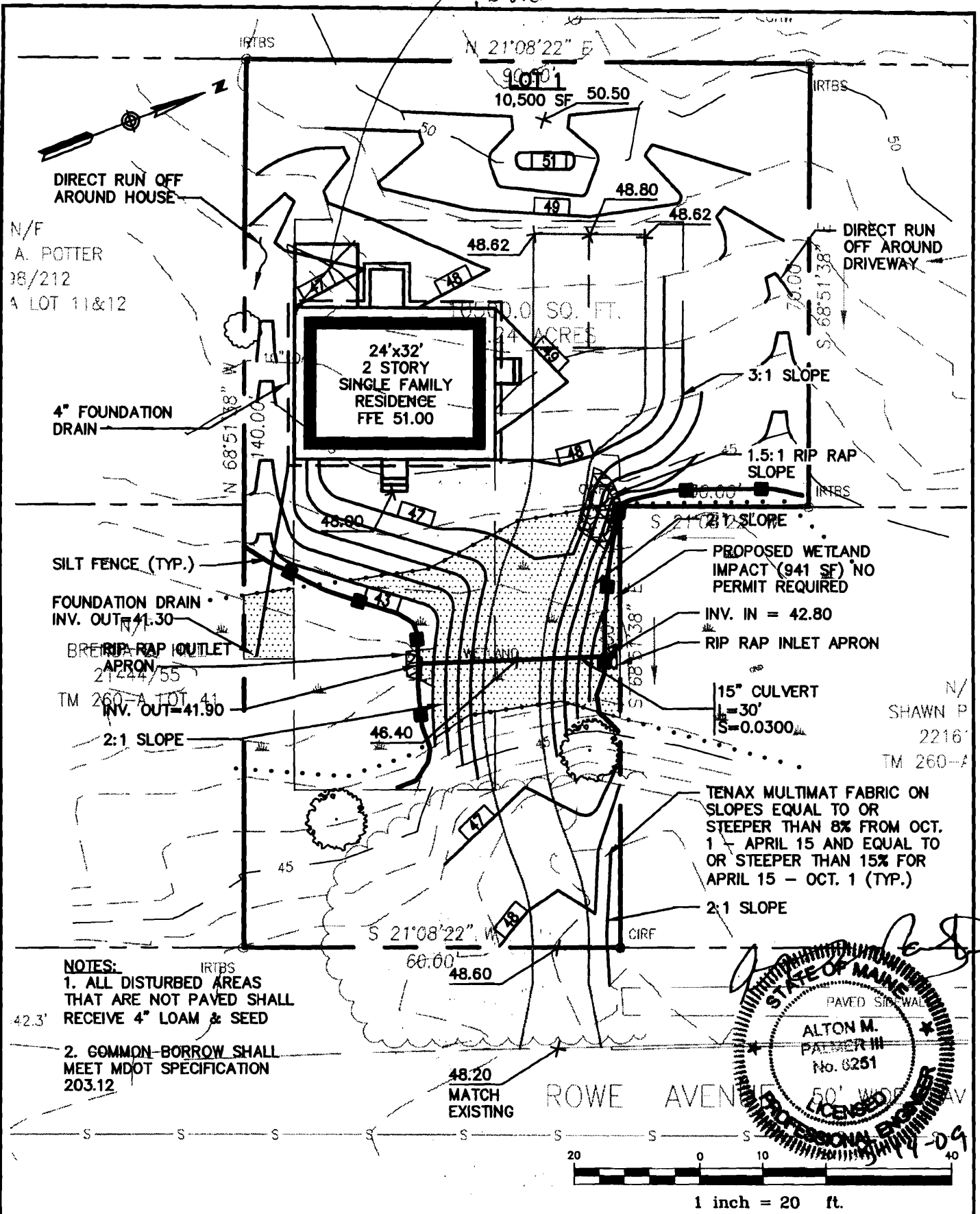


Type of Heating System	radiant heat in slab	OK
<b>Means of Egress</b> (Sec R311 & R312)		
Basement	1	OK
Number of Stairways	3	
Interior	2	
Exterior	1	
Treads and Risers (Section R311.5.3)	7 3/4 max riser 10 min tread	OK
Width (Section R311.5.1)	36 minimum	
Headroom (Section R311.5.2)	min 6" 8 headroom	OK
Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)	36 min guard 34-38 Handrail	
Smoke Detectors (Section R313) Location and type/Interconnected	Smoke detectors per code	per B.U. Draw OK
Draftstopping (Section R502.12) and Fireblocking (Section R602.8)	caulk and / Firestop holes	OK
Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)	NA	
Deck Construction (Section R502.2.1)	3 Sona tubes 4-7.5 pce 3 (2x10) Beams	OK

2x10 joists 16" oc  
NO STAIRS

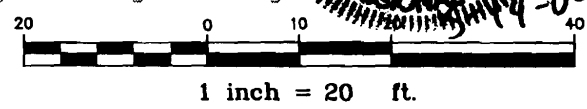
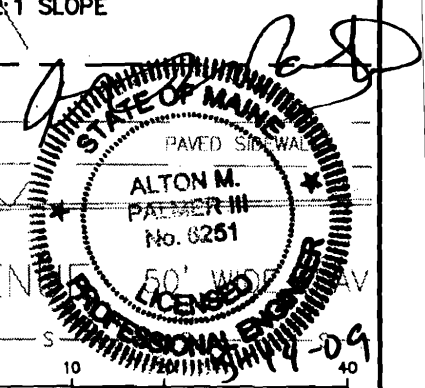



no deck



- NOTES:**
1. ALL DISTURBED AREAS THAT ARE NOT PAVED SHALL RECEIVE 4" LOAM & SEED
  2. COMMON BORROW SHALL MEET MDOT SPECIFICATION 203.12

TENAX MULTIMAT FABRIC ON SLOPES EQUAL TO OR STEEPER THAN 8% FROM OCT. 1 - APRIL 15 AND EQUAL TO OR STEEPER THAN 15% FOR APRIL 15 - OCT. 1 (TYP.)



Design: -	Date: 4/09	 <b>Gorrill-Palmer Consulting Engineers, Inc.</b> Engineering Excellence Since 1998	Drawing Name:	<b>Grading &amp; Drainage Plan</b>	Figure No.
Draft: CAG	Job No.: 2238		Project:		<b>ROWE AVENUE</b>
Checked: -	Scale: 1"=20'	PO Box 1237 15 Shaker Road Gray, ME 04039	Phone: 207-657-8910 Fax: 207-657-8912 Email: mailbox@gorrillpalmer.com		
File Name: 2238-pbase.dwg					

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BU **INSPECTION**

**PERMIT**

Please Read Application And Notes, If Any, Attached

Permit Number: 090614

**PERMIT ISSUED**

This is to certify that W & C LLC/James Wolf  
has permission to New cape style 24' x 32' single family home no garage Amend ment to permit # 090389 to relocate building.

AT 33 Rowe Ave CB 260 A039001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is set-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_  
Department Name

*Thomas H. Mackley* 4/18/09  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

# SCANNED

7/24/09 - O.K. to pour Concrete

1. Setbacks - will provide Survey Letter.

2. Footing - O.K.

3. Erosion Control - See Log -  
Call Phil Deferio



See Permit # 090389

10/22/09 Final - Ok, JCR

TO amend Building Permit 09-0389  
 TO relocate Building  
**General Building Permit Application**



If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>33 Rowell Ave.</u>		
Total Square Footage of Proposed Structure/Area <u>24132</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>260 A0 39001</u>	Applicant * <b>must be owner, Lessee or Buyer</b> * Name <u>W4 LLC</u> Address <u>POB 1456</u> City, State & Zip <u>Portland, ME</u>	Telephone: <u>207-7736250</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u><del>94,000</del></u> C of O Fee: \$ _____ Total Fee: \$ <u>30.00</u>
Current legal use (i.e. single family) <u>Vacant</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>single family house</u> Is property part of a subdivision? <u>no</u> If yes, please name _____ Project description: <u>- to build a 24x32 cape single family home with no garage</u> <span style="float: right;"><u>See Above!</u></span>		
Contractor's name: _____ Address: _____ City, State & Zip _____ Telephone: _____ <u>xxxxxx</u> Who should we contact when the permit is ready: <u>Gary Woy</u> Telephone: <u>207 773 4988</u> Mailing address: <u>POB 10127, Portland, ME</u>		

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

JUN 16 2009

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 6-15-09

This is not a permit; you may not commence ANY work until the permit is issue

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 09-0614	<b>Date Applied For:</b> 06/16/2009	<b>CBL:</b> 260 A039001
------------------------------	--	----------------------------

<b>Location of Construction:</b> 33 Rowe Ave	<b>Owner Name:</b> W & C LLC	<b>Owner Address:</b> PO Box 1456	<b>Phone:</b> 207-773-6250
<b>Business Name:</b>	<b>Contractor Name:</b> James Wolf	<b>Contractor Address:</b> P.O. Box 10127 Portland	<b>Phone:</b> (207) 773-4988
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Amendment to Single Family	

<b>Proposed Use:</b> New cape style 24' x 32' single family home. (no garage) Amendment to permit # 090389 to relocate building.	<b>Proposed Project Description:</b> New cape style 24' x 32' single family home. (no garage) Amendment to permit # 090389 to relocate building.
--	--

<b>Dept:</b> Zoning	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Ann Machado	<b>Approval Date:</b> 06/16/2009
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> <li>1) This permit is being issued with the understanding that there will not be either a 10' x 10' deck or 10' x 10' patio at the rear of the house.</li> <li>2) Separate permits shall be required for future decks, sheds, pools, and/or garages.</li> <li>3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.</li> <li>4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.</li> </ol>			
<b>Dept:</b> Building	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Tom Markley	<b>Approval Date:</b> 06/18/2009
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> <li>1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.</li> </ol>			

<b>Comments:</b>
6/16/2009-amachado: Spoke to Jim Wolfe. Original permit (09-0389) had a 10' x 10' deck. This permit has a 10' x 10' patio. I asked him about steps to grade. He said that they aren't going to do the patio. He said that he would send me an email confirming it.
6/16/2009-amachado: Gave revised siteplan to Phil for review. Don't issue without Phil's OK.
6/17/2009-pd: The revised site plan appears to be acceptable. No changes in the overall drainage and grading theme are apparent. All the conditions that applied to the original plan still apply to the revised/amended plan. OK to issue permit. (phil's ok)

RECEIVED

OCT 21 2009

STATUTORY WARRANTY DEED

Dept. of Building Inspections  
City of Portland Maine

W & C Limited Liability Company, also known as W & C, LLC, a Maine Limited Liability Company with a principal place of business in the City of Portland, County of Cumberland and State of Maine,

For Consideration Paid, GRANT with WARRANTY COVENANTS TO:

ALVIN MACK, whose mailing address is 750 Warren Avenue, Portland, Maine 04103,

Certain lots or parcels of land situated in the City of Portland, County of Cumberland and State of Maine, bounded and described as follows:

MAINE REAL ESTATE TAX PAID

BEGINNING at a point on the southeasterly sideline of Terrace Avenue, being the northerly corner of land of Grantee herein, being Lot 126 as shown on a Plan entitled "Brighton Avenue Terrace", recorded at the Cumberland County Registry of Deeds in Plan Book 11, Page 13 and the westerly corner of Lot 127 as shown on said Plan; thence in a southeasterly direction along the northeasterly sideline of Grantee's land, being Lot 126 and continuing along the southeasterly sideline of Lot 149 as shown on said Plan, one hundred forty (140) feet, more or less, to the northwesterly sideline of Rowe Street; thence in a northeasterly direction along the northwesterly sideline of Rowe Street ten (10) feet to a point; thence in a northwesterly direction parallel with and maintaining a distance of ten (10) feet from the northeasterly sideline of Lot 149 and Lot 126 one hundred forty (140) feet, more or less, to the southeasterly sideline of Terrace Avenue; thence in a southwesterly direction along the southeasterly sideline of Terrace Avenue ten (10) feet to the point of beginning.

Being a portion of the premises conveyed to the Grantor herein by deed of Frank L. Wilbur dated May 27, 2009 and recorded at the Cumberland County Registry of Deeds in Book 26933, Page 97; specifically, a portion of Lots 127 and 148 described in said deed.

This conveyance, being further the transfer of an interest in land to the owner of land abutting that land, specifically other land of Grantee herein being Lot 126 described in a deed from Scott A. Potter to Grantee herein dated and recorded April 1, 2009 at the Cumberland County Registry of Deeds in Book 26762, Page 294, is made further subject, however, to the restriction that the above-described real estate shall not be

TO: G  
2009



**Ann Machado - RE: Rowe Avenue**

**From:** "Jim Wolf" <jmw1@maine.rr.com>  
**To:** "Ann Machado" <AMACHADO@portlandmaine.gov>  
**Date:** 6/16/2009 1:37 PM  
**Subject:** RE: Rowe Avenue

Anne

This is to confirm there will not be a 10 by 10 deck built as part of our permit at Rowe Avenue. In addition, we will not be constructing the patio.

Jim

JUN 16 2009

James M. Wolf  
Diversified Properties, Inc.  
Post Office Box 10127  
Portland, Maine 04104  
1-207-773-4988  
1-207-773-6875 fax

This electronic transmission may be privileged and contain confidential information. It is not intended nor may it be received by any unauthorized persons. If you have received this transmission in error, please destroy without copying it and notify the sender by calling sender at 207-773-4988 or reply to sender of this email. Thank you.

**From:** Ann Machado [mailto:AMACHADO@portlandmaine.gov]  
**Sent:** Tuesday, June 16, 2009 1:29 PM  
**To:** jmw1@maine.rr.com  
**Subject:** Re: Rowe Avenue

Jim -

Since the original building plans had a deck, I also need you to put in writing that there won't be a 10' x 10' deck either.

Thanks,

Ann Machado  
Zoning Specialist  
(207) 874-8709

>>> "Jim Wolf" <jmw1@maine.rr.com> 06/16 12:28 PM >>>  
Anne

Thank you for calling.

As discussed, our amended permit shows a patio being built. We do not intend on building the patio as part of the permit. If requested we will block our exit door in a manner requested by inspections.

Again, thank you.

Jim

James M. Wolf  
Diversified Properties, Inc.  
Post Office Box 10127  
Portland, Maine 04104  
1-207-773-4988  
1-207-773-6875 fax

This electronic transmission may be privileged and contain confidential information. It is not intended nor may it be received by any unauthorized persons. If you have received this transmission in error, please destroy without copying it and notify the sender by calling sender at 207-773-4988 or reply to sender of this email. Thank you.

Applicant: WJC LLC (Jim Wolfe)

Date: 6/16/09

Address: 33 Rowe Ave.

C-B-L: 260-A-39 (13-15 1/2 40)  
permit #09-0614 - amend permit  
09-0389

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - new ~~single~~ single family cape w/ full dormer 33' x 24'

Sevage Disposal - city

Lot Street Frontage - 50' min - 60' given - if split lot - 50' ok.

Front Yard - 25' min - 88' scaled, 83' scaled to front steps.

\* Rear Yard - 25' min - ~~18' scaled to deck~~ - 28' scaled to have - 22 scaled to bulkhead - objection 14-426  
5x6

Side Yard - 25' by 14' min - 18' scaled on left - 8' if ~~left~~ <sup>sell</sup> 10' strip - OK if add 6' to right  
18' - 36' scaled on right to steps - right would have to be 20' if 10' foot strip sold - (OK)

Projections -

Width of Lot - 65' min - 90' scaled, 80' scaled if sell 10' strip OK.

Height - 35' - scales @ 21'

Lot Area - 6,500 sq ft min - 12560 now - 9100 if sell 10' strip 70' x 50' = 3500

Lot Coverage Impervious Surface - 35% = 3275 sq ft  
Area per Family - 6500 sq ft  
35% of 9100 = 3185  
80' x 70' = 5600  
9100 sq ft if 10' x 140' strip sold  
- 934 sq ft (OK)

Off-street Parking - 2 spaces required - 2 spaces shown

Loading Bays - N/A

Site Plan - minor/minor 209-0041

Shoreland Zoning/Stream Protection - N/A

Flood Plains - panel 6 - zone X

\* relocating building footprint because might sell 10' strip on left side to abutts.  
all zoning requirements met if 10' x 140' strip is sold based on site plan received 6/16/09

**From:** Philip DiPierro  
**To:** Code Enforcement & Inspections  
**Date:** 6/17/2009 11:54:51 AM  
**Subject:** 33 Rowe Ave., Amendment to Single Family Plan

Hi all, I have reviewed the revised/amended site plan for the single family at 33 Rowe Ave. and it appears to meet the minimum site plan requirements for the issuance of a building permit. OK to issue permit. See note in comments section of amendment application, for sign off.

Thanks.

phil

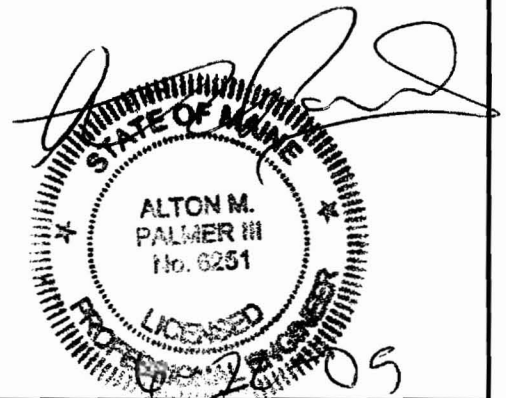
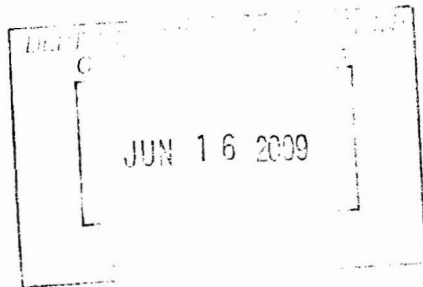
## SPACE AND BULK REQUIREMENTS - R-3 ZONE

MINIMUM LOT SIZE:	6,500 S.F.
MINIMUM FRONTAGE:	50 FT.
MINIMUM SETBACKS:	
FRONT YARD	25 FT.
REAR YARD	25 FT.
SIDE YARD*	
1 STORY	8 FT.
1 1/2 STORY	8 FT.
2 STORY	14 FT.
2 1/2 STORY	16 FT.
MINIMUM LOT WIDTH:	
OTHER USES:	65 FT.

\* THE WIDTH OF ONE (1) SIDE YARD MAY BE REDUCED ONE (1) FOOT FOR EVERY FOOT THAT THE OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET IN WIDTH.

### NOTES:

1. EACH LOT SHALL BE PROVIDED WITH AT LEAST TWO (2) TREES MEETING THE CITY'S ARBORICULTURE SPECIFICATIONS AND WHICH ARE CLEARLY VISIBLE FROM THE STREET LINE AND ARE LOCATED SO AS TO VISUALLY WIDEN THE NARROW DIMENSION OR PROPORTION OF THE UNIT.
2. ELECTRICAL SERVICE SHALL BE COORDINATED WITH CENTRAL MAINE POWER.
3. SEWER AND WATER SERVICES SHALL BE INSTALLED BY THE DEVELOPER 5' INTO THE PROPERTY. CONNECTION TO THE HOUSE WILL BE THE RESPONSIBILITY OF THE LOT OWNER.
4. EQUIVALENT STREET TREE SHALL INCLUDE RETENTION OF EXISTING TREES OF SAME OR GREATER CALIPER.

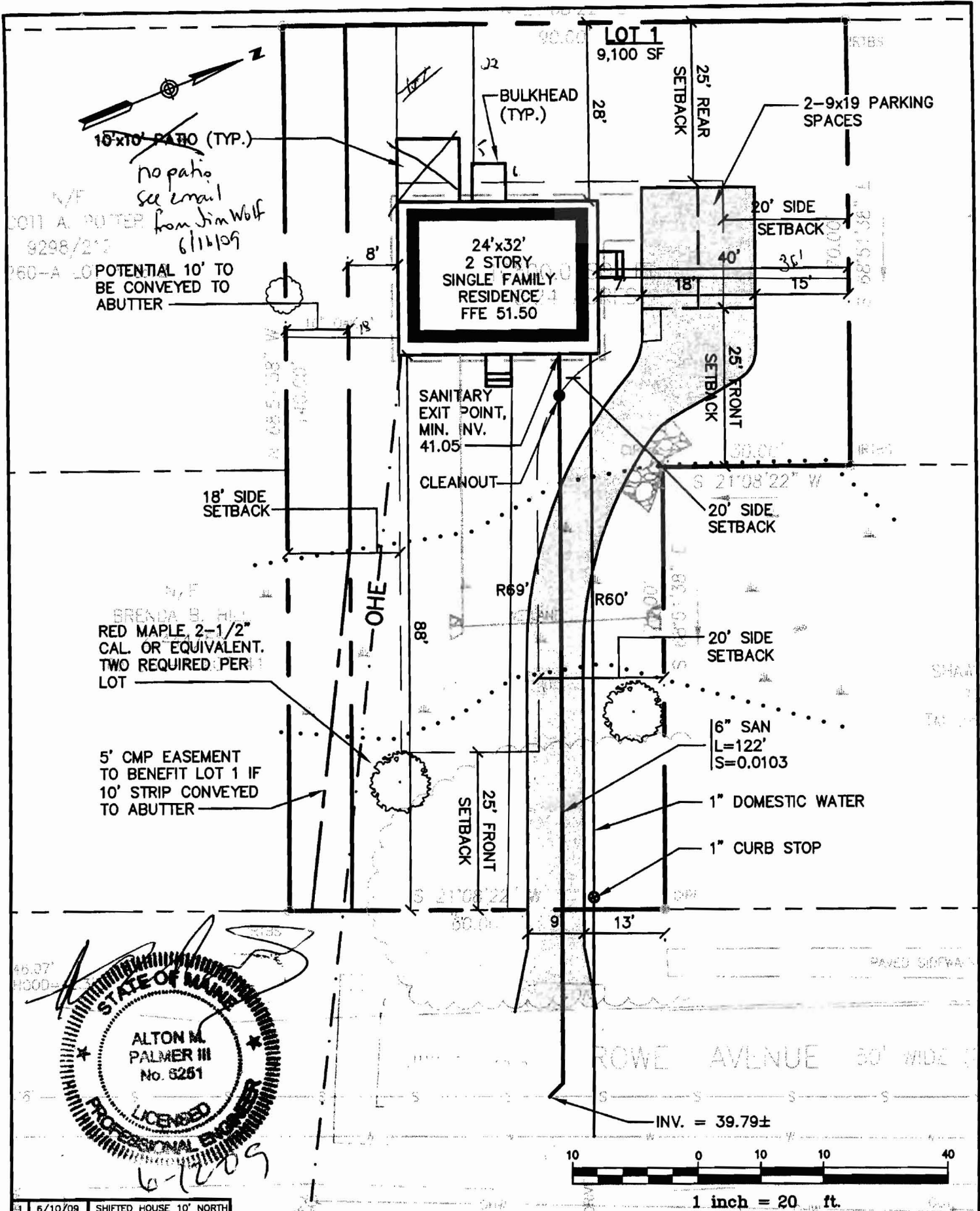


Design: -	Date: 4/09
Draft: CAG	Job No.: 2238
Checked: -	Scale: 1"=20'
File Name: 2238-pbase.dwg	

	Gorrill-Palmer Consulting Engineers, Inc.
	Engineering Excellence Since 1998
PO Box 1237	Phone: 207-657-6910
15 Shaker Road	Fax: 207-657-6912
Gray, ME 04039	Email: mailbox@gorrillpalmer.com

Drawing Name:
<b>Space &amp; Bulk Requirements</b>
Project:
<b>ROWE AVENUE</b>

Figure No.
<b>1</b>

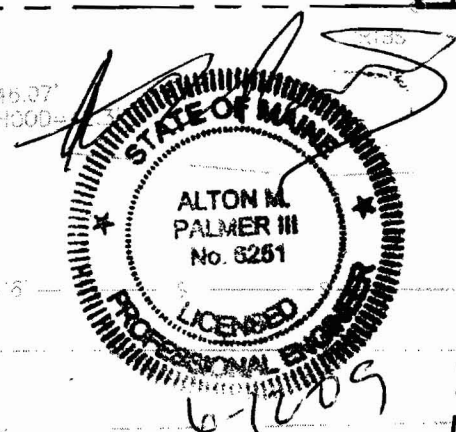


10'x10' PATIO (TYP.)  
*No patio see email from Jim Wolf 6/11/09*

JOHN A. POTTER  
 9298/213  
 260-A LOT POTENTIAL 10' TO BE CONVEYED TO ABUTTER

BRENDA B. HILL  
 RED MAPLE, 2-1/2" CAL. OR EQUIVALENT. TWO REQUIRED PER LOT

5' CMP EASEMENT TO BENEFIT LOT 1 IF 10' STRIP CONVEYED TO ABUTTER



6/10/09 SHIFTED HOUSE 10' NORTH

Design: JWA	Date: 4/09
Draft: CAG	Job No.: 2148
Checked: DER	Scale: 1"=20'
File Name: 2238-pbase.dwg	

**GP** Gorrill-Palmer Consulting Engineers, Inc.  
*Engineering Excellence Since 1998*

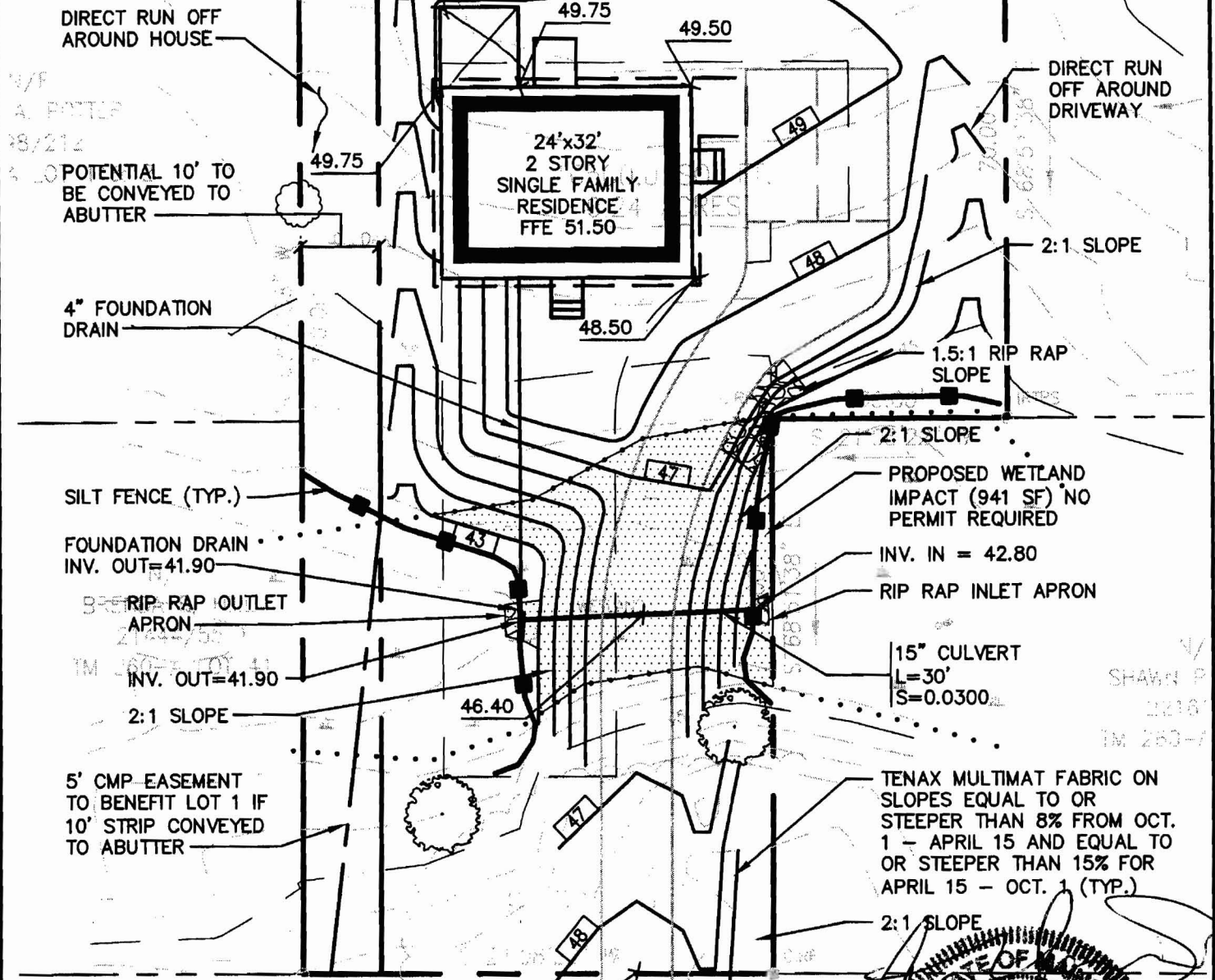
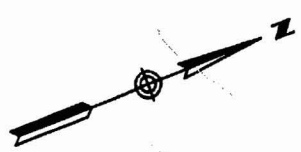
PO Box 1237 Phone: 207-657-6910  
 15 Shaker Road Fax: 207-657-6912  
 Gray, ME 04039 Email: mailbox@gorrillpalmer.com

Drawing Name: **Site & Utility Plan**

Project: **ROWE AVENUE**

Figure No. **2**

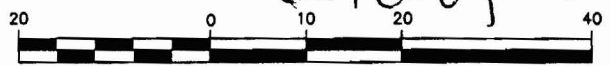
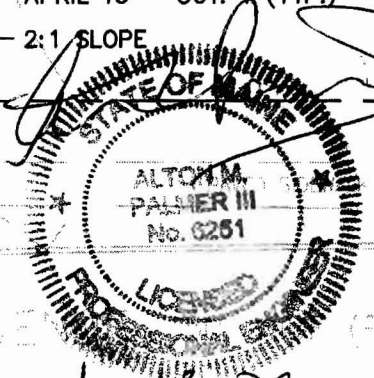
No peds  
see map  
from  
Wolf 6/14/09



SHAWN P  
2218  
TM 283-7

- NOTES:**
- ALL DISTURBED AREAS THAT ARE NOT PAVED SHALL RECEIVE 4" LOAM & SEED
  - COMMON BORROW SHALL MEET MDOT SPECIFICATION 703.18.

JUN 16 2009  
MATCH EXISTING



1 inch = 20 ft.

1 6/10/09 SHIFTED HOUSE 10' NORTH

Design: -	Date: 4/09
Draft: CAG	Job No.: 2238
Checked: -	Scale: 1"=20'
File Name: 2238-pbase.dwg	

**GP** Gorrill-Palmer Consulting Engineers, Inc.  
Engineering Excellence Since 1998

PO Box 1237 Phone: 207-657-8910  
15 Shaker Road Fax: 207-657-8912  
Gray, ME 04039 Email: mallbox@gorrillpalmer.com

Drawing Name:  
**Grading & Drainage Plan**

Project:  
**ROWE AVENUE**

Figure No.  
**3**

# PLUMBING APPLICATION

Department of Health and Human Services  
Division of Environmental Health

## PROPERTY ADDRESS

Town or Plantation: \_\_\_\_\_

Street Subdivision Lot #: 33 Rowe Ave,

## PROPERTY OWNERS NAME

Last: Dowd First: Bill

Applicant Name: Mark Nicely

Mailing Address of Owner/Applicant (If Different): Po box 568 Cochran ME, 04038

## Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit

Signature of Owner/Applicant \_\_\_\_\_

Date: \_\_\_\_\_

PORTLAND

PERMIT # 11037 TOWN COPY

Date Permit Issued: 09/25/09

\$ 600.00  If Double Fee Charged

Local Plumbing Inspector Signature: [Signature]

L.P.I. # 10027

260 A039

## Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature \_\_\_\_\_

Date: Approved \_\_\_\_\_

## PERMIT INFORMATION

### This Application is for

### Type of Structure To Be Served:

### Plumbing To Be Installed By:

1.  NEW PLUMBING  
2.  RELOCATED PLUMBING

1.  SINGLE FAMILY DWELLING  
2.  MODULAR OR MOBILE HOME  
3.  MULTIPLE FAMILY DWELLING  
4.  OTHER - SPECIFY \_\_\_\_\_

1.  MASTER PLUMBER  
2.  OIL BURNERMAN  
3.  MFG'D. HOUSING DEALER/MECHANIC  
4.  PUBLIC UTILITY EMPLOYEE  
5.  PROPERTY OWNER

LICENSE # 2646

### Hook-Up & Piping Relocation Maximum of 1 Hook-Up

HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.

OR

HOOK-UP: to an existing subsurface wastewater disposal system.

PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.

OR

TRANSFER FEE  
[\$6.00]

### Column 2 Number Type of Fixture

### Column 1 Number Type of Fixture

2	Hosebib / Sillcock
	Floor Drain
	Urinal
	Drinking Fountain
	Indirect Waste
	Water Treatment Softener, Filter, etc.
	Grease / Oil Separator
	Root Drain
	Bidet
	Other: _____

1	Bathtub (and Shower)
	Shower (Separate)
1	Sink
2	Wash Basin
2	Water Closet (Toilet)
1	Clothes Washer
	Dish Washer
	Garbage Disposal
	Laundry Tub
	Water Heater

Fixtures (Subtotal)  
Column 2

Fixtures (Subtotal)  
Column 1

SEE PERMIT FEE SCHEDULE  
FOR CALCULATING FEE

7  
2  
9

Fixtures (Subtotal)  
Column 2

**Total Fixtures**

Fixture Fee

Transfer Fee

Hook-Up & Relocation Fee

**Permit Fee (Total)**