

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 01-0622 N	Issue Date: 5 2001	CBL: 254 A009001
-------------------------	-----------------------	---------------------

Location of Construction: 122 Pine Tree Indust Pky	Owner Name: Knowles Ellen M	Owner Address: 295 New Portland Rd PORTLAND	Phone: 207-773-8499
Business Name: Forest City Chevrolet	Contractor Name: Keeley Construction	Contractor Address: P.O. Box 1174 Portland	Phone: 2077738499
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: I-M

Past Use: body shop	Proposed Use: body shop, adding 1 sprinkler head each in 2 paint booths. Call Jim Cote 773-8499	Permit Fee: \$54.00	Cost of Work: \$5,000.00	CEO District: 3
------------------------	--	------------------------	-----------------------------	--------------------

FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: S-1 Type: 2C PERMIT ISSUED WITH REQUIREMENTS Signature: <i>[Signature]</i>
--	---

Proposed Project Description:
add one sprinkler head each in two paint booths

Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Signature:	Date:

Permit Taken By: jodinea	Date Applied For: 05/31/2001	Zoning Approval	
-----------------------------	---------------------------------	------------------------	--

<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>05/31/2001</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>9</i>
---	---	---	---

2nd 31/may/01 called Keeley Const. asked for plans of sprinkler booth - they will call back

2nd call from Keeley they will bring PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
------------------------	---------	------	-------

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
---	------	-------

01/06/22

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 122 Pine Tree Industrial Parkway Portland

Total Square Footage of Proposed Structure	Square Footage of Lot
--	-----------------------

Tax Assessor's Chart, Block & Lot Number Chart# 254 Block# A Lot# 009	Owner: M.E. Knowles	Telephone#:
--	------------------------	-------------

Lessee/Buyer's Name (If Applicable) Forest City Chevrolet	Owner's/Purchaser/Lessee Address:	Cost Of Work: \$ 5,000. ⁰⁰	Fee: \$ 54. ⁰⁰
--	-----------------------------------	--	------------------------------

Current use: Body Shop / Comm

If the location is currently vacant, what was prior use:
Approximately how long has it been vacant:

Proposed use: Install 2' Sprinkler Heads

Project description: same

Contractor's Name, Address & Telephone:
Keeley Construction P.O. Box 1074 Portland ME 04104 773-8499

Applicants Name, Address & Telephone:

Who should we contact when the permit is ready: Jim Cote Keeley Construction 773-8499
Telephone:

If you would like the permit mailed, what mailing address should we use:

5/31
Rec'd By: CH

BUILDING PERMIT REPORT

DATE: 31 MAY 2001 ADDRESS: 122 Pine Tree Ind. PKY CBL: 254-A-009
 REASON FOR PERMIT: add sprinkler heads as per manufacturer
 BUILDING OWNER: M. E. Knowles
 PERMIT APPLICANT: _____ CONTRACTOR Kealey Const.
 USE GROUP: S-1 CONSTRUCTION TYPE: 2C CONSTRUCTION COST: 5,000.00 PERMIT FEES: 546.00

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
 The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

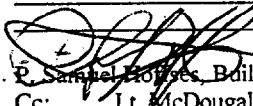
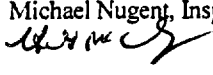
CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: 41 / *38

- *1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) **"ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."**
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts. Section 2305.17
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete and masonry. Concrete Sections 1908.9-19.8.10/ Masonry Sections 2111.3-2111.4.
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1999)
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42". In occupancies in Use Group A, B,H-4, I-1, I-2, M, R, public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. Handrails shall be a minimum of 34" but not more than 38". Exception: Handrails that form part of a guard shall have a height not less than 36 inches (914 mm) and not more than 42 inches (1067 mm). Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7)
12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
15. The Minimum required width of a corridor shall be determined by the most restrictive of the criteria under section 1011.3 but not less than 36".
16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)
17. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

20. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
21. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
22. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
23. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
24. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
25. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
26. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
27. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
28. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
29. All requirements must be met before a final Certificate of Occupancy is issued.
30. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
32. Please read and implement the attached Land Use Zoning report requirements.
33. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
34. Bridging shall comply with Section 2305.16.
35. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
36. All flashing shall comply with Section 1406.3.10.
37. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).

38. All spray spaces shall comply with section 419.0 of The City's Bldg. Code. (The BOCA National Code/1999) NFPA #36


 P. Samuel Hoopes, Building Inspector
 Cc: Lt. McDougall, PFD
 Marge Schmuckal, Zoning Administrator
 Michael Nugent, Inspection Service Manager


PSH 10/1/00

**This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.

***THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. (You Shall Call for Inspections)

****ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.

*****CERTIFICATE OF OCCUPANCY FEE \$50.00



Keeley Construction Company, Inc.

19 Westfield Street Portland, ME 04102 (shipping)
P.O. Box 1074 Portland, ME 04104-1074 (mailing)

Telephone: 207-773-8499 Fax: 207-773-6619

FACSIMILE COVER SHEET

TO: City Hall DATE: 6/1/01
 FAX #: 874-8716
 ATTN: Sam Hoffer TIME: 2:35 pm
 FROM: Jim Keeley

COMMENTS:

Forest City Sprinklers

____ PAGES TO FOLLOW

If enclosures are not as indicated, please notify the sender.

High Tech Fire Protection Co., Inc
P.O. Box 1511
Auburn, Maine 04211-1511
Tel: (207) 998-2551

Date: June 1, 2001
To: Lim Kelly
Topic: Forest City Collision

Message: Sprinklers for spray booth

To tie into the existing domestic water supply to feed four (4) sprinkler heads to be installed in the spray booth. These heads are quick response with 11 mil baggies over them and designed for a wet application. This does not meet any NFPA #13 standards, just a local approvals. The remainder of the building is not sprinkled.

Respectively,



Gary R. Smith
President

LEGEND

- | | | | |
|------------------|-------------------------------|----|----------------------------|
| — 0 — | OIL LINE | — | ELECT. PANEL |
| — S — | SANITARY SEWER | ⊠ | FAN/LIGHT (VENTED OUTSIDE) |
| — W — | WATER LINE | WP | 150W H.P.S. WALLPACK |
| — UGE — | UNDERGROUND ELECT. | ⊙ | 400W METAL HALIDE |
| — | ELECTRIC STRIP HEATER | ⊞ | 110V IN-FLOOR QUAD. OUTLET |
| U.H. → | OIL FIRED UNIT HEATER | | |
| ⊙ | THERMOSTAT | | |
| S | SINGLE SWITCH | | |
| S ₂ | TWO-WAY SWITCH | WC | WATER COOLER |
| S ₃ | THREE-WAY SWITCH | WH | WATER HEATER |
| ⊞ | 110V DUPLEX OUTLET | ⊙ | WATER METER |
| ⊞ ^{GF} | 110V DUPLEX GROUND-FAULT | — | COLD WATER HOSE BIBB |
| ⊞ | 110V QUADRUPLEX OUTLET | | |
| ⊞ ²²⁰ | 220V WELDING OUTLET | ⊙ | IN SLAB SAFE |
| ⊞ | ELECTRIC DOOR OPERATOR | | |
| P | PUSH-BUTTON CONTROL | | |
| TEL | TELEPHONE SERVICE (BY OTHERS) | | |

H.V.A.C. ZONES

ZONE "A" - ROOMS : 116, 117, 118, 119 & 120

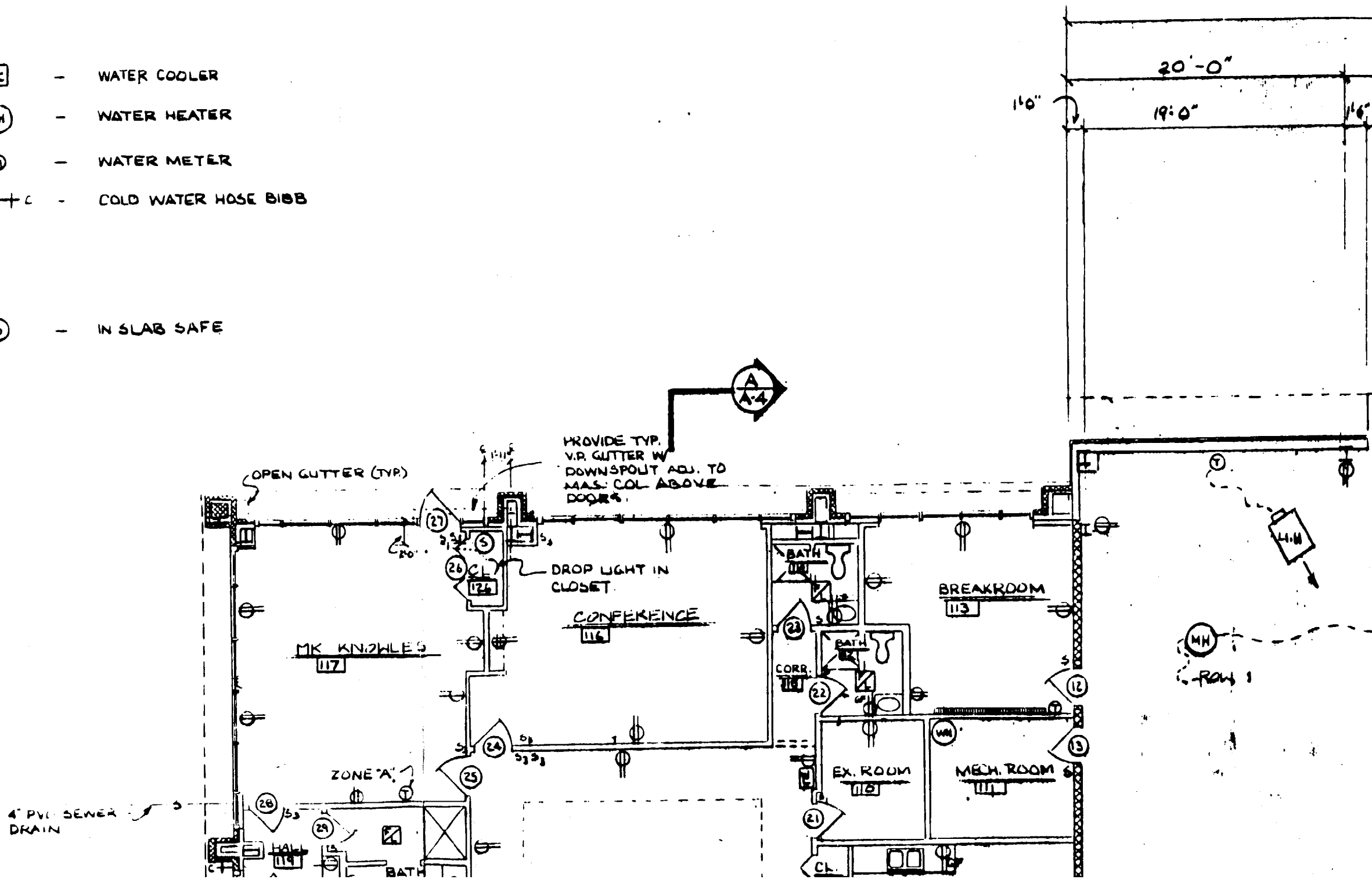
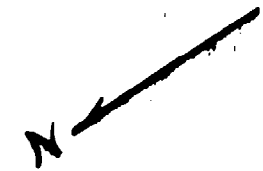
ZONE "B" - ROOMS - 112, 114, 115, 104, 105, 106
107, 121, 122, 123, 124 & 125

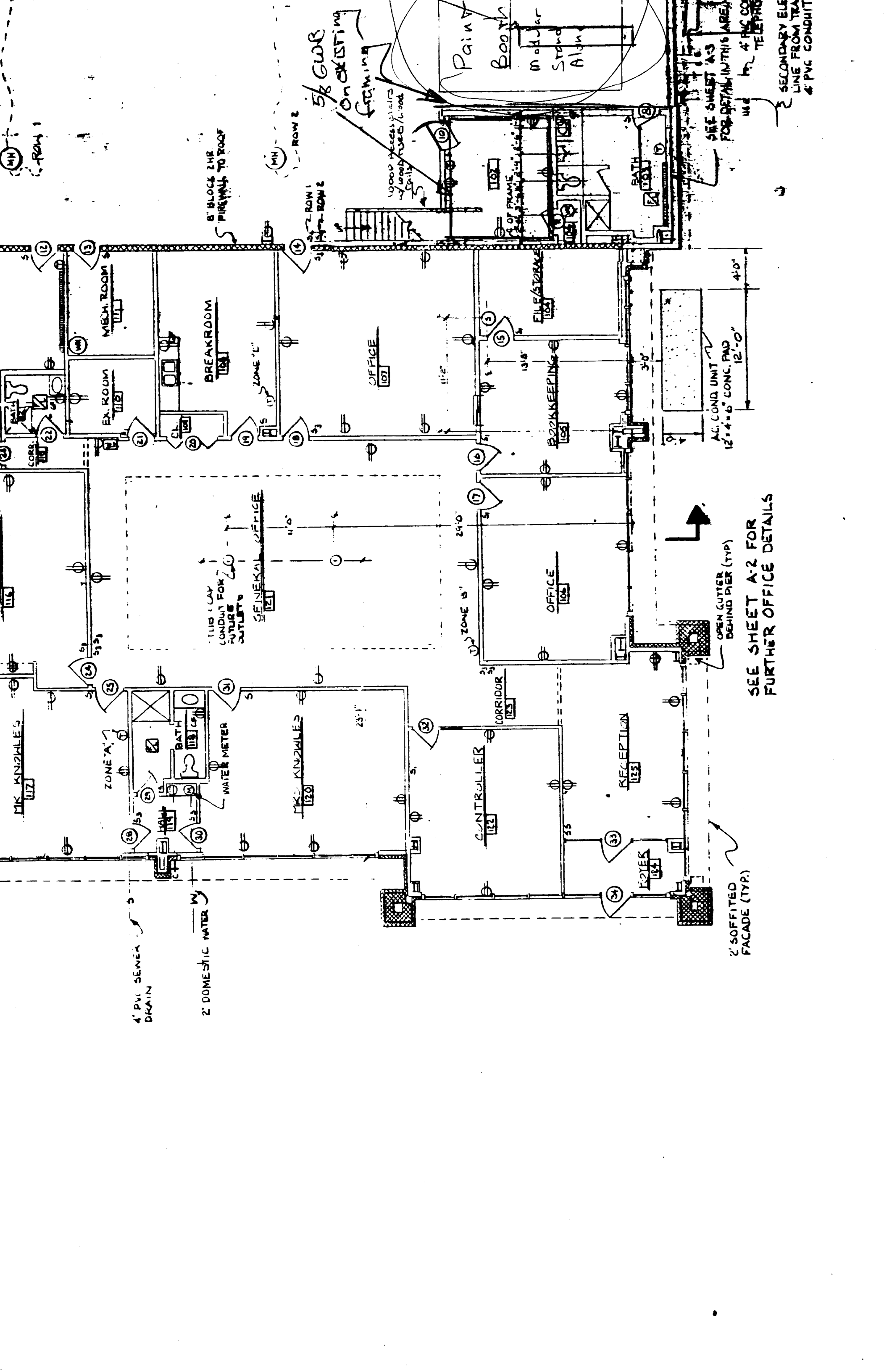
ZONE "C" - ROOMS - 108, 110, 111 & 113

NOTES:

OIL FIRED UNIT HEATERS TO BE MODINE PCH-185 OR EQUAL W/ THRU-ROOF VENTING.

BOTTOM OF METAL HALIDE LIGHTS TO BE 18'-6" FROM SLAB.





5/8 GWB
On existing
FRAMING

PAINT
BOOTH
M of Jar
Stand
Alph

SEE SHEET A-3
FOR DETAILS IN THIS AREA

SECONDARY ELE
LINE FROM TRA
4\"/>

8\"/>

WOOD ACCESS DOORS
w/ wood frames / 6\"/>

A.C. COND UNIT
12\"/>

SEE SHEET A-2 FOR
FURTHER OFFICE DETAILS

2\"/>

4\"/>

2\"/>

MK KNZULES
117

ZONE 'A'

WATER METER

MK KNZULES
120

CONTROLLER
122

RECEPTION
125

KEYES
124

CORRIDOR
123

OFFICE
106

BOOKKEEPING
105

OFFICE
107

BREAKROOM
108

EX. ROOM
110

MECH. ROOM
111

SEINEKAL OFFICE
121

TUB (LAY
CONDUIT FOR
FUTURE
OUTLETS)

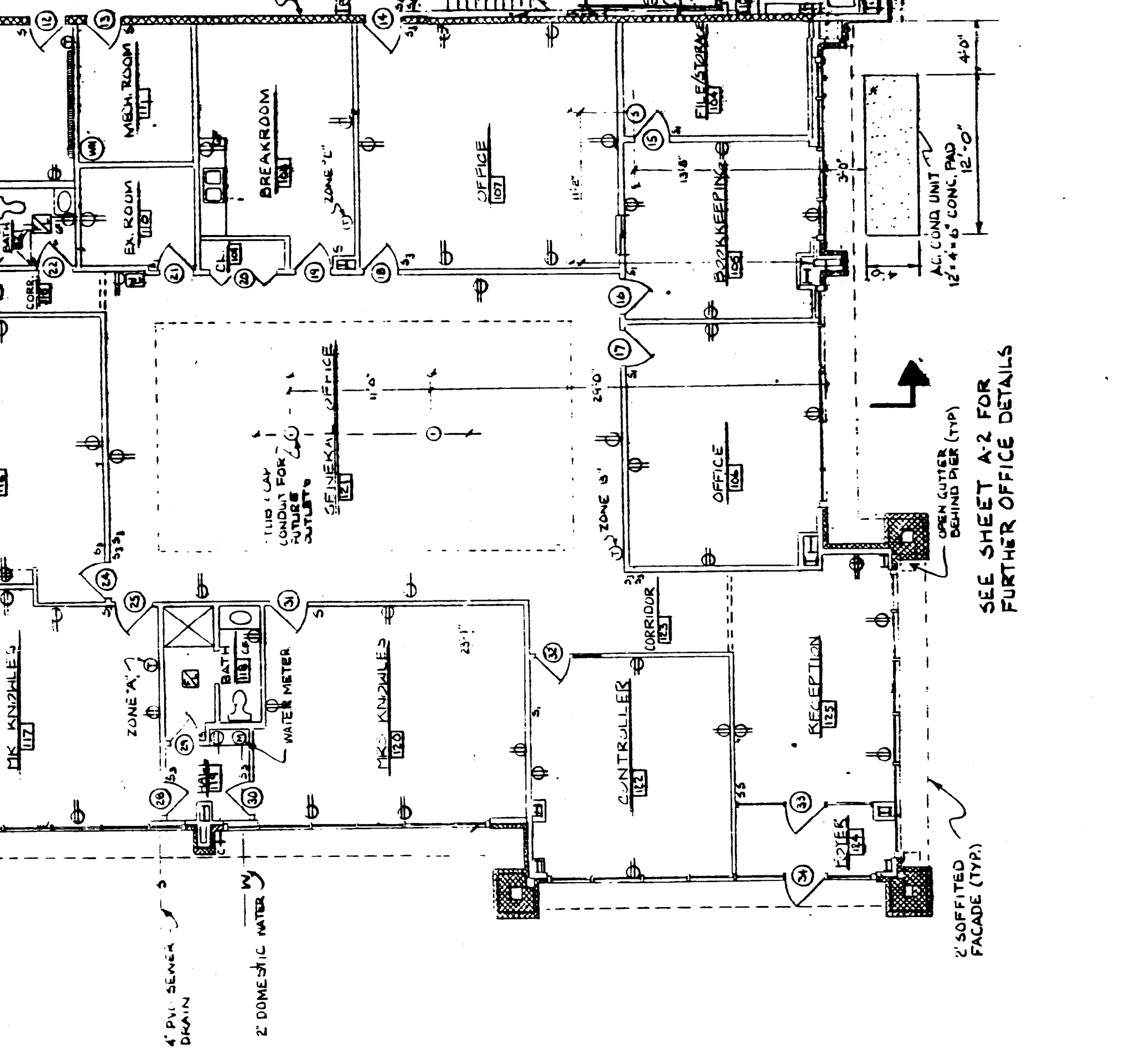


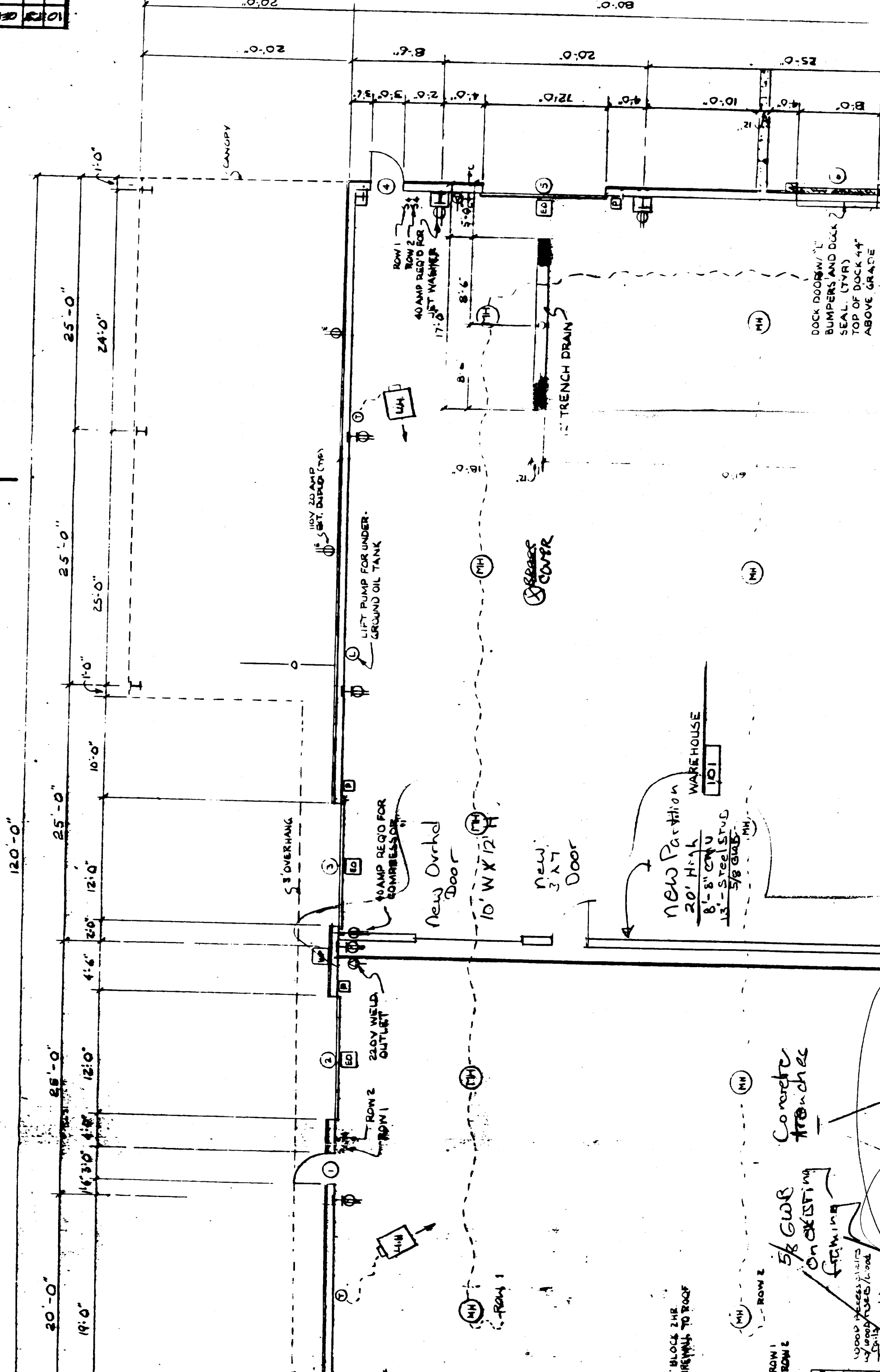
ROW 1

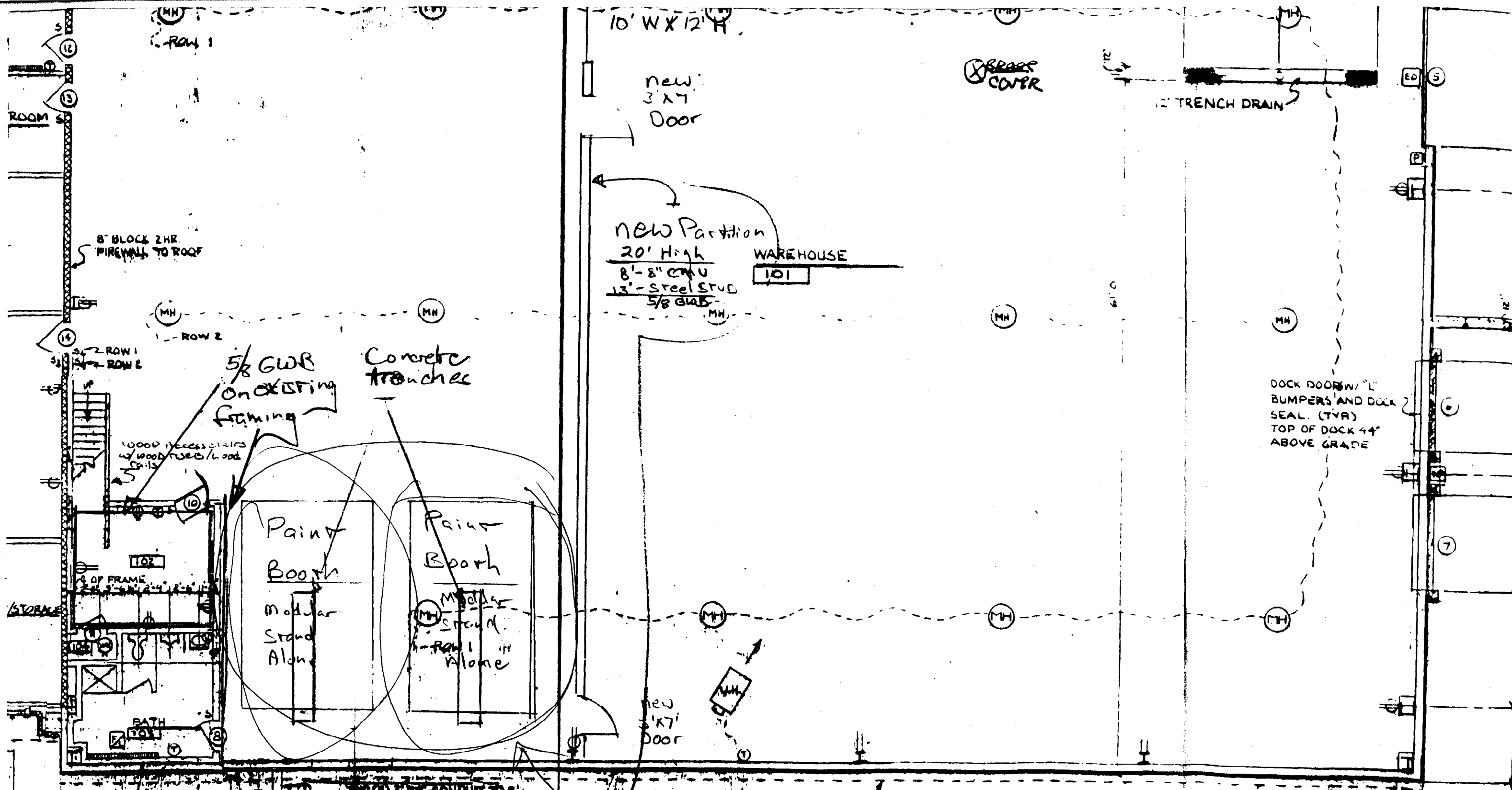
ROW 2

ROW 1

ROW 2







10' W X 12' H

new 3' x 7' Door

GRADE COVER

12" TRENCH DRAIN

new Partition
20' High
8'-8" CMU
13'-steel stud
5/8 GWB

WAREHOUSE
101

5/8 GWB
on existing
framing

Concrete
trenches

Paint Booth

Paint Booth

Modular
Stand
Along

Modular
Stand
Along

DOCK DOOR W/ "L"
BUMPER AND DOCK
SEAL (TVR)
TOP OF DOCK 4" ABOVE GRADE

SEE SHEET A-3
FOR DETAIL IN THIS AREA

USE 4" PVC CONDUIT FOR TELEPHONE

SECONDARY ELEC.
LINE FROM TRANSFORMER
4" PVC CONDUIT

New
Condensing
Units on

OUTSET EAVE CONDITION
BLDG. OVERHANG

