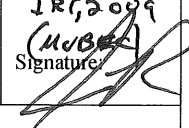




City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-05-1034-ALTR 2012-44443	Date Applied: 5/30/2012	CBL: 259- B-003-001	
Location of Construction: 391 CAPISIC ST	Owner Name: CARMELA & FRANK REALI	Owner Address: 391 CAPISIC ST PORTLAND, ME 04102 ME - MAINE	Phone: 207-772-5831
Business Name:	Contractor Name: Owner	Contractor Address:	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-3
Past Use: Single family	Proposed Use: Same - single family - build 17' x 10' one story addition & 11' dormer on rear, & 5' x 5' 8" bulkhead	Cost of Work: 15000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input checked="" type="checkbox"/> N/A / Per. (Capt. Pinner)	Inspection: Use Group: R3 Type: SB IR, 2011 (MUBEC) Signature: 
Proposed Project Description: 10' x 17' addition		Pedestrian Activities District (P.A.D.)	

Permit Taken By: Brad	Zoning Approval		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p> <p style="font-size: 2em; font-weight: bold; opacity: 0.5;">SCANNED</p>	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: 05/31/12 	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE	

7-13-12 DWM Frank 318-9567 Back all OK

9-13-12 DWM Frank Close-in OK. Provide
drum trap at bath sink.

12-26-12 DWM Frank Final ¹ Provide tempered glass
certificate for shower doors ² secure door until deck
complete

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that CARMELA A & FRANK JTS REAL located At 391 CAPISIC ST

Job ID: 2011-05-1034-ALTR

CBL: 259- B-003-001

has permission to build a 17 by 10 foot addition/ add a bulkhead and dormer (Single Family Residence).
provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

06/22/2012

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

R-3

child 2012-44443

Entire 5/30/12

(83)



General Building Permit Application

Original: 2011-05-1034-ALTR

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Jon reviewed w/applicant.

Location/Address of Construction: <u>391 Capisic St, Portland, ME</u>		
Total Square Footage of Proposed Structure/Area <u>(10x17') 170 sq feet</u>	Square Footage of Lot	Number of Stories <u>1</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>259 B-003 001</u>	Applicant: (must be owner, lessee or buyer) Name <u>Frank Reali</u> Address <u>391 Capisic St</u> City, State & Zip <u>Portland, ME 04102</u>	Telephone: <u>772-5831</u> <u>318-9567</u>
Lessee/DBA RECEIVED MAY 30 2012	Owner: (if different from applicant) Name <u>Same</u> Address City, State & Zip	Cost of Work: \$ <u>15,000</u> C of O Fee: \$ <u>30.00</u> Historic Review: \$ _____ Planning Amin.: \$ _____ Total Fee: \$ <u>200.00</u> 15,000
Current legal use (i.e. single family) <u>single family</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? Proposed Specific use: <u>enlarging bathroom + bedroom + dormer on sec. floor bathroom</u> Is property part of a subdivision? <u>no</u> If yes, please name _____ Project description: <u>Addendum to 2011-05-1034-ALTR - add 10'x17' one story add. from</u>		
Contractor's name: <u>Frank Reali</u> Email: _____		
Address: <u>391 Capisic Street</u>		
City, State & Zip <u>Portland, Maine 04102</u>		Telephone: <u>772-5831</u>
Who should we contact when the permit is ready: <u>Frank Reali</u>		Telephone: <u>318-9567</u>
Mailing address: <u>Same</u>		

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

and I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:	Date:
------------	-------

This is not a permit; you may not commence ANY work until the permit is issued

cammyr1@myfairpoint.net

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
 1. Footings/Setbacks prior to pouring concrete
 2. Foundation wall prior to backfill
 3. Close In Elec/Plmb/Frame prior to insulate or gypsum
 4. Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

MacLeod
Structural Engineers, PA

September 25, 2012

Mr. Frank Reali
391 Capisic Street
Portland, Maine

Re: Site visit and inspection for renovations and addition to existing residence

Dear Mr. Reali:

This letter is to summarize the results of my two site visits to your residence during the recent construction work for the renovations and addition to your home. I visited the home on two occasions to inspect the framing work, to answer questions about field conditions, and to provide assistance with issues that occurred during construction relating to the framing.

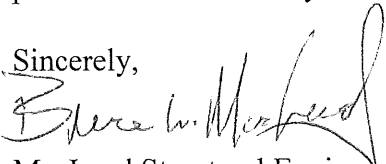
During construction the framer made some changes to the framing which varied from the contract drawings. Some of the changes include:

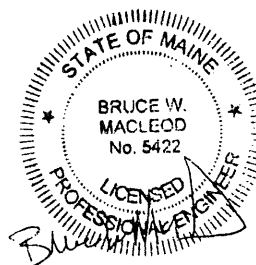
- Changes to the reinforcing of the existing roof
- Changes to the framing of the new dormer wall
- Changes to the type of joist hanger used for the second floor joists
- Changes to the installation of the new steel beam
- Changes to the overhang of the new roof framing
- Other miscellaneous changes

The changes were reviewed by me in the presence of yourself and the contractor. We discussed the changes and where necessary made further adjustments to ensure adequate construction was completed. At my second site visit I verified that the construction was adequately completed. At this time I am confident that the framing work is satisfactory, meets the requirements of the building code, and is structurally sound.

Thank you for the opportunity to be of service to you in this matter. If you need additional assistance, please contact me at anytime.

Sincerely,


MacLeod Structural Engineers, P.A.
Bruce W. MacLeod, PE, MASCE
President





PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Acting Director of Planning and Urban Development
Gregory Mitchell

Job ID: 2011-05-1034-ALTR

Located At: 391 CAPISIC ST

CBL: 259- B-003-001

Conditions of Approval:

Building

1. Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. A Carbon Monoxide (CO) alarms shall be installed in each area within or giving access to bedrooms. That detection must be powered by the electrical service (plug-in or hardwired) in the building and battery.
3. Hardwired photoelectric interconnected battery backup smoke alarms shall be installed in each bedroom, protecting the bedrooms, and on every level. A field inspection will verify your current smoke detector arraignment and the City's minimal code requirements.
4. Roof Rafter framing and Connection shall comply with Section R802.3 & R802.3.1 of MUBEC.
5. Foundation Drainage: Fabric, Damp proofing shall comply with Section R405 & R406, see attachment.
6. Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches above the finished floor of the room, unless a window fall prevention devices is installed in accordance with section R612.3.
7. A code compliant emergency escape shall be provided in each bedroom. Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches (no higher than 44 inches) above the finished floor of the room, or in compliance with Section R612.4.2 Operation for emergency escape.
8. Ventilation of this space is required per ASRAE 62.2 , 2007 edition; Contractor agreed that the "building envelope" insulation will comply with the IECC, 2009 (Maine State Energy Codes).
9. R807.1 Attic access. Buildings with combustible ceiling or roof construction shall have an attic access opening to attic areas that exceed 30 square feet and have a vertical height of 30 inches or greater. The vertical height shall be measured from the top of the ceiling framing members to the underside of the roof framing members. The rough-framed opening shall not be less than 22 inches by 30 inches and shall be located in a hallway or other readily accessible location.
10. Note: Contractor/ Owner are submitting Engineered Specifications for steel beam cut. The plan indicates "proposed" on already permitted portions of the building, see notes for clarification.

Job ID: 2011-05-1034-ALTR Located At: 391 CAPISIC ST CBL: 259- B-003-001

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

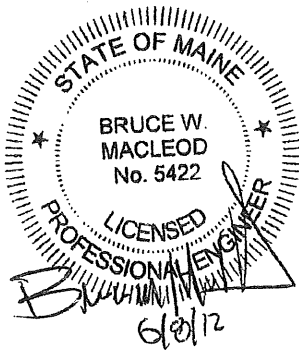
MACLEOD STRUCTURAL ENGINEERS, P.A.

STRUCTURAL CONSULTANTS
404 MAIN STREET
GORHAM, MAINE 04038
PHONE (207) 839-0980
FAX (207) 839-0982

Project: Project name
City, State
By: xxx
Job ID: 200x-xxx
Date: 6/8/2012
Page: 1 of 1

**Frank Reali
Residence
Portland, Maine**

**STEEL ROOF BEAM FRAMING CALCULATIONS
MSE Job #2012-192**



PREPARED BY
MacLeod Structural Engineers, P.A.
Gorham, Maine
June 8, 2012

PREPARED FOR
WAYNE PARADIS, INC.

MacLeod Structural Engineers, PA
 404 Main Street
 Gorham, Maine

page
 Project: Reali Res.
 Portland, Me.

Loads Sheet Sect. 1

Ceiling Dead Loads:

ceiling	3
mech/elec	0
Insulation	1
Framing	3
Total Dead	7 psf

Roof Dead Loads:

	0
sheathing	2
Asphalt shingles	3
miscellaneous	0
Framing	3
Total Dead	8 psf

Collateral Load = 0 psf

<u>Description</u>	<u>Trib</u> <u>Width</u> <u>(FT)</u>	<u>Dead</u> <u>(PSF)</u>	<u>Sunbal</u> <u>(PSF)</u>	<u>Snow</u> <u>(PSF)</u>	<u>Press. Wind 1</u> <u>(PSF)</u>	<u>Suct. Wind 2</u> <u>(PSF)</u>	<u>Attic L</u> <u>Other 1</u> <u>(PSF)</u>	<u>Collat</u> <u>(PSF)</u>	<u>ULF</u> <u>LL</u> <u>(PLF)</u>
roof rafter	14	-8	-76	-42	-20	16	0	0	-154 DL
ceiling joist	6	-7	0				-20		-1064 Sunbal
	0	0	0						-588 Snow
									-280 Wind 1
									224 Wind 2
									-120 Other 1
									0 Collat
Span (ft)	19								

<u>Load Cases</u>		<u>ULF</u>	<u>Total Load</u>
LC1	D+Sunbal+Collat	-1218	-23142
LC2	D+0.75(S+W1)	-805	-15295
LC3	0.6D+W2	131.6	2500.4
LC4	D+W1+C	-434	-8246
LC5	D+Other (1)	-274	-5206
LC6	D+S+C+O	-862	-16378

sign convention:
 down = (-)
 up = (+)

Title :
 Dsgnr:
 Description :
 Date:
 Job #
 Scope :

Rev: 510302
 User: KW-6902406, Ver 5 1.3, 22-Jun-1999, Win32
 (c) 1983-99 ENERCALC

Steel Beam Design

Page 1
 c:\enercalc\miscellaneous\ecw\Calculations

Description Frank Reali Res revd 6.8.12

General Information Calculations are designed to AISC 9th Edition ASD and 1997 UBC Requirements

Steel Section : C15X33.9		Fy	36.00ksi
Center Span	21.33 ft	Load Duration Factor	1.00
Left Cant.	0.00 ft	Elastic Modulus	29,000.0ksi
Right Cant	0.00 ft		
Lu : Unbraced Length	0.00 ft		
		Pinned-Pinned	
		Bm Wt. Added to Loads	
		LL & ST Act Together	

Distributed Loads

	# 1	# 2	# 3	# 4	# 5	# 6	# 7	
DL	0.154							k/ft
LL	1.060							k/ft
ST								k/ft
Start Location								ft
End Location	19.000							ft

Summary

Beam OK
 Static Load Case Governs Stress

Using: C15X33.9 section, Span = 21.33ft, Fy = 36.0ksi
 End Fixity = Pinned-Pinned, Lu = 0.00ft, LDF = 1.000

	Actual	Allowable		
Moment	69.326 k-ft	75.600 k-ft	Max. Deflection	-0.619 in
fb : Bending Stress	19.808 ksi	21.600 ksi	Length/DL Defl	2,736.8 : 1
fb / Fb	0.917 : 1		Length/(DL+LL Defl)	413.8 : 1
Shear	13.154 k	86.400 k		
fv : Shear Stress	2.192 ksi	14.400 ksi		
fv / Fv	0.152 : 1			

Force & Stress Summary

<<-- These columns are Dead + Live Load placed as noted -->>

	Maximum	DL Only	LL @ Center	LL+ST @ Center	LL @ Cants	LL+ST @ Cants	
Max. M +	69.33 k-ft	10.47	69.33				k-ft
Max. M -							k-ft
Max. M @ Left							k-ft
Max. M @ Right							k-ft
Shear @ Left	13.15 k	1.98	13.15				k
Shear @ Right	10.63 k	1.66	10.63				k
Center Defl.	-0.619 in	-0.094	-0.619	-0.619	0.000	0.000	in
Left Cant Defl	0.000 in	0.000	0.000	0.000	0.000	0.000	in
Right Cant Defl	0.000 in	0.000	0.000	0.000	0.000	0.000	in
...Query Defl @	0.000 ft	0.000	0.000	0.000	0.000	0.000	in
Reaction @ Left	13.15	1.98	13.15	13.15			k
Reaction @ Rt	10.63	1.66	10.63	10.63			k

Fa calc'd per 1.5-1, K*L/r < Cc

Section Properties C15X33.9

Depth	15.000 in	Weight	33.83 #/ft	r-xx	5.624 in
Width	3.400 in	I-xx	315.00 in4	r-yy	0.903 in
Web Thick	0.400 in	I-yy	8.13 in4		
Flange Thickness	0.650 in	S-xx	42.000 in3		
Area	9.96 in2	S-yy	3.111 in3		

Title :
 Dsgnr:
 Description :

Date:
 Job #

Scope :

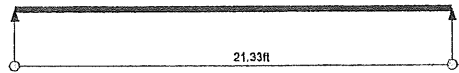
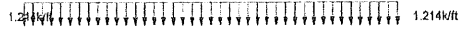
Rev. 510302
 User: KW-0602406, Ver 5.1.3, 22-Jun-1999, Win32
 (c) 1983-99 ENERCALC

Steel Beam Design

Page 2
 c:\enercalc\miscellaneous.ecw\Calculations

Description Frank Reali Res revd 6.8.12

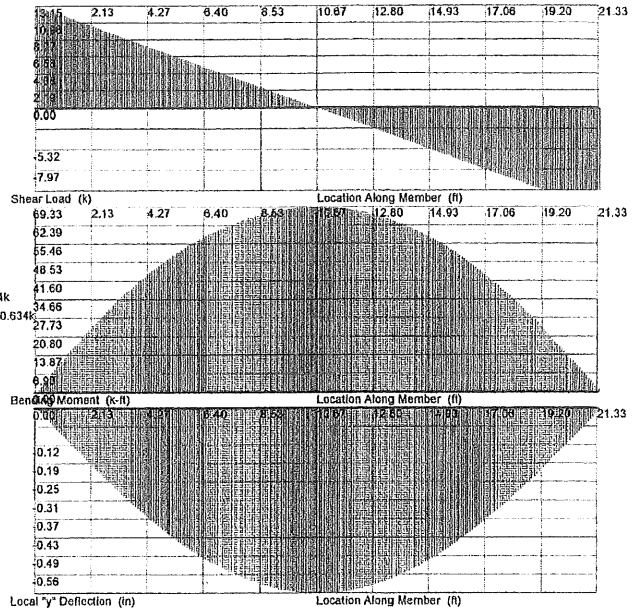
Sketch & Diagram



$M_{max} = 69.3k-ft$
 $D_{max} = -0.619in$

$R_{max} = 13.154k$
 $V_{max @ left} = 13.154k$

$R_{max} = 10.634k$
 $V_{max @ rt} = 10.634k$

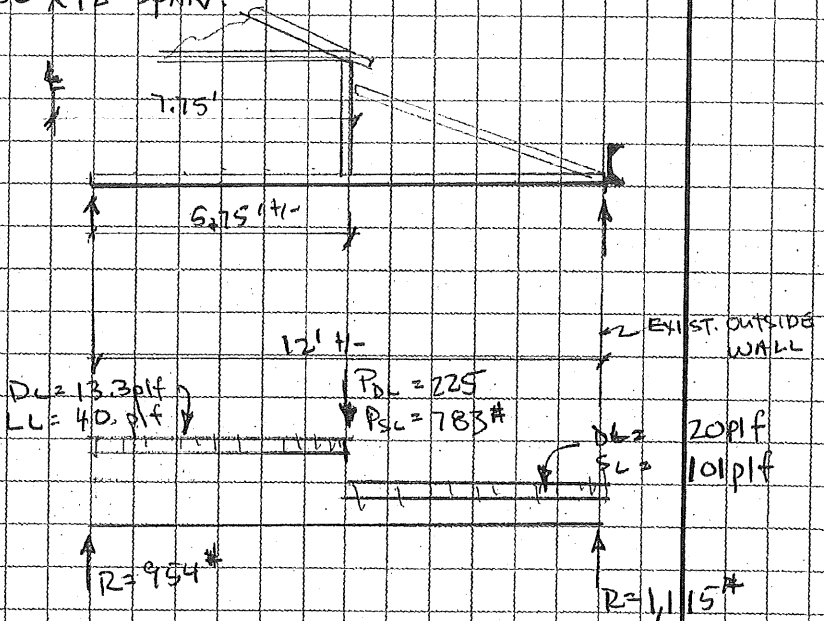




NOTES:

CHECK CEILING JOISTS @ NEW DORMER

JOISTS, 2X8 @ 16" OC X 12' SPAN



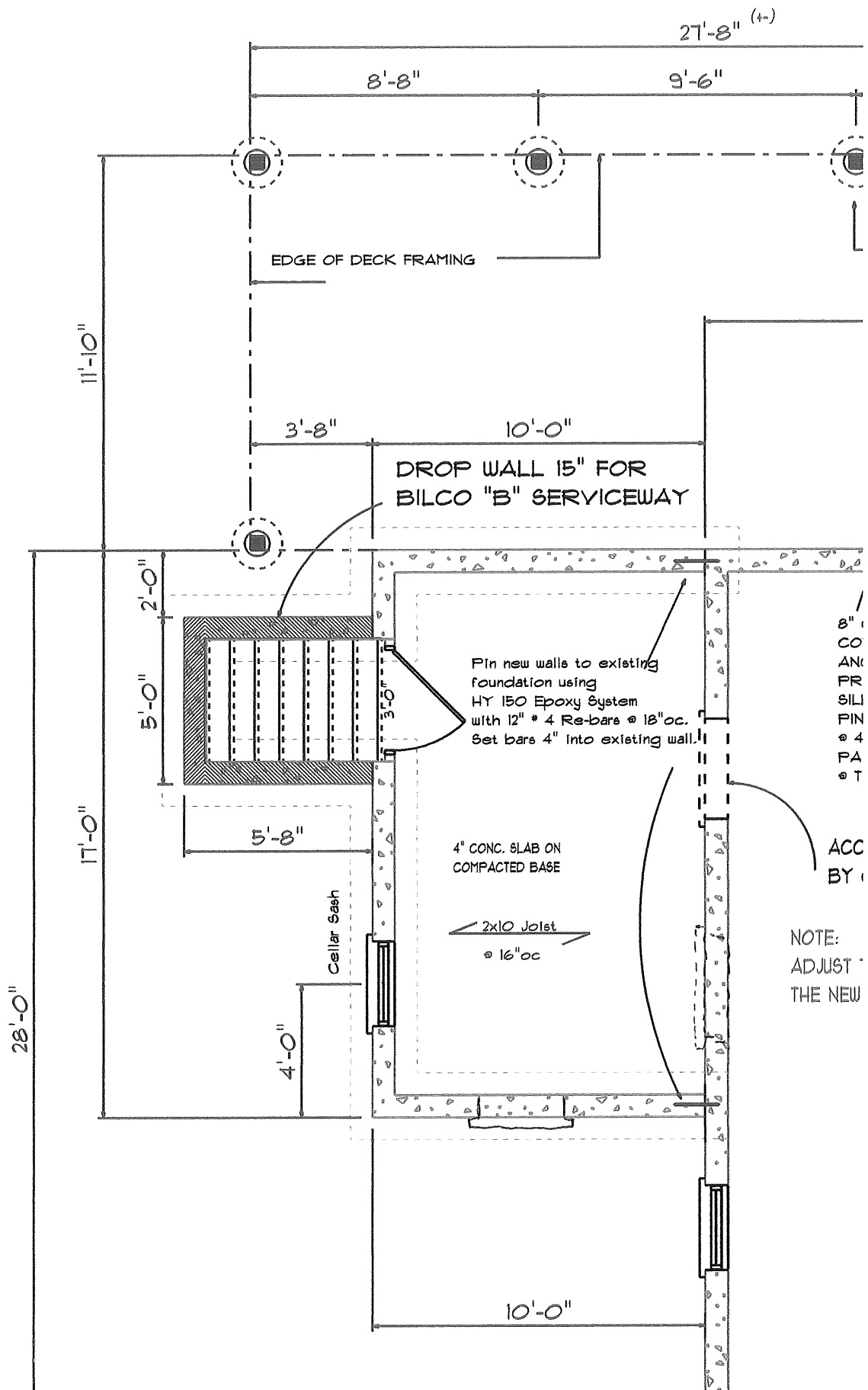
EXIST JOIST = 2X8 @ 16" OC

SECT AT DORMER.
(REF. SECT B)

NEW JOIST = 1 3/4 X 1 1/4 LVL NAIL TO SIDE OF EXIST.

HANGER AT NEW C12 BEAM

- USE (2) 2X WOOD PLATE BOLTED TO C12.
- ATTACH JOISTS W/ SIMPSON LUS48 HANGERS.
- ↳ NOTE: VERIFY BLOCK ON C12 IS THICK ENOUGH TO PERMIT FASTENING OF 1/2" W/PLATE.





PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Receipts Details:

Tender Information: Check , Check Number: 3914

Tender Amount: 200.00

Receipt Header:

Cashier Id: bsaucier

Receipt Date: 5/30/2012

Receipt Number: 44444

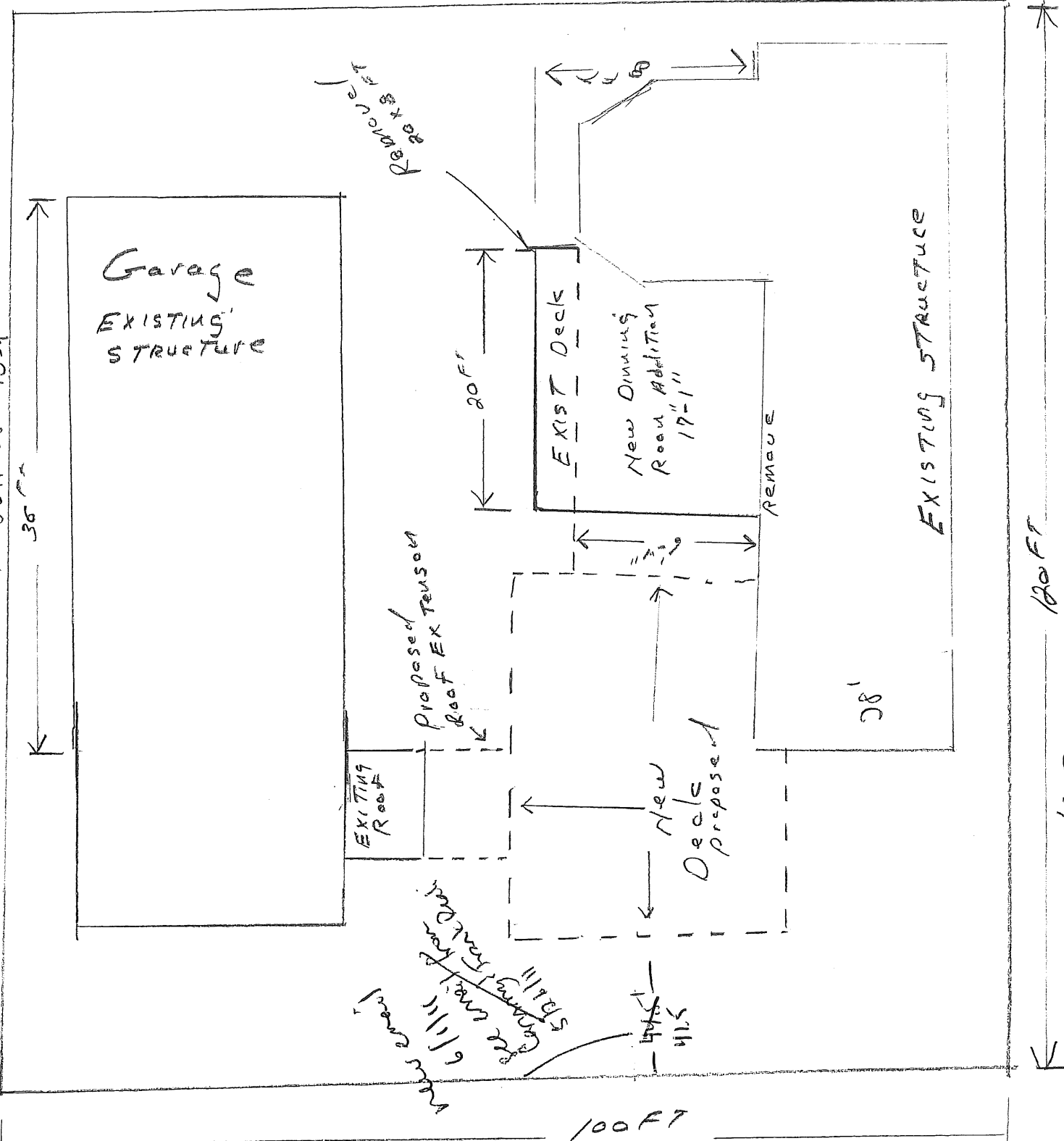
Receipt Details:

Reference ID:	6702	Fee Type:	UI-MI
Receipt Number:	0	Payment Date:	
Transaction Amount:	200.00	Charge Amount:	200.00
Job ID: Job ID: 2011-05-1034-ALTR - 391 Capisic St.			
Additional Comments: 391 Capisic			

Thank You for your Payment!

Lucas ST Plot Plan

Permit 2011-05-1034



Dept. of Building Inspections
City of Portland Maine

MAY 3 0 2012

RECEIVED

Existing

Dept. of Building Inspections
City of Portland Maine

~~MAY 26 2011~~

RECEIVED

CADISIC ST

120'

Capri 120 FT

Permit 2011-05-1034

R3

lot size - 6500 sq ft - 11,932 sq ft
 front 25' min. ~~NA~~ 28' 4" (OP)
 rear - 25' - 35.5' + (OP)
 Side - 8' - (OP) - see other plot plan.
 48.5' (OP)
 lot coverage - 35% = 4176.2

existing house 1273

addition 1265 (23 x 55')

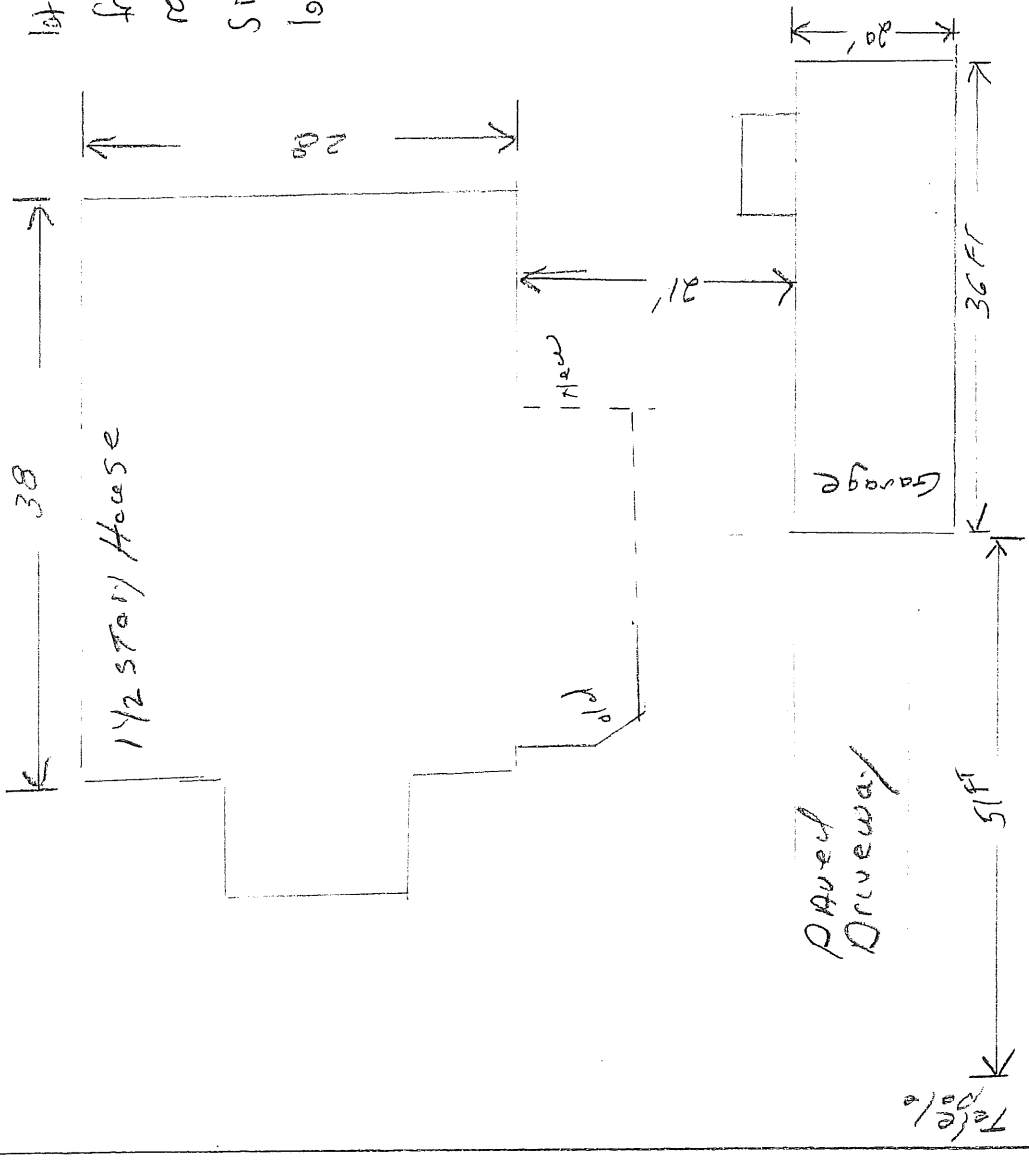
garage 720

~~2119.5~~

deck - 327.3 (27.67 x 11.8')

roof - 68 (8.5 x 8)

2514.8 sq ft (OP)



EXISTING 100 FT

100 FT

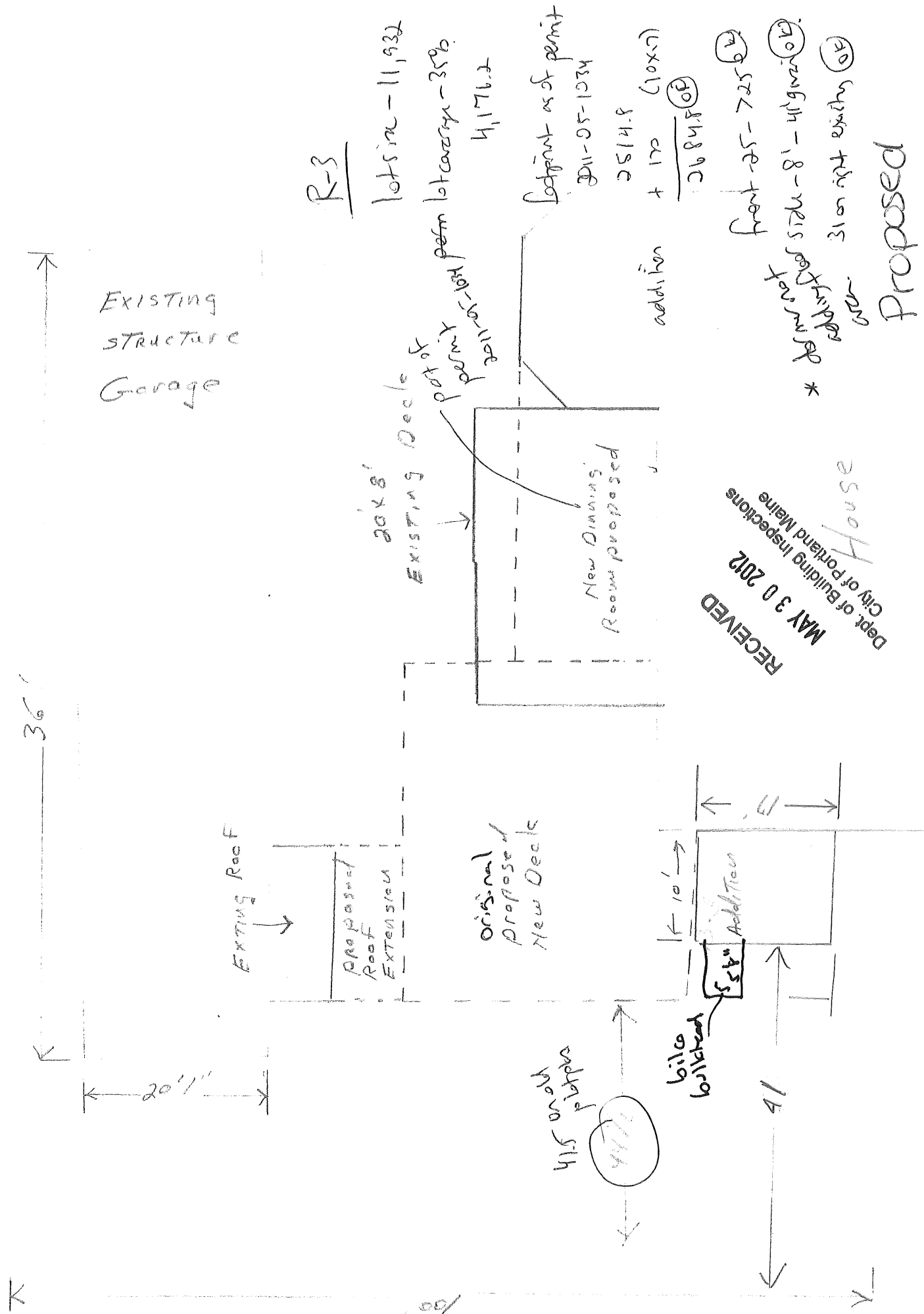
Telephone

Markers

Plot Plan

COPY

120 FT



R-3

lots in - 11,932

footprint as of permit 2011-05-1034

4,176.2

addition + 170 (10x7)

2514.8

2684.8 OF

front - 25 - 725.0

side - 8' - 41' 9/16" OF

31 on right existing

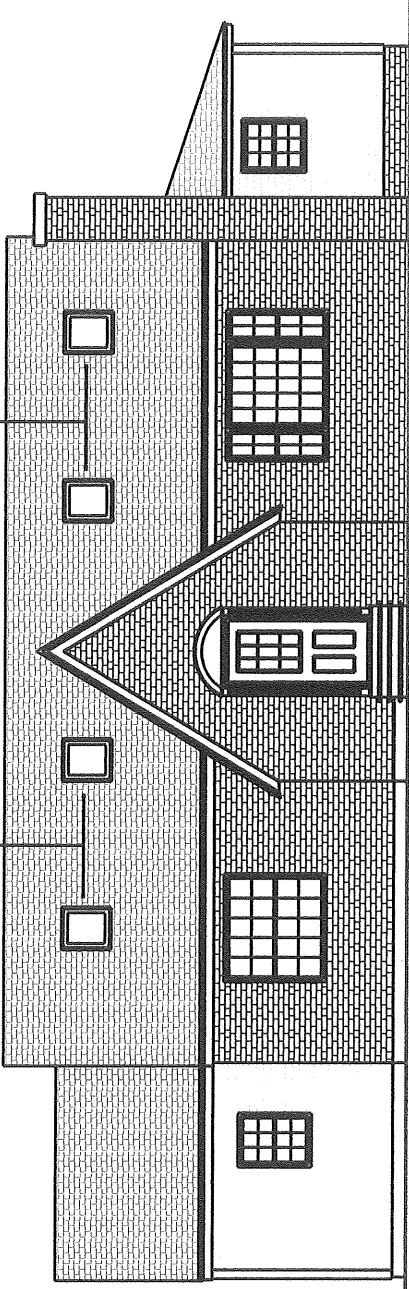
Proposed

RECEIVED
 MAY 30 2012
 Dept. of Building Inspections
 City of Portland Maine

House

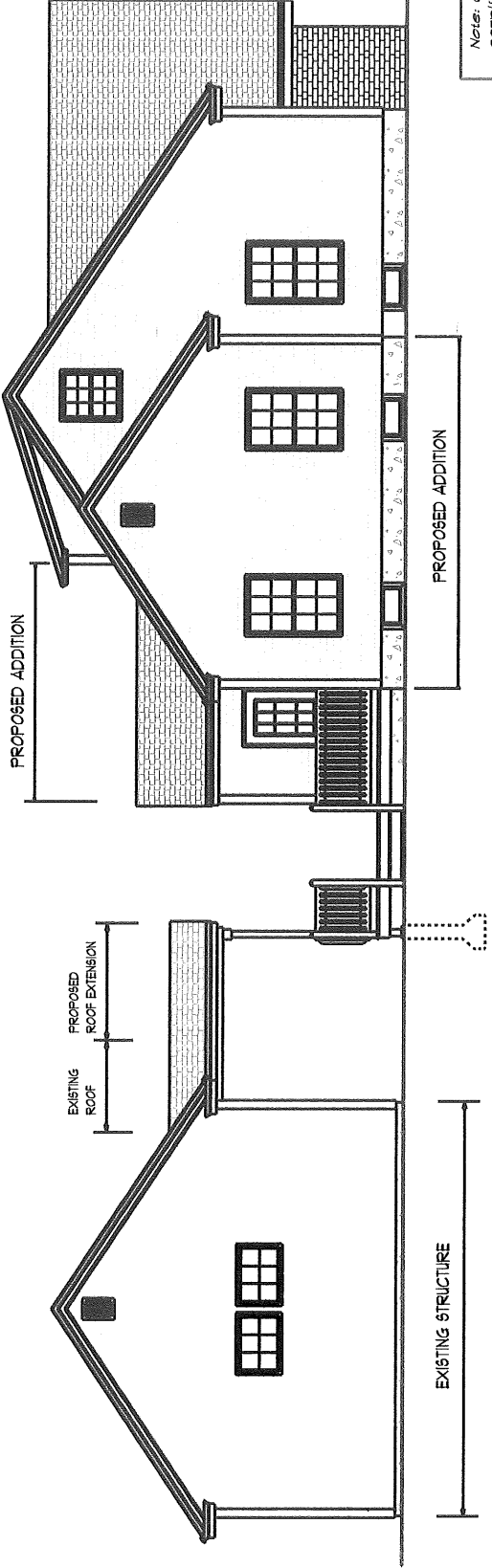
EXISTING ROOF WINDOWS

PROPOSED NEW ROOF WINDOWS
SIZE AND LOCATION BY CONTRACTOR



EXISTING STRUCTURE

Front Elevation
1/4" = 1'-0"



EXISTING STRUCTURE

Left Elevation

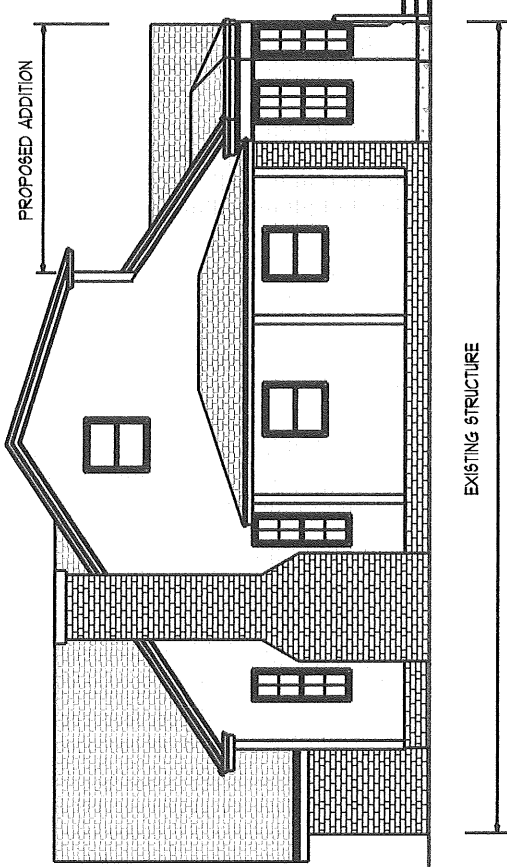
REVISION # 2 ADD 10' TO BACK OF HOUSE
MAY. 15, 2012

REVISION # 1 ADD DORMER
MAR. 06, 2012

WAYNE PARADIS INC.
 Custom Design &
 Carpentry
 Service
 Tel: 888-3424
 Cell: 229-7641
 wparadis2@comcast.net
 http://www.paradis-inc.com

Notes: Owner to check plans for compliance with all applicable codes

Elevations	Custom Addition
Plan For:	1
Frank & Cammy Reali	5
Drawn By:	Wayne Paradis
	Apr. 06, 2011



PROPOSED ADDITION

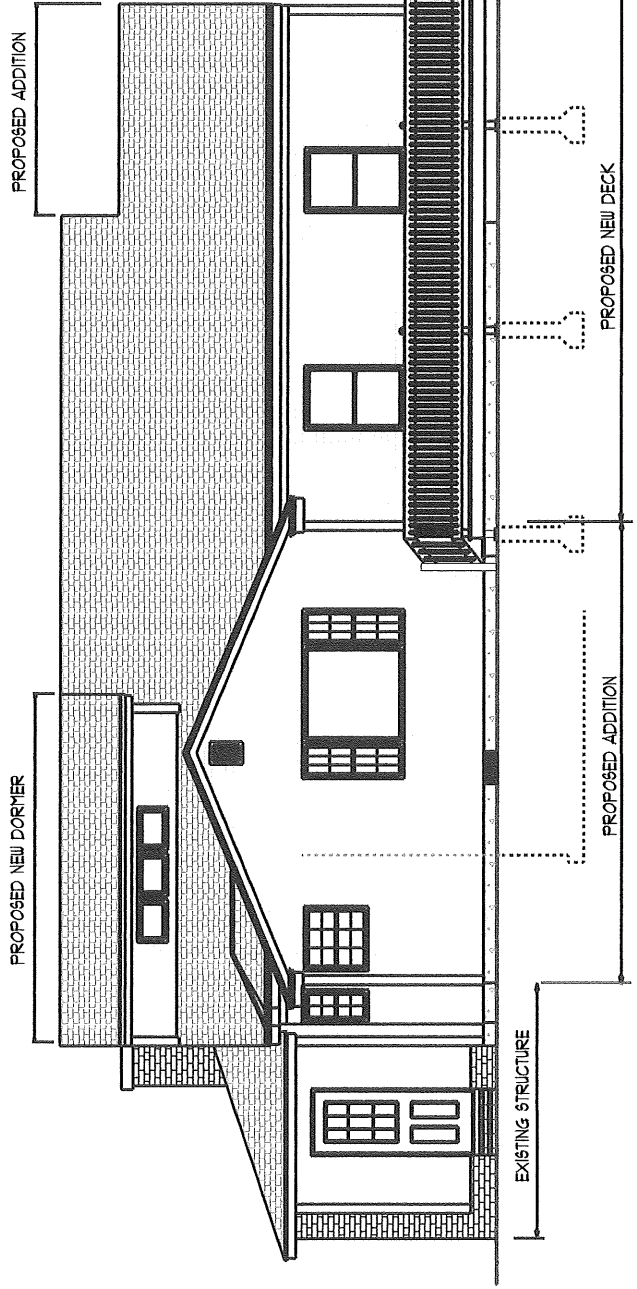
PROPOSED ROOF EXTENSION
EXISTING ROOF

EXISTING STRUCTURE

EXISTING STRUCTURE

Rear Elevation

* permitted 29105-1034



PROPOSED NEW DORMER

PROPOSED ADDITION

PROPOSED ADDITION

PROPOSED NEW DECK

EXISTING STRUCTURE

Rear Elevation
1/8" = 1'-0"

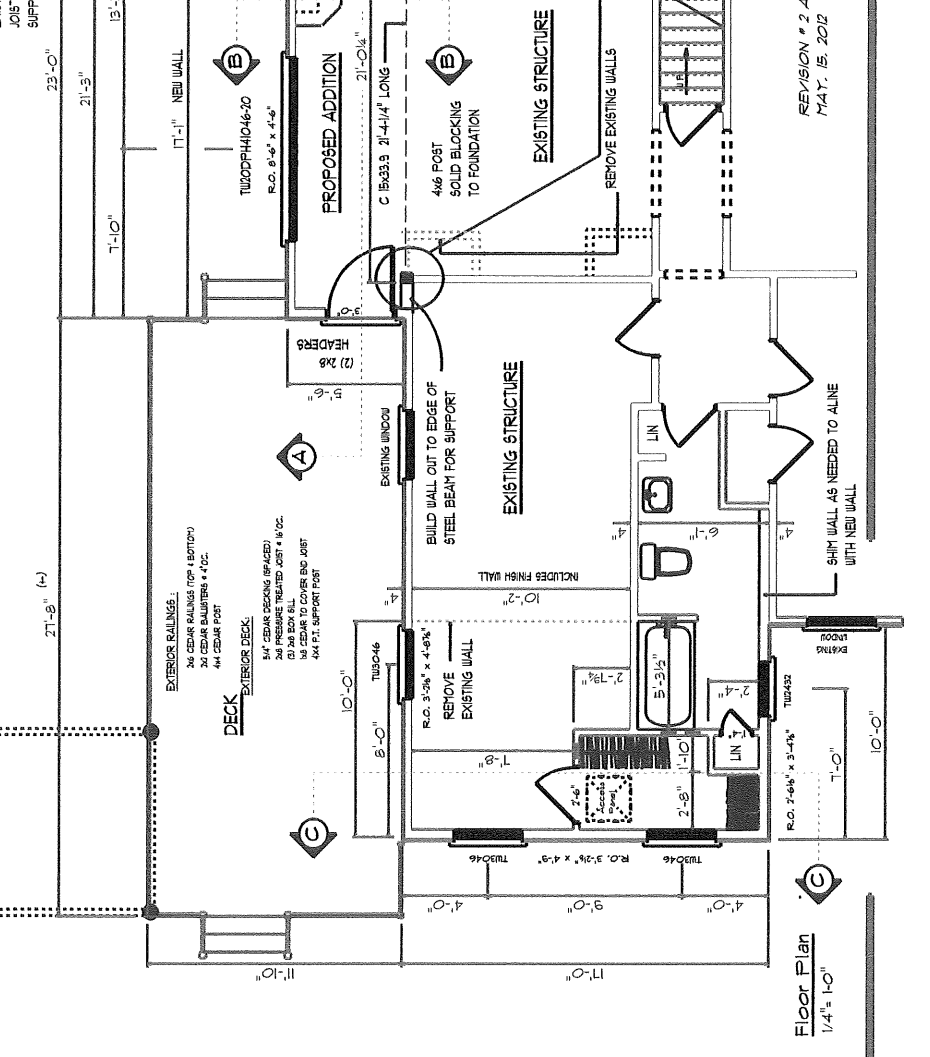
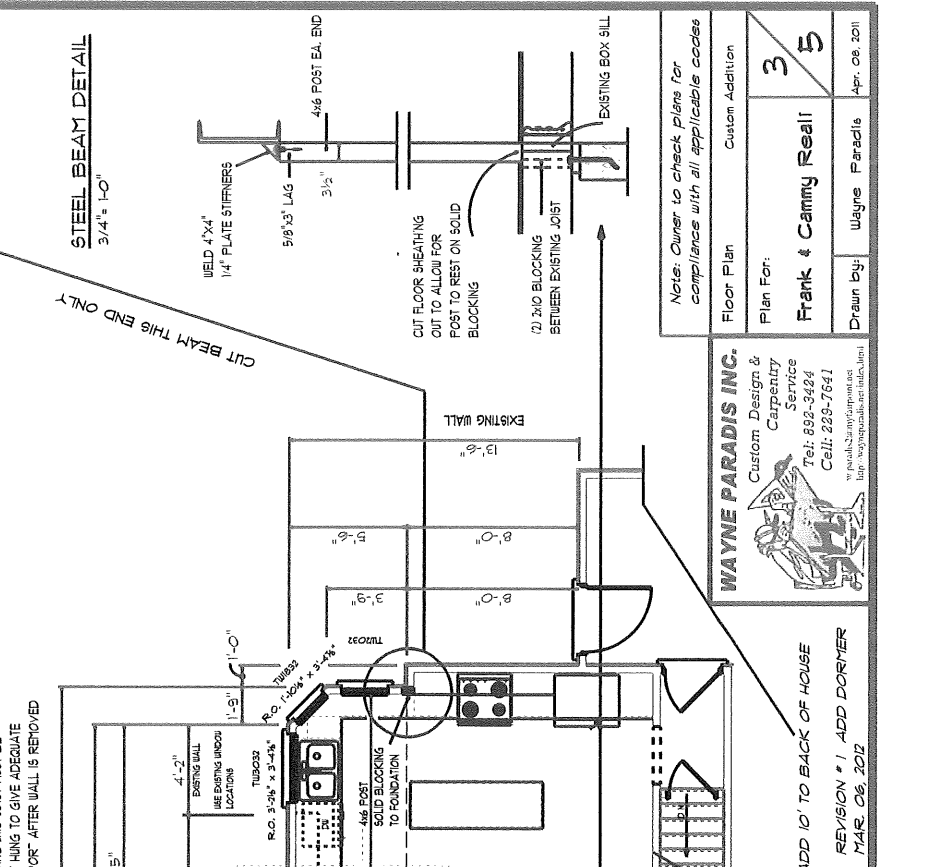
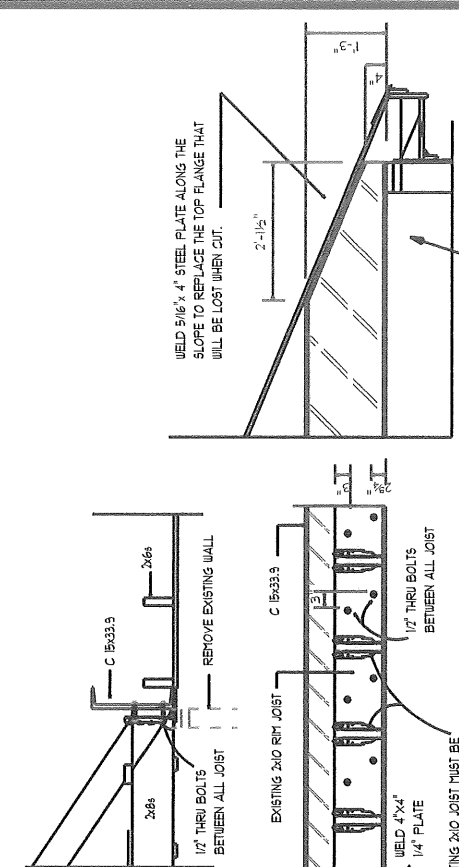
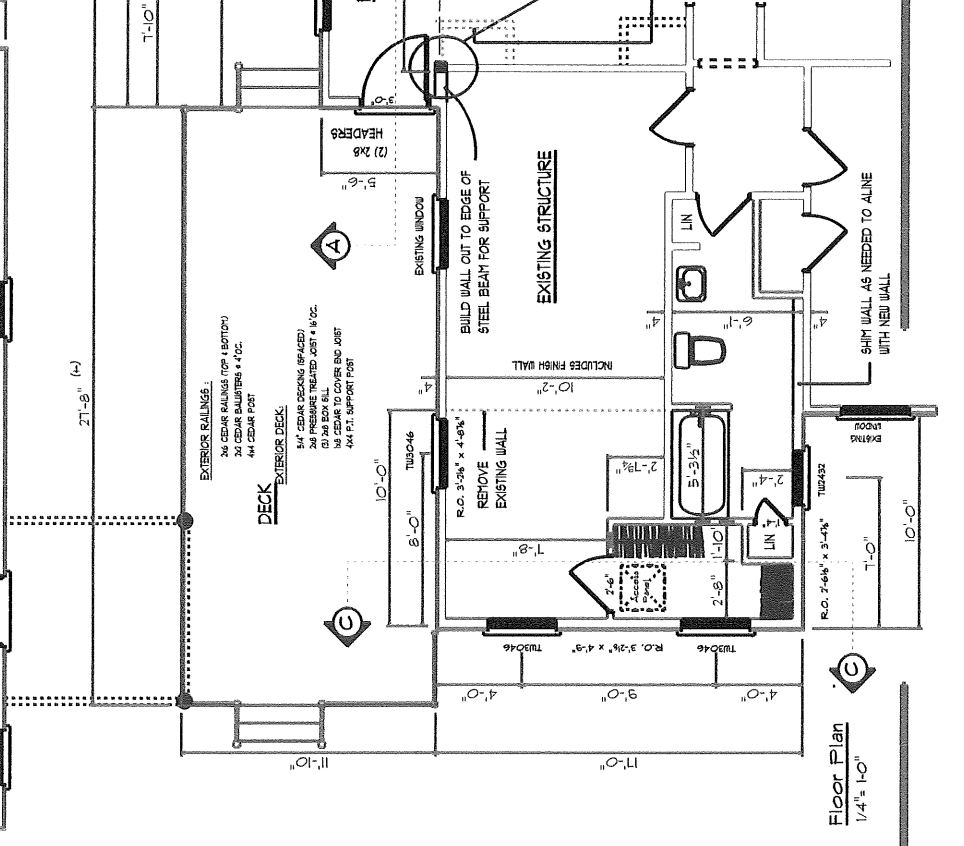
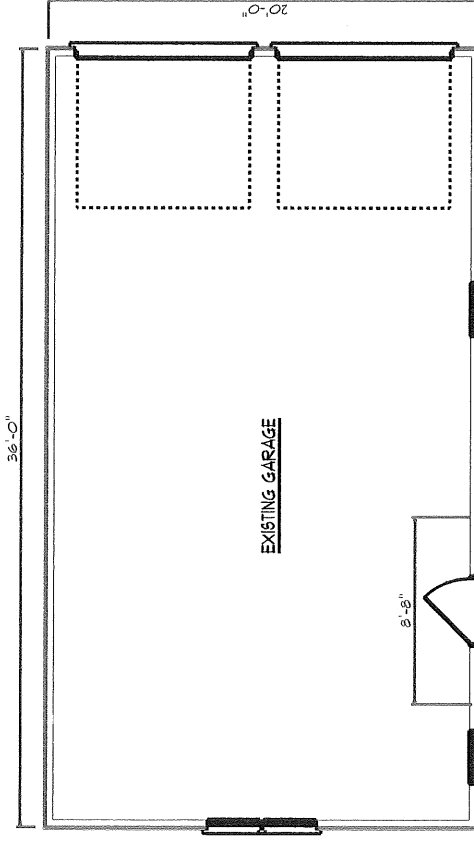
REVISION # 2 ADD 10' TO BACK OF HOUSE
MAY. 15. 2012

REVISION # 1 ADD DORMER
MAR. 06. 2012

Notes: Owner to check plans for compliance with all applicable codes

Elevations	Custom Addition
Plan For:	2 / 5
Drawn By:	Wayne Paradis
Frank & Cammy Reall	
Apr. 08, 2011	

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 Custom Design & Carpentry Service
 (Tel: 892-3424)
 Cell: 229-7641
 www.wayneparadis.com
 http://www.wayneparadis.com



Note: Owner to check Plans for compliance with all applicable codes

Floor Plan Custom Addition

Plan For: **Frank & Cammy Reali**

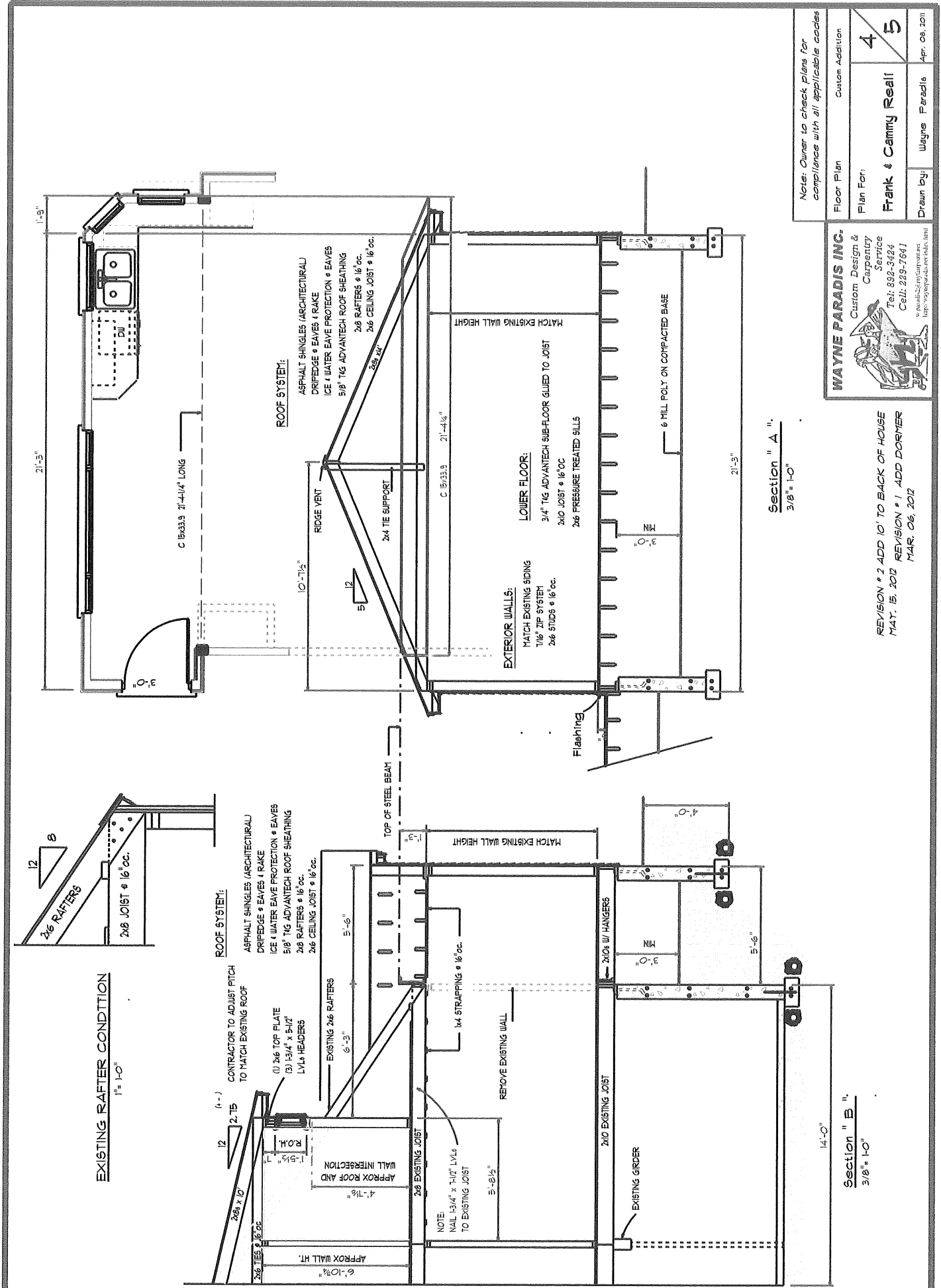
Drawn by: Wayne Paradis

Apr. 09. 2011

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REVISION # 2 ADD 10' TO BACK OF HOUSE
 1/4" 15. 2012
 REVISION # 1 ADD DORIMER
 MAR. 06. 2012

Floor Plan
 1/4" = 1'-0"

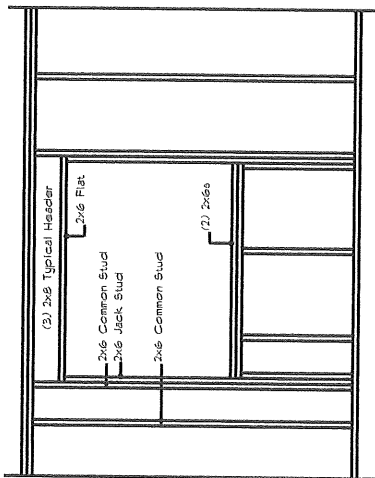


Notes: Owner to check plans for compliance with all applicable codes

Floor Plan	Custom Addition
Plan For:	4/5
Drawn by:	Wayne Paradis
Frank & Cammy Reall	

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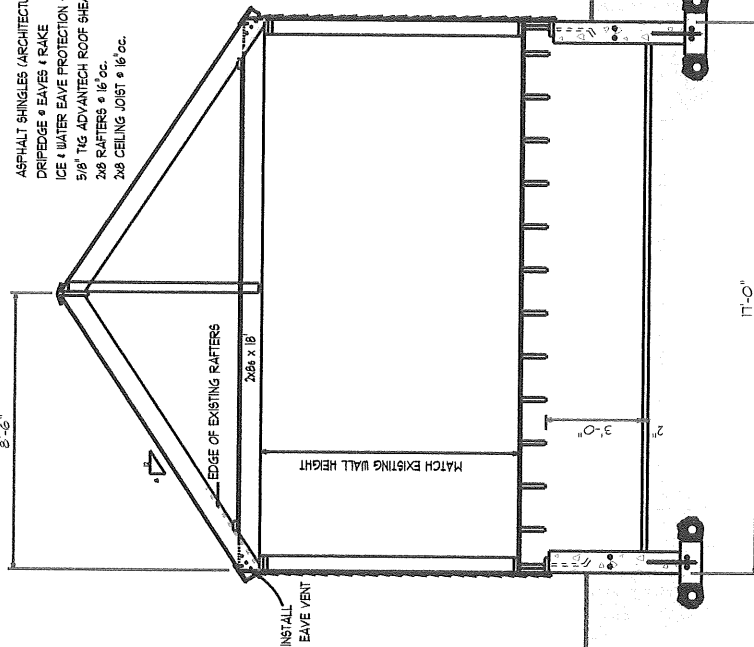
REVISION # 2 ADD 10' TO BACK OF HOUSE
 MAY 15, 2012 REVISION # 1 ADD DORMER
 MAR 06, 2012



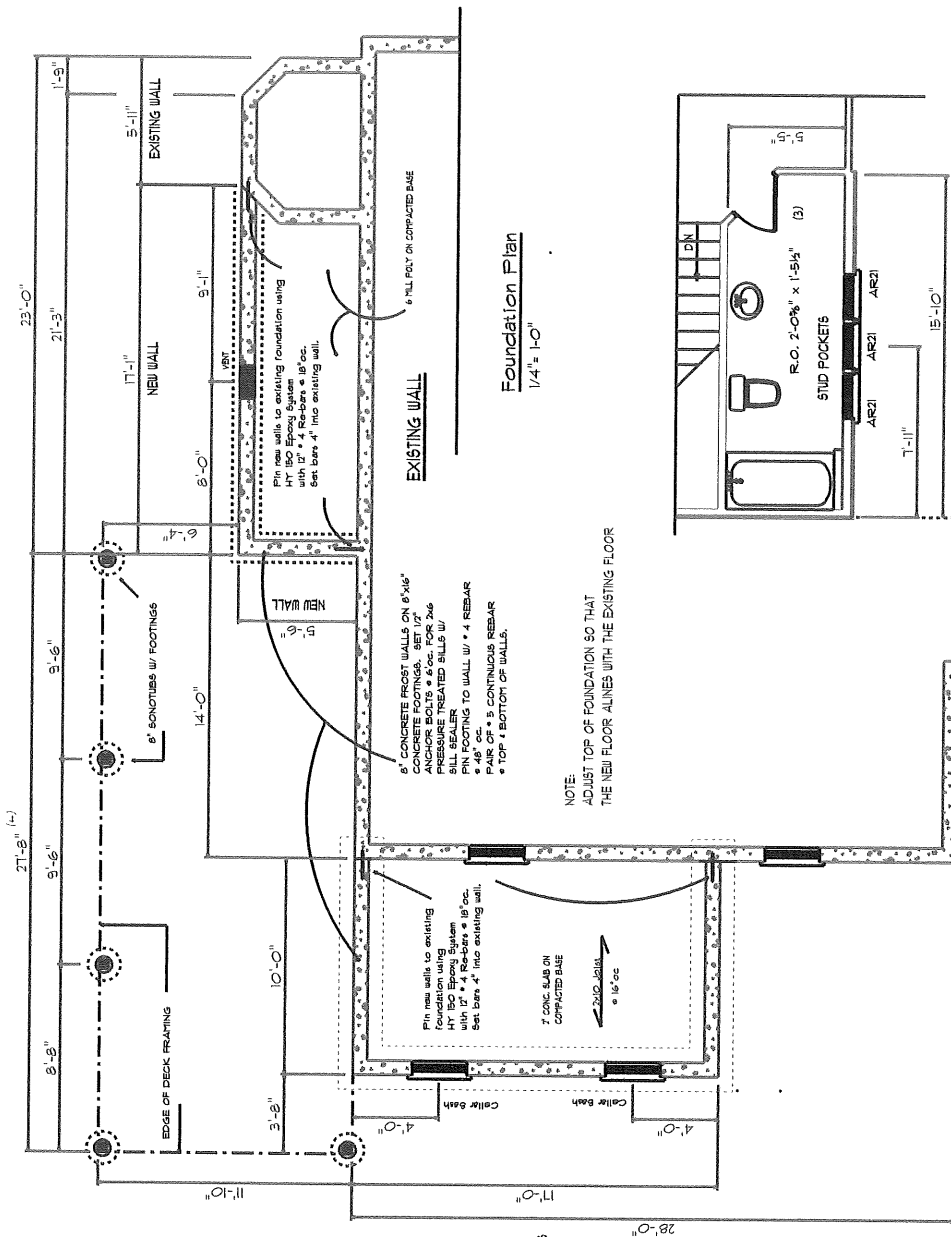
Typical Wall Framing
1/2" = 1'-0"

ROOF SYSTEM:

- ASPHALT SHINGLES (ARCHITECTURAL)
- DRIPEDGE • EAVES • RAKE
- ICE & WATER EAVE PROTECTION • EAVES
- 5/8" TIG ADVANTECH ROOF SHEATHING
- 2x8 RAFTERS @ 16" OC.
- 2x8 CEILING JOIST @ 16" OC.

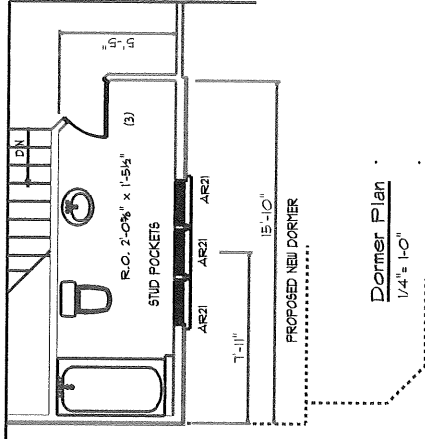


Section " C "
3/8" = 1'-0"



Foundation Plan
1/4" = 1'-0"

NOTE:
ADJUST TOP OF FOUNDATION SO THAT
THE NEW FLOOR ALINES WITH THE EXISTING FLOOR



Dormer Plan
1/4" = 1'-0"

EXTERIOR WALLS:
MATCH EXISTING SIDING
7/16" ZIP SYSTEM
2x6 STUDS @ 16" OC.

LOWER FLOOR:
3/4" TIG ADVANTECH SUB-FLOOR GLUED TO JOIST
2x10 JOIST @ 16" OC
2x6 PRESSURE TREATED SILLS

REVISION # 2 ADD 10' TO BACK OF HOUSE
MAY. 15. 2012 REVISION # 1 ADD DORMER
MAR. 06. 2012

Notes: Owner to check plans for compliance with all applicable codes	
Section " C "	Custom Addition
Foundation & Dormer Plan	Custom Addition
Plan For:	5
Frank & Cammy Reall	5
Drawn by:	Wayne Paradis
	Apr. 06. 2011

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259-B-003

Job 2011-05-1034
child-202-44443

391 Caprice

submitted 5/31/12

RECEIVED

JUN 10 2012

Dept. of Building Inspections
City of Portland Maine

PROPOSED NEW ROOF WINDOWS
SIZE AND LOCATION BY CONTRACTOR

EXISTING ROOF WINDOWS

EXISTING STRUCTURE

Front Elevation
1/4" = 1'-0"

PROPOSED ADDITION

EXISTING ROOF
PROPOSED ROOF EXTENSION

EXISTING STRUCTURE

Left Elevation

locate to
side near
deck
cellar
CR

Window to
relocate to
front of addition

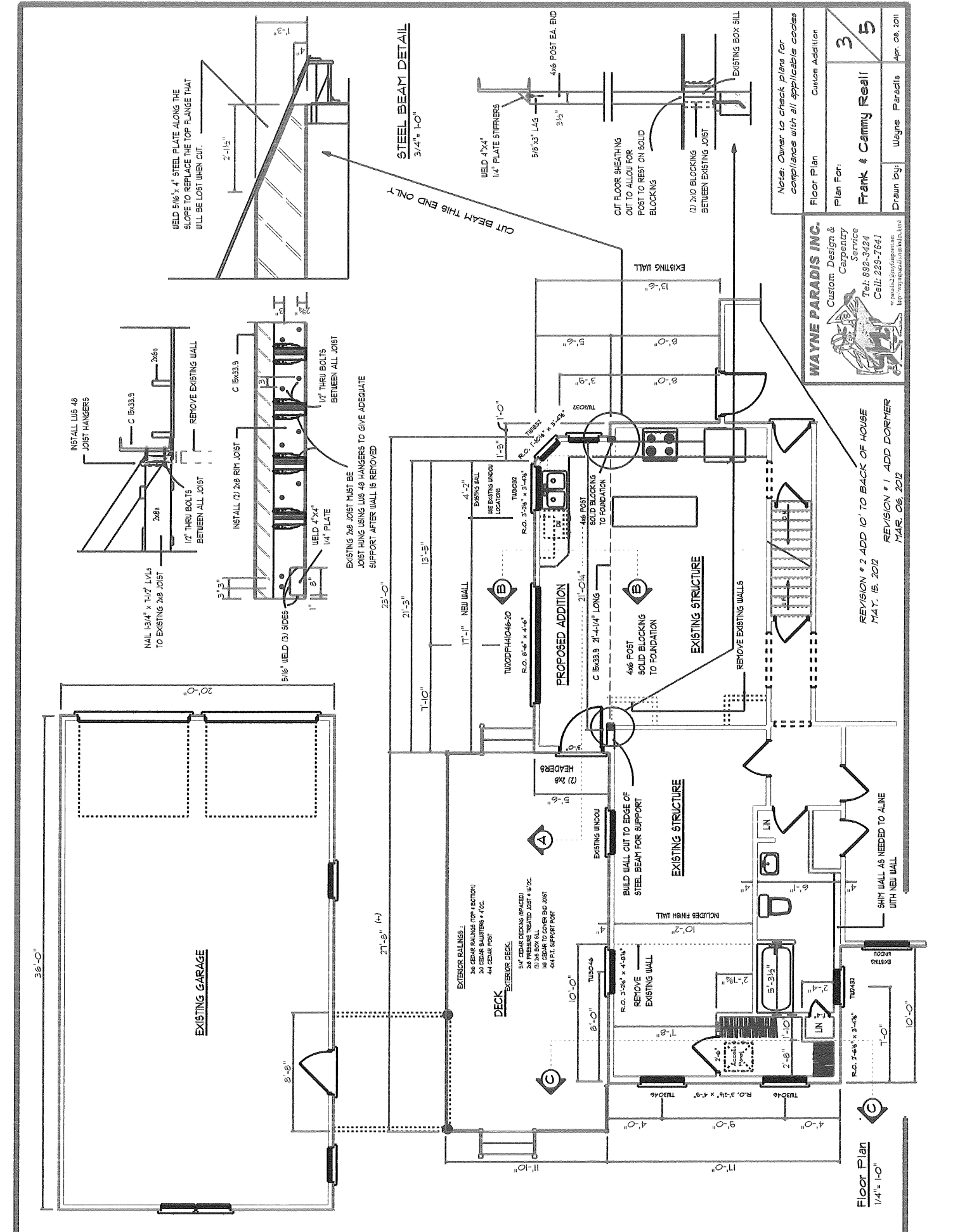
PROPOSED ADDITION
relocate near
deck cellar
CR

REVISION # 2 ADD 10' TO BACK OF HOUSE
JUN. 13, 2012

REVISION # 1 ADD DORMER
MAR. 06, 2012

Note: Owner to check plans for compliance with all applicable codes	
Elevations	Custom Addition
Plan For:	1
Drawn By:	Wayne Paradis
Drawn By:	Frank & Cammy Reall
Drawn By:	Apr. 08, 2011

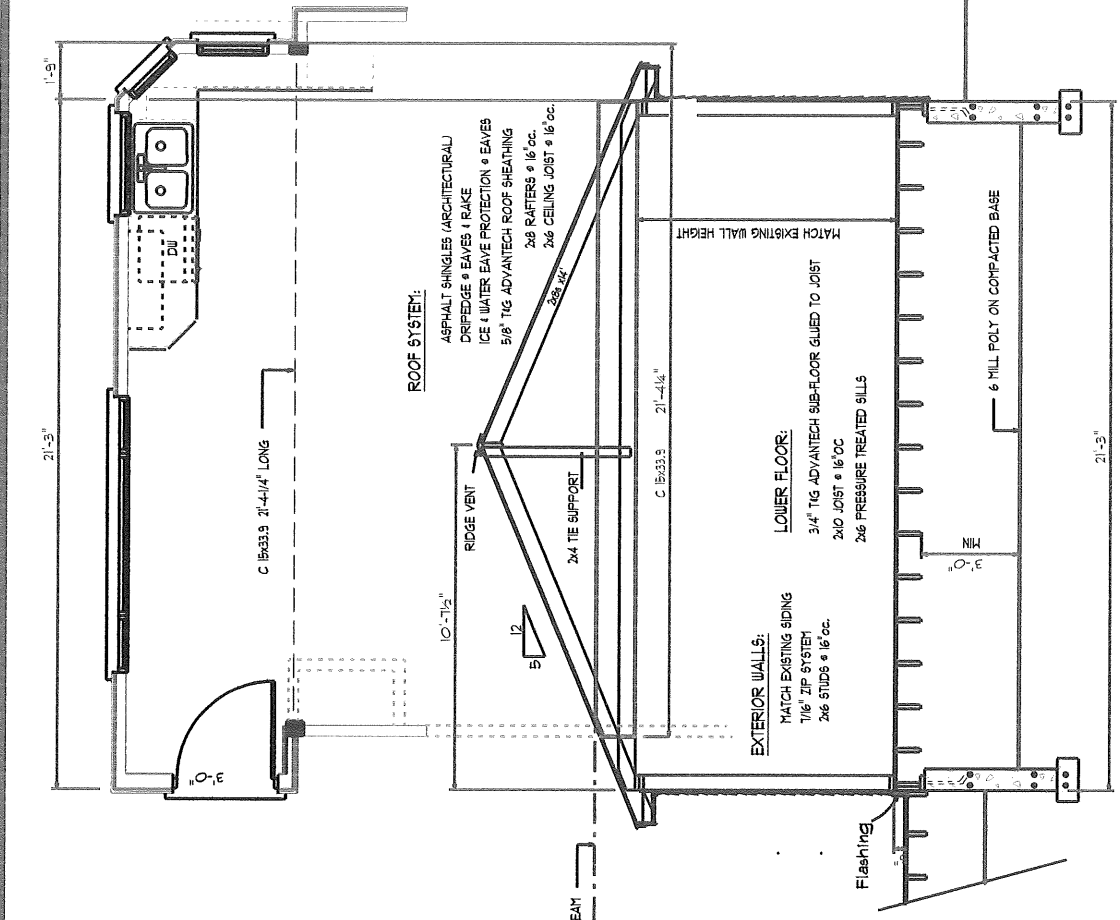
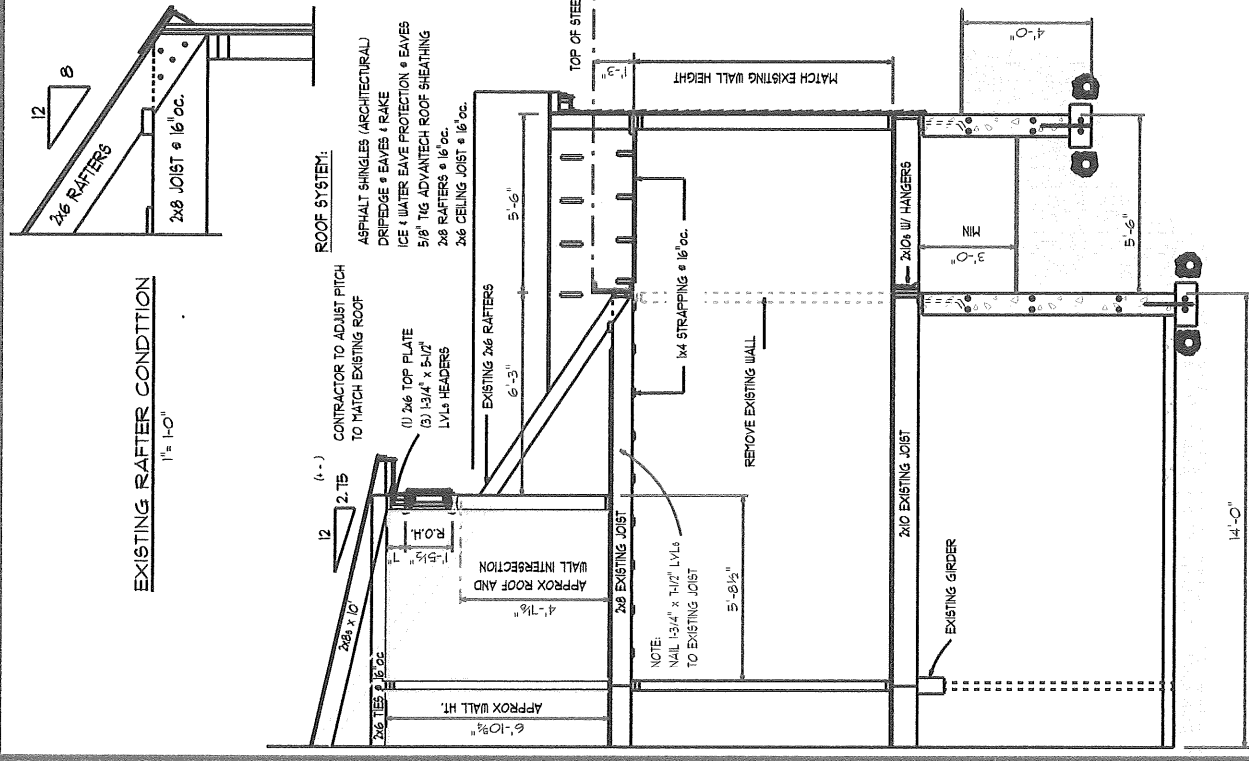
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 wparadis@wayneparis.com
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REVISION # 2 ADD 10' TO BACK OF HOUSE
 MAY. 15. 2012
 REVISION # 1 ADD DORMER
 MAR. 06. 2012

Notes: Owner to check plans for compliance with all applicable codes	
Floor Plan	Custom Addition
Plan For:	3 5
Drawn By:	Wayne Paradis
Date:	Apr. 09. 2011

Floor Plan
 1/4" = 1'-0"



Section " A " 3/8" = 1'-0"

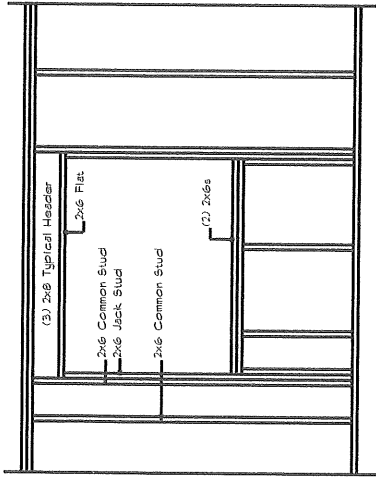
Section " B " 3/8" = 1'-0"

REVISION # 2 ADD 10' TO BACK OF HOUSE
 JUN. 13, 2012
 REVISION # 1 ADD DORMER
 MAR. 06, 2012

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 wparadis@wayneparadis.com
 http://www.wayneparadis.com/index.html

Notes: Owner to check plans for compliance with all applicable codes

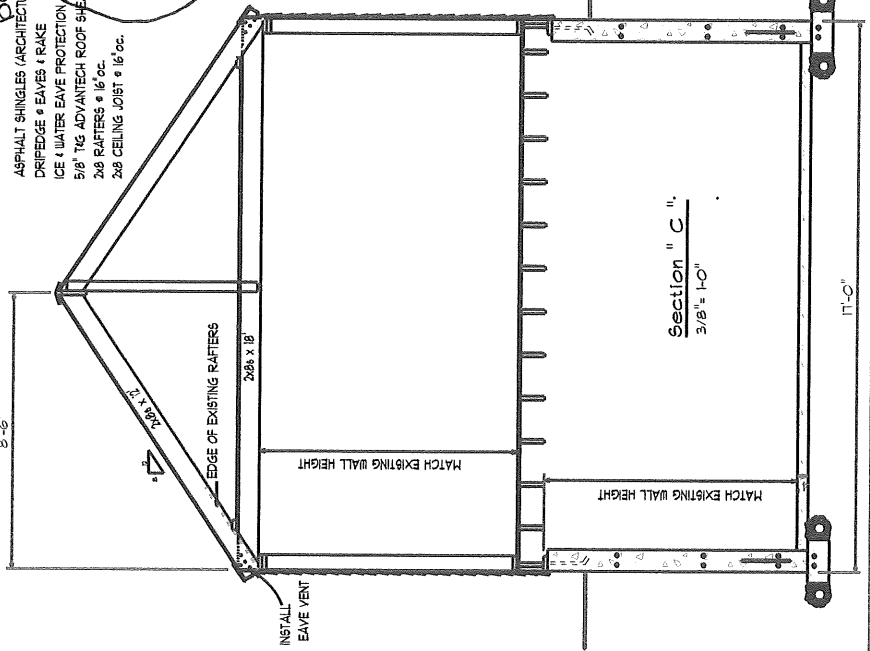
Floor Plan	Custom Addition
Plan For:	4/5
Drawn by:	Wayne Paradis
Drawn by:	Frank & Cammy Reali
Apr. 09, 2011	



Typical Wall Framing
1/2" = 1'-0"

ROOF SYSTEM:

- ASPHALT SHINGLES (ARCHITECTURAL)
- DRIFEDGE • EAVES • RAKE
- ICE & WATER EAVE PROTECTION
- 5/8" T&G ADVANTECH ROOF SHEATHING
- 2x6 RAFTERS @ 16" OC.
- 2x6 CEILING JOIST @ 16" OC.

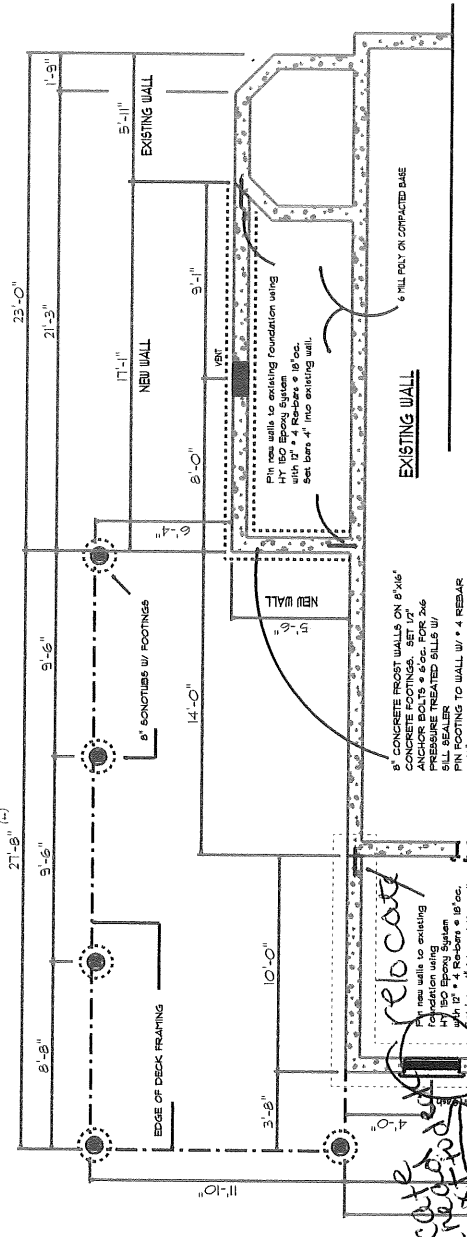


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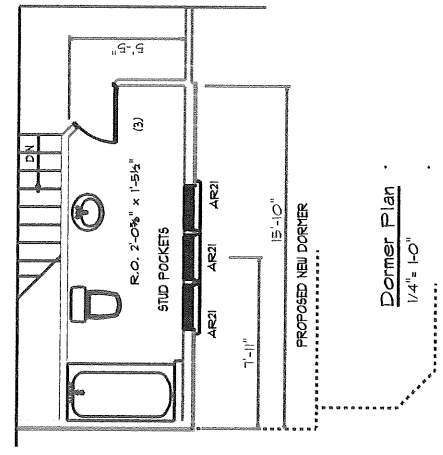
JUN 19 2012

Dept. of Building Inspections
City of Portland Maine

REVISION # 2 ADD 1' TO BACK OF HOUSE
JUN. 13, 2012 REVISION # 1 ADD DORMER
MAR. 06, 2012



Foundation Plan
1/4" = 1'-0"



Dormer Plan
1/4" = 1'-0"

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Note: Owner to check plans for compliance with all applicable codes

Section "C"	Foundation & Dormer Plan	Custom Addition
Plan For:	Frank & Cammy Reall	5/5
Drawn by:	Wayne Paradis	Apr. 06, 2011