

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2005-0128
Application I. D. Number

06/17/2005
Application Date

Koutny John R &
Applicant
46 Northwood Dr, Portland, ME 04103
Applicant's Mailing Address

Ryan Hines House
Project Name/Description

Ryan Hines 456 - 456 Capisic St, Portland, Maine
Consultant/Agent Address of Proposed Site
Agent Ph: (207)642-3200 Agent Fax: 258 B002001
Applicant or Agent Daytime Telephone, Fax Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify)

4488
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots PAD Review 14-403 Streets Review
- Flood Hazard Shoreland Historic Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Zoning Variance Other

Fees Paid: Site Plan Subdivision Engineer Review Date

DRC Approval Status:

- Approved Approved w/Conditions See Attached Denied

Reviewer **Jay Reynolds**

Approval Date **10/26/2005** Approval Expiration **10/26/2006** Extension to Additional Sheets Attached
 Condition Compliance **Jay Reynolds** signature **10/26/2005** date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- Performance Guarantee Accepted date amount expiration date
- Inspection Fee Paid date amount
- Building Permit Issue date
- Performance Guarantee Reduced date remaining balance signature
- Temporary Certificate of Occupancy date Conditions (See Attached) expiration date
- Final Inspection date signature
- Certificate Of Occupancy date
- Performance Guarantee Released date signature
- Defect Guarantee Submitted submitted date amount expiration date
- Defect Guarantee Released date signature

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM

2005-0128
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Project Name/Description

Koutny John R &
Applicant
46 Northwood Dr, Portland, ME 04103
Applicant's Mailing Address

Ryan Hines
Consultant/Agent
Agent Ph: (207) 642-3200 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

456 - 456 Capisic St, Portland, Maine
Address of Proposed Site
258 B002001
Assessor's Reference: Chart-Block-Lot

Approval Conditions of DRC

- 1 Sitework shall conform to the City's guidelines regarding the Resource Protection Zone that crosses the rear of the property.
- 2 NO CHANGES IN GRADING IS PROPOSED. ANY CHANGES IN TOPOGRAPHY SHALL REQUIRE ADDITIONAL REVIEW AND APPROVAL BY THE CITY.
- 3 All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.
- 4 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 5 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 6 A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 7 A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 8 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

Sever Tie in OK?
Legislate PANS
Prop. 10-03 - Limits of clearing/SLZ setback

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Approved Approved w/Conditions See Attached Denied

Approval Date 10-26-05 Approval Expiration Extension to

Condition Compliance signature Jay Reynolds date 10-26-05 Additional Sheets Attached

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<input checked="" type="checkbox"/> Building Permit Issue	date		
<input checked="" type="checkbox"/> Performance Guarantee Reduced	date	remaining balance	signature
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<input checked="" type="checkbox"/> Final Inspection	date	signature	
<input checked="" type="checkbox"/> Certificate Of Occupancy	date		
<input checked="" type="checkbox"/> Performance Guarantee Released	date	signature	
<input checked="" type="checkbox"/> Defect Guarantee Submitted	submitted date	amount	expiration date
<input checked="" type="checkbox"/> Defect Guarantee Released	date	signature	

City of Portland
Department of Planning and Development
Planning Division
389 Congress Street, 4th Floor
Portland ME 04101
(207)874-8721 or (207)874-8719
Fax: (207)756-8258



FAX

To:

Dave Peterson

Company:

P.W.D.

Fax #:

874-8552

Date:

6-29-05

From:

Jay Reynolds

You should receive 2 page(s) including this cover sheet.

Comments:

*#456 Capisic, tie into Interceptor Sewer.
OK?*

GENERAL NOTES:

- All work shall be in accordance with BOCA Basic Building Code, NFPA-70 National Electric Code, Florida State Plumbing Code, ASHRAE 90.1, NFPA Codes, Americans with Disabilities Act 1990 (ADA) and all local, State and Federal requirements.
- All applicable Federal, State and Municipal regulations shall be followed, including the Federal Department of Labor Occupational Safety and Health Act.
- All required City and State permits must be obtained before any construction begins.
- It is the contractor's sole responsibility to determine erection procedures and sequence to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, shoring, bracing, gage or tie-downs. Such material shall remain the property of the contractor after completion of the project.
- Structural, Mechanical, Electrical and Plumbing design and installation by others shall be performed in accordance with local, State and Federal standards.
- All fire ratings indicated shall be continuous to underside of fire rated ceiling or underside of roof deck. Seal all openings & mechanical penetrations with approved fire sealing material.
- Building shall be sprinklered in accordance with NFPA-101. Contractor shall submit plans for State Fire Marshal approval prior to construction in accordance to state law.
- Building shall have approved smoke detectors in accordance with NFPA-101 Life Safety Code. Smoke detectors shall initiate alarm that is audible in the sleeping rooms of each unit.
- Portable fire extinguishers shall be provided in all hazardous areas in accordance to NFPA-101 Local Authority having jurisdiction needs to provide written requirements.
- Balconies must maintain a 42" guardrail height and shall be kept free and clear of ice and snow at all times to ensure the second store of egress.
- HVAC Ventilation to be in accordance with ASHRAE, NFPA-96A, OR NFPA-96B and all Federal, local and State codes. Ventilation or heat equipment shall be in accordance with NFPA-91, NFPA-92, NFPA-93, NFPA-94 and NFPA-10 as applicable.

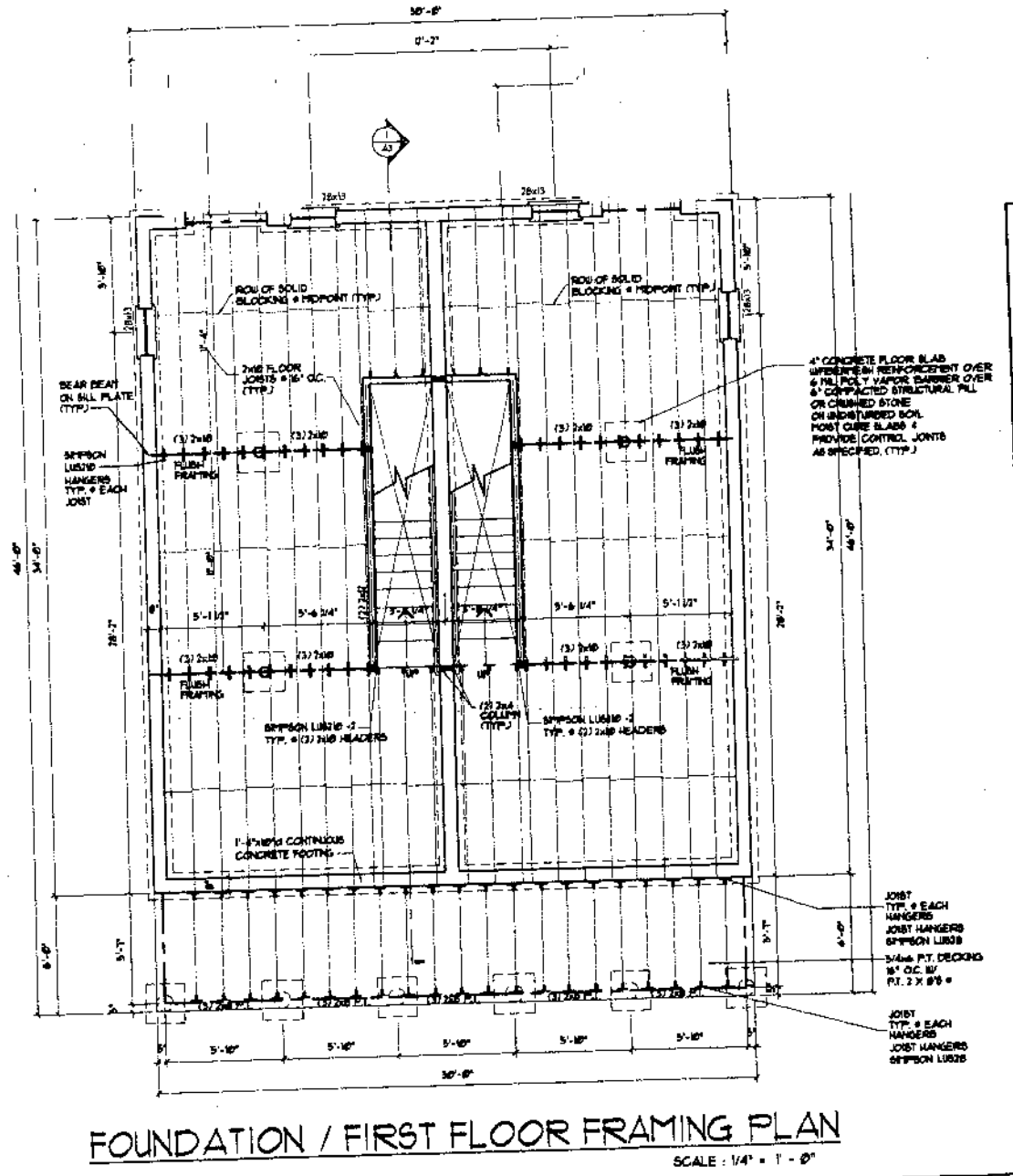
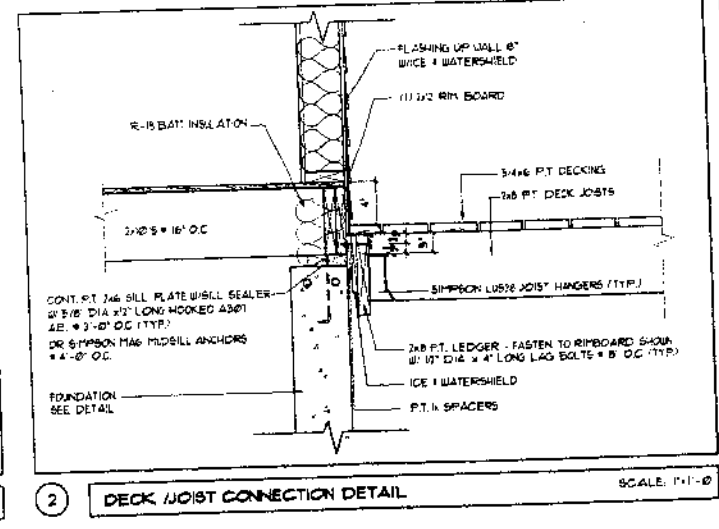
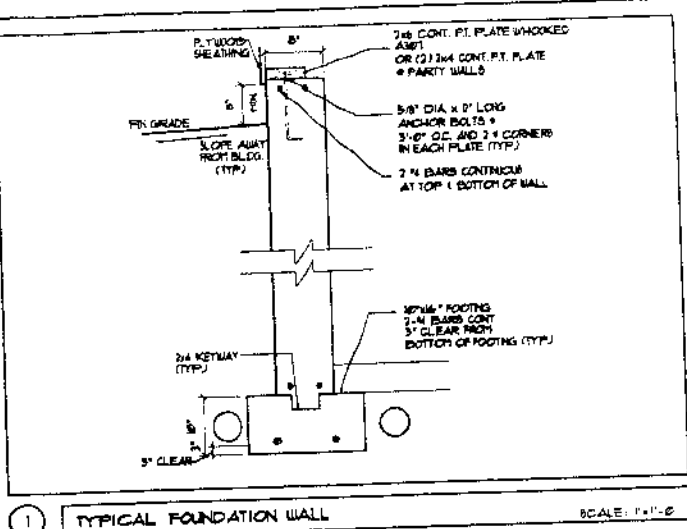
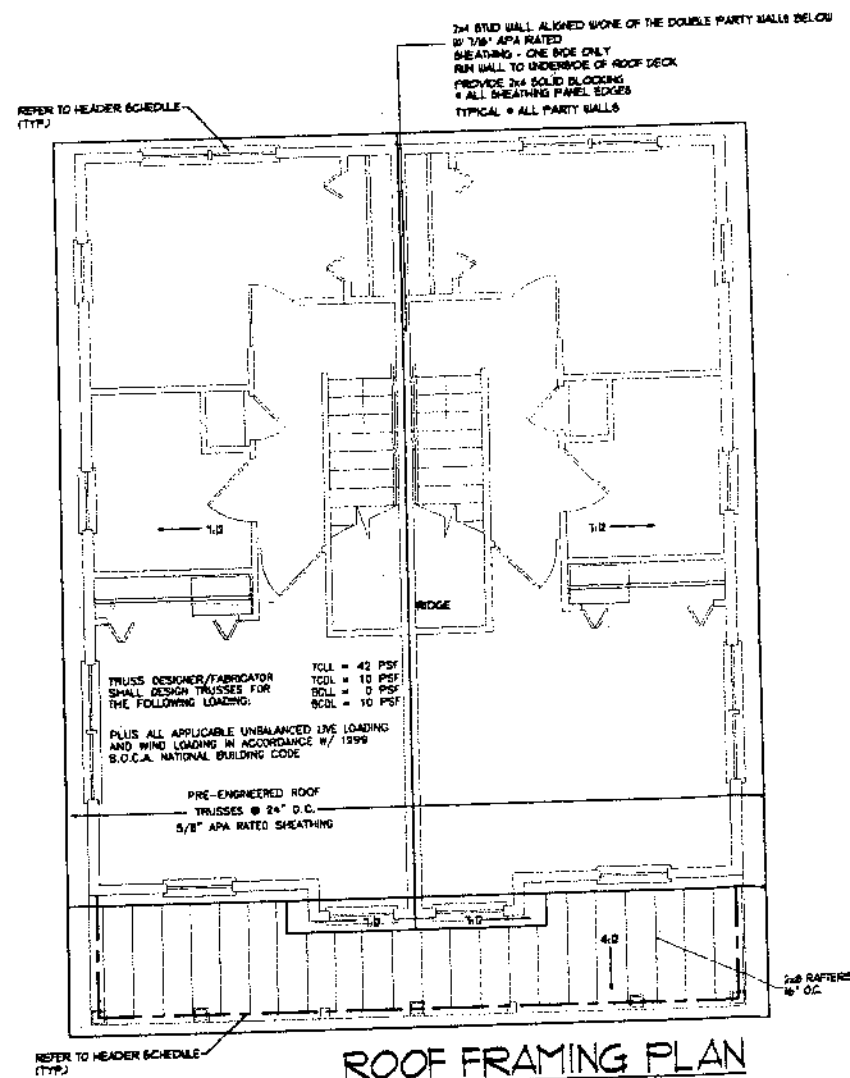
FRAMING NOTES:

- ALL EXTERIOR WALLS TO BE 2x6 WOOD STUD WALLS @ 24" O.C. w/ 1/2" GIBB. AND VAPOR BARRIER @ INSIDE FACE OF WALL. 8" BATT INSULATION (R19) AND 1/4" APA RATED SHEATHING @ EXTERIOR FACE OF WALL.
- ALL INTERIOR WALLS TO BE 2x4 WOOD STUD WALLS (UNLESS NOTED OTHERWISE) w/ ONE LAYER 1/2" GIBB. EACH SIDE.
- INSTALL BLOCKING BEHIND ALL SURFACE APPLIED FIXTURES, TRIM, AND SHELVES WHEN MOUNTED ON WALLS.
- THE LOCATION OF ALL DOOR FRAMES SHALL BE 4 1/2" (UNLESS NOTED OTHERWISE) FROM ADJACENT WALLS.

FOUNDATION NOTES:

- PROVIDE SILL SEALER ON TOP OF ALL FOUNDATION WALLS.
- FOUNDATION WALLS SHALL BE BACKFILLED SIMULTANEOUSLY ON BOTH SIDES.
- ALL STEEL REINFORCING IN FOOTINGS TO BE A MINIMUM 3" CLEAR FROM BOTTOM OF FOOTING.
- ALL STEEL REINFORCING IN FOUNDATION WALLS BELOW GRADE TO BE MINIMUM 2" CLEAR FROM FACE OF WALL.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESURE PRESERVATIVE TREATED (PPT) TO 24HR RETENTION PER ACPA.
- ALL CONCRETE SURFACES SHALL HAVE A STEEL TROWEL & LIGHT BRUSH FINISH.
- SET BOTTOM OF FOOTINGS MIN. 4'-0" BELOW GRADE.
- SET ALL FOOTINGS ON UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL.
- RADIANT HEAT IN SLAB.
- FIRST FLOOR SLAB SHALL BE 4" THICK CONCRETE SLAB ON GRADE w/ FIBER FESH REINFORCEMENT. PROVIDE CONTROL JOINTS @ 15'-0" SPACING (TYP).
- ALL CONCRETE SHALL BE 3000 PSI (FC) STRENGTH AT 28 DAYS.
- ALL CONCRETE SHALL BE AIR ENTRAINED 4-6 1/4%.
- ALL OTHER ADMIXTURES SHALL BE PRE-APPROVED.

NOTE: BUILDING TO BE SPRINKLERED PER NFPA-101



30 x 40 UNIT (FULL BASEMENT) SCHEME 'A'

FOUNDATIONS THIS SHEET

FOUNDATION PLAN

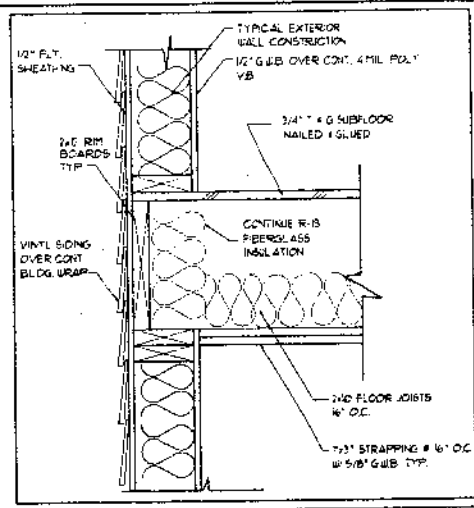
ROOF PLAN

DETAILS

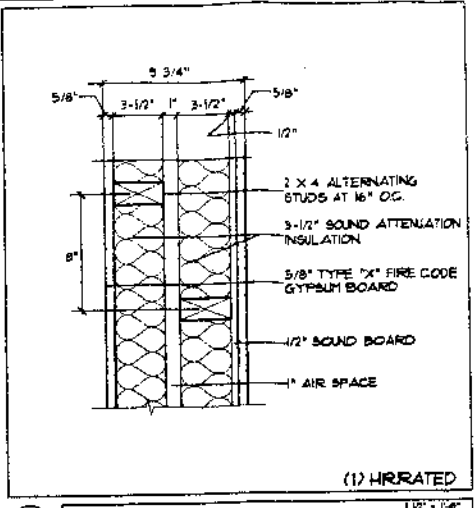
DATE

DATE

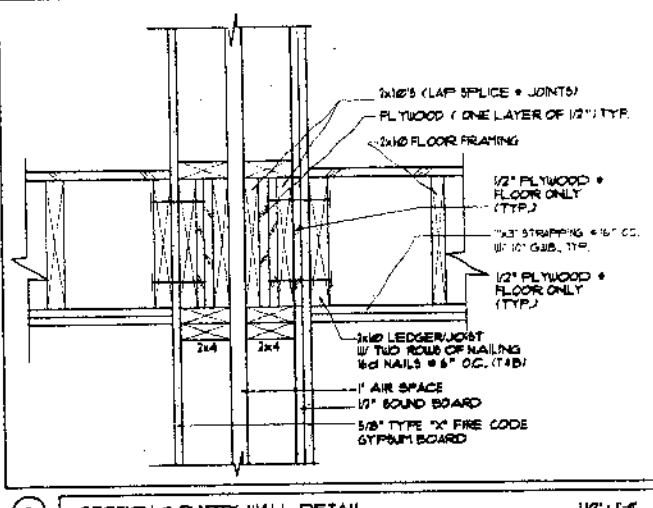
A1



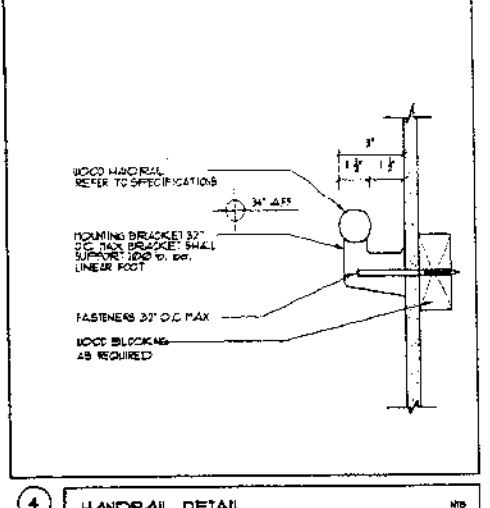
1 FLOOR FRAMING DETAIL 1'-0\"/>



2 PARTY WALL DETAIL 1'-0\"/>



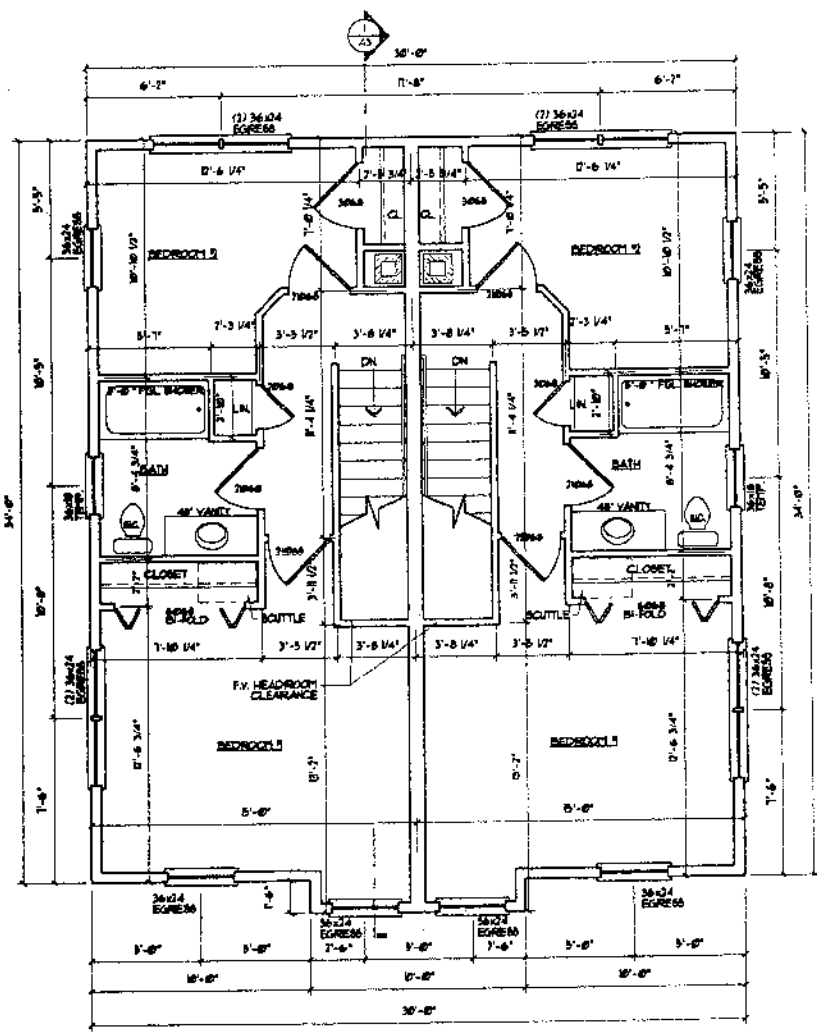
3 SECTION - PARTY WALL DETAIL 1'-0\"/>



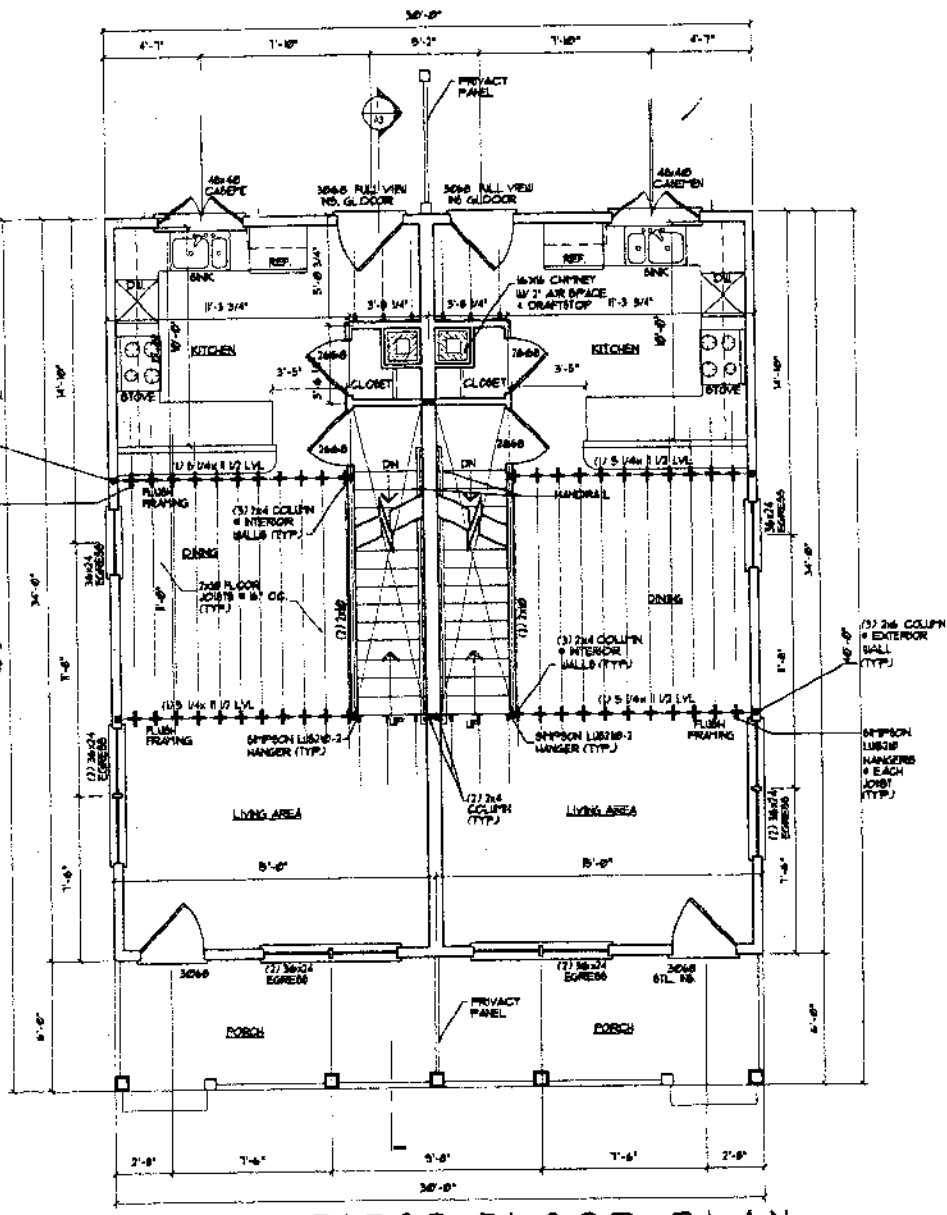
4 HANDRAIL DETAIL 1'-0\"/>

GENERAL NOTE FOR PARTY / SHEAR WALL:

1. PROVIDE 2x4 BLOCKING @ ALL PANEL EDGES & INTERMEDIATE. PROVIDE SCREWS @ 6\"/>
2. RUN 2x4 WALL TO UNDERSIDE OF ROOF DECK (IN ATTIC SPACE) ALIGNED WITH ONE OF THE 2x4 WALLS IN THE PARTY WALL BELOW. PROVIDE (1) LAYER 1/4\"/>
3. OBTAIN WRITTEN APPROVAL FROM AUTHORITY HAVING JURISDICTION FOR FIRE WALL RATING SHOWN.



NOTE: BUILDING TO BE APPROXIMATED PER IPPA-D
SECOND FLOOR PLAN



FIRST FLOOR PLAN

DRAWINGS THIS SHEET
FLOORPLANS
DETAILS

30 X 40 UNIT
 (FULL BASEMENT)

SCHEME 'A'

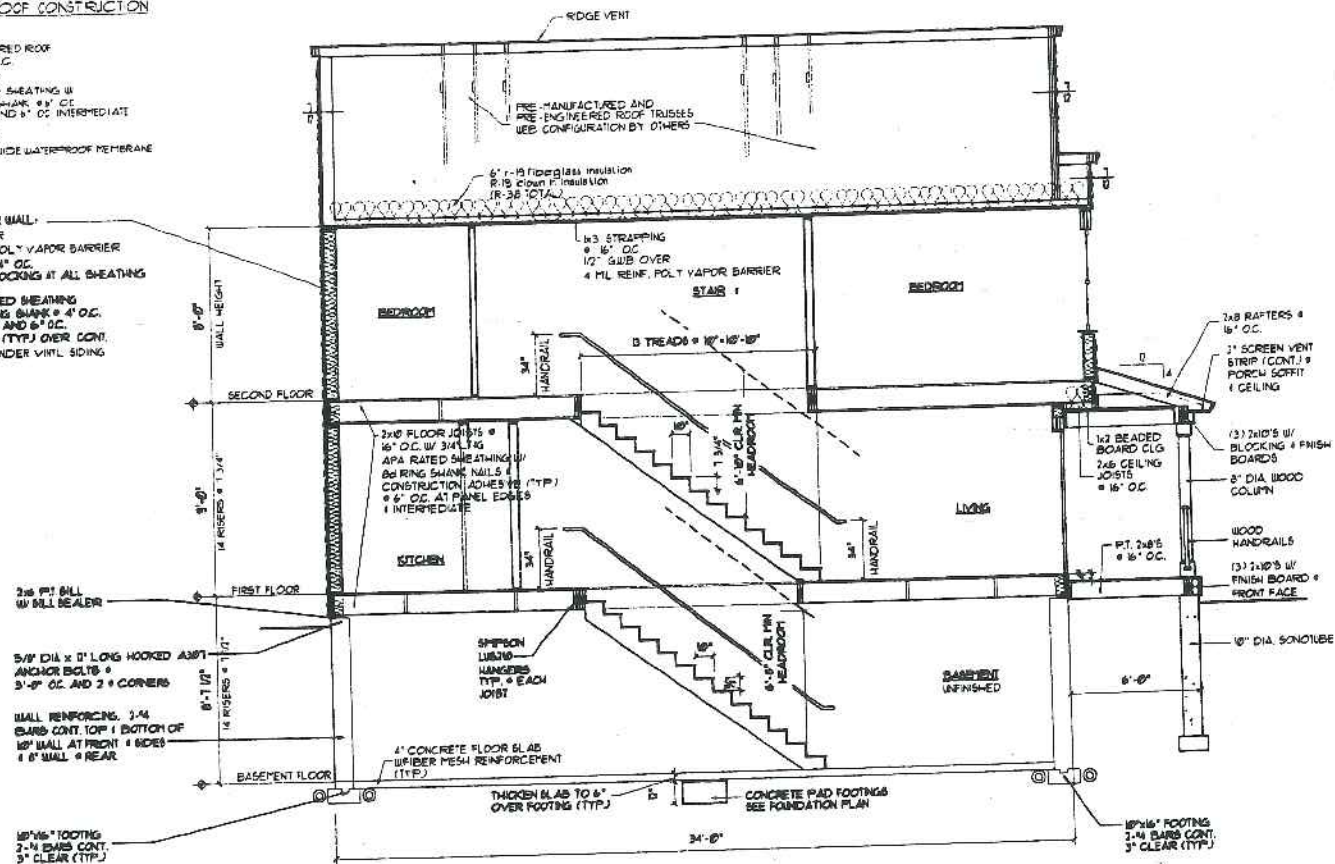
DATE
04/05/04

A2

TYPICAL ROOF CONSTRUCTION

- RIDGE VENT
- PRE-MANUFACTURED ROOF TRUSSES @ 24" O.C.
- ROOF SHINGLES
- 5/8" APPLIED SHEATHING W/ 80 MIL RING SHANK 8" OC PANEL EDGES AND 6" OC INTERMEDIATE
- 1/2" FELT PAPER
- 1/2" ROLLS 36" WIDE WATERPROOF MEMBRANE @ EAVES

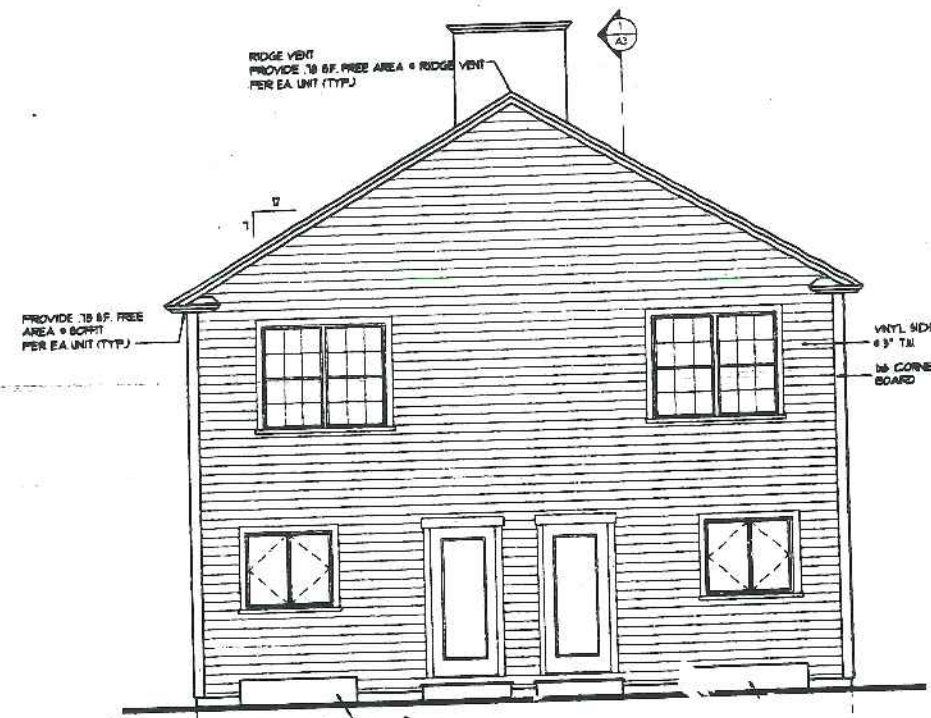
- TYP. EXTERIOR WALL:**
- 1/2" GWS OVER
 - 4" ML REIN. POLY VAPOR BARRIER
 - 2x6 STUDS @ 16" O.C. (SOLID N BLOCKING AT ALL SHEATHING PANEL EDGES)
 - 1/2" APA RATED SHEATHING
 - 8x8 WALLS - 2x6 SHANK @ 4" O.C. PANEL EDGES AND 6" O.C. INTERMEDIATE (TYP.) OVER CONT. BLDG. WRAP UNDER VINYL SIDING



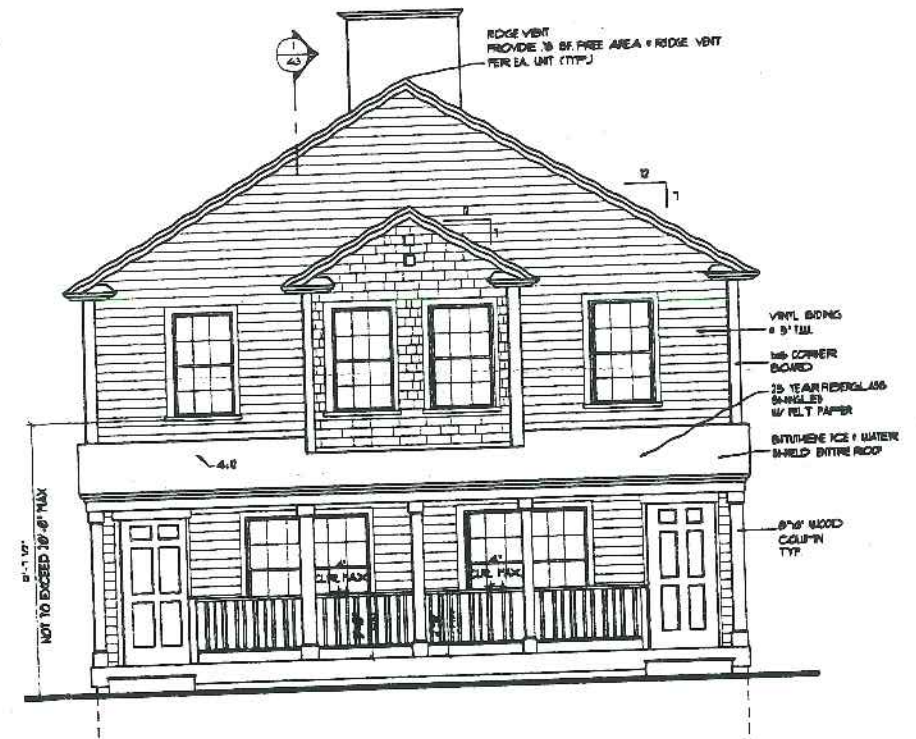
SECTION THRU HOUSE
SCALE: 1/4" = 1' - 0"



LEFT SIDE ELEVATION
(RIGHT SIDE ELEVATION SIMILAR) SCALE: 1/4" = 1' - 0"



REAR ELEVATION
SCALE: 1/4" = 1' - 0"



FRONT ELEVATION
SCALE: 1/4" = 1' - 0"

ROUGH OPENING	HEADER SIZE
0' - 3' - 0"	(3) - 1x6
3' - 7' - 4"	(3) - 2x8
4' - 7' - 5"	(3) - 1x8
5' - 7' - 1' - 0"	(3) - 2x12

NOTE: PROVIDE JAMES BOTH ENDS AS FOLLOWS.

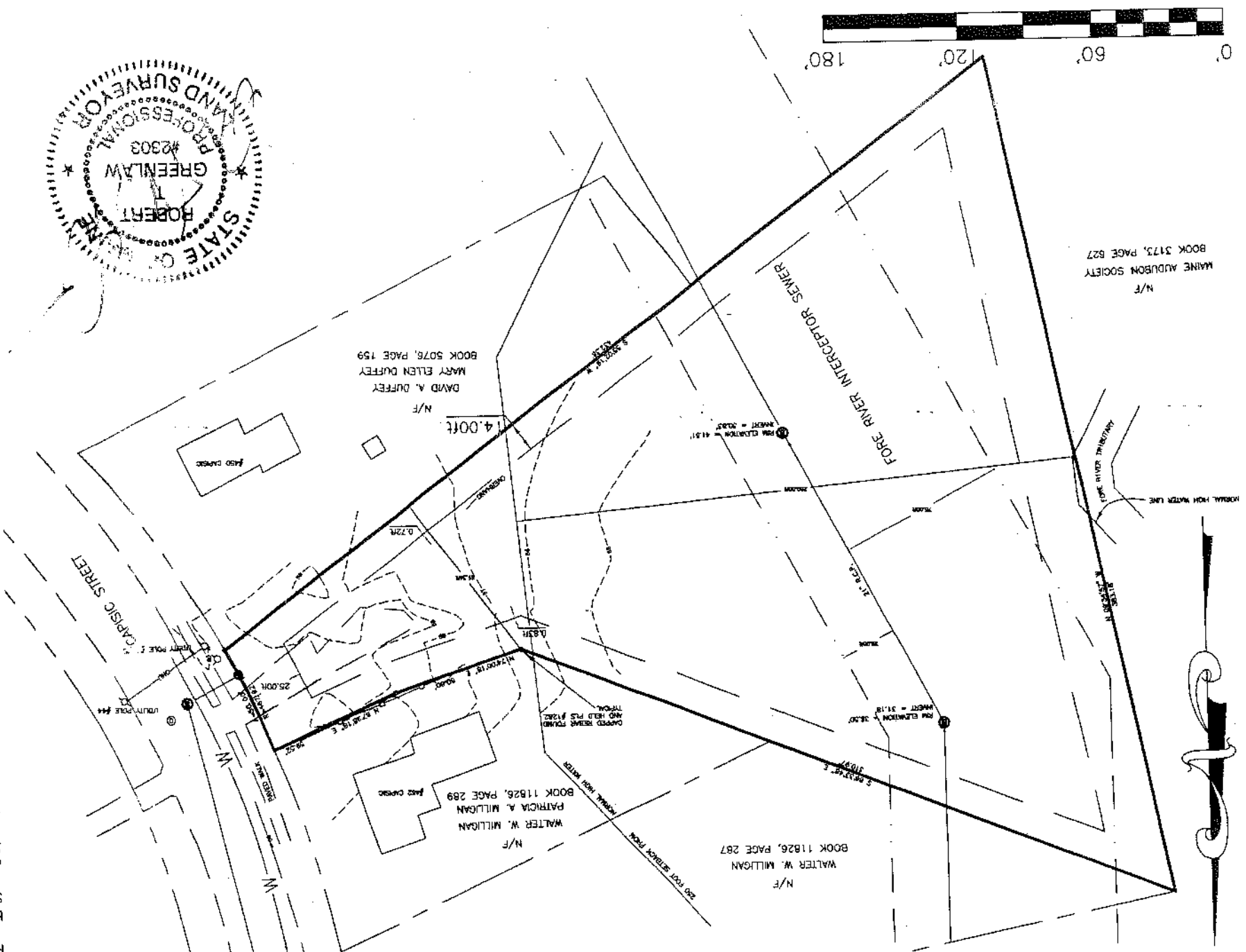
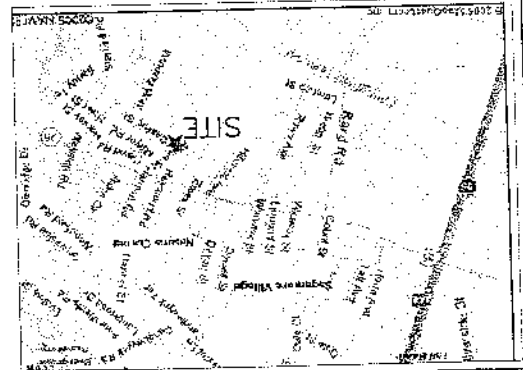
30 X 40 UNIT
(FULL BASEMENT)
LOT 15 SCHEME 'A'

DRAWINGS THIS SHEET
ELEVATIONS SECTION

DATE
04/24/14

A3

SITE LOCATION MAP



GENERAL NOTES:

1. RECORD OWNER OF PARCEL: RYAN HINES AND MELISSA HINES BOOK 22625 PAGE 311 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (C.R.D.).
2. BEARINGS ARE BASED UPON THE PLAN REFERENCED BELOW AS 4d, AN ON THE GROUND SURVEY WAS PERFORMED BY BACK BAY BOUNDARY, INC. UTILIZING THE FOLLOWING EQUIPMENT:
LEITZ SOKKISHA SET 4 TOTAL STATION, LIETZ SDR 33 DATA COLLECTOR, HAND-HELD MAGNETIC COMPASS.
3. AREA OF SUBJECT PARCEL: 70,289 SQ. FT. 1.61 ACRES
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
- 4d.) PLAN OF PROPERTY 462 CASPIC STREET PORTLAND, MAINE MADE FOR EPS ENTERPRISES BY TTCOMB ASSOC. DATED 07-28-1987 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 194 PAGE 231 ON JULY 14, 1994.
- 4b.) PORTLAND WATER DISTRICT PORTLAND SEWER SYSTEM INFILTRATION-INFLOW ANALYSIS SHEETS SECTION II, PROVIDED BY THE CITY OF PORTLAND'S ENGINEERING DEPARTMENT.
- 4c.) CITY OF PORTLAND TAX ASSESSOR SHEETS 259 & 258, SUBJECT LOT SHOWN AS 259-BLOCK C-Lot 20 AND 258-BLOCK B-Lot 002.
5. THERE WERE NO APPARENT EASEMENTS OR RESTRICTIONS BURDENING OR BENEFITING SUBJECT PROPERTY AT THE TIME OF THIS SURVEY EXCEPT THOSE SHOWN HEREON, NAMELY THE SHORELAND ZONING AND SEWER EASEMENT.
6. ZONING: R-3 ZONE SEE PLAN FOR SETBACK INFORMATION.
7. THE BOUNDARY LINES SHOWN HEREON ARE BASED UPON PLAN REFERENCE 4a AS AGREED TO IN THE WRITTEN CONTRACT DATED JUNE 9, 2005 BETWEEN BACK BAY BOUNDARY INC. AND RYAN HINES.
8. NO CHANGES TO THE EXISTING CONTOURS ARE PLANNED EXCEPT FOR LOAM AND TOPSOIL UTILIZED FOR LANDSCAPING.
9. ELEVATIONS BASED UPON THE SEWER MANHOLE INVERTS SHOWN ON THE FORE RIVER INTERCEPTOR PLANS AND SHOWN HEREON. IT IS ASSUMED THAT THE ELEVATIONS REFER TO CITY DATUM N.G.V.D. 1929.

LEGEND

- CRF © Capped 5/8" Rebar Found
- (50.00') Distance from reference plan or deed.
- N/F Now Or Formerly
- Z Indicates Ownership in Common
- Utility Pole
- OHU— Overhead Utility
- Abutter Line
- Property Line
- Street Line
- Sewer Manhole
- Drain Manhole
- Water Shutoff or Gate
- 12345/99 Deed Book/Page of Local Registry
- Edge of Traveled Way
- Setback Line
- Contour Line
- Sewer Easement Line
- Water Line
- Hydrant

SURVEYORS STATEMENT:

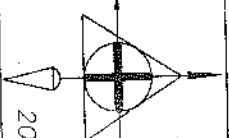
I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- a) NO WRITTEN REPORT
- b) NO NEW DESCRIPTION
- c) NO NEW CORNERS SET

ROBERT T. GREENLAW P.L.S., #2303
V. PRESIDENT BACK BAY BOUNDARY, INC.

DATE: JUNE 16, 2005

DRAWER: 2005 NO. 076



PREPARED BY:
BACK BAY BOUNDARY, INC.
PROFESSIONAL LAND SURVEYING
643 FOREST AVENUE
PORTLAND, MAINE 04101
207-774-2855 FAX 207-347-4346

DRAWN BY: RTG
CHECKED BY: KGC
SCALE: 1"=60'
DATE OF SURVEY: 06/07/2005
JOB NUMBER: 2005076
SHEET: 1 OF 5

FOR:
EXISTING CONDITIONS / SITE PLAN
456 CASPIC STREET PORTLAND, MAINE
RYAN HINES



1 RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



2 FRONT ELEVATION
SCALE: 1/4"=1'-0"



3 LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"



4 REAR ELEVATION
SCALE: 1/4"=1'-0"

NOTE:
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IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY
FOR LOCAL CODE COMPLIANCE.
ALL DRAWINGS, PLANS, SPECIFICATIONS, ETC. ARE PROVIDED TO OUR
CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND
DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES
AND LOCAL CODES. NONE OF THE EMPLOYEES OR FIELD DRAFTING
SERVICES, INC. ARE REGISTERED ARCHITECTS, ENGINEERS, PLUMBERS
OR SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED
ON-SITE BY THE CLIENT OR CONTRACTOR.

PROPERTY OF

FMC CADD
Engineering Resource Center
75 Whiting St.
Portland, Maine 04103
207-578-8711 Fax: 207-879-8513
E-Mail: erpc@fmcadd.com

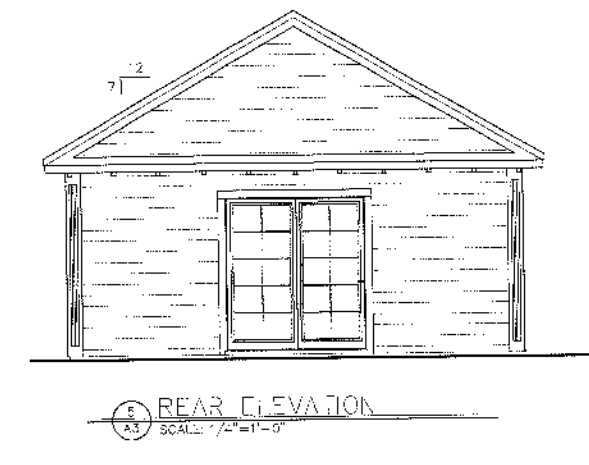
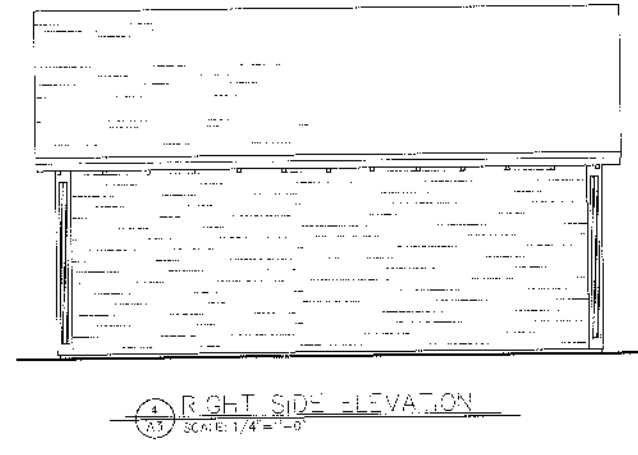
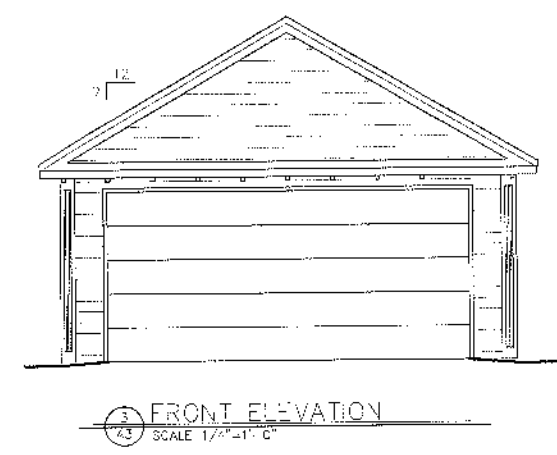
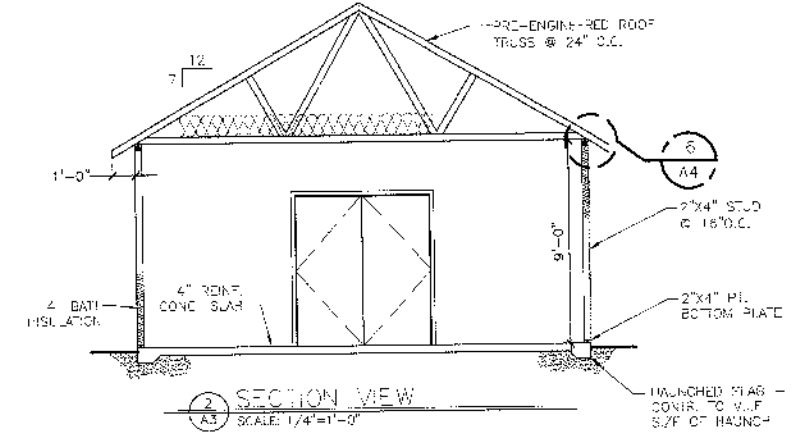
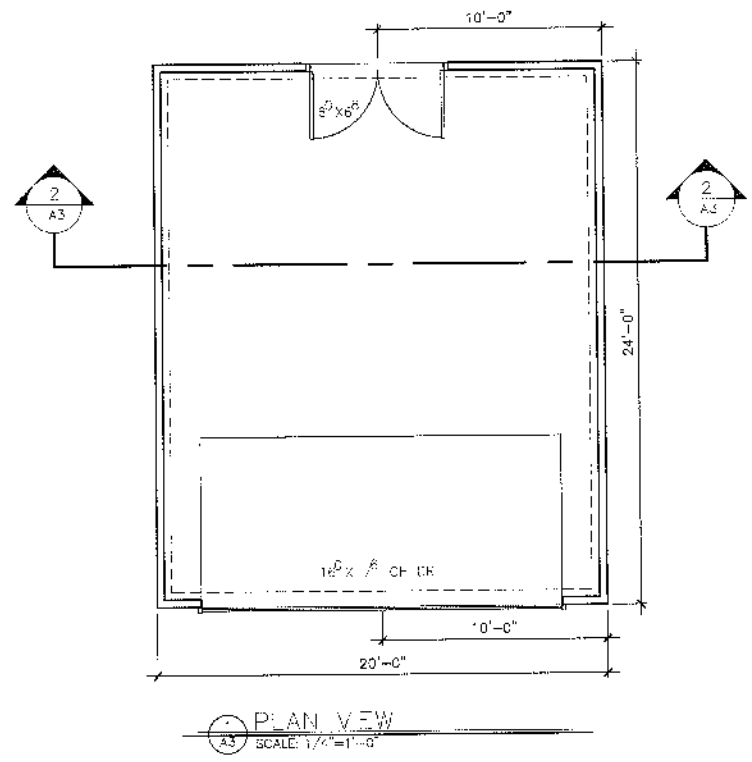
HINES RESIDENCE

REVS:
CODE: 1999
TOWN:
DATE: 14 JUNE 05
SCALE: AS NOTED
DRAWN: JJM
TITLE:
ELEVATIONS

FILE: 05-0088

SHEET:

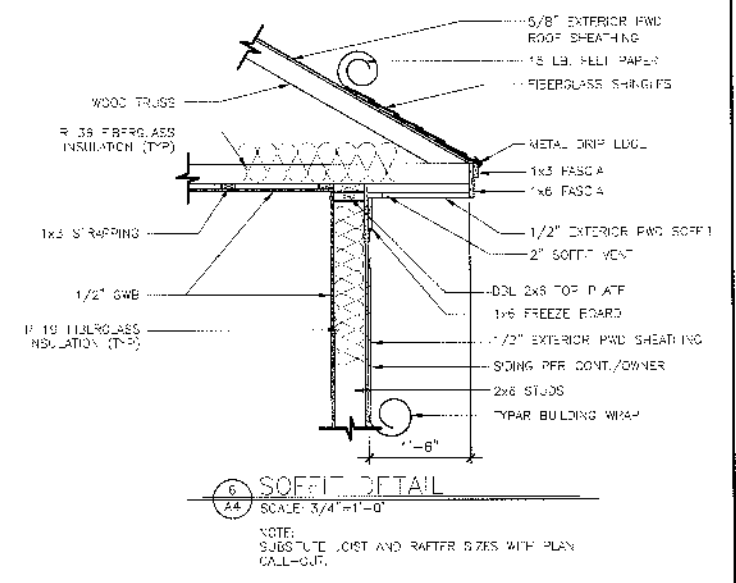
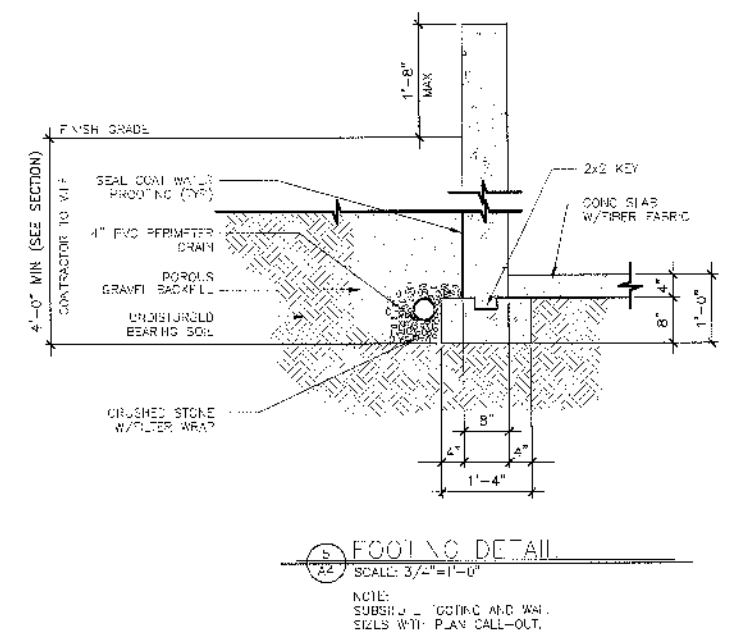
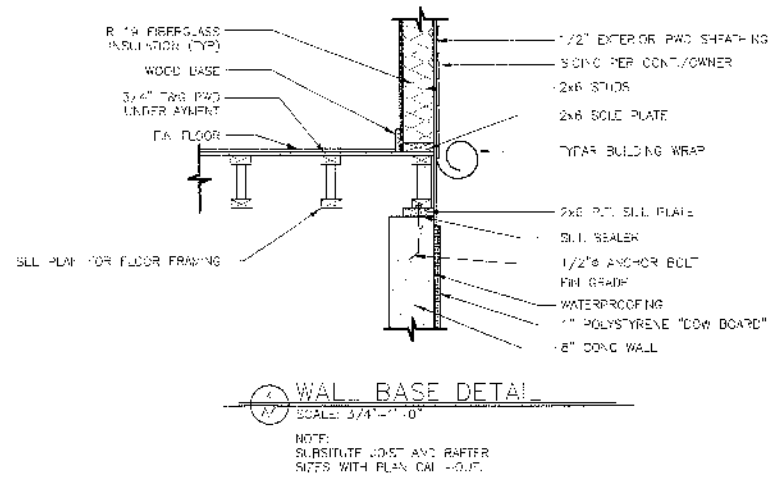
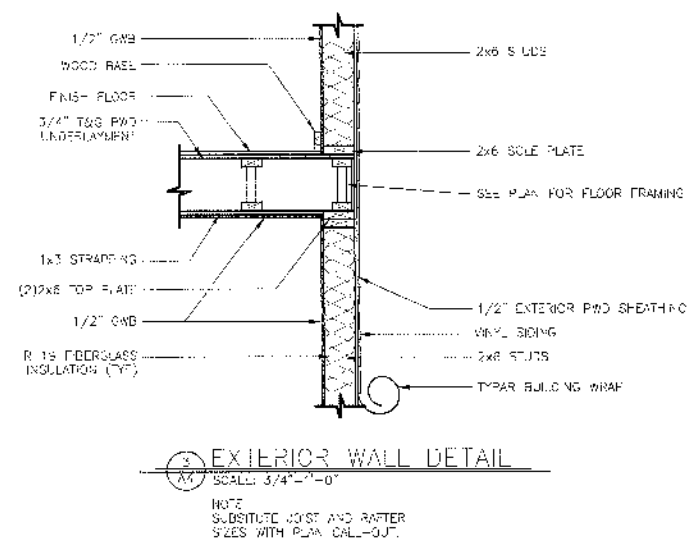
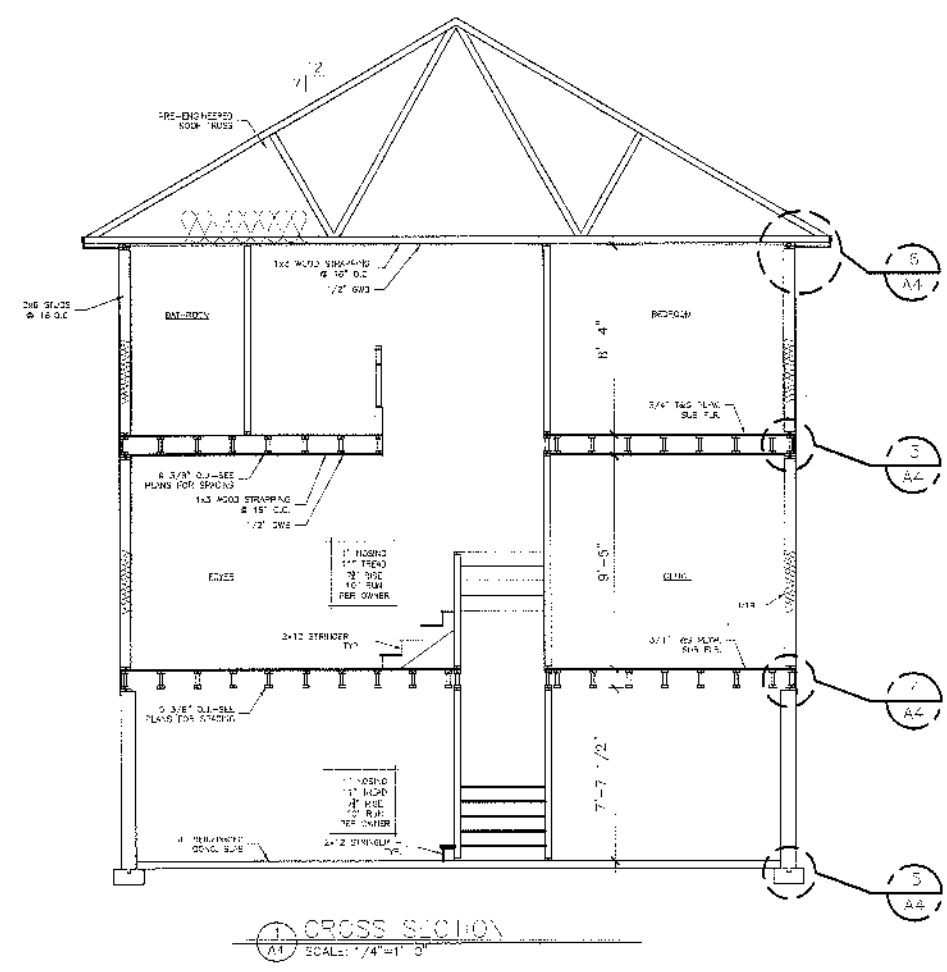
HINES RESIDENCE



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REVS:
CODE: 1999
TOWN:
DATE: 14 JUNE 05
SCALE: AS NOTED
DRAWN: JIM
TITLE: DETACHED GARAGE PLANS
FILE: 05-0086

HINES RESIDENCE



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 CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT
 AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES
 AND LOCAL CODES. NONE OF THE EMPLOYEES OF FMG CADD DRAWING
 SERVICES, INC. ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND
 SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED
 BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION.
 DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED
 BY FMG CADD DRAWING SERVICES, INC.

REVS:
CODE: 1999
TOWN:
DATE: 14 JUNE 05
SCALE: AS NOTED
DRAWN: JUM
TITLE: SECTION & DETAILS
FILE: 05-0086
SHEET: