

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 080964

PERMIT ISSUED

This is to certify that BREAKWATER SCHOOL Smith Interiors / Len Smith

has permission to add a room to existing 2 story space

AT 856 BRIGHTON AVE

PL 259 D001001

provided that the person or persons who apply for or accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission proceeds before this building or part thereof is loaded or otherwise exposed-in-4 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]

Health Dept. _____

Appeal Board _____

Other _____

Department Name

[Signature] 9/11/08
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0964	Issue Date:	CBL: 259 D001001
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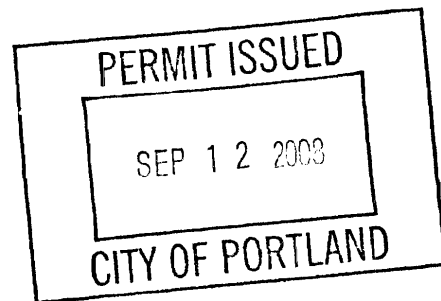
Location of Construction: 856 BRIGHTON AVE	Owner Name: BREAKWATER SCHOOL	Owner Address: 856 BRIGHTON AVE	Phone:
Business Name:	Contractor Name: Smith Interiors/ Ian Smith	Contractor Address: 82 Fessenden Street Portland	Phone: 2073295621
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: R-3 ptm

Past Use: Breakwater School	Proposed Use: Breakwater School - add a room to existing 2 story space	Permit Fee: \$130.00	Cost of Work: \$11,000.00	CEO District: 3	Zone: B-1 Zone
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: E Type: SB		

Proposed Project Description: add a room to existing 2 story space	Signature: <i>Gregory Cross</i>	Signature: <i>JMB 9/11/08</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: _____ Date: _____		

Permit Taken By: Idobson	Date Applied For: 08/05/2008	Zoning Approval
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland <i>within existing</i></p> <p><input type="checkbox"/> Wetland <i>Bedg</i></p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: <i>8/12/08</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0964	Date Applied For: 08/05/2008	CBL: 259 D001001
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Location of Construction: 856 BRIGHTON AVE	Owner Name: BREAKWATER SCHOOL	Owner Address: 856 BRIGHTON AVE	Phone:
Business Name:	Contractor Name: Smith Interiors/ Ian Smith	Contractor Address: 82 Fessenden Street Portland	Phone (207) 329-5621
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Breakwater School - add a room to existing 2 story space	Proposed Project Description: add a room to existing 2 story space
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Dept: Zoning **Status:** Approved **Reviewer:** Marge Schmuckal **Approval Date:** 08/12/2008
Note: **Ok to Issue:**

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 09/11/2008
Note: **Ok to Issue:**

- 1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
- 2) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Greg Cass **Approval Date:** 08/12/2008
Note: **Ok to Issue:**

- 1) Emergency lights are required to be tested at the electrical panel.
- 2) Emergency lights and exit signs are required
- 3) Occupancies with an occupant load of 100 persons or more require panic hardware on all doors serving as a means of egress.
- 4) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
- 5) A single source supplier should be used for all through penetrations.
- 6) Installation of a Fire Alarm system requires a Knox Box to be installed per city ordinance

Comments:

9/8/2008-jmb: Spoke with Ian S. For design specs on the balcony guardrail system and the floor system cantilever, he will provide

9/10/2008-jmb: Received details



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>BREAKWATER SCHOOL 856 BRIGHTON AVE.</u>		
Total Square Footage of Proposed Structure/Area <u>(200 INTERIOR)</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>259</u> Block# <u>D</u> Lot# <u>1</u>	Applicant * must be owner, Lessee or Buyer* Name <u>BREAKWATER SCHOOL</u> Address <u>856 BRIGHTON AVE.</u> City, State & Zip <u>PORTLAND, ME 04102</u>	Telephone: <u>772-8689</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>11,000 +</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>PRIVATE SCHOOL</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>SAME</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>ADD A ROOM TO EXISTING 2 STORY SPACE.</u>		
Contractor's name: <u>IAN SMITH / SMITH INTERIORS</u> Address: <u>82 FESSENDEN ST.</u> City, State & Zip <u>PORTLAND, ME</u> Telephone: <u>207-329-5621</u> Who should we contact when the permit is ready: <u>IAN SMITH</u> Telephone: <u>329-5621</u> Mailing address: <u>SAME</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 8/5/08

This is not a permit; you may not commence ANY work until the permit is issued

Structural
Integrity
Consulting Engineers, Inc.

February 11, 2009

Mr. David Sullivan, Principal
Breakwater School
856 Brighton Ave.
Portland, ME 04103

Reference:
Breakwater School
856 Brighton Ave.
Portland, ME 04103
SI Job #: 09-0010

Mr. Sullivan,

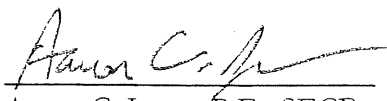
As requested I am writing this memo regarding the fixed in place seating area above the existing stairwell at the above referenced site. The opinions expressed are based on calculations performed, limited visual observations during my visit to the site on February 11, 2009, my knowledge of structures, their components and the related building codes.

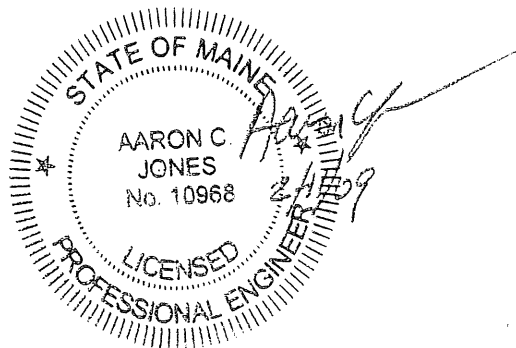
While on site I observed the in place framing consisting of double 2x joists, (1) 2x10 and (1) 2x12, with 3/4" sheathing. The double 2x joists are hung from an LVL ledger with an LUS210-2 hanger each end. The LVL ledger is fastened to the existing wood stud bearing wall with (2) Timberlock wood screws per 16".

Based on my calculations the contractor, Ian Smith, was instructed to place (2) additional Timberlock wood screws per 16" into the LVL ledger at the wood stud bearing wall. With (4) Timberlock wood screws per 16" at the ledger attachment the in place framing of the structure meets the requirement of 100psf live load for bleachers per the 2003 IBC.

Do not hesitate to call with any question, comments, or if I can be of further assistance.

Sincerely,


Aaron C. Jones, P.E., SECB
President



Structural Integrity

Consulting Engineers, Inc.

STRUCTURAL ENGINEERING SERVICES AGREEMENT

Client: Mr. David Sullivan Principal
Breakwaters School
 Address: 356 Brighton Ave
Portland, ME 04103
 Phone: 732-8689

Project Number: 09-0010 Date: 2-11-09
 Project Name: FRAMING EVALUATION
 Address: Breakwaters School
Portland, ME
 Project Owner: _____

This document constitutes our agreement as specified below, and our compensation for same.
 (Letters in parentheses refer to Mutual Agreements on page 2).

SERVICES SPECIFICALLY INCLUDED ARE NOTED BELOW:

	Check One	
	YES	NO
Design the following specified components (A): _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Draw specified Structural Plans on reproducible drawings	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Draw Structural Details on reproducible drawings	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Generate or verify plan dimensions (based on arch backgrounds)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Redmark Structural information on Architectural Plans (B)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Redmark Structural information on Architectural Sections (B)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Review Structural Specification (H)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Provide Structural "General Notes"	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Review shop and erection drawings (C)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Foundation design criteria from Client (D)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Soils Report by <u>N/A</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Make field observation visits during construction (E);		
At request of the client at normal hourly rates (as additional services)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Specified maximum number included in fixed fee (zero)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Evaluate existing structure (F) only for <u>Bleacher load on NEW SEATING AREA</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Report on observations or evaluation:		
Letter to Client	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Compliance Letter to Building Official	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Professional Engineer's Seal Required (G)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Other	<input type="checkbox"/>	<input type="checkbox"/>

The Owner and/or Client agrees to limit Structural Integrity's liability and its employees' liability on account of property or consequential damages to the Owner, Client, and all construction contractors or subcontractors on the project arising from S.I.'s negligence, professional acts, errors, or omissions, such that the total aggregate liability of S.I. to all those named shall not exceed \$ _____

FEE

Structural Engineering Fee shall be: Hourly with Estimate of \$ _____
 Hourly with Top-set of \$ _____ Fixed Fee of \$ 10.00

STRUCTURAL INTEGRITY CONSULTING ENGINEERS, INC.

By: _____
 Title: Aaron C. Jones, P.E.
President

Accepted: _____
 Date: _____

856 BRIGHTON AVE.
 BREAKWATER SCHOOL - ROOM OVER STAIRWELL

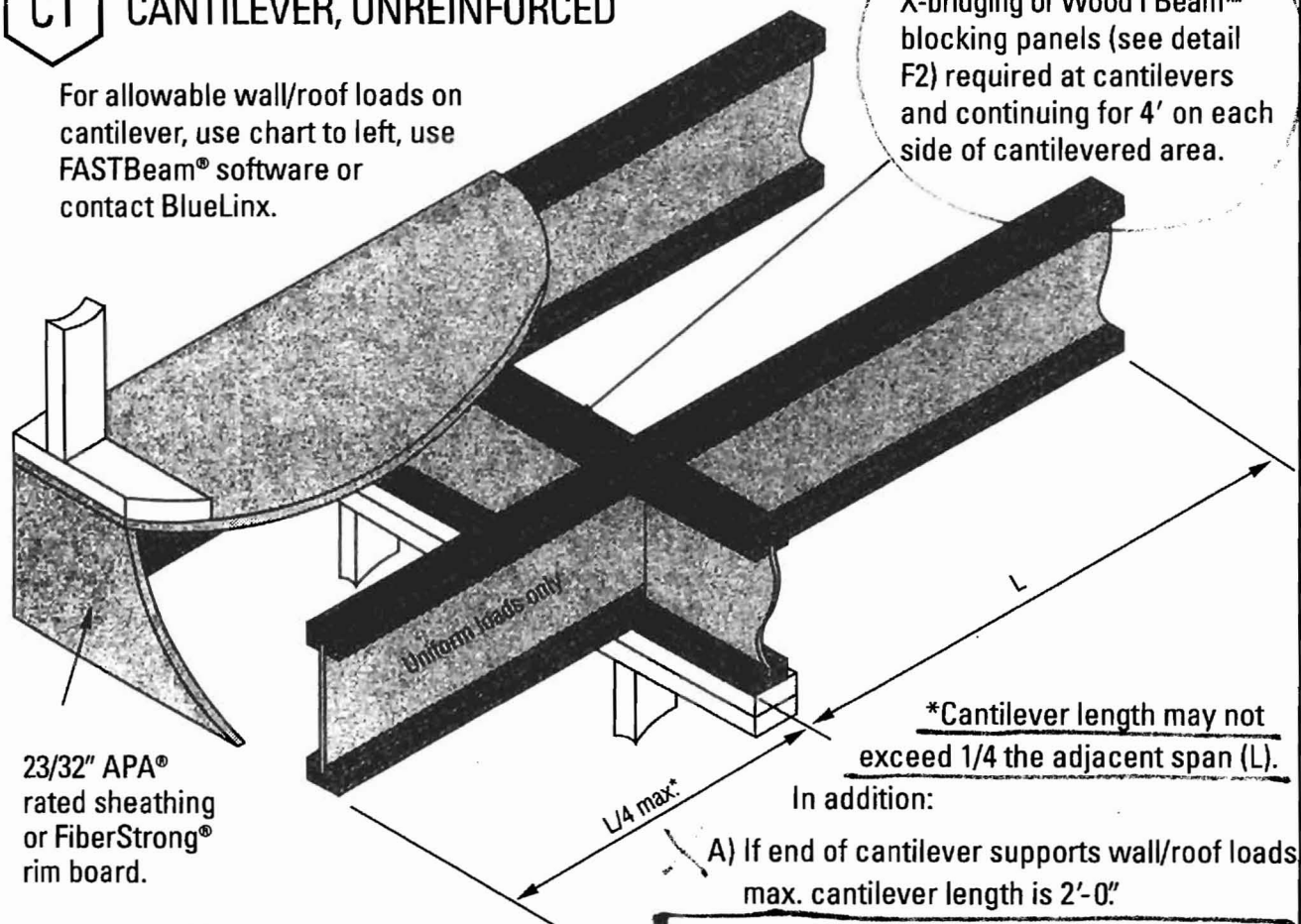
Engineered Lumber Residential Guide

SEP 10 2008

Cantilever Details

C1 CANTILEVER, UNREINFORCED

For allowable wall/roof loads on cantilever, use chart to left, use FASTBeam® software or contact BlueLinx.



23/32" APA® rated sheathing or FiberStrong® rim board.

Note: Wood I Beam joists shall be protected from the weather.

*Cantilever length may not exceed 1/4 the adjacent span (L).
 In addition:
 A) If end of cantilever supports wall/roof loads, max. cantilever length is 2'-0"
 B) If no loads are placed on end of cantilever, max. cantilever length is 4'-0"

For other conditions contact BlueLinx.

C3 CANTILEVER, REINFORCED Double Sheathing (Option II)

X-bridging or Wood I Beam™ blocking panels (see detail F2) required at cantilevers and continuing for 4' on each side of cantilevered area.



C2

23/32" rated or FiberStrong rim board

No

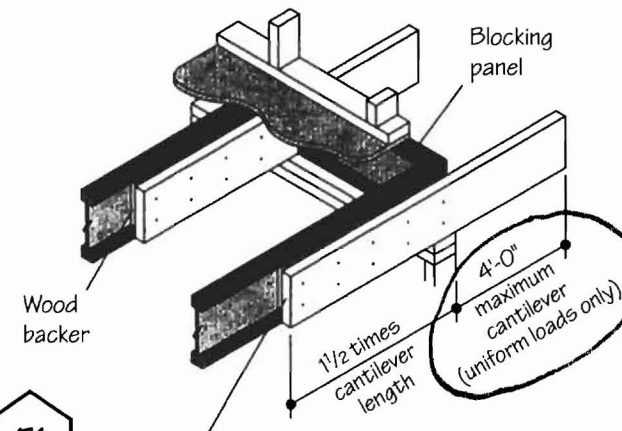
DOI

CANTILEVER DETAILS

BREKAWATER SCHOOL
ROOM IN STAIRWELL

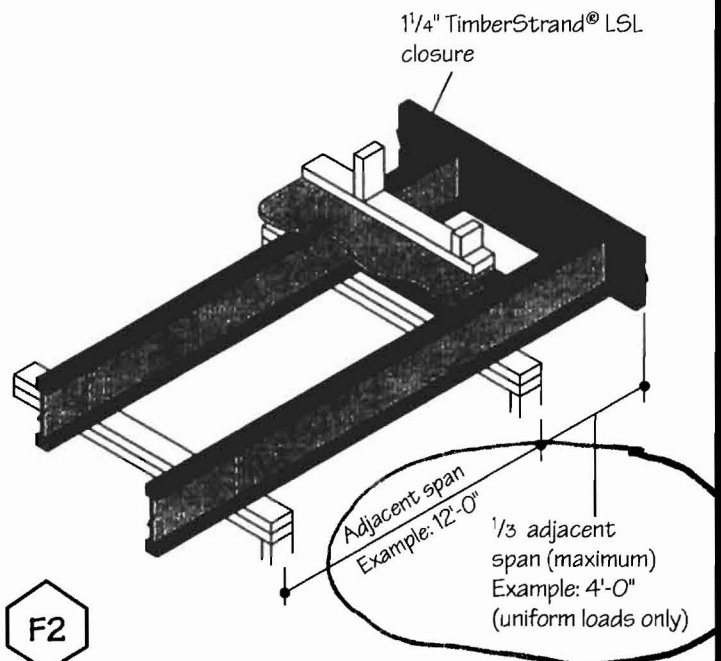
SEP 10 2003

NON-LOAD BEARING CANTILEVER DETAILS



F1

2x__ nailed to the side of the TJI® joist with wood backer. Nail through the TJI® joist web and backer into the 2x__ with 2 rows 10d (3") common nails at 6" o.c. and clinch. Use 16d (3 1/2") nails with TJI®/Pro™ 550 joists.



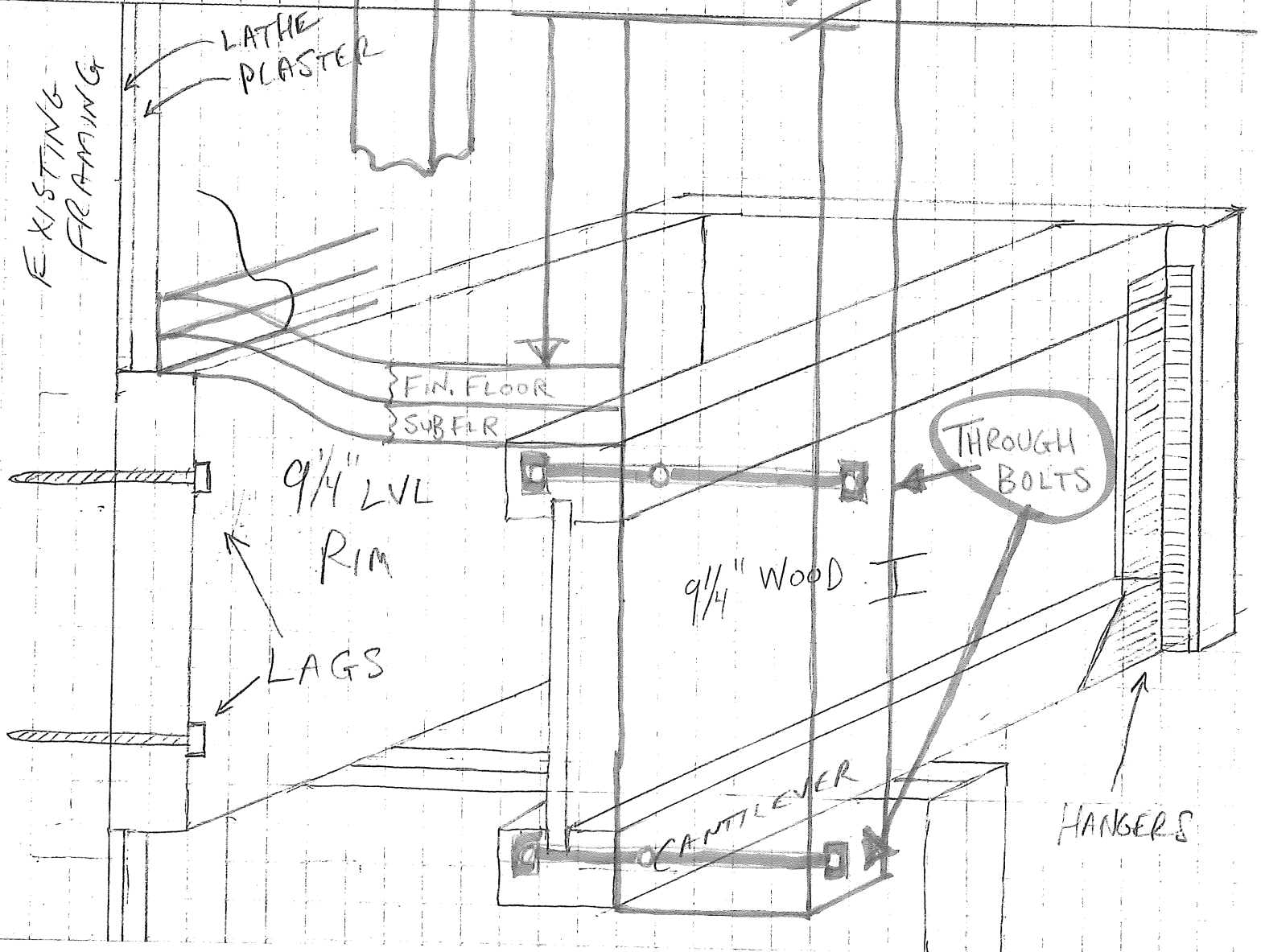
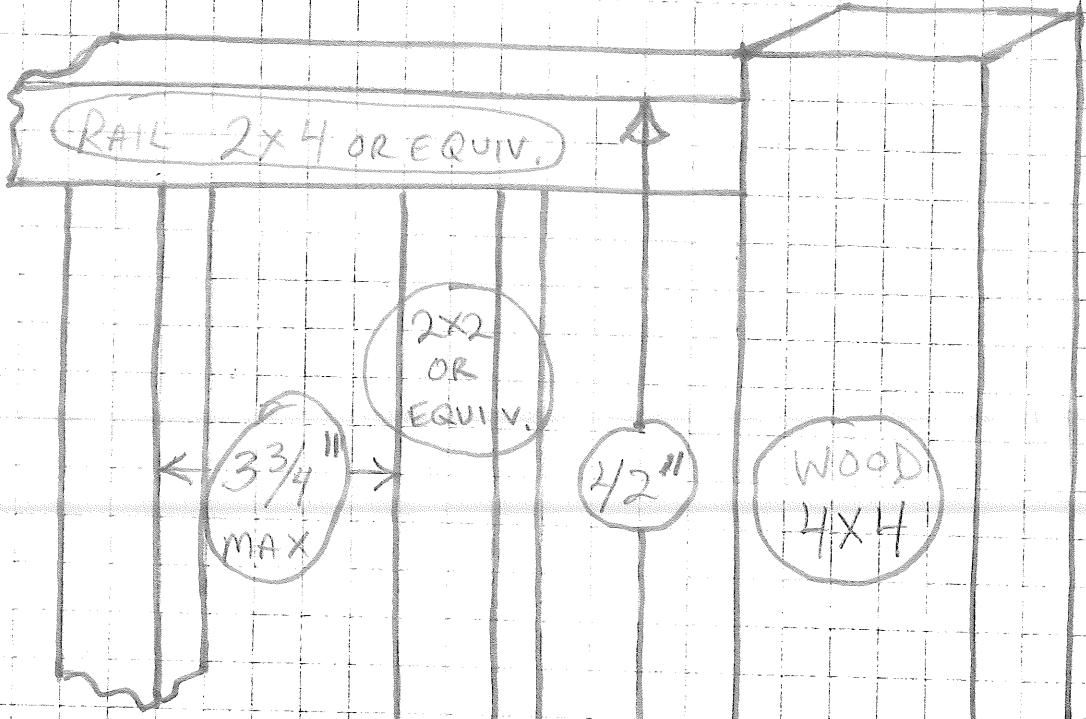
F2

TJI® joists may be cantilevered up to 1/3 the adjacent span if not supporting concentrated loads on the cantilever. Cantilevers exceeding 4 feet may require special consideration. Refer to our TJ-Beam™ or TJ-Xpert™ software or contact your Trus Joist MacMillan representative for assistance.

BREAKWATER SCHOOL - ROOM IN STAIRWELL

RAIL+POST SYSTEM

DEPT. OF PUBLIC WORKS
CITY OF BOSTON, MA
SEP 10 2008
RECEIVED



Smith Interiors
82 Fessenden Street
Portland, ME 04103
207-329-5621

Breakwater School
New Room

Proposed is a new floor and wall in an existing stairwell over an existing small office where the ceiling height is twenty [20] feet. The room would add approximately two hundred [200] square feet and increase total occupancy by twenty [20].

The included analysis shows excess egress capacity for the second floor and 1~2 landing of one hundred seventy five [175].

The included drawings show construction detail and layout. All new doors, walls and ceilings accessing the existing stairwell shall be at least sixty [60] minute fire rated. The existing sprinkler system will be extended into the new ceiling.

Please contact Ian Smith at 329-5621 or is@maine.rr.com for further information.
Thank you for your time.

Sincerely

Ian Smith

Smith Interiors
82 Fessenden Street
Portland, ME 04103
207-329-5621

May 27, 2008

Estimate

Breakwater School
Room over stair landing

	Material	Labor	Total
Plans & permits		500	500
Demolition, disposal & fees		600	600
Framing & subfloor	1000	1200	2200
Electrical rough in	100	400	500
Electrical fixtures	300	100	400
Insulation for sound	200	200	300
Drywall hung and taped	300	600	900
Flooring, hardwood	600	600	1200
Doors [2]	800	400	1200
Trim	1000	600	1600
Paint	200	800	1000
Sprinklers [?]	200	300	500
Total	4700	6300	11000

Construction schedule of five weeks assuming no volunteers and no delays.

Week 1 Demolition & framing
Week 2 Wiring, sprinklers & insulation
Week 3 Drywall
Week 4 Flooring, doors & trim
Week 5 Painting & electrical fixtures

Breakwater School
New Room

Fire exit, stairway and room capacity analysis

Overview

Level	Total Rooms	Maximum Occupancy	Direct exit Capacity	Stair to ground Capacity
Basement	5	165	470	636
Ground	~	~	700	~
First floor	9	209	165	596
Second floor & 1~2 landing	7	201	~	376 [feeds into first floor]
All levels	21	575	1335	1232

Notes

All capacities have been calculated using the formulas provided by Fire Marshall Cass and are as follows: 20 square feet per person for all occupied rooms,
0.2 inch width per person for all doors and halls,
0.3 inch width per person for all stairways.

Basement rooms all have either direct exits, or hall access to direct exits and elevated hatch exits [33" x 38", 42" above platform]. These hatch exits have not been included in totals.

Offices and library have been considered classrooms to allow for possible future use and to insure highest maximum occupancy for the purpose of egress calculations.

Summary

Rooms

Level	Rooms	Sq. Ft.	Capacity	Capacity
Basement	5 classrooms,	3340	165	[exclude basement]
Ground level, [entrances and landings only]				
First floor	3 classrooms,	2287	113	113
	1 library,	1248	62	62
	5 offices/faculty	720	34	34
	[Total first floor]		[4255]	[209] [209]
1~2 landing,	1 small classroom	150	7	7
Second floor	6 classrooms,	3957	194	194
	[Total second floor & 1~2 landing]		[4107]	[201] [201]
Total	21 rooms	11702	575	410

Exit doors to outside

Level	Doors	Width (in)	Capacity	Capacity
Basement	[standard] 3 [33" x 38"] [2]	94	470	[exclude basement]
Ground	3	140	700	700
First floor	1	33	165	165
Second floor	0			
Total	7 [9]	267	1335	865

Stairways

Levels	Stairways	Width [in]	Capacity
Basement to ground	4	191	636
First floor to ground	3	179	596
Second floor to first floor	2	113	376

Detail

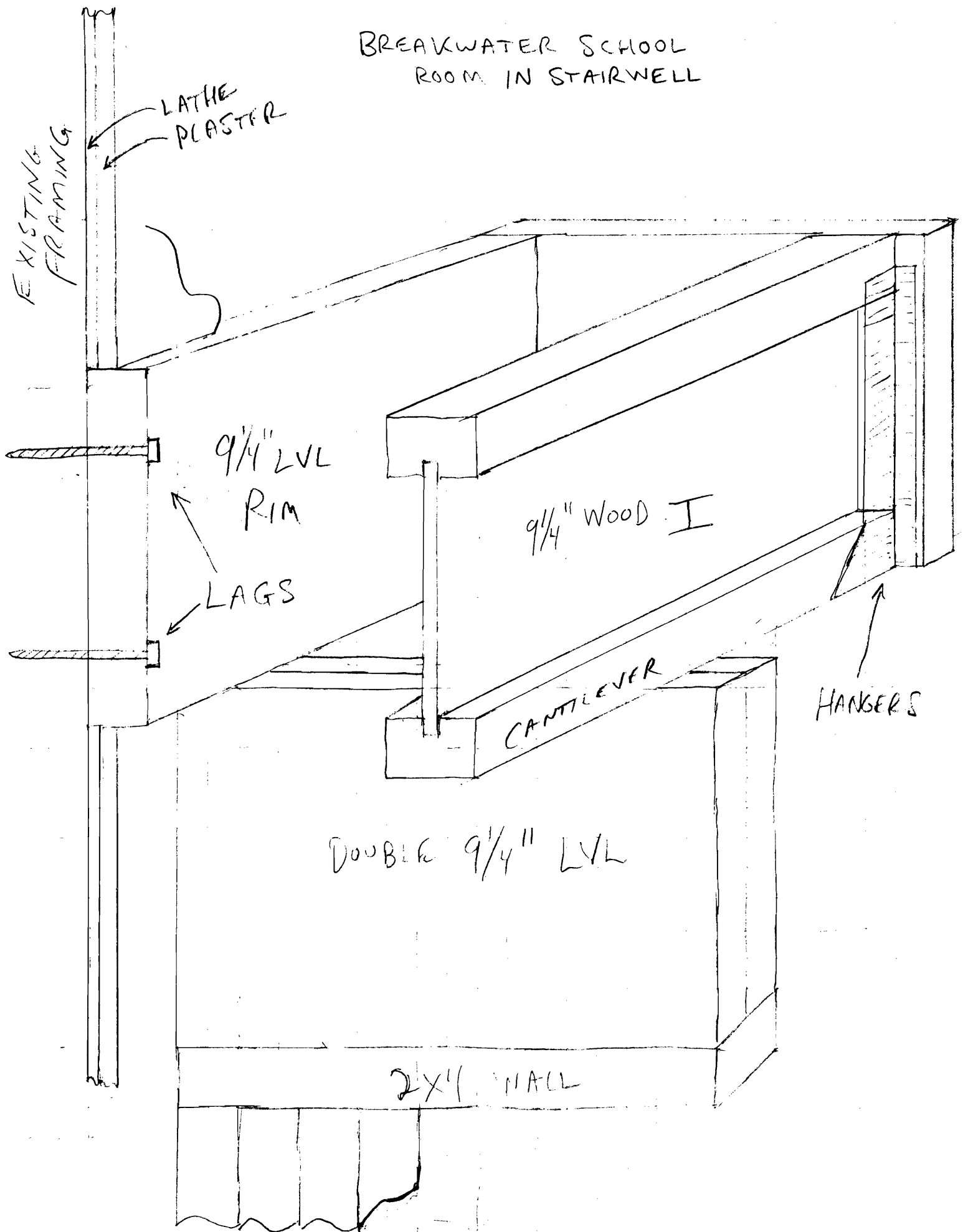
Rooms	Room	Sq. Ft.	Capacity	Direct exit
Basement level	Class	482	24	165
	Class	676	33	165 shared >
	Class	676	33	165 shared >
	Class	744	37	140 shared >
	Class	762	38	140 shared >
	5	3340	165	470
Ground level	0			
First floor	5 offices	720	34	~
	Class	712	35	~
	Class	772	38	~
	Class	803	40	~
	Library	1248	62	165
	9	4255	209	165
Second floor [& 1~2 landing]	Class	150	7	~
	Class	515	25	~
	Class	577	28	~
	Class	578	28	~
	Class	712	35	~
	Class	772	38	~
	Class	803	40	~
	7	4107	201	0
All rooms	21	11702	575	

Detail continued

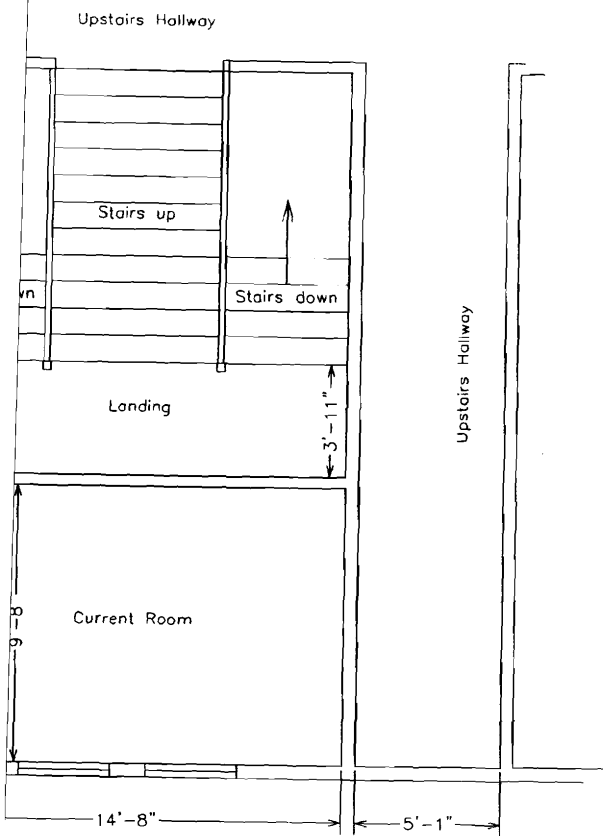
Exit doors to outside	Width [in]	Capacity
Basement level	33[28]	140
	33	165
	<u>33</u>	<u>165</u>
	99	470
Ground level	33	165
	39	195
	<u>68</u>	<u>340</u>
	140	700
First floor level (library)	33	165
All exit doors	272	1335

Stairways	Width [in]	Capacity
Basement to ground level	43	143
	48	160
	48	160
	<u>52</u>	<u>173</u>
	191	636
First floor to ground level	43	143
	66	220
	<u>70</u>	<u>233</u>
	179	596
Second floor to first floor	43	143
	<u>70</u>	<u>233</u>
	113	376

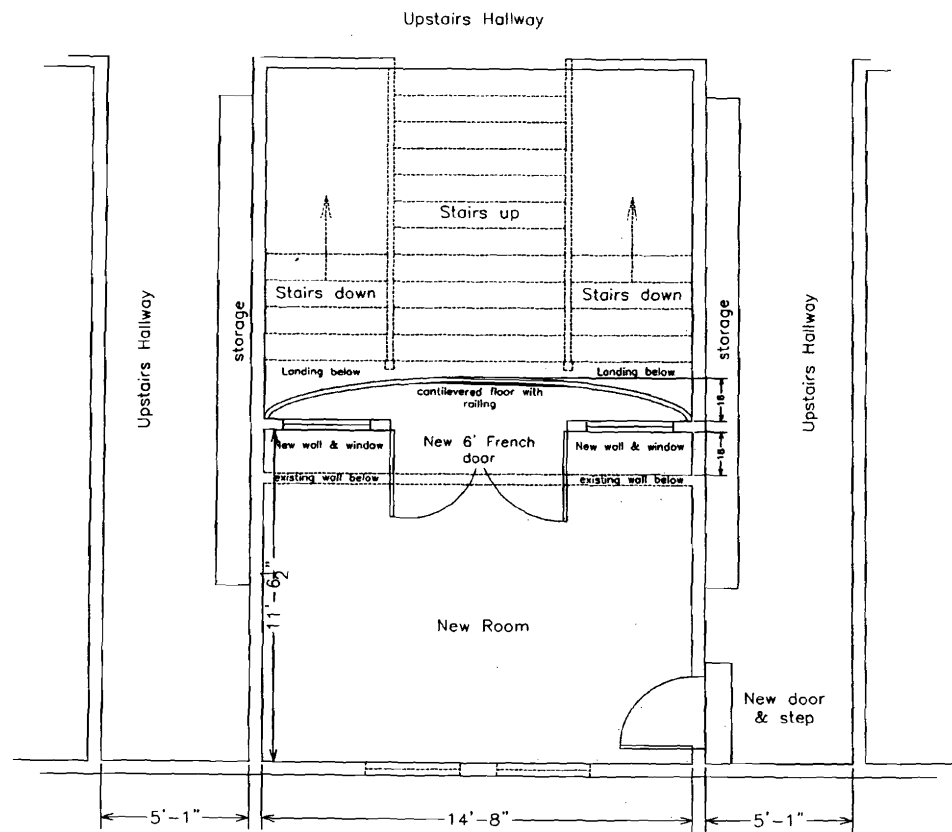
BREAKWATER SCHOOL
ROOM IN STAIRWELL



ent view of room
level of stair
landing



View of new room at
upstairs level



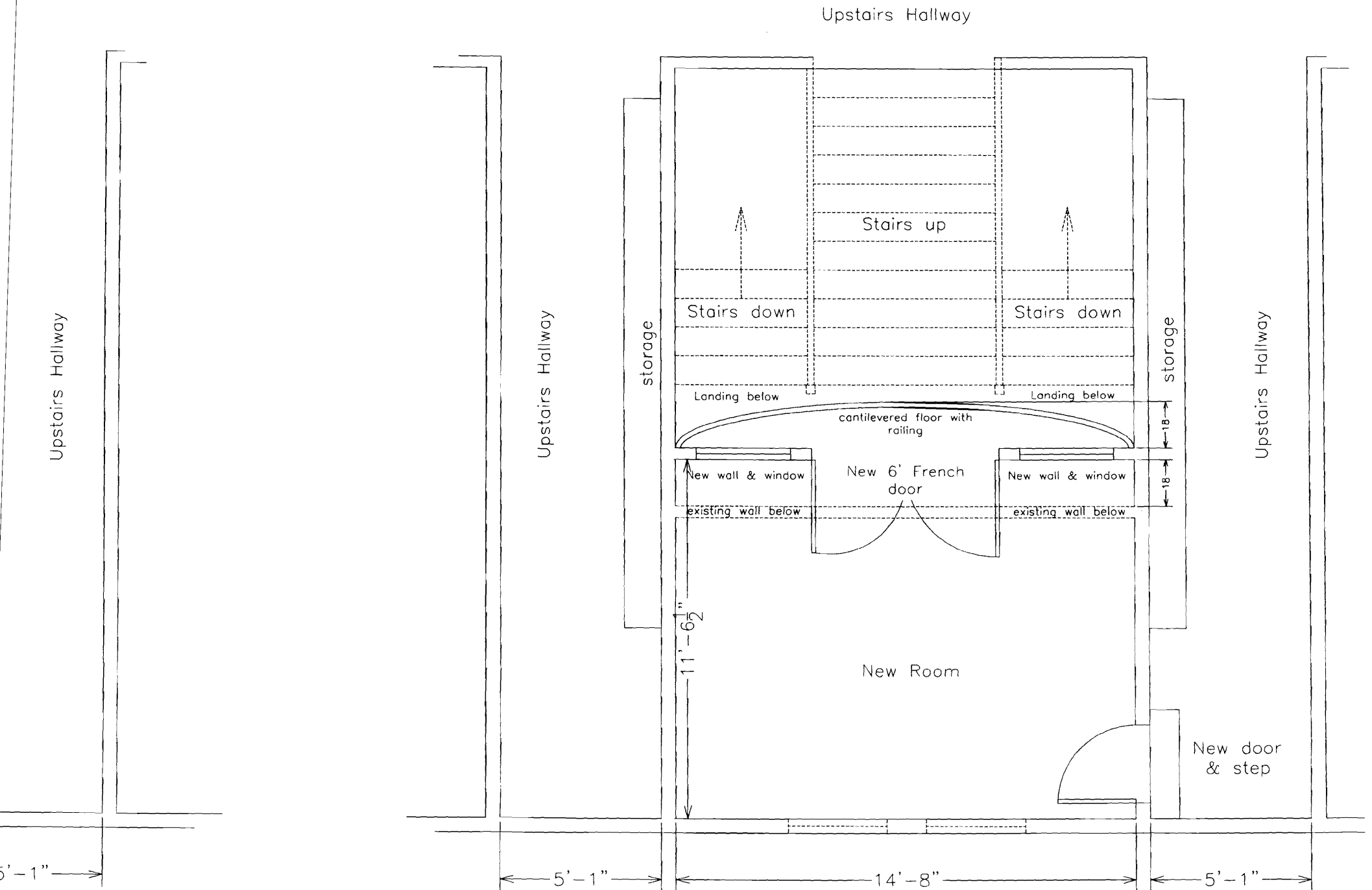
This drawing is presented as an approximate depiction of the project at completion. To insure code conformance and structural soundness, all plans for residential construction should be examined by a structural engineer or other professional, or built by an insured, professional building contractor.

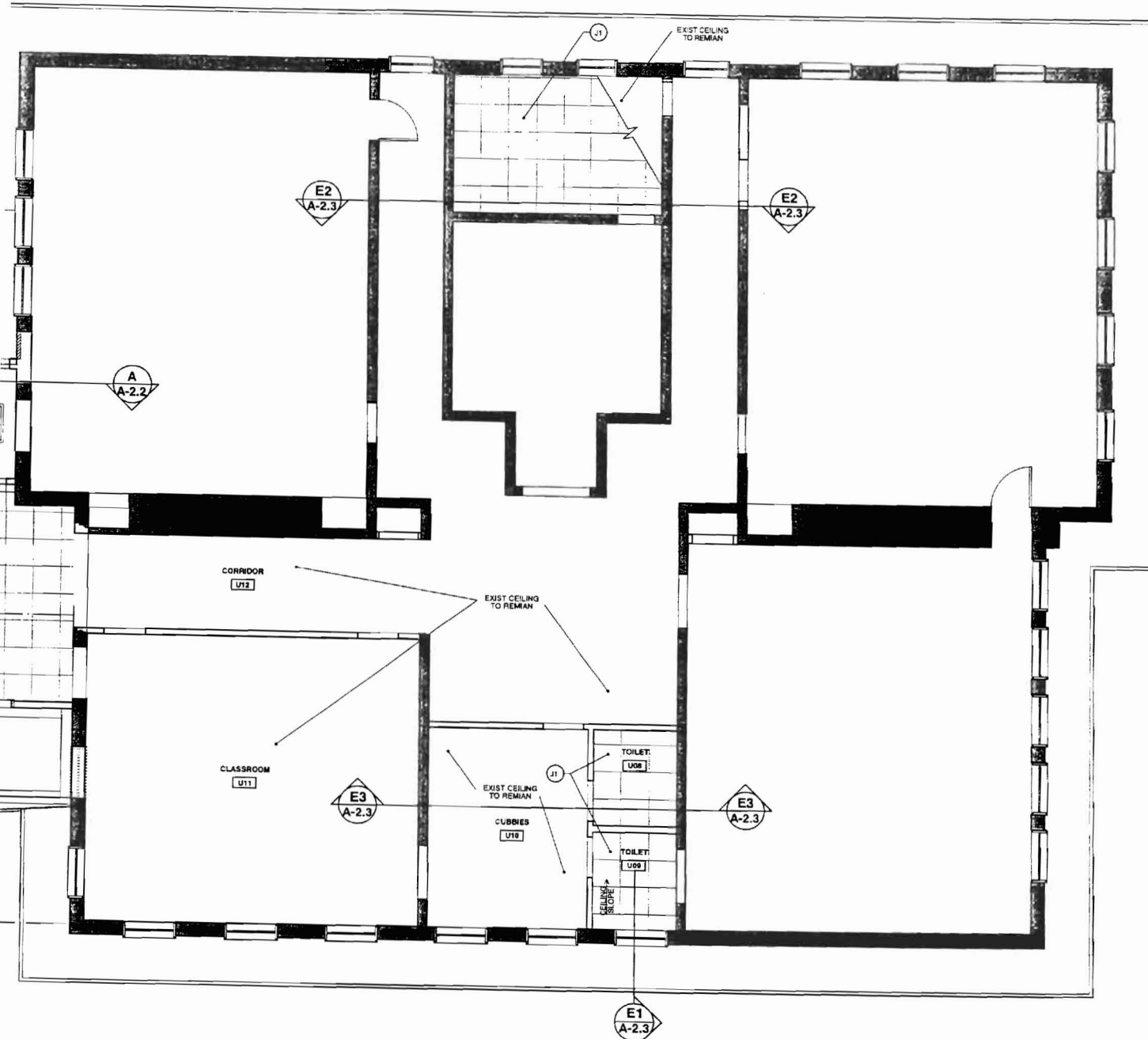
Breakwater School
865 Brighton Ave.
Portland, ME

Scale: 1/4" = 1'
Date: July 8, 2008
Revised:

Drawing #
SK-1

View of new room at
upstairs level





MATERIAL SCHEDULE

A	CRUSHED STONE
A1	FOUNDATION DRAIN
A2	STRUCTURAL GRAVEL
B	CAST IN PLACE CONCRETE
B1	CONCRETE SLAB
C	BRICK MASONRY VENEER
C1	EXISTING BRICK MASONRY
C2	BRICK TIES
D	COLD FORM METAL FRAMING
D1	FURRING CHANNELS
D2	METAL DECK
D3	STEEL ANGLE
D4	STRUCTURAL STEEL
D6	METAL PIPE
E	PLYWOOD
E1	WOOD DECK
E2	WOOD FRAMING
E3	WOOD SIDING #1
E4	WOOD SIDING #2
E5	BEADED PLYWOOD
F	AIR INFILTRATION BARRIER
F1	SACKER ROD / SEALANT
F2	DAMP PROOFING
F3	FIBERGLASS BATT INSULATION
F4	RIGID INSULATION
F5	BUILDING PAPER / WRAP
G	EXTERIOR SHEATHING
G1	FLASHING / SHEET METAL
G2	MEMBRANE ROOFING
G3	METAL ROOFING
G4	ROOF DRAIN
H	HOLLOW METAL FRAME
M1	METAL DOOR
M2	WOOD DOOR
I	METAL PANEL
I1	METAL STOREFRONT
I2	METAL WINDOW
J	GYPSUM DRYWALL
J1	SUSPENDED ACOUSTIC TILE
J2	SUSPENDED GYPSUM CEILING
J3	WOOD TRIM
J4	CORK WALL PANELS
J5	PLASTIC LAMINATE
K	CARPET
K1	LINOLEUM FLOORING
K2	VINYL COMPOSITION TILE
K3	WALK-OFF MAT
K4	WOOD FLOOR
K5	VINYL BASE
K6	WOOD BASE
L	CLEAR FINISH
L1	PAINTED FINISH
M	ALUMINUM FLAGPOLES

Scott Simons Architects
 13 Franklin Street Apt
 Portland, Maine 04101
 phone 207 772 4864
 fax 207 978 4866

PROJECT

ADDITION TO
THE BREAKWATER SCHOOL
 856 BRIGHTON AVENUE
 PORTLAND, MAINE 04102

TITLE

**UPPER LEVEL
 CEILING PLAN**

No. 1 Revision Date

SCALE 1/4" = 1'-0" 04.27.98

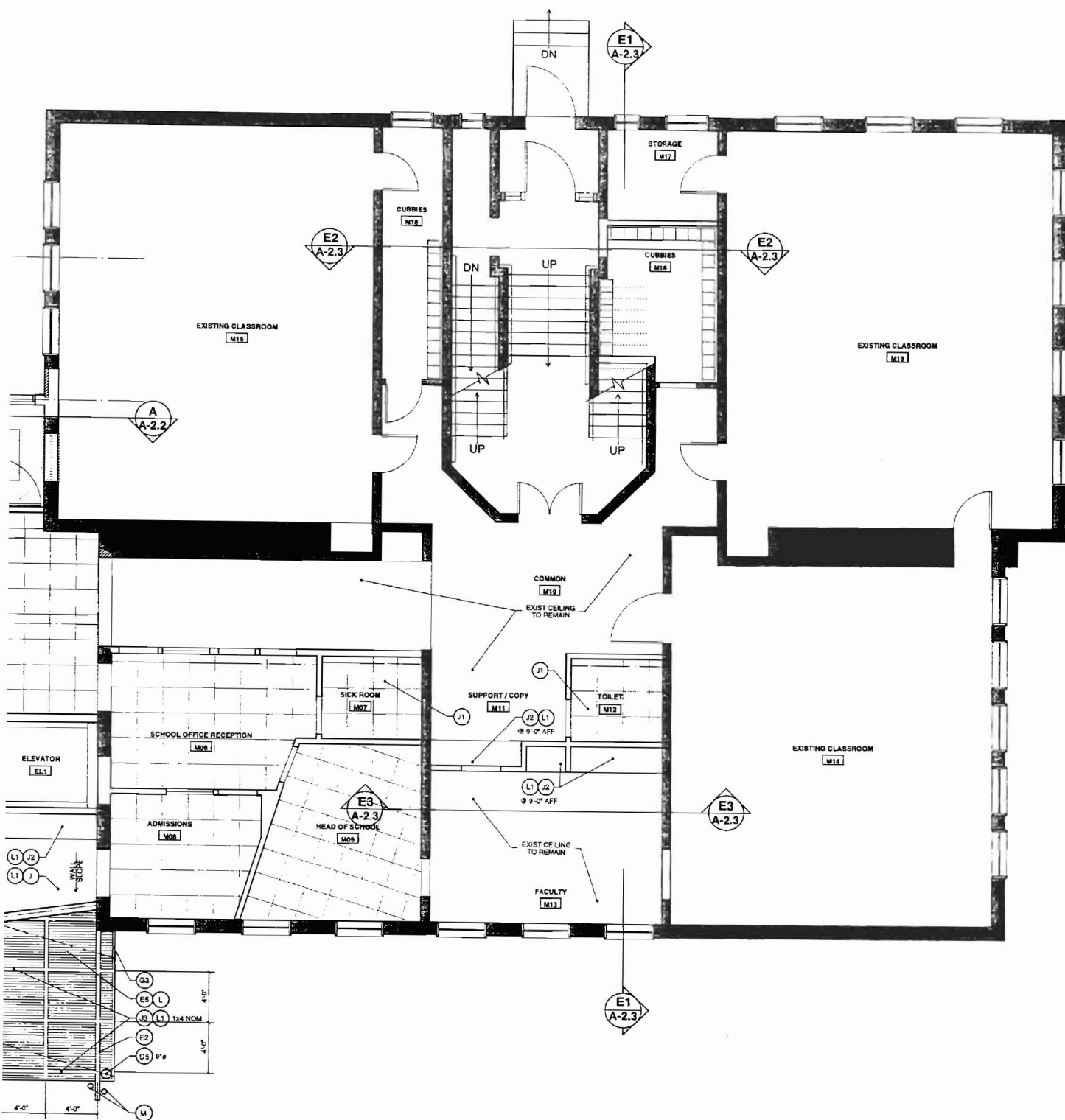
ISSUED FOR PRICING

PROJECT NO. 87127.62

1998 © Scott Simons Architects

DWG NO.

A-7.3



MATERIAL SCHEDULE

A	CRUSHED STONE
A1	FOUNDATION DRAIN
A2	STRUCTURAL GRAVEL
B	CAST IN PLACE CONCRETE
B1	CONCRETE SLAB
C	BRICK MASONRY VENEER
C1	EXISTING BRICK MASONRY
C2	BRICK TIES
D	COLD FORM METAL FRAMING
D1	FURRING CHANNELS
D2	METAL DECK
D3	STEEL ANGLE
D4	STRUCTURAL STEEL
D5	METAL PIPE
E	PLYWOOD
E1	WOOD DECK
E2	WOOD FRAMING
E3	WOOD SIDING #1
E4	WOOD SIDING #2
E5	BEADED PLYWOOD
F	AIR INFILTRATION BARRIER
F1	SACKER ROD / SEALANT
F2	DAMP-PROOFING
F3	FIBERGLASS BATT INSULATION
F4	RIGID INSULATION
F5	BUILDING PAPER / WRAP
G	EXTERIOR SHEATHING
G1	FLASHING / SHEET METAL
G2	MEMBRANE ROOFING
G3	METAL ROOFING
G4	ROOF DRAIN
H	HOLLOW METAL FRAME
H1	METAL DOOR
H2	WOOD DOOR
I	METAL PANEL
I1	METAL STOREFRONT
I2	METAL WINDOW
J	GYP-SUM DRYWALL
J1	SUSPENDED ACOUSTIC TILE
J2	SUSPENDED GYP-SUM CEILING
J3	WOOD TRIM
J4	CORK WALL PANELS
J5	PLASTIC LAMINATE
K	CARPET
K1	LINOLEUM FLOORING TILE
K2	VINYL COMPOSITION TILE
K3	WALK-OFF MAT
K4	WOOD FLOOR
K5	VINYL BASE
K6	WOOD BASE
L	CLEAR FINISH
L1	PAINTED FINISH
M	ALUMINUM FLAGPOLES

Scott Simons Architects

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PROJECT

ADDITION TO
THE BREAKWATER SCHOOL
856 BRIGHTON AVENUE
PORTLAND, MAINE 04102

TITLE

MIDDLE LEVEL
CEILING PLAN

DATE: 04-27-98

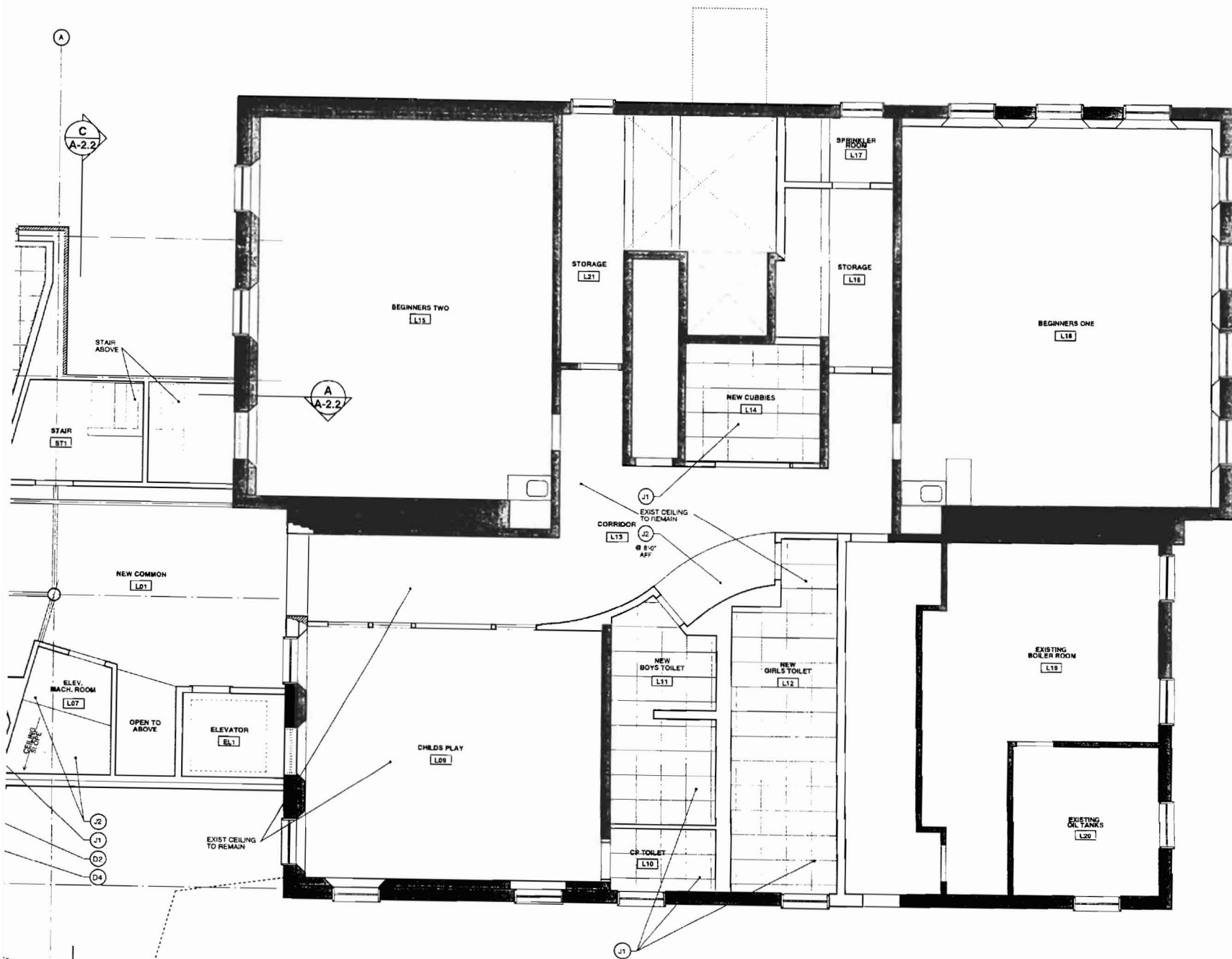
SCALE: 1/8" = 1'-0"

PROJECT NO: 87127.02

1998 © Scott Simons Architects

DWG. NO.

A-7.2



MATERIAL SCHEDULE

- A CRUSHED STONE
- A1 FOUNDATION DRAIN
- A2 STRUCTURAL GRAVEL
- B CAST IN PLACE CONCRETE
- B1 CONCRETE SLAB
- C BRICK MASONRY VENEER
- C1 EXISTING BRICK MASONRY
- C2 BRICK TIES
- D GOLD FORM METAL FRAMING
- D1 FURRING CHANNELS
- D2 METAL DECK
- D3 STEEL ANGLE
- D4 STRUCTURAL STEEL
- D4 METAL PIPE
- E PLYWOOD
- E1 WOOD DECK
- E2 WOOD FRAMING
- E3 WOOD SIDING #1
- E4 WOOD SIDING #2
- E5 BEADED PLYWOOD
- F AIR INFILTRATION BARRIER
- F1 BACKER ROD / SEALANT
- F2 DAMPROOFING
- F3 FIBERGLASS BATT INSULATION
- F4 RIGID INSULATION
- F5 BUILDING PAPER / WRAP
- G EXTERIOR SHEATHING
- G1 FLASHING / SHEET METAL
- G2 MEMBRANE ROOFING
- G3 METAL ROOFING
- G4 ROOF DRAIN
- H HOLLOW METAL FRAME
- H1 METAL DOOR
- H2 WOOD DOOR
- I METAL PANEL
- I1 METAL STOREFRONT
- I2 METAL WINDOW
- J GYPSUM DRYWALL
- J1 SUSPENDED ACOUSTIC TILE
- J2 SUSPENDED GYPSUM CEILING
- J3 WOOD TRIM
- J4 CORK WALL PANELS
- J5 PLASTIC LAMINATE
- K CARPET
- K1 LINOLEUM FLOORING
- K2 VINYL COMPOSITION TILE
- K3 WALK-OFF MAT
- K4 WOOD FLOOR
- K5 VINYL BASE
- K6 WOOD BASE
- L CLEAR FINISH
- L1 PAINTED FINISH
- M ALUMINUM FLAGPOLES

Scott Skoone Architects
 18 Franklin Street, 3rd
 Portland, Maine 04101
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 fax 307 638 6886

PROJECT

ADDITION TO
THE BREAKWATER SCHOOL
 856 BRIGHTON AVENUE
 PORTLAND, MAINE 04102

TITLE

**LOWER LEVEL
 CEILING PLAN**

N	Scale	Date
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SCALE 1/4" = 1'-0" DATE 04.27.98

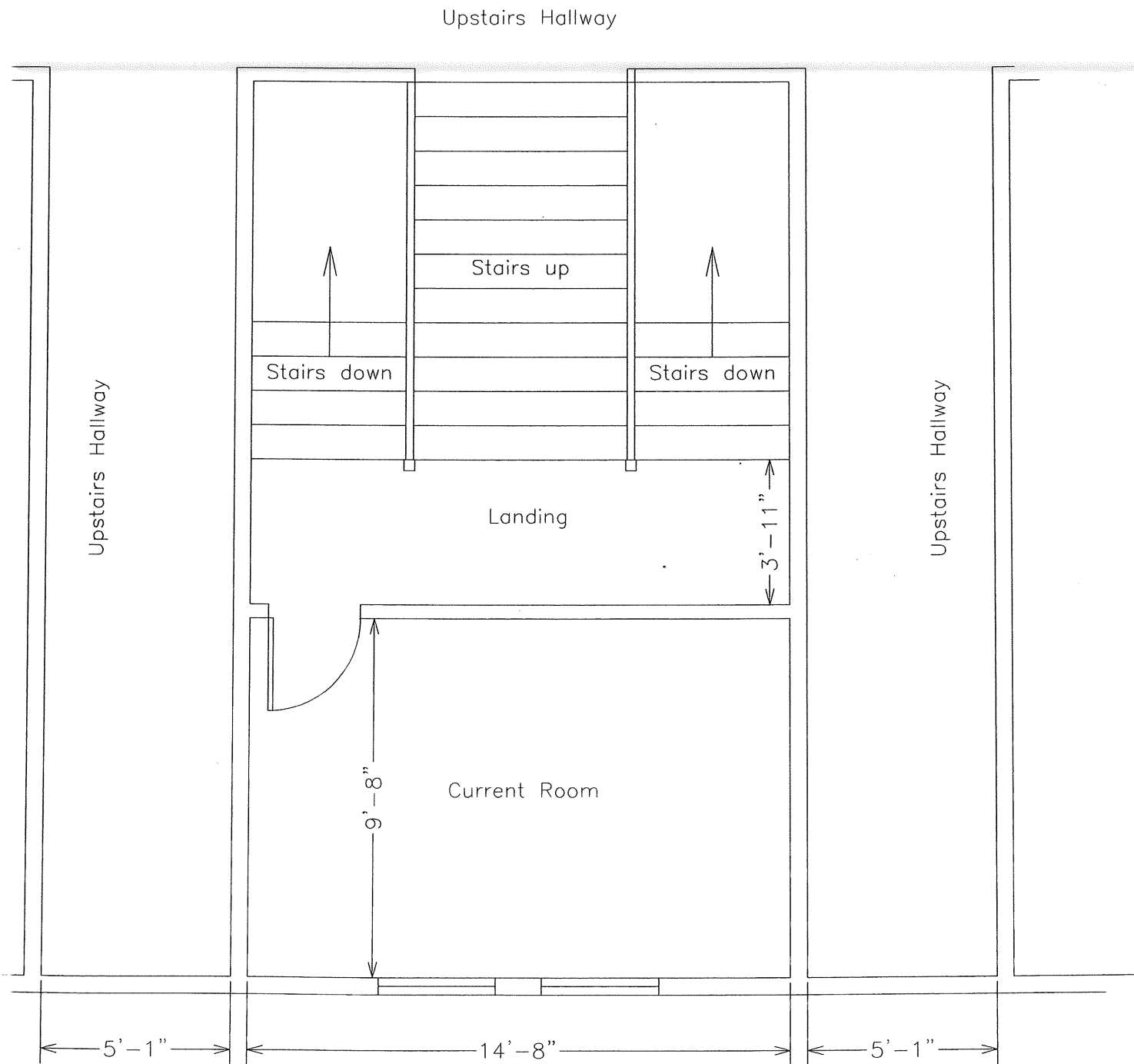
ISSUED FOR PRICING

PROJECT NO. 97127.02

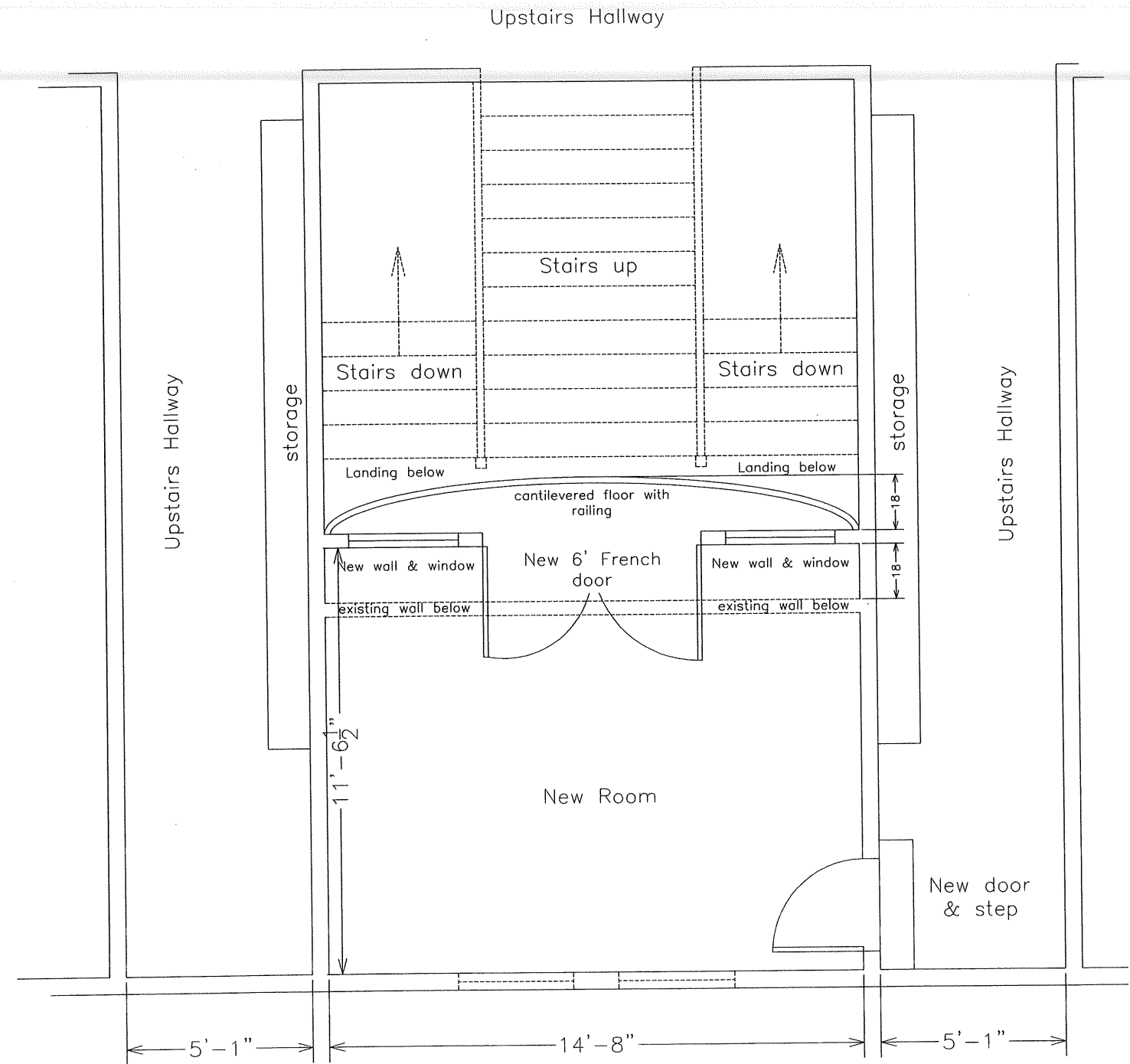
1998 © Scott Skoone Architects

DWG NO. **A-7.1**

Current view of room
at level of stair
landing



View of new room at
upstairs level



MATERIAL SCHEDULE

- A CRUSHED STONE
- B FOUNDATION DRAIN
- A2 STRUCTURAL GRAVEL
- B1 CONCRETE SLAB
- C BRICK MASONRY VENEER
- C1 EXISTING BRICK MASONRY
- C2 BRICK TIES
- B COLD FORM METAL FRAMING
- D FRUING CHANNELS
- D2 METAL DECK
- D3 STEEL ANGLE
- D4 STRUCTURAL STEEL
- E PLYWOOD
- E1 WOOD DECK
- E2 WOOD FRAMING
- E3 WOOD SIDING #1
- E4 WOOD SIDING #2
- E5 BEADED PLYWOOD
- F AIR INSULATION BARRIER
- F1 BACKER FLOOR / GELANT
- F2 DAMPROOFING
- F3 FIBERGLASS BATT INSULATION
- F4 BUILDING PAPER / WRAP
- F5 FLASHING / SHEET METAL
- G1 EXTERIOR SHEATHING
- G2 MEMBRANE ROOFING
- G3 METAL ROOFING
- G4 ROOF DRAIN
- H HOLLOW METAL FRAME
- H1 METAL DOOR
- H2 WOOD DOOR
- I METAL PANEL
- I1 METAL STOREFRONT
- J METAL WINDOW
- J1 GYPSUM DRYWALL
- J2 SUSPENDED ACOUSTIC TILE
- J3 WOOD TRIM
- J4 CORK WALL PANELS
- J5 PLASTIC LAMINATE
- K CARPET
- K1 LINOLEUM FLOORING
- K2 VINYL COMPOSITION TILE
- K3 WALK-OFF MAT
- K4 WOOD FLOOR
- K5 VINYL BASE
- K6 WOOD BASE
- L CLEAN FINISH
- L1 ALUMINUM FLAGPOLES

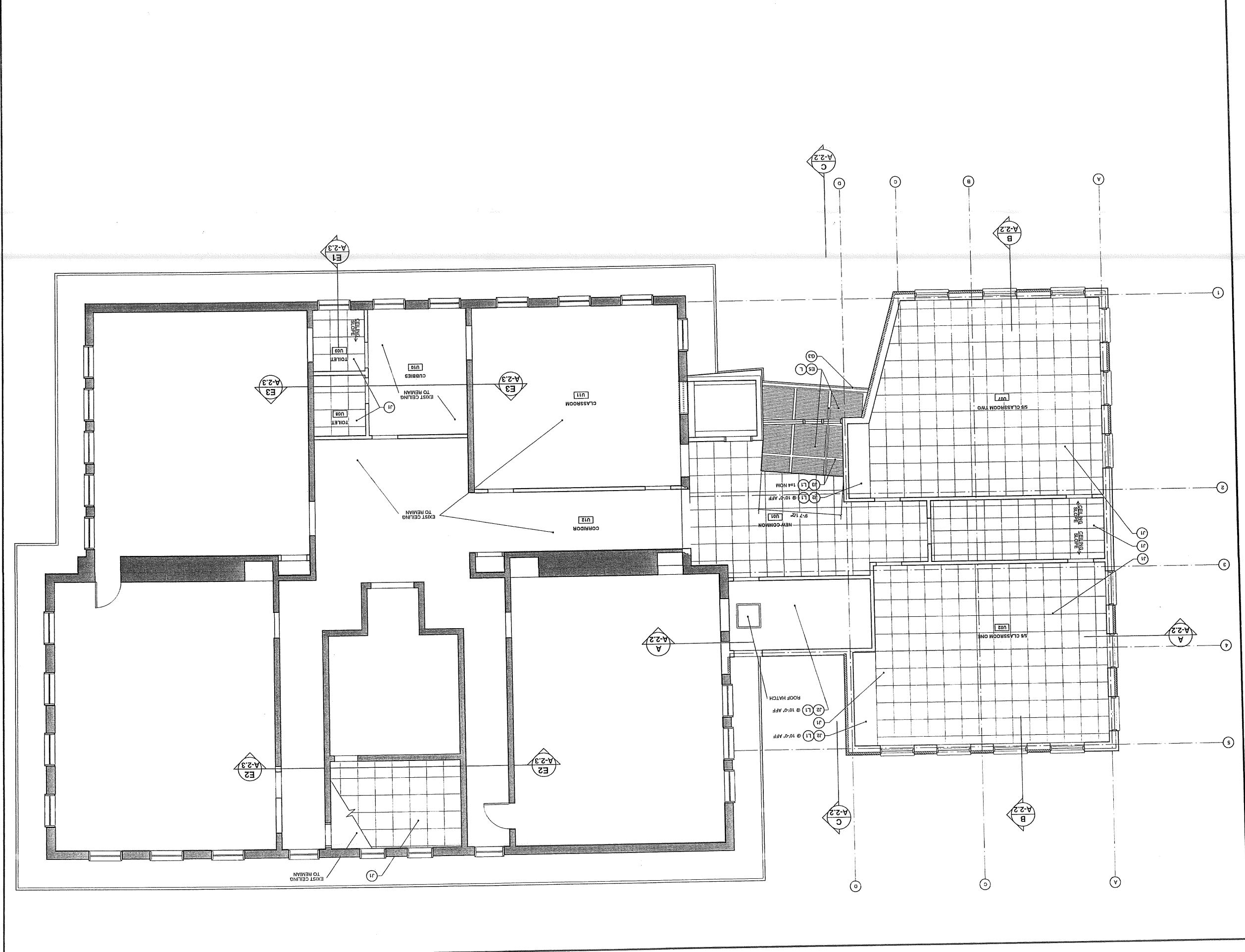
PROJECT
 ADDITION TO
 THE BREAKWATER SCHOOL
 855 BRIGHTON AVENUE
 PORTLAND, MAINE 04102

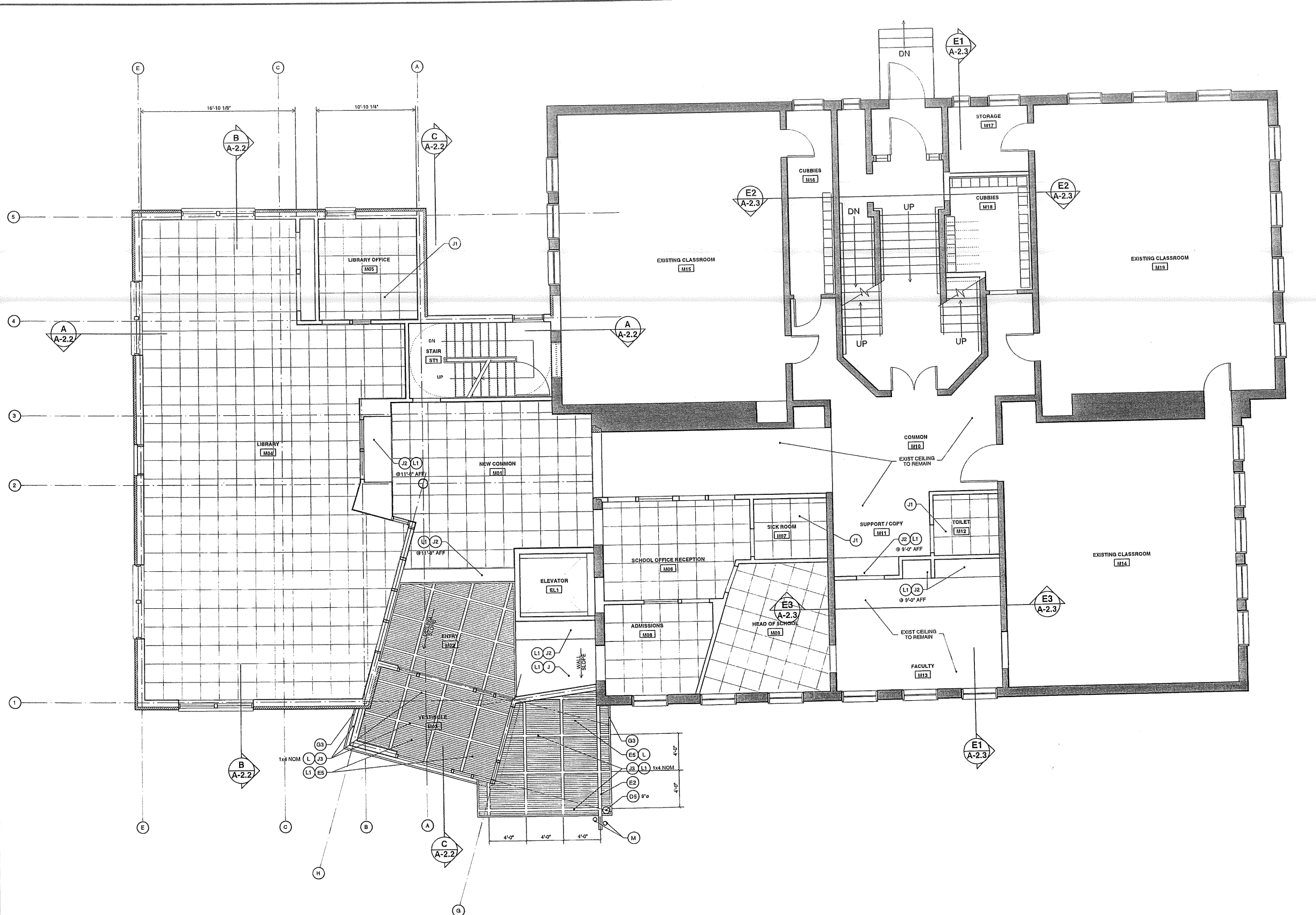
TITLE
 UPPER LEVEL
 CEILING PLAN

SCALE 1/4" = 1'-0"
 DATE 04.27.88
 ISSUED FOR PRICING

PROJECT NO. 9717.02
 1988 © Scott Brown Architects

DRG. NO. A-7.3





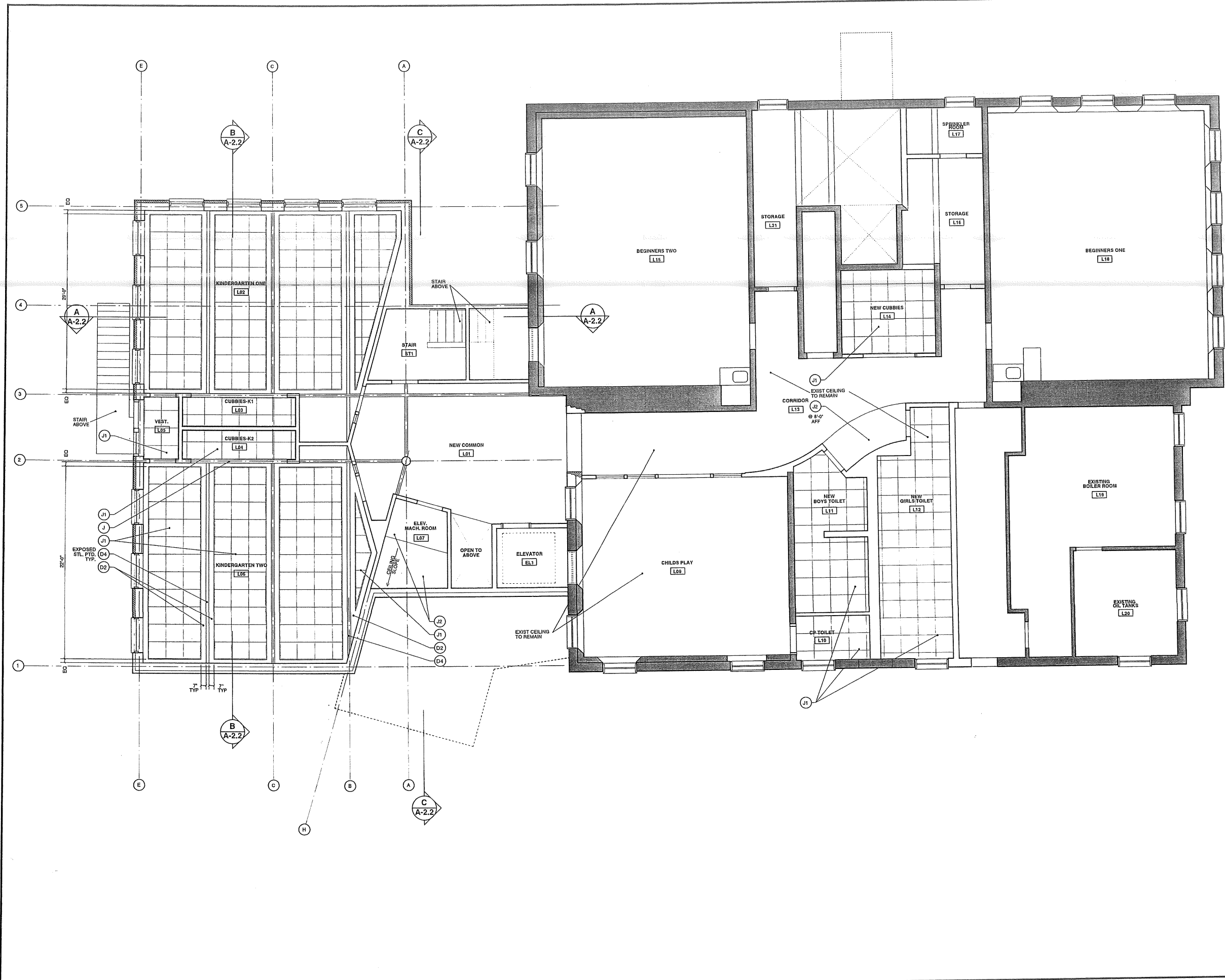
- MATERIAL SCHEDULE**
- A CRUSHED STONE
 - A1 FOUNDATION DRAIN
 - A2 STRUCTURAL GRAVEL
 - B CAST IN PLACE CONCRETE
 - B1 CONCRETE SLAB
 - C BRICK MASONRY VENEER
 - C1 EXISTING BRICK MASONRY
 - C2 BRICK TIES
 - D COLD FORM METAL FRAMING
 - D1 FURRING CHANNELS
 - D2 METAL DECK
 - D3 STEEL ANGLE
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 - D5 METAL PIPE
 - E FLYWOOD
 - E1 WOOD DECK
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 - E3 WOOD SIDING #1
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 - J3 WOOD TRIM
 - J4 CORK WALL PANELS
 - K PLASTIC LAMINATE
 - K CARPET
 - K1 LINOLEUM FLOORING
 - K2 VINYL COMPOSITION TILE
 - K3 WALK-OFF MAT
 - K4 WOOD FLOOR
 - K5 VINYL BASE
 - K6 WOOD BASE
 - L CLEAR FINISH
 - L1 PAINTED FINISH
 - M ALUMINUM FLAGPOLES

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PROJECT
**ADDITION TO
 THE BREAKWATER SCHOOL**
 856 BRIGHTON AVENUE
 PORTLAND, MAINE 04102

TITLE
**MIDDLE LEVEL
 CEILING PLAN**

No.	Description	Date
SCALE	1/4" = 1'-0"	DATE 04.27.98
ISSUED BY	ISSUED FOR PRICING	
PROJECT NO.	97127.02	
1998 © Scott Simons Architects		
DWS. NO.	A-7.2	



- MATERIAL SCHEDULE**
- A CRUSHED STONE
 - A1 FOUNDATION DRAIN
 - A2 STRUCTURAL GRAVEL
 - B CAST IN PLACE CONCRETE
 - B1 CONCRETE SLAB
 - C BRICK MASONRY VENEER
 - C1 EXISTING BRICK MASONRY
 - C2 BRICK TIES
 - D COLD FORM METAL FRAMING
 - D1 FURRING CHANNELS
 - D2 METAL DECK
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 - K6 WOOD BASE
 - L CLEAR FINISH
 - L1 PAINTED FINISH
 - M ALUMINUM FLAGPOLES

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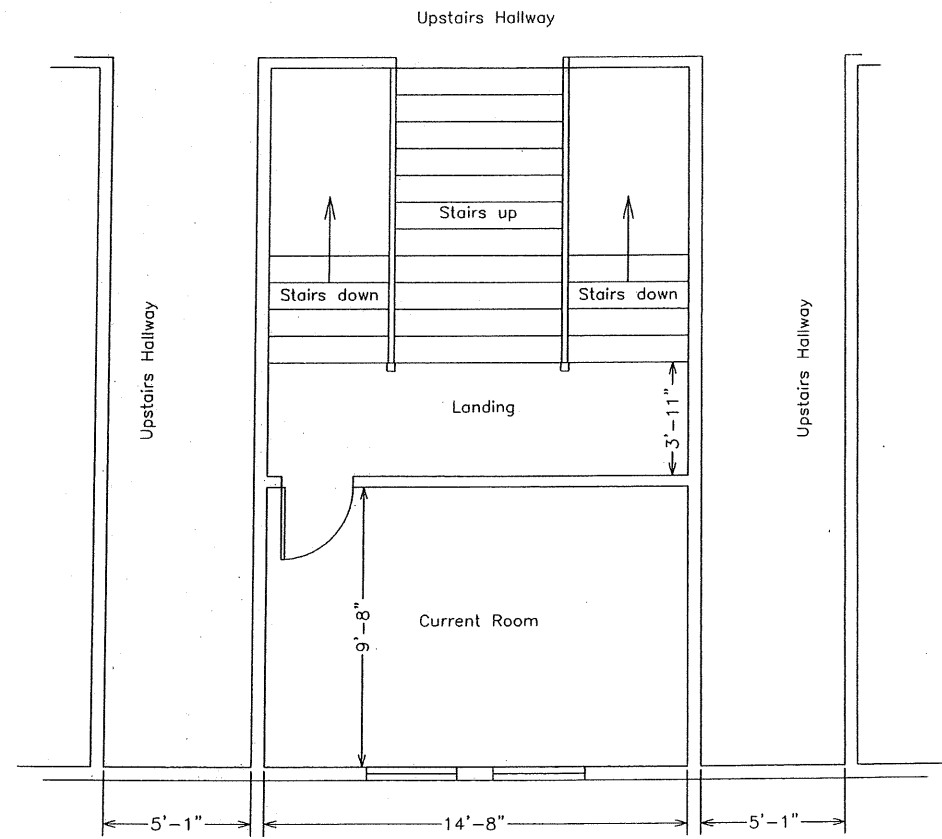
PROJECT
**ADDITION TO
 THE BREAKWATER SCHOOL**
 856 BRIGHTON AVENUE
 PORTLAND, MAINE 04102

TITLE
**LOWER LEVEL
 CEILING PLAN**

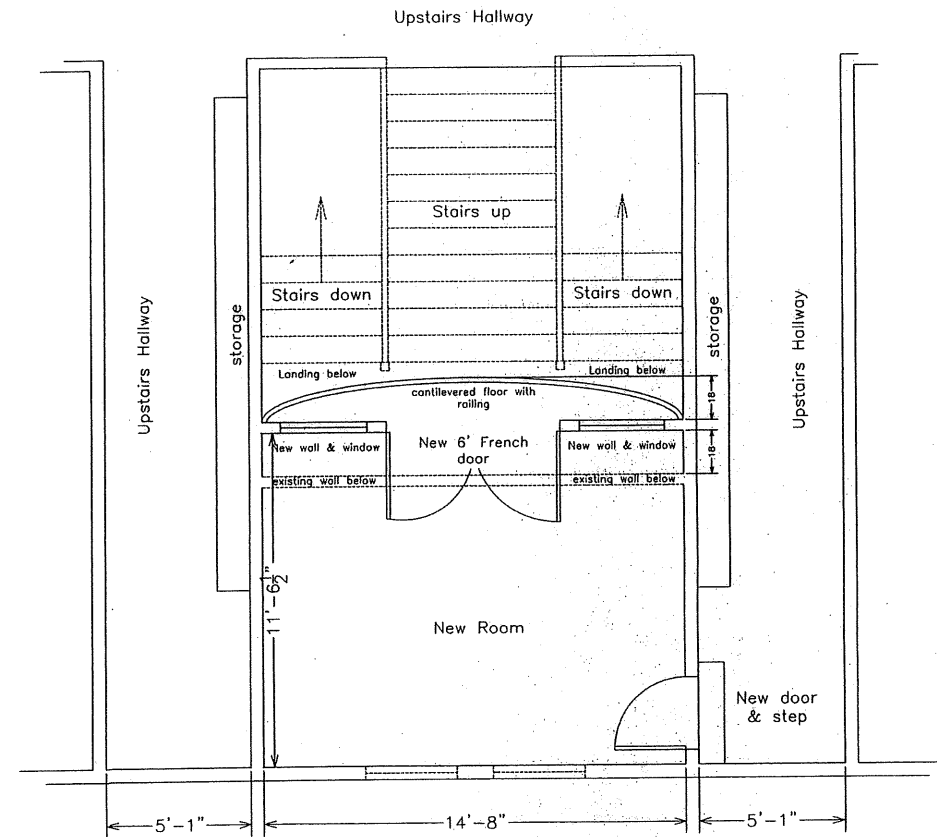
NO.	DESCRIPTION	DATE

SCALE 1/4" = 1'-0" DATE 04.27.08
 DRAWN BY ISSUED FOR PRICING
 PROJECT NO. 07127.02
 1998 © Scott Simons Architects
 DWG. NO. **A-7.1**

Current view of room
at level of stair
landing



View of new room at
upstairs level



This drawing is presented as an approximate depiction of the project at completion. To insure code conformance and structural soundness, all plans for residential construction should be examined by a structural engineer or other professional, or built by an insured, professional building contractor.

Breakwater School
865 Brighton Ave.
Portland, ME

Scale: 1/4" = 1'
Date: July 8, 2008
Revised:

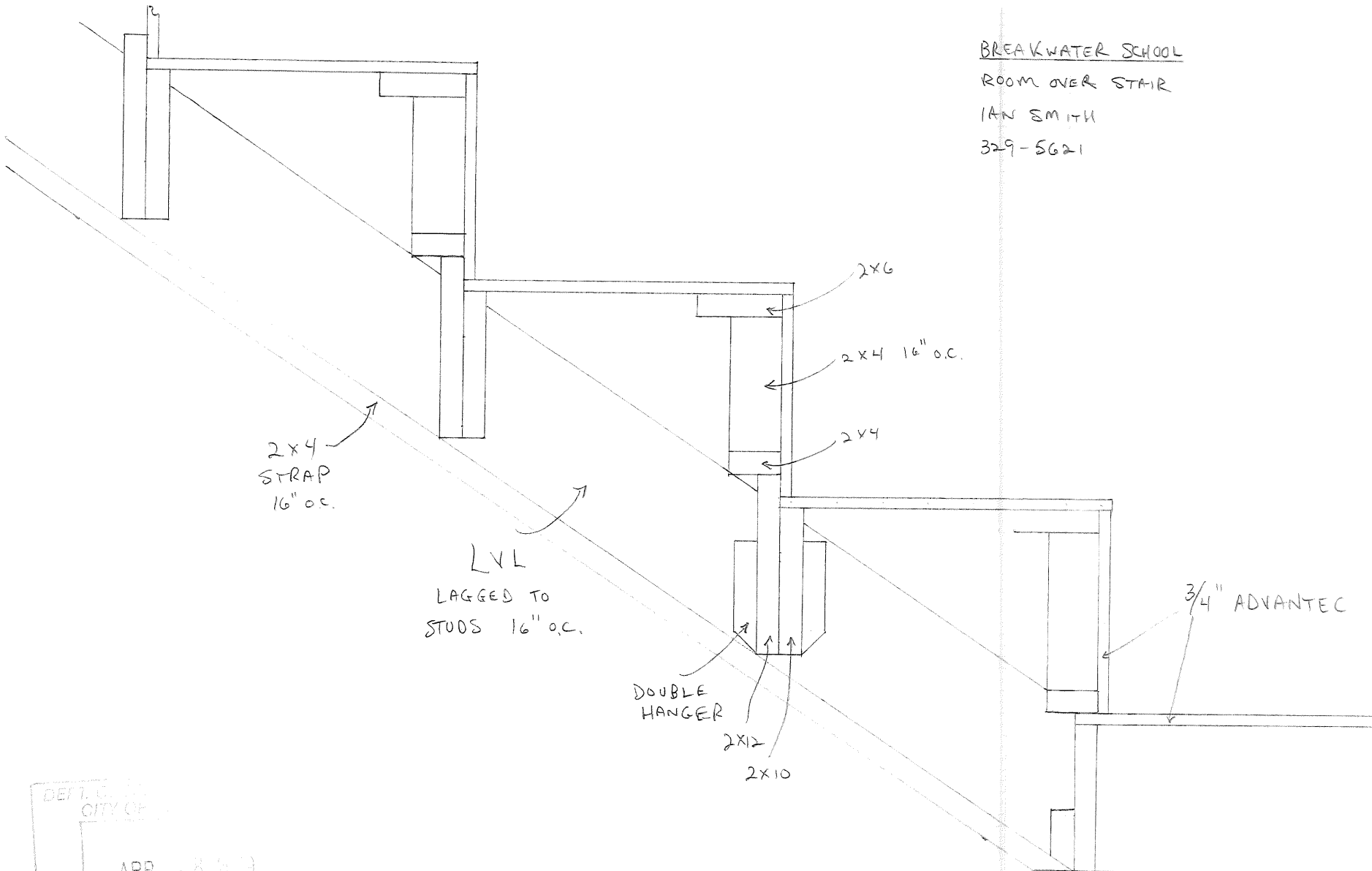
Drawing #
SK-1

BREAKWATER SCHOOL

ROOM OVER STAIR

IAN SMITH

329-5621



2x4
STRAP
16" o.c.

LVL
LAGGED TO
STUDS 16" o.c.

DOUBLE
HANGER

2x12
2x10

2x6

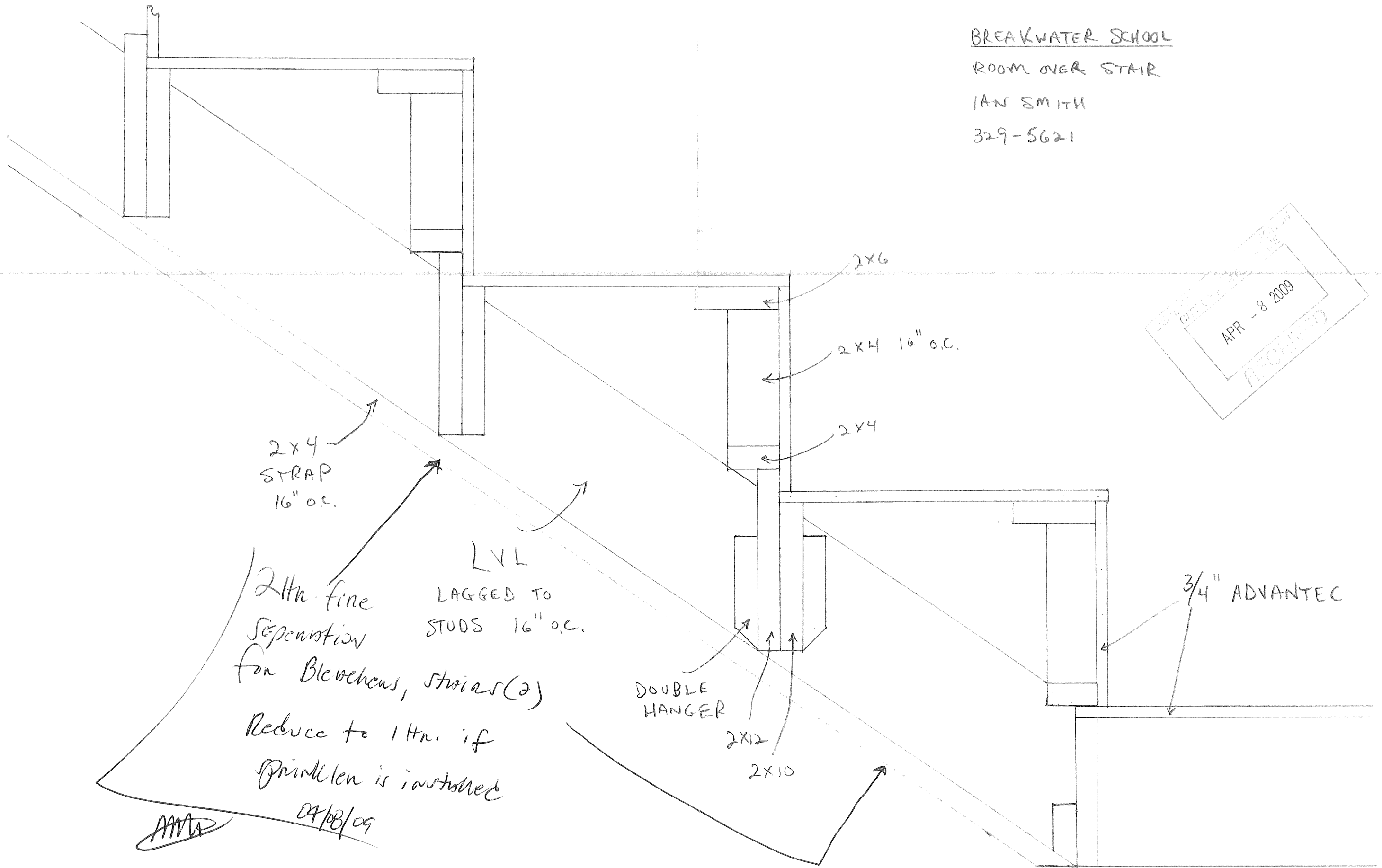
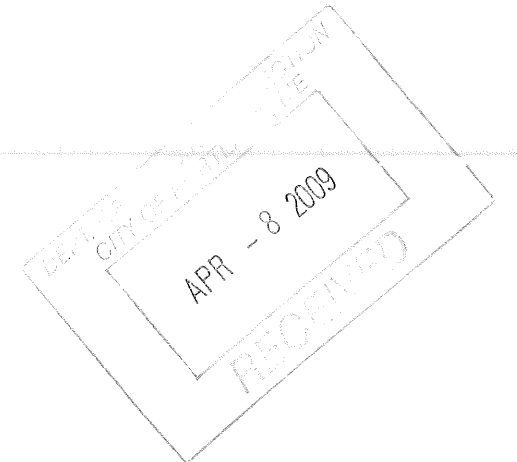
2x4 16" o.c.

2x4

3/4" ADVANTEC

DEPT. OF PUBLIC WORKS
CITY OF ...
APR - 8 2013
FILE

BREAKWATER SCHOOL
ROOM OVER STAIR
IAN SMITH
329-5621



2 1/2 in. fire
separation
for Bleachers, stairs (2)
Reduce to 1 1/2 in. if
sprinkler is installed
04/08/09

AAA