

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that CARMELA A & FRANK JTS REALlocated At 391 CAPISIC ST

Job ID: 2011-05-1034-ALTR

CBL: 259- B-003-001

has permission to build a 17 by 10 foot addition/ add a bulkhead and dormer (Single Family Residence).
provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer



Code Enforcement Officer / Plan Reviewer

06/22/2012

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
 1. Footings/Setbacks prior to pouring concrete
 2. Foundation wall prior to backfill
 3. Close In Elec/Plmb/Frame prior to insulate or gypsum
 4. Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Acting Director of Planning and Urban Development
Gregory Mitchell

Job ID: 2011-05-1034-ALTR

Located At: 391 CAPISIC ST

CBL: 259- B-003-001

Conditions of Approval:

Building

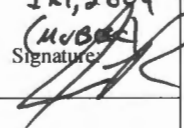
1. Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. A Carbon Monoxide (CO) alarms shall be installed in each area within or giving access to bedrooms. That detection must be powered by the electrical service (plug-in or hardwired) in the building and battery.
3. Hardwired photoelectric interconnected battery backup smoke alarms shall be installed in each bedroom, protecting the bedrooms, and on every level. A field inspection will verify your current smoke detector arraignment and the City's minimal code requirements.
4. Roof Rafter framing and Connection shall comply with Section R802.3 & R802.3.1 of MUBEC.
5. Foundation Drainage: Fabric, Damp proofing shall comply with Section R405 & R406, see attachment.
6. Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches above the finished floor of the room, unless a window fall prevention devices is installed in accordance with section R612.3.
7. A code compliant emergency escape shall be provided in each bedroom. Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches (no higher than 44 inches) above the finished floor of the room, or in compliance with Section R612.4.2 Operation for emergency escape.
8. Ventilation of this space is required per ASRAE 62.2 , 2007 edition; Contractor agreed that the "building envelope" insulation will comply with the IECC, 2009 (Maine State Energy Codes).
9. R807.1 Attic access. Buildings with combustible ceiling or roof construction shall have an attic access opening to attic areas that exceed 30 square feet and have a vertical height of 30 inches or greater. The vertical height shall be measured from the top of the ceiling framing members to the underside of the roof framing members. The rough-framed opening shall not be less than 22 inches by 30 inches and shall be located in a hallway or other readily accessible location.
10. Note: Contractor/ Owner are submitting Engineered Specifications for steel beam cut. The plan indicates "proposed" on already permitted portions of the building, see notes for clarification.

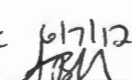
Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-05-1034-ALTR 2012-44443	Date Applied: 5/30/2012	CBL: 259- B-003-001	
Location of Construction: 391 CAPISIC ST	Owner Name: CARMELA & FRANK REALI	Owner Address: 391 CAPISIC ST PORTLAND, ME 04102 ME - MAINE	Phone: 207-772-5831
Business Name:	Contractor Name: Owner	Contractor Address:	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-3
Past Use: Single family	Proposed Use: Same - single family - build 17' x 10' one story addition & 11' dormer on rear, & 5' x 5' 8" bulkhead	Cost of Work: 15000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied / Per. <input checked="" type="checkbox"/> N/A / (cap. Permit)	Inspection: Use Group: R3 Type: SB IR, 2012 (MUBA) Signature: 
Proposed Project Description: 10' x 17' addition		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Brad		Zoning Approval	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: 05/31/12 	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<p>Historic Preservation</p> <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: ABM
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

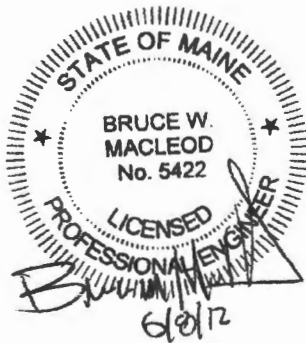
MACLEOD STRUCTURAL ENGINEERS, P.A.

STRUCTURAL CONSULTANTS
404 MAIN STREET
GORHAM, MAINE 04038
PHONE (207) 839-0980
FAX (207) 839-0982

Project: Project name
City, State
By: xxx
Job ID: 200x-xxx
Date: 6/8/2012
Page: 1 of 1

**Frank Reali
Residence
Portland, Maine**

**STEEL ROOF BEAM FRAMING CALCULATIONS
MSE Job #2012-192**



PREPARED BY
MacLeod Structural Engineers, P.A.
Gorham, Maine
June 8, 2012

PREPARED FOR
WAYNE PARADIS, INC.

Loads Sheet Sect. 1

Ceiling Dead Loads:

ceiling	3
mech/elec	0
Insulation	1
Framing	3
Total Dead	7 psf

Roof Dead Loads:

	0
sheathing	2
Asphalt shingles	3
miscellaneous	0
Framing	3
Total Dead	8 psf

Collateral Load = 0 psf

<u>Description</u>	<u>Trib Width</u> (FT)	<u>Dead</u> (PSF)	<u>Sunbal</u> (PSF)	<u>Snow</u> (PSF)	<u>Press. Wind 1</u> (PSF)	<u>Suct. Wind 2</u> (PSF)	<u>Attic L Other 1</u> (PSF)	<u>Collat</u> (PSF)	<u>ULF LL</u> (PLF)
roof rafter	14	-8	-76	-42	-20	16	0	0	-154 DL
ceiling joist	6	-7	0				-20		-1064 Sunbal
	0	0	0						-588 Snow
									-280 Wind 1
									224 Wind 2
									-120 Other 1
									0 Collat
Span (ft)	19								

<u>Load Cases</u>		<u>ULF</u>	<u>Total Load</u>	
LC1	D+Sunbal+Collat	-1218	-23142	sign convention: down = (-) up = (+)
LC2	D+0.75(S +W1)	-805	-15295	
LC3	0.6D+W2	131.6	2500.4	
LC4	D+W1+C	-434	-8246	
LC5	D+Other (1)	-274	-5206	
LC6	D +S+C+O	-862	-16378	

Title :
 Dsgnr:
 Description :
 Date:
 Job #
 Scope :

Rev: 510302
 User: KW-0502408, Ver 5.1.3, 22-Jun-1999, Wm32
 (c) 1983-99 ENERCALC

Steel Beam Design

Page 1
 c:\enercalc\miscellaneous.ecw:Calculations

Description Frank Reali Res revd 6.8.12

General Information

Calculations are designed to AISC 9th Edition ASD and 1997 UBC Requirements

Steel Section : C15X33.9

Center Span 21.33 ft
 Left Cant 0.00 ft
 Right Cant 0.00 ft
 Lu : Unbraced Length 0.00 ft

Pinned-Pinned
 Brn Wt. Added to Loads
 LL & ST Act Together

Fy 36.00ksi
 Load Duration Factor 1.00
 Elastic Modulus 29,000.0ksi

Distributed Loads

	# 1	# 2	# 3	# 4	# 5	# 6	# 7
DL	0.154						k/ft
LL	1.060						k/ft
ST							k/ft
Start Location							ft
End Location	19.000						ft

Summary

Beam OK
 Static Load Case Governs Stress

Using: C15X33.9 section, Span = 21.33ft, Fy = 36.0ksi
 End Fixity = Pinned-Pinned, Lu = 0.00ft, LDF = 1.000

	Actual	Allowable		
Moment	69.326 k-ft	75.600 k-ft	Max. Deflection	-0.619 in
fb : Bending Stress	19.808 ksi	21.600 ksi	Length/DL Defl	2,736.6 : 1
fb / Fb	0.917 : 1		Length/(DL+LL Defl)	413.8 : 1
Shear	13.154 k	86.400 k		
fv : Shear Stress	2.192 ksi	14.400 ksi		
fv / Fv	0.152 : 1			

Force & Stress Summary

<-- These columns are Dead + Live Load placed as noted -->

	Maximum	DL Only	LL @ Center	LL+ST @ Center	LL @ Cants	LL+ST @ Cants	
Max. M +	69.33 k-ft	10.47	69.33				k-ft
Max. M -							k-ft
Max. M @ Left							k-ft
Max. M @ Right							k-ft
Shear @ Left	13.15 k	1.98	13.15				k
Shear @ Right	10.63 k	1.66	10.63				k
Center Defl.	-0.619 in	-0.094	-0.619	-0.619	0.000	0.000	in
Left Cant Defl	0.000 in	0.000	0.000	0.000	0.000	0.000	in
Right Cant Defl	0.000 in	0.000	0.000	0.000	0.000	0.000	in
...Query Defl @	0.000 ft	0.000	0.000	0.000	0.000	0.000	in
Reaction @ Left	13.15	1.98	13.15	13.15			k
Reaction @ Rt	10.63	1.66	10.63	10.63			k

Fa calc'd per 1.5-1, K'L/r < Cc

Section Properties C15X33.9

		Weight			
Depth	15.000 in	33.83 #/ft	r-xx		5.624 in
Width	3.400 in	l-xx	r-yy		0.903 in
Web Thick	0.400 in	l-yy			
Flange Thickness	0.650 in	S-xx			
Area	9.96 in2	S-yy			

Title :
Dsgnr:
Description :

Date:
Job #

Scope :

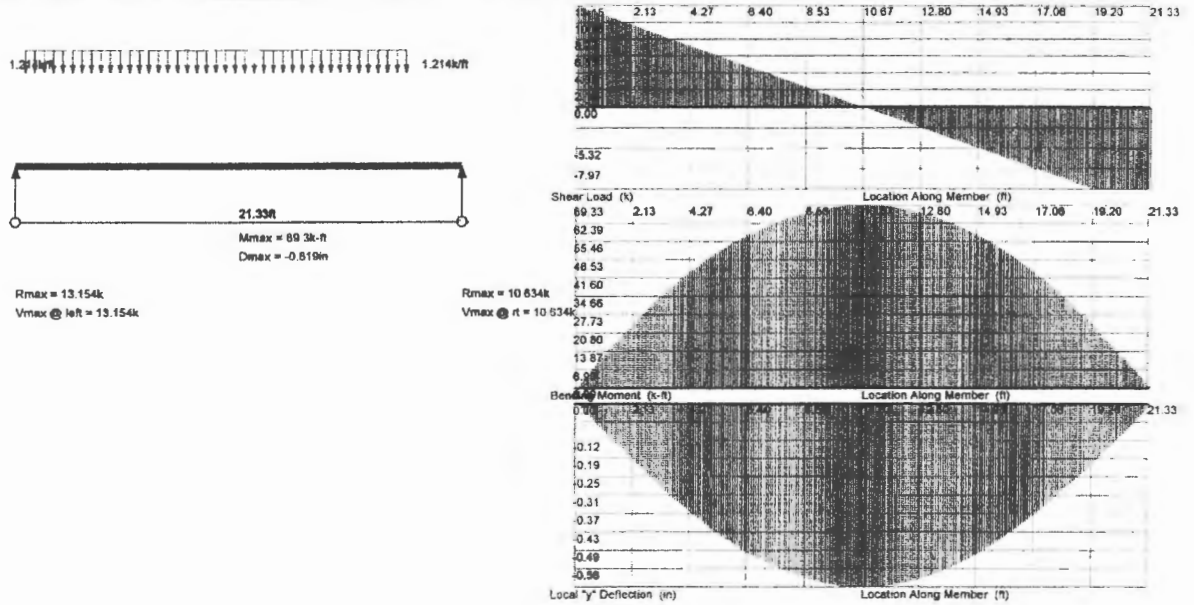
Rev. 510302
User: KW-0902409, Ver 5.1.3, 22-Jun-1999, Win32
(c) 1993-99 ENERCALC

Steel Beam Design

Page 2
c:\enercalc\miscellaneous.ecw\Calculations

Description Frank Reali Res revd 6.8.12

Sketch & Diagram





MACLEOD STRUCTURAL ENGINEERS, P.A.

404 MAIN STREET
GORHAM, MAINE 04038
PHONE (207) 839-0980
FAX (207) 839-0982

PROJECT: REALT RES.

BY: RM

JOB NO. 2012-192

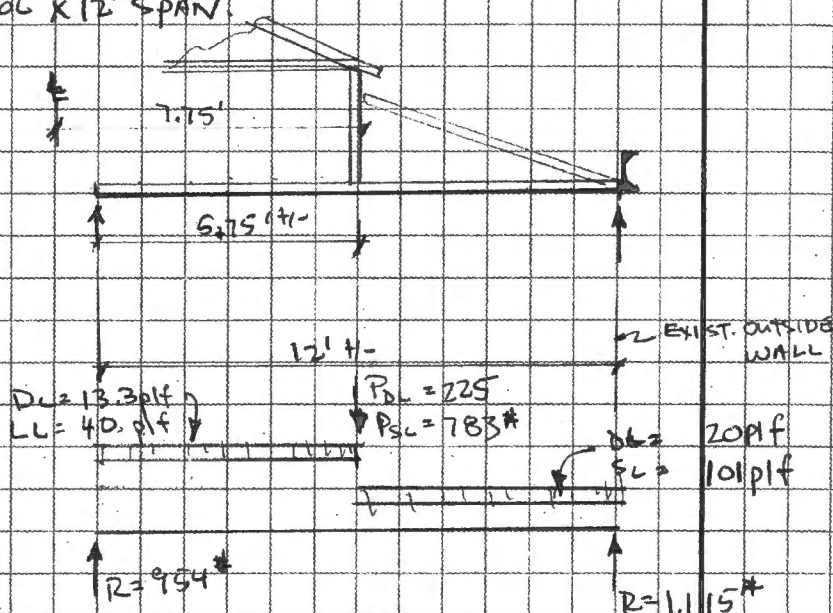
DATE: 6/12

SHEET NO.

NOTES:

CHECK CEILING JOISTS & NEW DORMER

JOISTS, 2X8 @ 16" OC X 12' SPAN



EXIST JOIST = 2X8 @ 16" OC

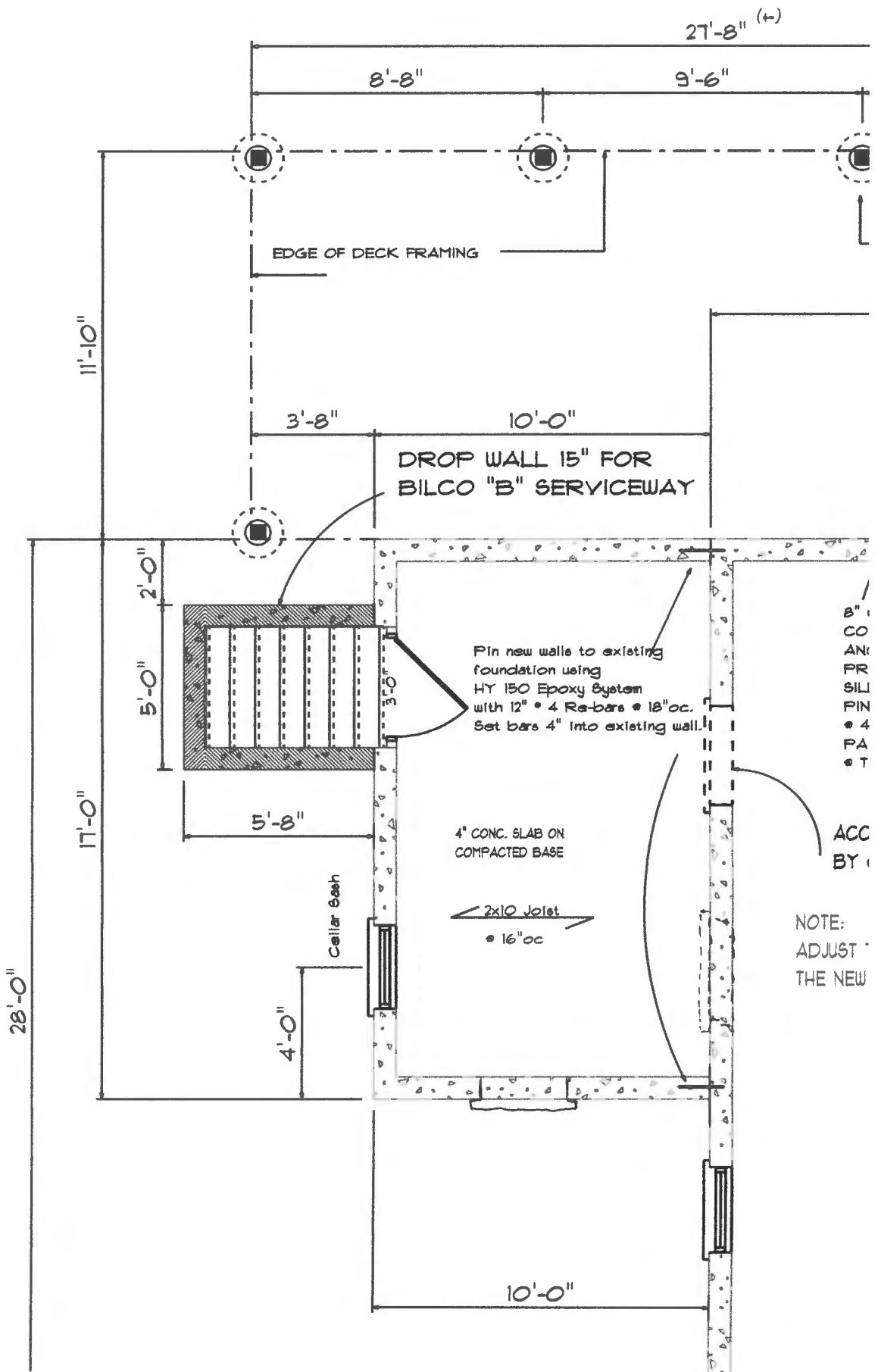
SECT AT DORMER
(REF. SECT B)

NEW JOIST = 1 3/4 X 7 1/4 LVL NAIL TO SIDE OF EXIST.

HANGERS AT NEW C12 BEAM

- USE (2) 2X WOOD PLATE BOLTED TO C12.
- ATTACH JOISTS W/ SIMPSON LUS48 HANGERS.

↳ NOTE: VERIFY BLOCK ON C12 IS THICK ENOUGH TO PERMIT FASTENING OF 1/2" NAILS.





PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Receipts Details:

Tender Information: Check , Check Number: 3914

Tender Amount: 200.00

Receipt Header:

Cashier Id: bsaucier

Receipt Date: 5/30/2012

Receipt Number: 44444

Receipt Details:

Referance ID:	6702	Fee Type:	UI-MI
Receipt Number:	0	Payment Date:	
Transaction Amount:	200.00	Charge Amount:	200.00
Job ID: Job ID: 2011-05-1034-ALTR - 391 Capisic St.			
Additional Comments: 391 Capisic			

Thank You for your Payment!

RECEIVED

Existing

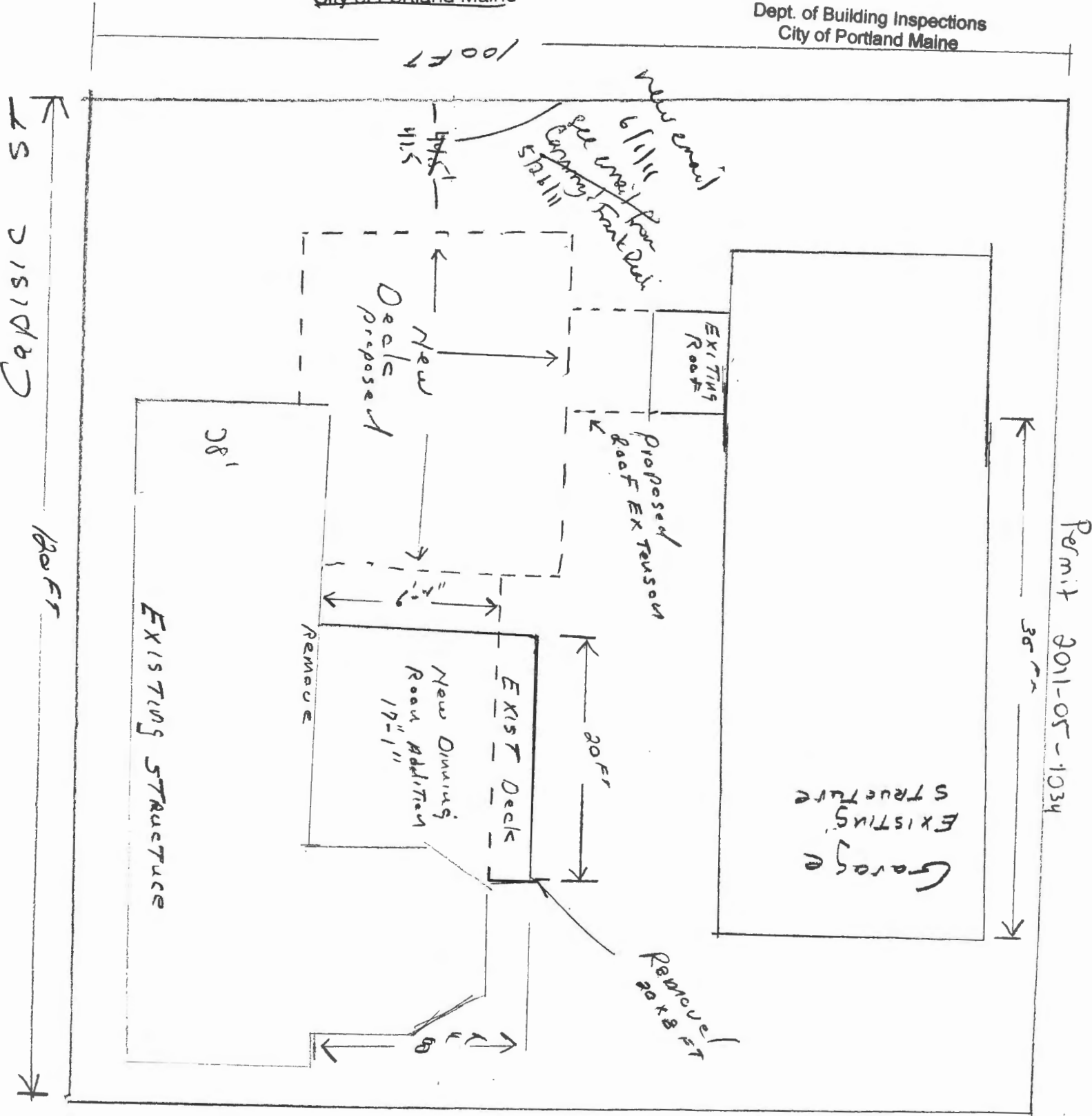
~~MAY 26 2011~~

RECEIVED

Dept. of Building Inspections
City of Portland Maine

MAY 30 2012

Dept. of Building Inspections
City of Portland Maine



Lucas St Plot Plan

Permit 2011-05-1034

Capitol 120 FT

Permit 2011-05-1034

R3

lot size - 6500 sq ft - 11,932 sq ft
 front 25' min. ~~17' x 28' 14" 0.0~~
 rear - 25' - 35.5' + 0.0'
 side - 8' - 0.0' - see other plot plan.
 44.5' 0.0'
 lot coverage - 35% = 4171.2

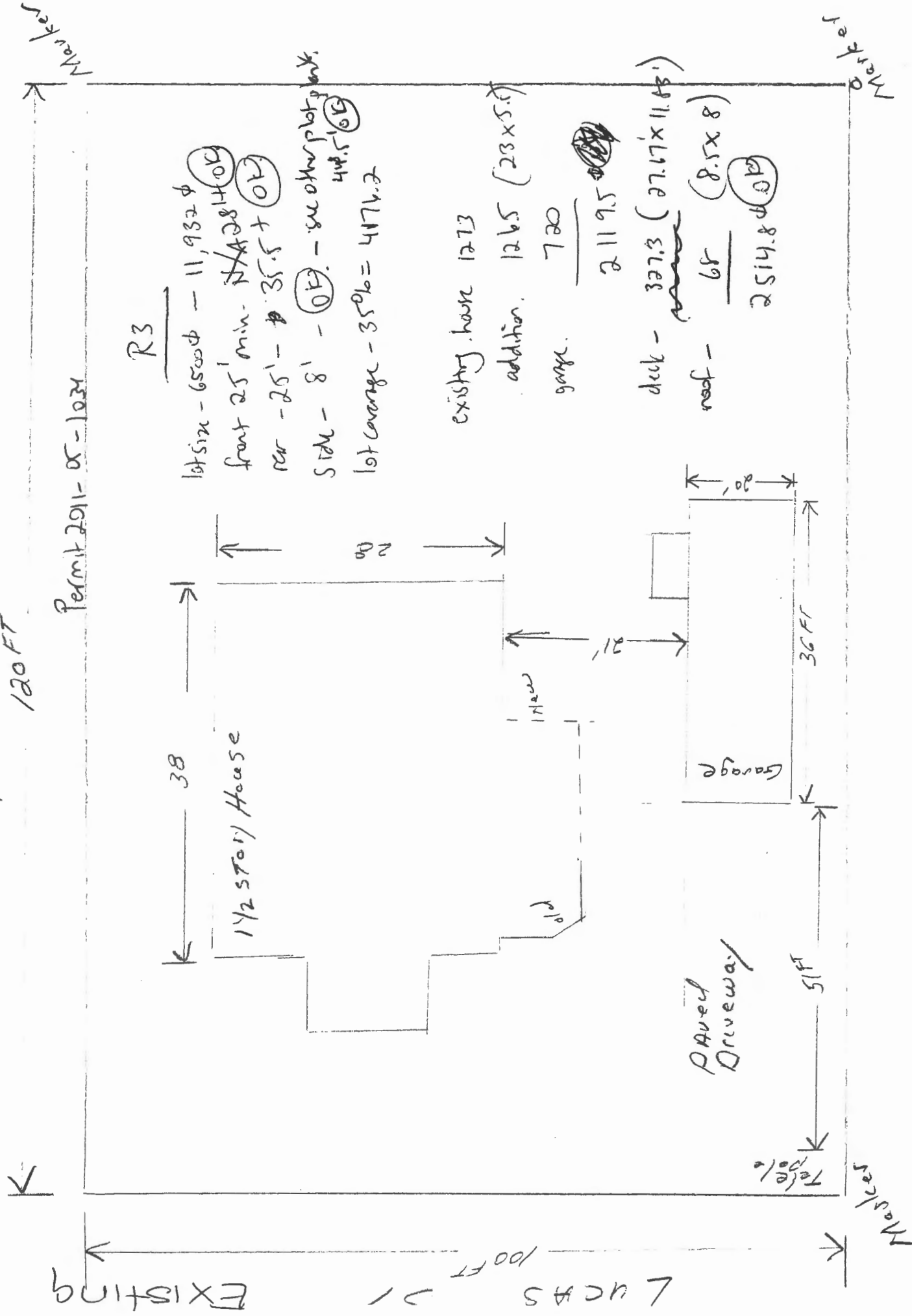
existing house 1273

addition 1265 (23 x 55')

garage 720
 2119.5

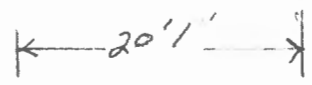
deck - 327.3 (27.17 x 11.65')

roof - 68 (8.5 x 8)
 2514.8 sq ft



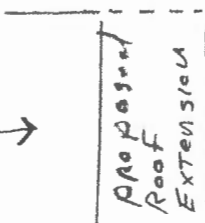
Plot Plan

C.H.P. 120 FT



EXISTING STRUCTURE Garage

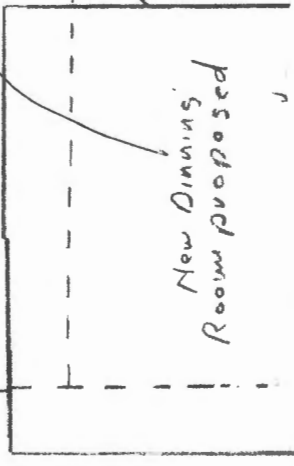
EXISTING ROOF



Original Proposed New Decks

20x8' EXISTING DECK

part of deck



R-3

lot size - 11,932

perm lot coverage - 35%

4,176.2

footprint as of permit

211-05-1034

2514.8

addition + 170 (10x7)

2684.8 OF

front - 25 - 725 (2)

* for new front side - 8' - 41 (2)

31 on right existing (2)

RECEIVED MAY 3 0 2012 Dept. of Building Inspections City of Portland Maine

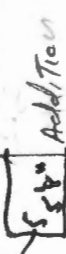
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Proposed

415 or 411 photos



billie bolt head



41

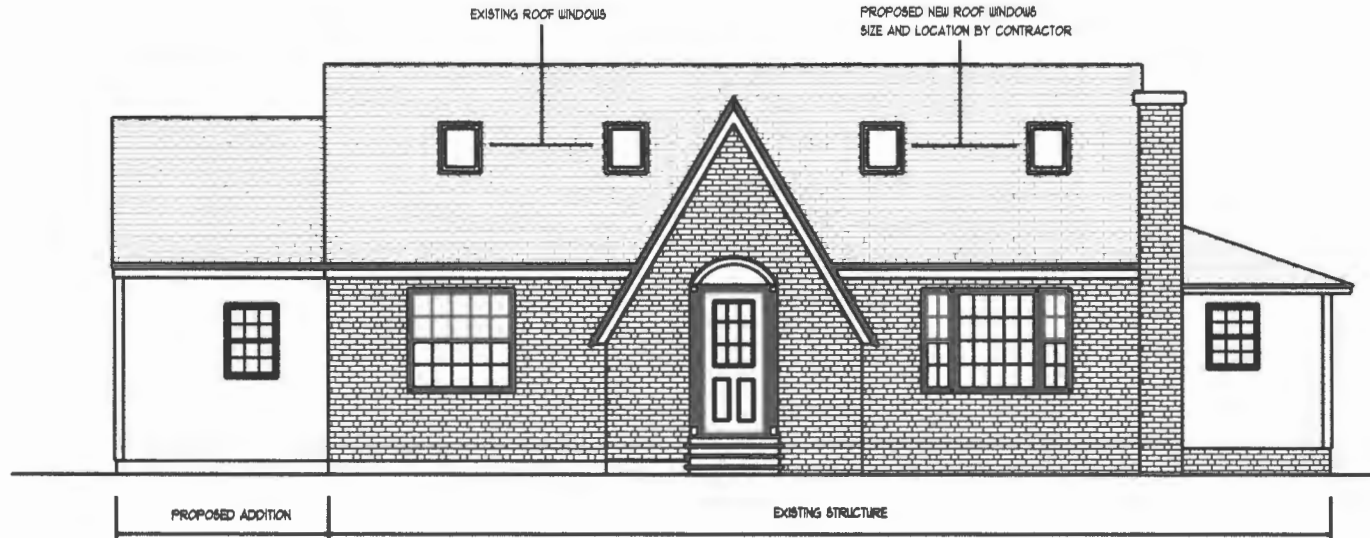
11

K

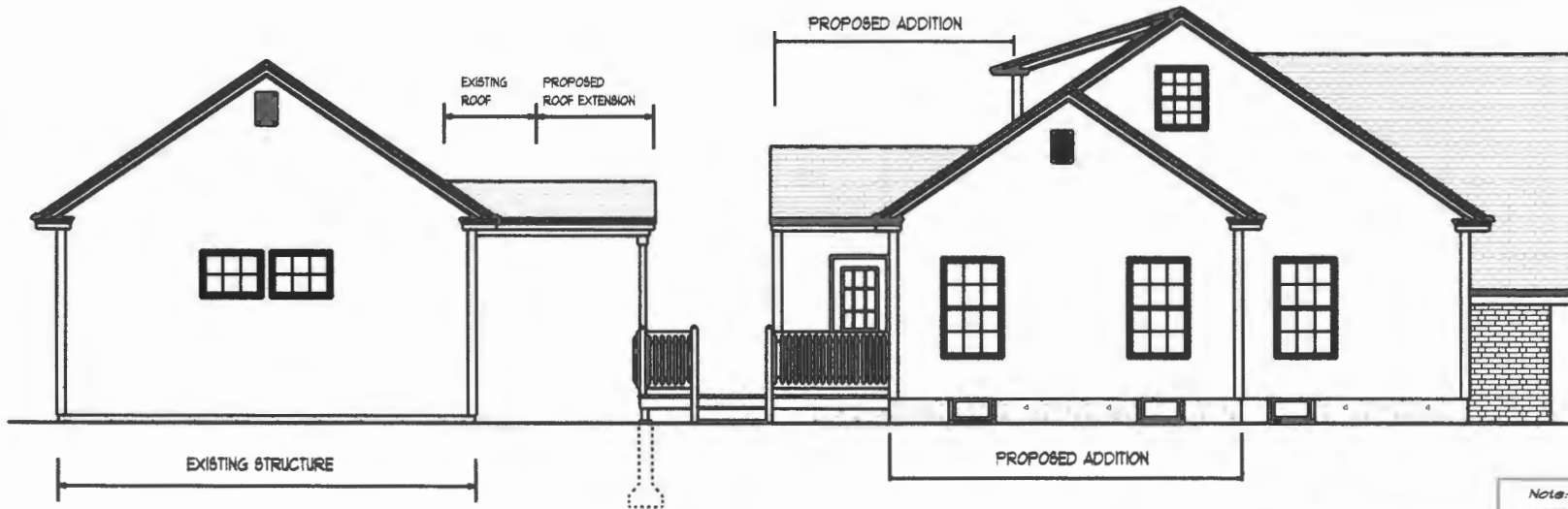
K

V

100'



Front Elevation
1/4" = 1'-0"



Left Elevation

REVISION # 2 ADD 10' TO BACK OF HOUSE
MAY. 15, 2012

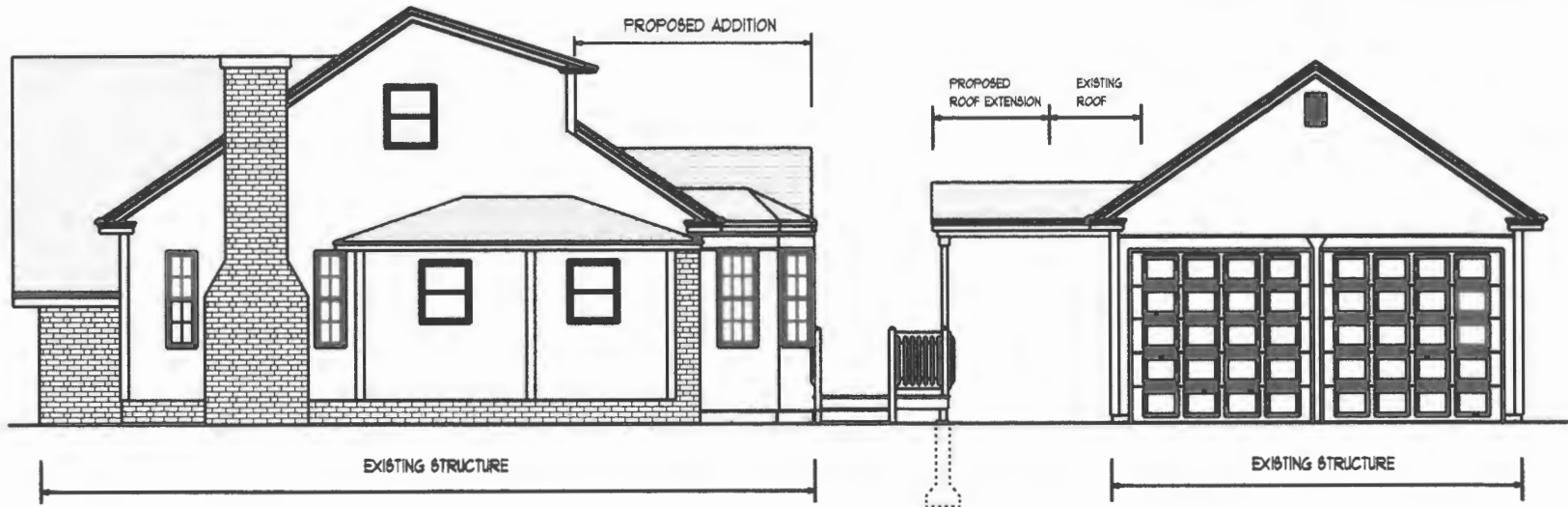
REVISION # 1 ADD DORMER
MAR. 06, 2012

WAYNE PARADIS INC.

Custom Design &
Carpentry
Service
Tel: 892-3424
Cell: 229-7641

Note: Owner to check plans for compliance with all applicable codes.

Elevations	Custom Addition
Plan For:	1 5
Frank & Cammy Reall	
Drawn By:	Wayne Paradis
	Apr. 06, 2011



Right Elevation

* permitted 2010-1034



Rear Elevation
1/8" = 1'-0"

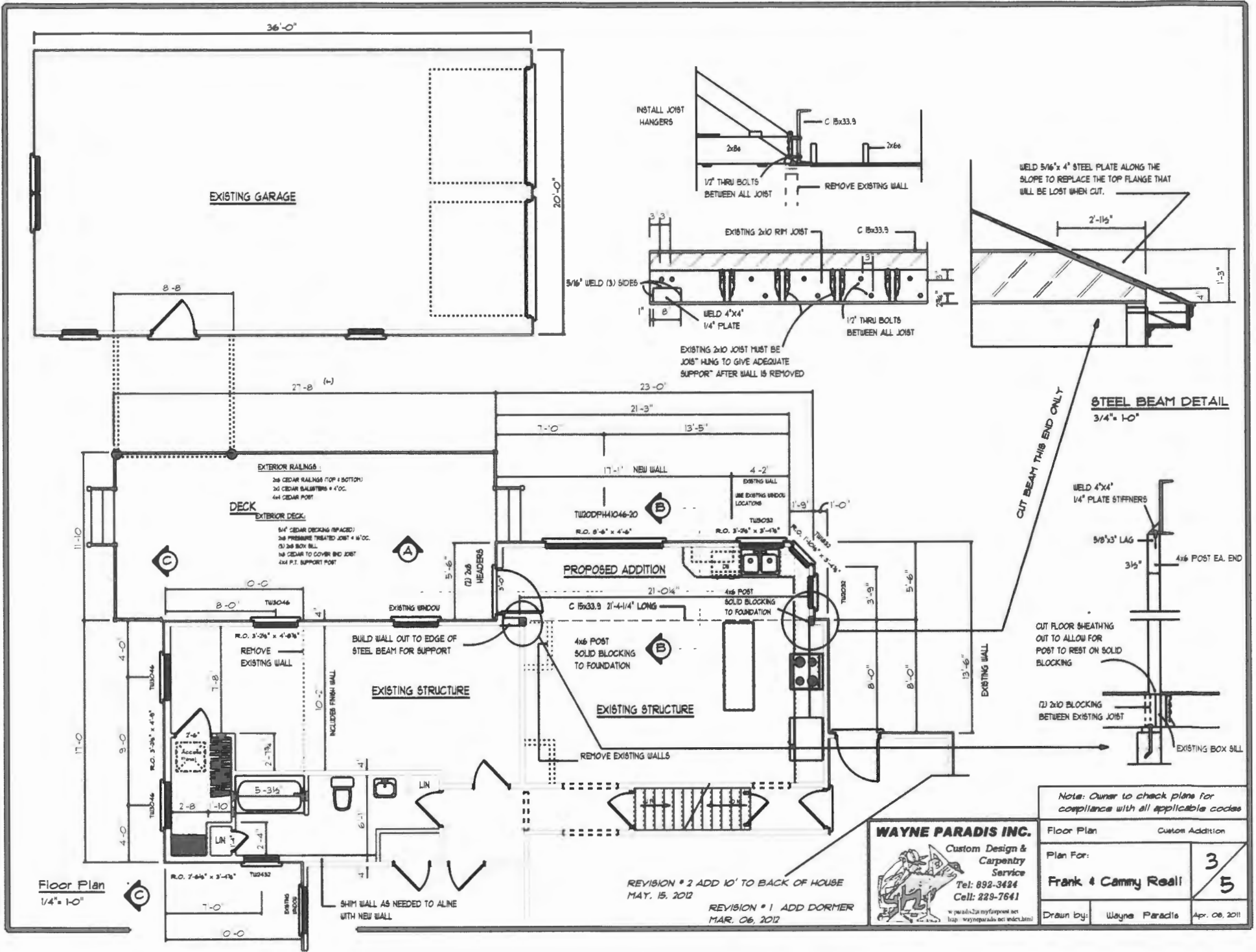
REVISION # 2 ADD 10' TO BACK OF HOUSE
MAY. 15, 2012

REVISION # 1 ADD DORMER
MAR. 06, 2012

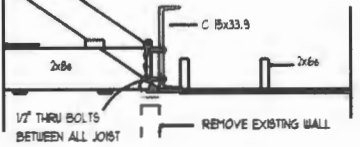
Note: Owner to check plans for compliance with all applicable codes

WAYNE PARADIS INC.
 Custom Design & Carpentry Service
 Tel: 832-3424
 Cell: 229-7641
 w.paradis2@earthlink.net
 http://wayneparadis.net/index.html

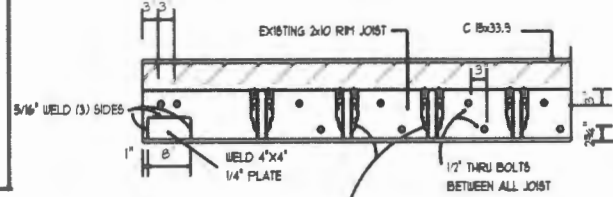
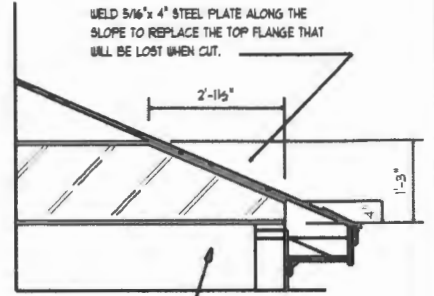
Elevations	Custom Addition
Plan For:	2
Frank & Cammy Reall	5
Drawn by	Wayne Paradis
	Apr. 06, 2011



INSTALL JOIST HANGERS



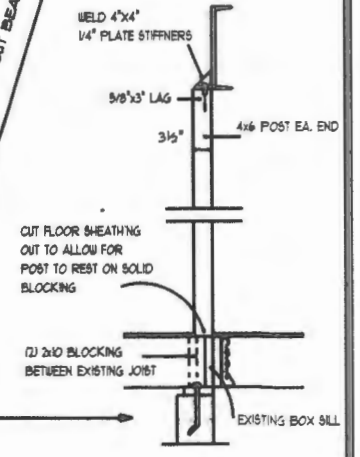
WELD 5/16\"/>



EXISTING 2x10 JOIST MUST BE JOIST HUNG TO GIVE ADEQUATE SUPPORT AFTER WALL IS REMOVED

STEEL BEAM DETAIL
3/4\"/>

CUT BEAM THIS END ONLY



CUT FLOOR SHEATHING OUT TO ALLOW FOR POST TO REST ON SOLID BLOCKING

(2) 2x10 BLOCKING BETWEEN EXISTING JOIST

EXISTING BOX SILL

Note: Owner to check plans for compliance with all applicable codes

Floor Plan
1/4\"/>

REVISION # 2 ADD 10' TO BACK OF HOUSE
MAY. 15. 2012
REVISION # 1 ADD DORMER
MAR. 06. 2012

WAYNE PARADIS INC.
Custom Design & Carpentry Service
Tel: 892-3484
Cell: 829-7641
www.wayneparadis.com
http://wayneparadis.net/index.html

Floor Plan	Custom Addition
Plan For:	3
Frank & Cammy Reall	5
Drawn by:	Wayne Paradis
	Apr. 06, 2011

259-B-003

391 Capisiz

Job 2011-05-1034
child-202-44443

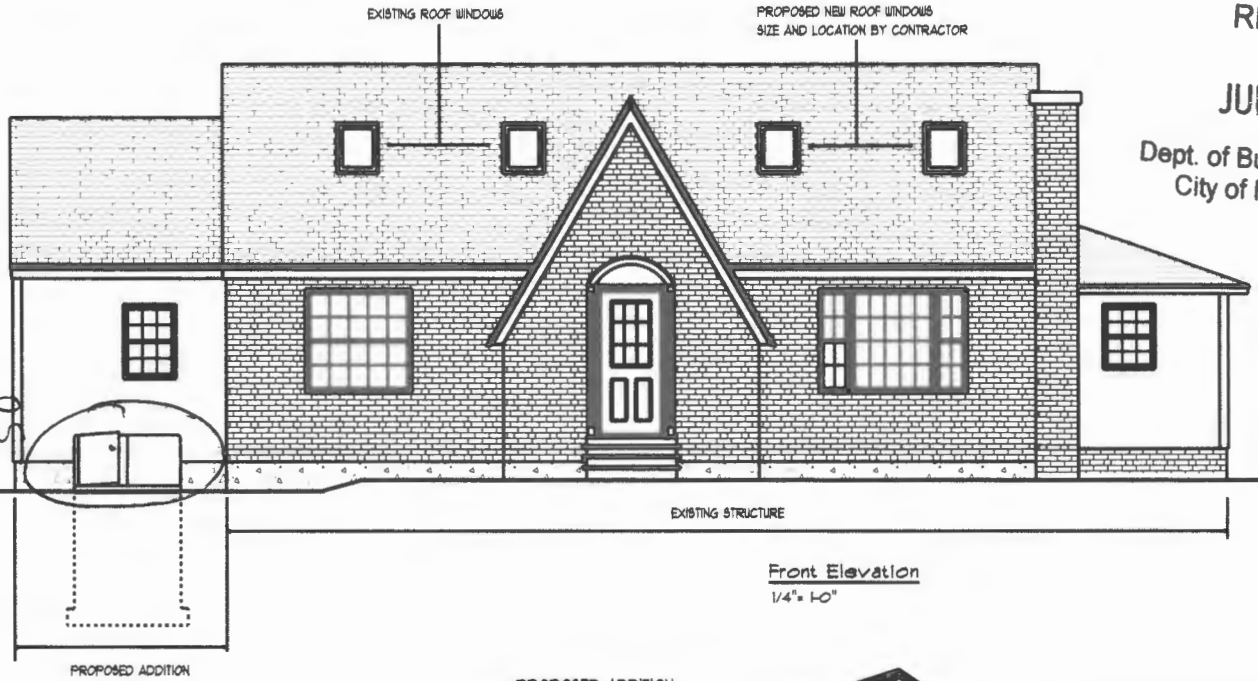
submitted 5/30/12

RECEIVED

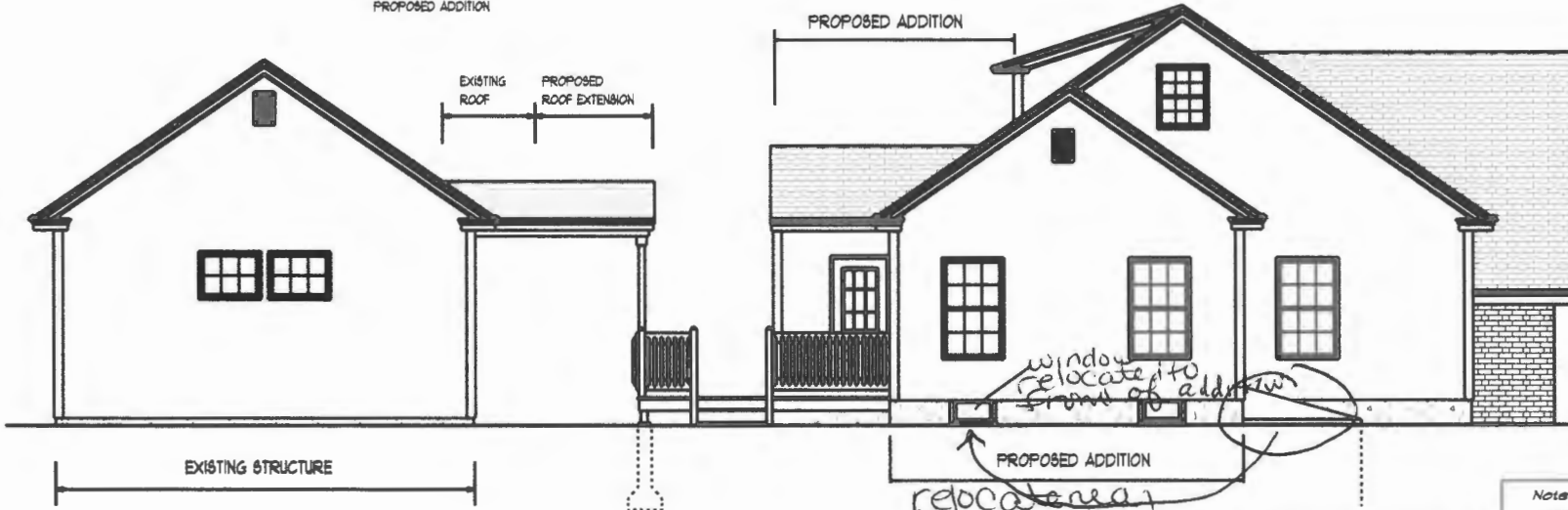
JUN 19 2012

Dept. of Building Inspections
City of Portland Maine

locate to
side near
deck
6/11/12
CR



Front Elevation
1/4" = 1'-0"



Left Elevation

REVISION # 2 ADD 10' TO BACK OF HOUSE
JUN. 13. 2012

REVISION # 1 ADD DORMER
MAR. 06, 2012

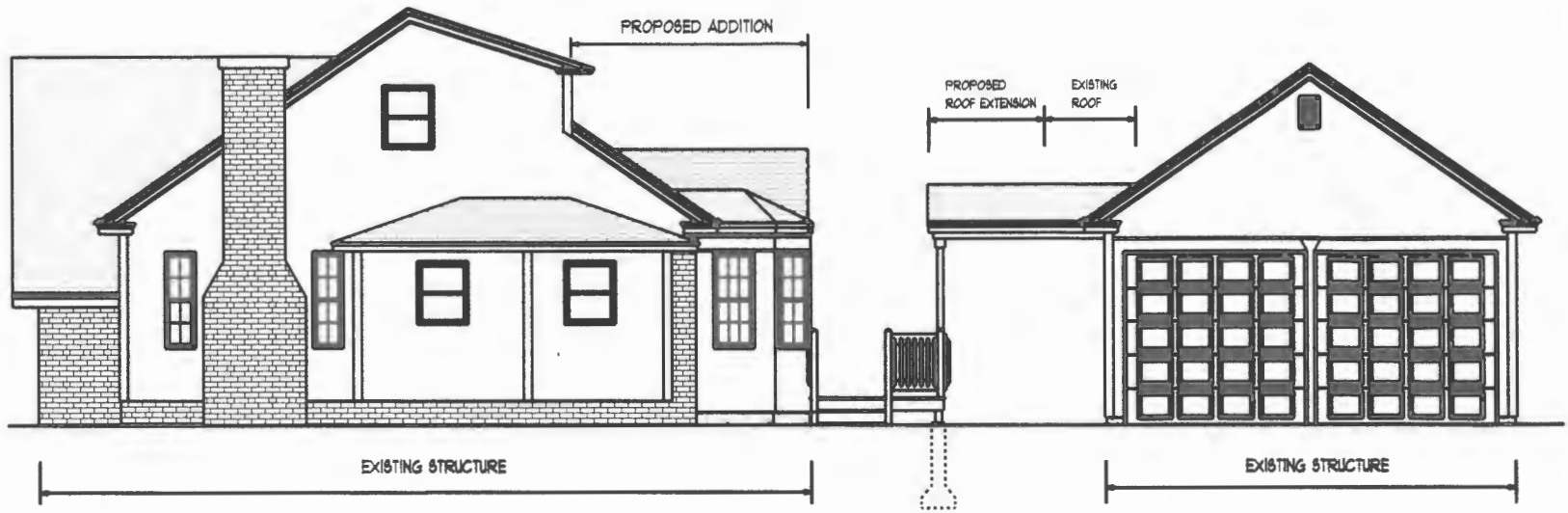
Note: Owner to check plans for
compliance with all applicable codes

WAYNE PARADIS INC.



Custom Design &
Carpentry
Service
Tel: 892-3424
Cell: 229-7641

Elevations	Custom Addition
Plan For:	1
Frank & Cammy Reall	5
Drawn by:	Wayne Paradis
	Apr. 06, 2011



Right Elevation



Rear Elevation
1/8" = 1'-0"

REVISION # 2 ADD 10' TO BACK OF HOUSE
MAY. 15, 2012

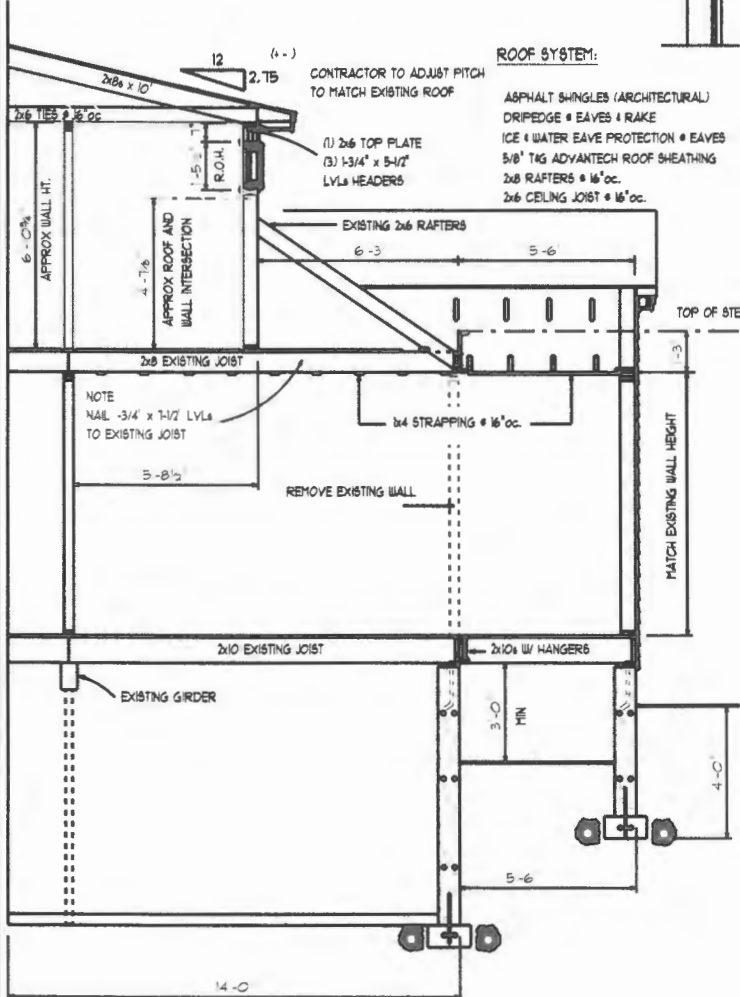
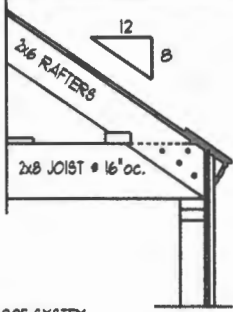
REVISION # 1 ADD DORMER
MAR. 06, 2012

Note: Owner to check plans for compliance with all applicable codes

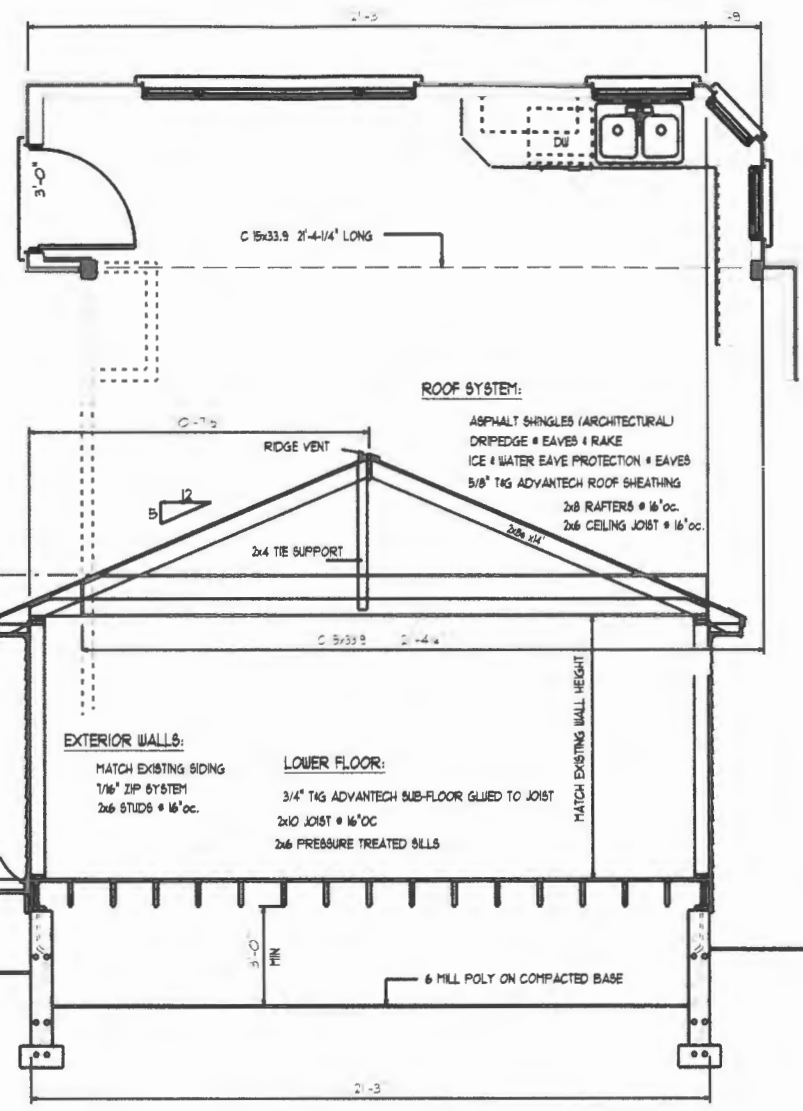
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 Cell: 229-7641
 w.paradis2@myfloridapost.net
 http://www.wayneparadis.com/index.html

Elevations		Custom Addition
Plan For:	2	
Frank & Cammy Reali	5	
Drawn by	Wayne Paradis	08, 2011

EXISTING RAFTER CONDITION
1" = 1'-0"



Section "B"
3/8" = 1'-0"



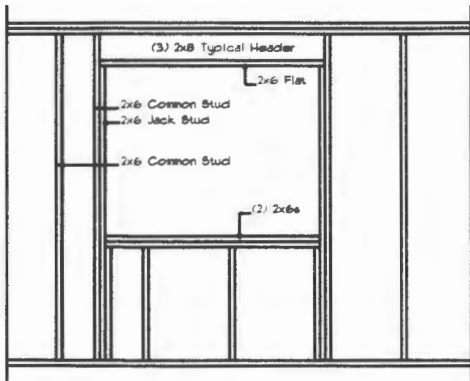
Section "A"
3/8" = 1'-0"

REVISION # 2 ADD 10' TO BACK OF HOUSE
 JUN. 13, 2012 REVISION # 1 ADD DORMER
 MAR. 06, 2012

WAYNE PARADIS INC.
 Custom Design & Carpentry Service
 Tel: 898-3484
 Cell: 229-7641
 w.paradis2@myfloridapost.net
 http://www.wayneparadis.com/index.html

Note: Owner to check plans for compliance with all applicable codes

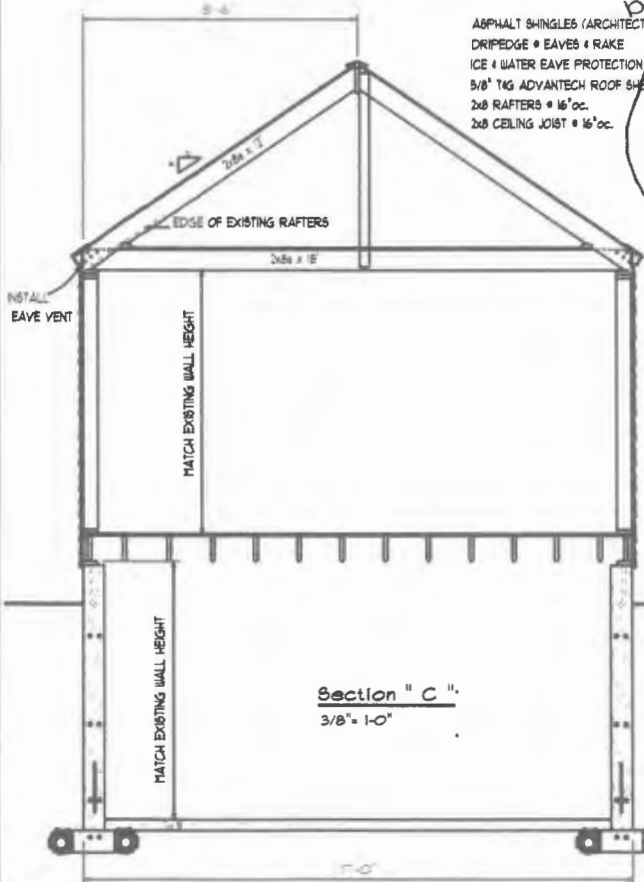
Floor Plan	Custom Addition
Plan For:	4/5
Frank & Cammy Reall	
Drawn by: Wayne Paradis	Apr. 08, 2011



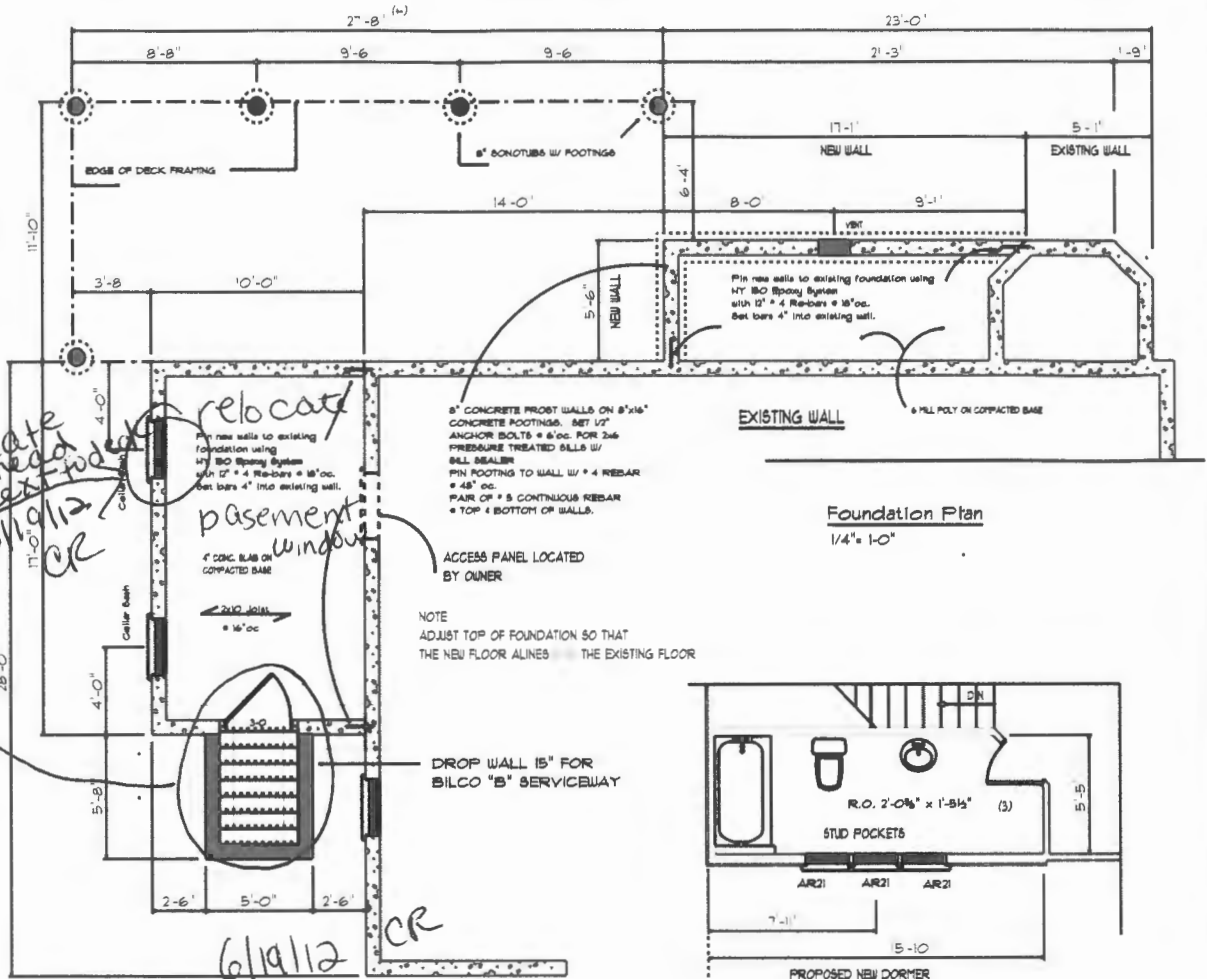
Typical Wall Framing
1/2" = 1'-0"

ROOF SYSTEM:

- ASPHALT SHINGLES (ARCHITECTURAL)
- DRIFEDGE @ EAVES @ RAKE
- ICE & WATER EAVE PROTECTION @ EAVES
- 5/8" T&G ADVANTECH ROOF SHEATHING
- 2x8 RAFTERS @ 16" oc.
- 2x8 CEILING JOIST @ 16" oc.



Section "C"
3/8" = 1'-0"



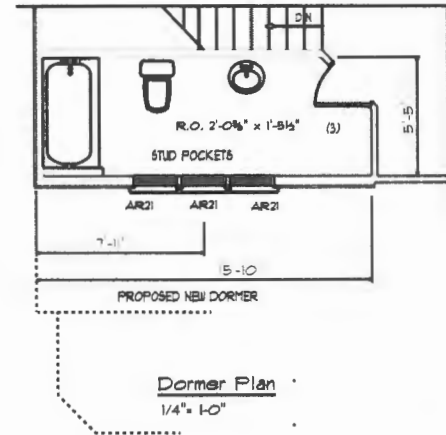
EXISTING WALL

Foundation Plan
1/4" = 1'-0"

relocate bulkhead next to door

relocate basement window

6/11/12 CR



Dormer Plan
1/4" = 1'-0"

EXTERIOR WALLS:

- MATCH EXISTING SIDING
- 1/16" ZIP SYSTEM
- 2x6 STUDS @ 16" oc.

LOWER FLOOR:

- 3/4" T&G ADVANTECH SUB-FLOORING @ 16" oc.
- 2x10 JOIST @ 16" oc.
- 2x6 PRESSURE TREATED SILL

RECEIVED

JUN 19 2012

Dept. of Building Inspections
City of Portland Maine

REVISION # 2 ADD 10' TO BACK OF HOUSE
JUN. 13. 2012
REVISION # 1 ADD DORMER
MAR. 06, 2012

WAYNE PARADIS INC.



Note: Owner to check plans for compliance with all applicable codes

Section "C" Foundation & Dormer Plan Custom Addition	
Plan For:	5 5
Frank & Cammy Reali	
Drawn by:	Wayne Paradis
	Apr 06, 2011