

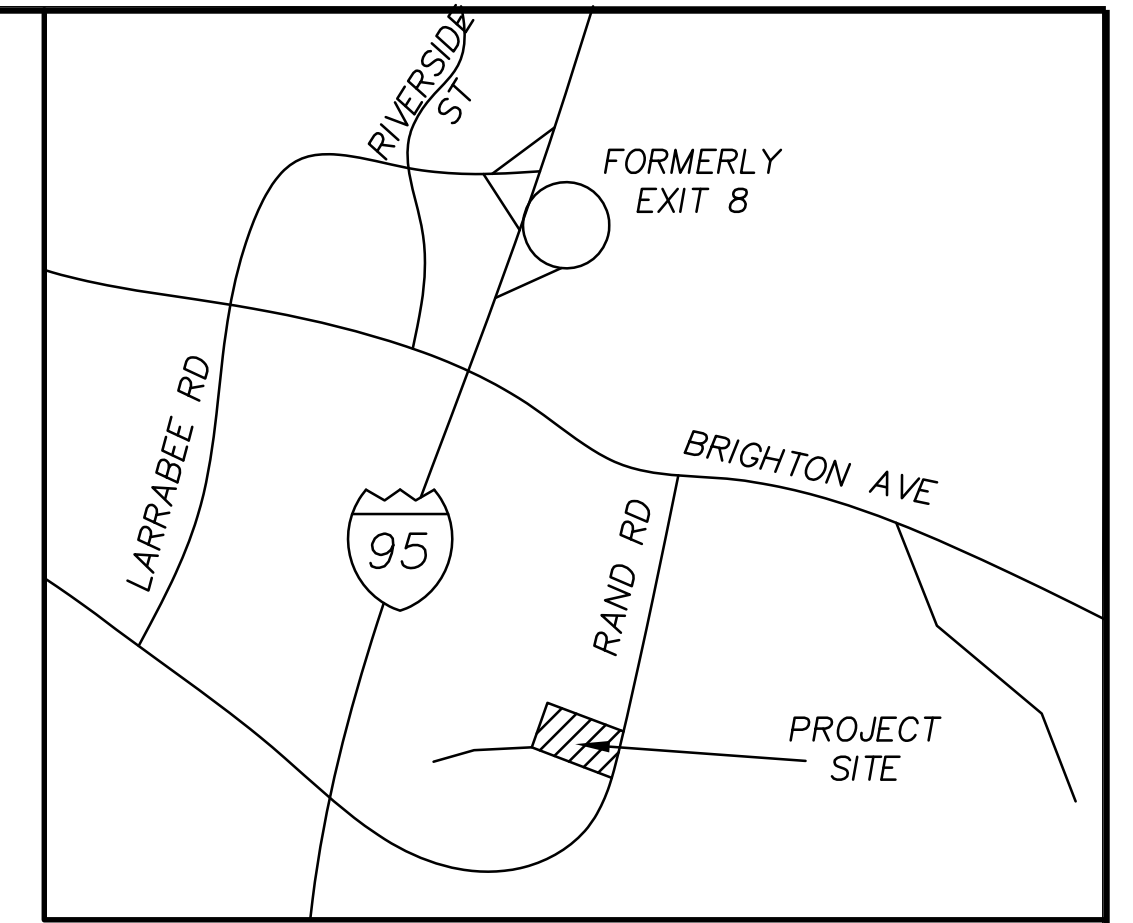
GENERAL NOTES:

- DRAWINGS ARE BASED ON BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION FROM MULTIPLE SOURCES BY SITELINES, PA.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION HAS NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVES AND IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE (1-800-DIG-SAFE) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IN AREAS OF POTENTIAL CONFLICTS TEST PITS SHALL BE REQUIRED TO VERIFY EXISTING UTILITY LOCATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- RIM ELEVATIONS OF PROPOSED SANITARY SEWER MANHOLES AND ASSOCIATED STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH AND CONSISTENT WITH THE GRADING PLANS. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISH GRADE WITHIN LIMITS OF WORK.
- THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, CABLE AND FIRE ALARM). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH CONSTRUCTION MANAGER AND ARCHITECT.
- THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION, SIZE, INVERTS AND TYPES OF EXISTING PIPES AT ALL PROPOSED POINTS OF CONNECTION PRIOR TO ORDERING MATERIALS. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE CONSTRUCTION MANAGER REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT.
- THE CONTRACTOR SHALL VERIFY ALL CRITICAL DIMENSIONS AND GRADES BEFORE WORK BEGINS. CONTRACTOR SHALL CONFIRM LOCATION AND DEPTH ALL UTILITY LINE CROSSINGS WITH TEST PITS PRIOR TO BEGINNING WORK. CONFLICTS SHALL BE REPORTED IN WRITING TO CONSTRUCTION MANAGER FOR RESOLUTION OF THE CONFLICT.
- ALL AREAS OUTSIDE THE LIMIT OF WORK THAT ARE DISTURBED SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. ALL AREAS DISTURBED DURING CONSTRUCTION NOT COVERED WITH BUILDINGS, STRUCTURES, OR PAVEMENT SHALL RECEIVE 4 INCHES OF LOAM AND SEED.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS AND SHALL BE RESPONSIBLE FOR PAYING ANY FEES FOR ANY POLE RELOCATION AND FOR THE ALTERATION OR ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, CABLE, FIRE ALARM AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
- UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY PERMITS, PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS AND AS SPECIFIED.
- ALL PROPERTY MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE RESET TO THEIR ORIGINAL LOCATION BY A MAINE REGISTERED LICENSED PROFESSIONAL LAND SURVEYOR (PLS) AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL PREPARE AN AS-BUILT PLAN SURVEY SHOWING LOCATIONS OF ALL SURFACE FEATURES AND SUBSURFACE UTILITY SYSTEMS INCLUDING THE LOCATION TYPE, SIZE AND INVERTS.
- THE CONTRACTOR SHALL INSTALL ALL EROSION CONTROL MEASURES PRIOR TO EARTHWORK OPERATION AND MAINTAIN ALL EROSION CONTROL MEASURES AND SEEDED EMBANKMENTS DURING CONSTRUCTION. EROSION CONTROL SHALL BE REMOVED ONLY UPON THE ESTABLISHMENT OF ALL LANDSCAPED AREAS. ALL WORK SHALL BE IN COMPLIANCE WITH THE ENVIRONMENTAL QUALITY HANDBOOK FOR EROSION AND SEDIMENT CONTROL, LATEST EDITION, AS ADOPTED BY THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. ALL CONSTRUCTION ACTIVITY SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
- ALL MATERIALS AND CONSTRUCTION METHODS USED WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO ALL LOCAL MUNICIPAL STANDARDS AND MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
- THE CONTRACTOR IS REQUIRED TO CONTROL DUST DURING CONSTRUCTION. EXPOSED SOIL AREAS SHALL BE SPRAYED WITH WATER AS NEEDED TO CONTROL DUST EMISSIONS. COVER EXPOSED SOIL AREAS AS QUICKLY AS PRACTICAL TO PREVENT WINDS FROM GENERATING DUST.
- ALL HANDICAP ACCESSIBLE PARKING SPACES, RAMPS AND SIDEWALKS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA).
- ALL SITE SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- THE CONTRACTOR SHALL ANTICIPATE THAT GROUNDWATER WILL BE ENCOUNTERED DURING CONSTRUCTION AND SHALL INCLUDE SUFFICIENT COSTS WITHIN THEIR BID TO PROVIDE DEWATERING AS NECESSARY. NO SEPARATE PAYMENT SHALL BE MADE TO THE CONTRACTOR FOR DEWATERING. SEE SPECIFICATIONS FOR GEOTECHNICAL INFORMATION.

PROPOSED BUILDING EXPANSION OLD DOMINION FREIGHT LINE, INC.

185 RAND ROAD
PORTLAND, MAINE 04102
PARCEL ID# 254 A007001

PREPARED FOR:
OLD DOMINION FREIGHT LINE, INC
500 OLD DOMINION WAY
THOMASVILLE, NC 27360



LOCATION MAP
NOT TO SCALE

LEGEND

EXISTING		PROPOSED
●	IRON MARKER FOUND	○
	5/8" REBAR TOPPED WITH AN ALUMINUM CAP READING "BRUCE W. MARTINSON - PLS 2137" TO BE SET	
□	GRANITE MONUMENT SET	□
⊕	CATCH BASIN	⊕
⊕	SEWER MANHOLE	⊕
⊕	FIRE HYDRANT	⊕
⊕	WATER GATE VALVE	⊕
⊕	WATER SHUT-OFF	⊕
⊕	BLOW-OFF/CLEAN-OUT	⊕
—○—	UTILITY POLE	—○—
—	UTILITY LINE	—
—	PROPERTY LINE	—
—	EASEMENTS	—
—	SETBACK/BUFFER	—
—	SOILS BOUNDARY	—
—	WETLAND BOUNDARY	—
—	STREAM	—
—	CULVERT	—
—	CURB	—
—	EDGE OF PAVEMENT	—
—	ROAD CENTERLINE	—
—	BUILDING	—
—	STORM DRAIN(SEE PLAN FOR SIZE)	—
—	SEWER LINE(SEE PLAN FOR SIZE)	—
—	WATER LINE(SEE PLAN FOR SIZE)	—
—	UNDERDRAIN(SEE PLAN FOR SIZE)	—
—	SLOPE ARROW	—
—	CONTOURS	—
—	TEMPORARY INLET PROTECTION	—
—	CLEARING LIMIT	—
—	TREE LINE	—
—	SEDIMENT BARRIER	—
—	RIPRAP	—
—	CONSTRUCTION ENTRANCE	—
—	PROPOSED PAVEMENT	—
—	SPOT GRADE	—

CIVIL SHEET INDEX:

DWG NO.:	SHEET TITLE:
C1	COVER SHEET
C2	EXISTING CONDITIONS & DEMOLITION PLAN
C3	SITE LAYOUT & UTILITY PLAN
C4	GRADING, DRAINAGE, & EROSION CONTROL PLAN
C5	SITE DEVELOPMENT DETAILS
C6	SITE DEVELOPMENT DETAILS
C7	STORM WATER DETAILS
C8	EROSION CONTROL DETAILS AND NOTES
ES1.1	SITE LIGHTING PLAN (BY ORA CONSULTING ENGINEERS)
ES1.1A	SITE PHOTOMETRICS (BY ORA CONSULTING ENGINEERS)

PROJECT CONTACTS:

PLANNING:

PLANNING & URBAN DEVELOPMENT
DEPARTMENT
389 CONGRESS STREET
ROOM 308
PORTLAND, MAINE 04101
PHONE: 207-874-8721

ELECTRIC SERVICE:

CENTRAL MAINE POWER
162 CANCO ROAD
PORTLAND, MAINE 04103
PHONE: 800-750-4000

CABLE SERVICE:

TIME WARNER CABLE
118 JOHNSON ROAD
PORTLAND, MAINE, 04101
PHONE: 800-892-2253

TELEPHONE SERVICE:

FAIRPOINT COMMUNICATIONS
45 FOREST AVENUE
PORTLAND, MAINE 04101
PHONE: 866-984-2001

WATER SERVICE:

PORTLAND WATER DISTRICT
225 DOUGLASS STREET
PORTLAND, MAINE 04102
PHONE: 207-761-8310

**PUBLIC WORKS DEPARTMENT
AND SEWER:**

CITY OF PORTLAND DEPARTMENT
OF PUBLIC SERVICES
55 PORTLAND STREET
PORTLAND, MAINE 04101
PHONE: 207-874-8801

PORTLAND FIRE DEPARTMENT:

380 CONGRESS STREET
PORTLAND, MAINE 04101
PHONE: 207-725-7581

PORTLAND POLICE DEPARTMENT:

109 MIDDLE STREET
PORTLAND, MAINE 04101
PHONE: 207-874-8479

DESIGN TEAM:

**ENGINEERING, PLANNING, SURVEYING
& LANDSCAPE ARCHITECTS:**

SITELINES, P.A.
CURTIS NEUFELD, P.E.
8 CUMBERLAND STREET
BRUNSWICK, MAINE 04011
PHONE: 207-725-1200

ARCHITECT:

THE MOLLENKOPF DESIGN GROUP
DAVID J. MOLLENKOPF, AIA
209 10TH AVE S, SUITE 414
NASHVILLE, TENNESSEE 37203
PHONE: 615-296-9146

GEOTECHNICAL ENGINEERING:

SUMMIT GEOENGINEERING SERVICES
BILL PETERLEIN, P.E.
640 MAIN STREET
LEWISTON, MAINE 04240
PHONE: 207-795-6009

PERMITTING REQUIREMENTS:

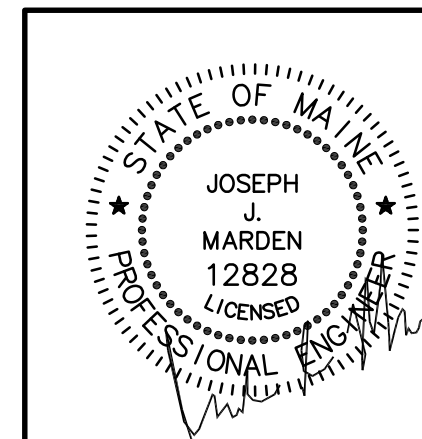
AGENCY:	PERMIT:	STATUS:
CITY OF PORTLAND	LEVEL II - SITE PLAN REVIEW	PENDING
	SLODA AMENDMENT	PENDING
	BUILDING	(BY CONTRACTOR)
MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION:	FULL NRPA APPLICATION	APPROVED - JULY 2, 2014.

- 06/19/14 REVISED PER CITY COMMENTS JUM
- 05/19/14 SUBMITTED TO CITY AND MDEP JUM

TITLE:	COVER SHEET
PROJECT:	PROPOSED BUILDING EXPANSION 185 RAND ROAD, PORTLAND, ME 04102
OWNER:	OLD DOMINION FREIGHT LINES, INC. 500 OLD DOMINION WAY, THOMASVILLE, NC 27360



PROGRESS PRINT
THIS PLAN IS ISSUED FOR REVIEW AND INFORMATION PURPOSES ONLY. THIS PLAN IS SUBJECT TO CHANGE AND IS NOT FOR PRICING OR CONSTRUCTION. PRICING BASED ON THIS PLAN IS NOT BINDING UNLESS SIGNED BY BOTH CONTRACTOR AND OWNER.

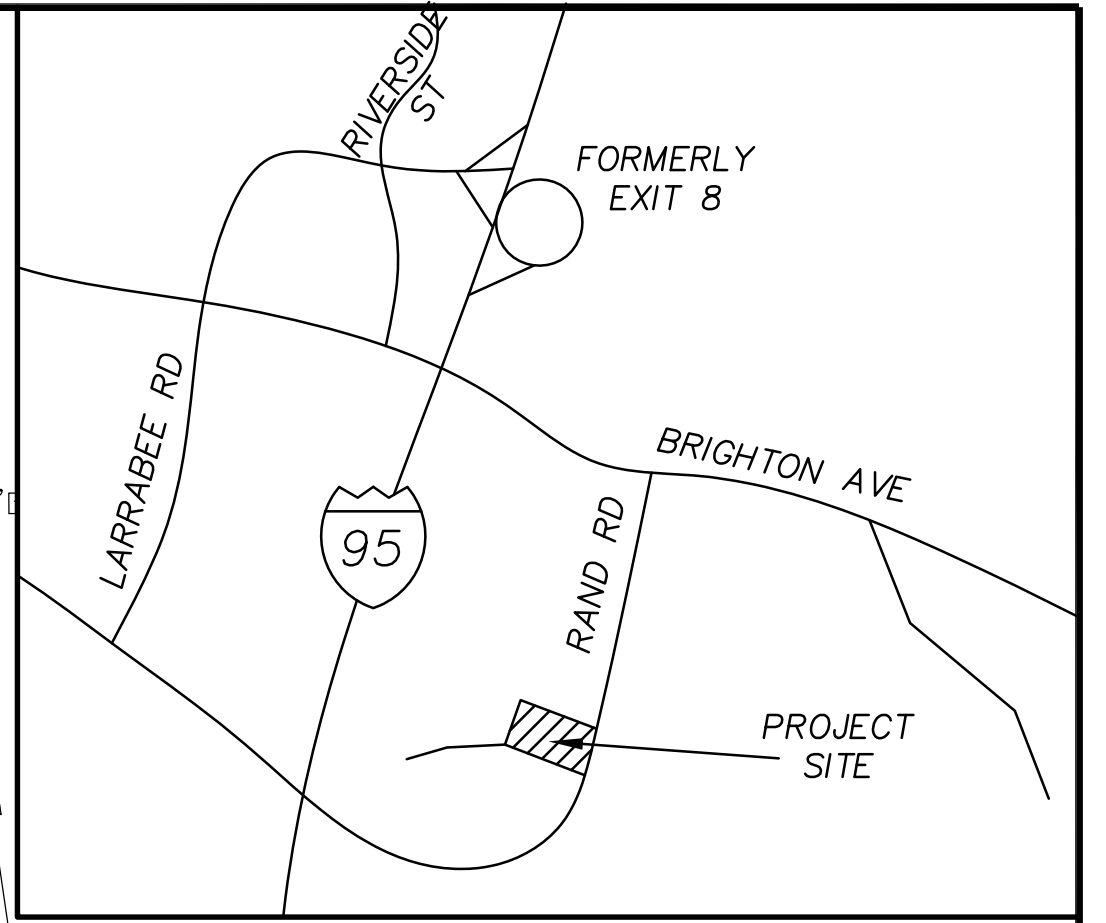


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LANDSCAPE ARCHITECTS
8 CUMBERLAND STREET, BRUNSWICK, ME 04011
207.725.1200 www.sitelinespa.com

FIELD WK: JUM/MC	SCALE: NTS	SHEET:
DRN BY: RPL	JOB #: 2454	C1
CH'D BY: CYN	MAP/LOT: 254/A007001	
DATE: 02/26/14	FILE: 2454-COVER-DET	

N/F
RAND ROAD HOLDINGS LLC
7 RAND ROAD
PORTLAND, ME 04104
CBL 252 A001001
BK 31342 PG 191

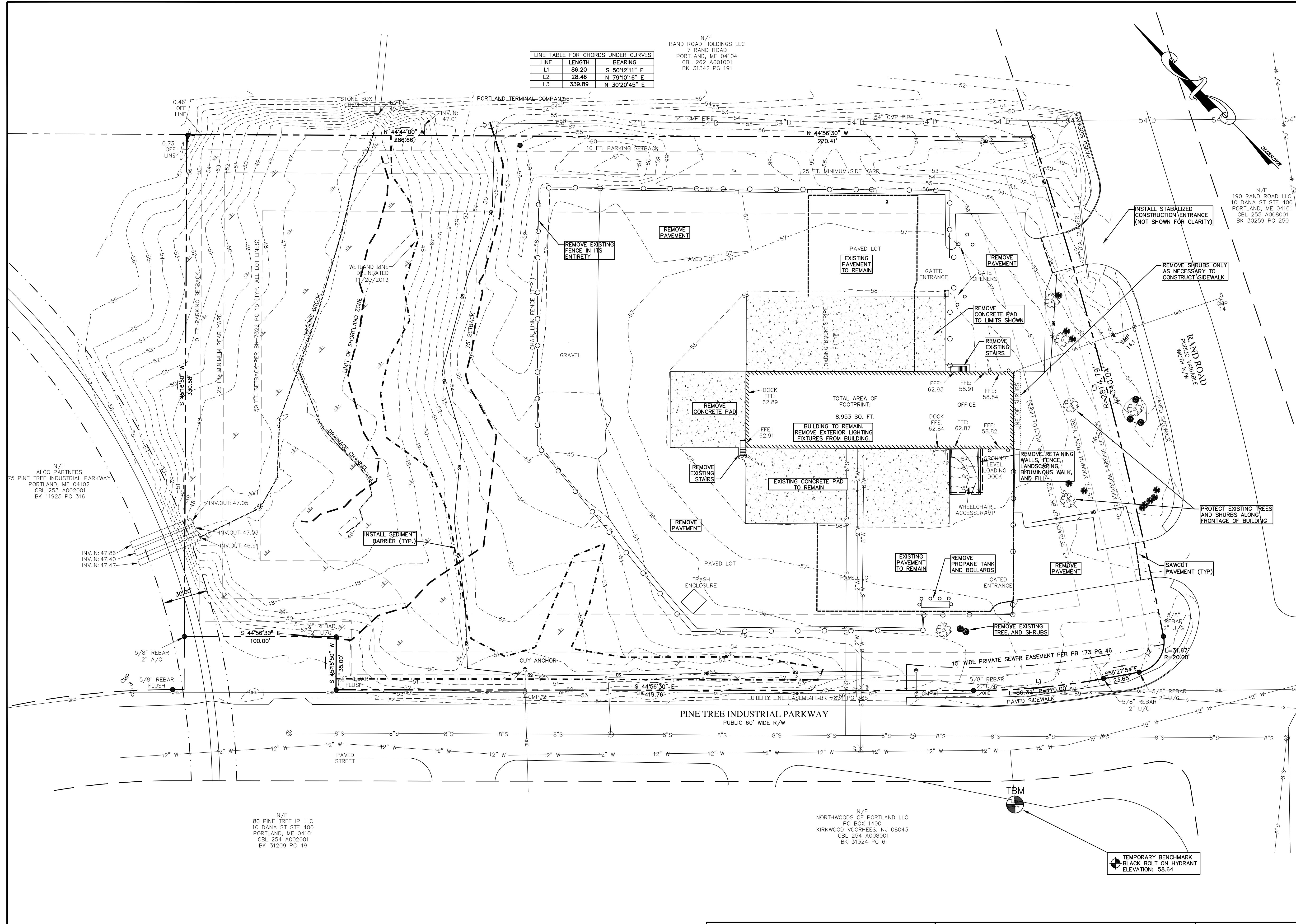
LINE	LENGTH	BEARING
L1	86.20	S 80°12'11" E
L2	28.46	N 79°10'16" E
L3	339.89	N 30°20'45" E



LOCATION MAP
NOT TO SCALE

- DEMOLITION NOTES:**
- EXISTING FEATURES NOT IDENTIFIED FOR REMOVAL OR RELOCATION SHALL GENERALLY BE PROTECTED IN PLACE. THE CONTRACTOR MAY REMOVE EXISTING FEATURES THROUGH COORDINATION WITH THE OWNER.
 - MATERIAL REMOVED BY THE CONTRACTOR SHALL BECOME THE PROPERTY OF THE CONTRACTOR, UNLESS SPECIFICALLY IDENTIFIED FOR OTHER USES. PROPER DISPOSAL OF SUCH MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - THE CONTRACTOR SHALL LIMIT DISTURBANCE TO ON-SITE AREAS ONLY. SPECIAL CARE SHALL BE TAKEN TO AVOID DISTURBANCE OR DAMAGE OF FEATURES IN PUBLIC RIGHT OF WAYS.
 - THE CONTRACTOR SHALL SECURE THE SITE ON A DAILY BASIS.
 - FOR WORK COMPLETION, THE CONTRACTOR SHALL STABILIZE THE SITE BY LEVELING DISTURBED AREAS OR SOIL PILES, AND STOCKPILING REMOVED VEGETATION FOR DISPOSAL.
 - THE CONTRACTOR SHALL CONTACT DIGSAFE PRIOR TO COMMENCING WORK.
 - THE CONTRACTOR SHALL REPORT TO THE ENGINEER IF ANY UNFORESEEN SUBSURFACE CONDITIONS ARE ENCOUNTERED INCLUDING BUT NOT LIMITED TO UNDERGROUND STORAGE TANKS, WASTE MATERIAL, OR UTILITIES.
 - EROSION CONTROL MEASURES SHALL BE PROVIDED PRIOR TO INITIATION OF SITE DEMOLITION EFFORTS.
 - THE DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY DURING DEMOLITION WORK. NO UNSAFE CONDITION MAY REMAIN AFTER DEMO WORK IS COMPLETE.

- UTILITY NOTES:**
- INFORMATION REGARDING THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS A COMPILATION OF THAT FOUND IN THE FIELD AND THAT SHOWN ON A PREVIOUS PLANS, AND SHALL NOT BE CONSIDERED AN AS-BUILT PLAN. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING UTILITY LOCATIONS PRIOR TO COMMENCING WORK. NOTIFY ENGINEER OF ANY DISCREPANCY BETWEEN UTILITIES AS SHOWN AND AS FOUND. CONTRACTOR SHALL NOTIFY DIG-SAFE PRIOR TO EXCAVATION. 1-888-344-7233



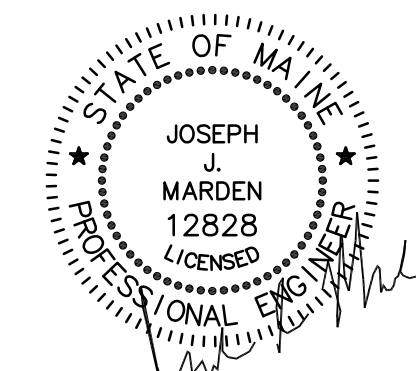
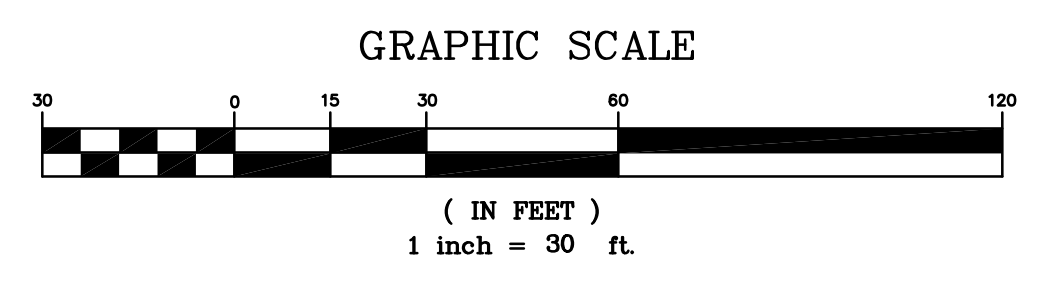
N/F
ALCO PARTNERS
75 PINE TREE INDUSTRIAL PARKWAY
PORTLAND, ME 04102
CBL 253 A002001
BK 11925 PG 316

N/F
80 PINE TREE IP LLC
10 DANA ST STE 400
PORTLAND, ME 04101
CBL 254 A002001
BK 31209 PG 49

N/F
NORTHWOODS OF PORTLAND LLC
PO BOX 1400
KIRKWOOD VOORHEES, NJ 08043
CBL 254 A008001
BK 31324 PG 6

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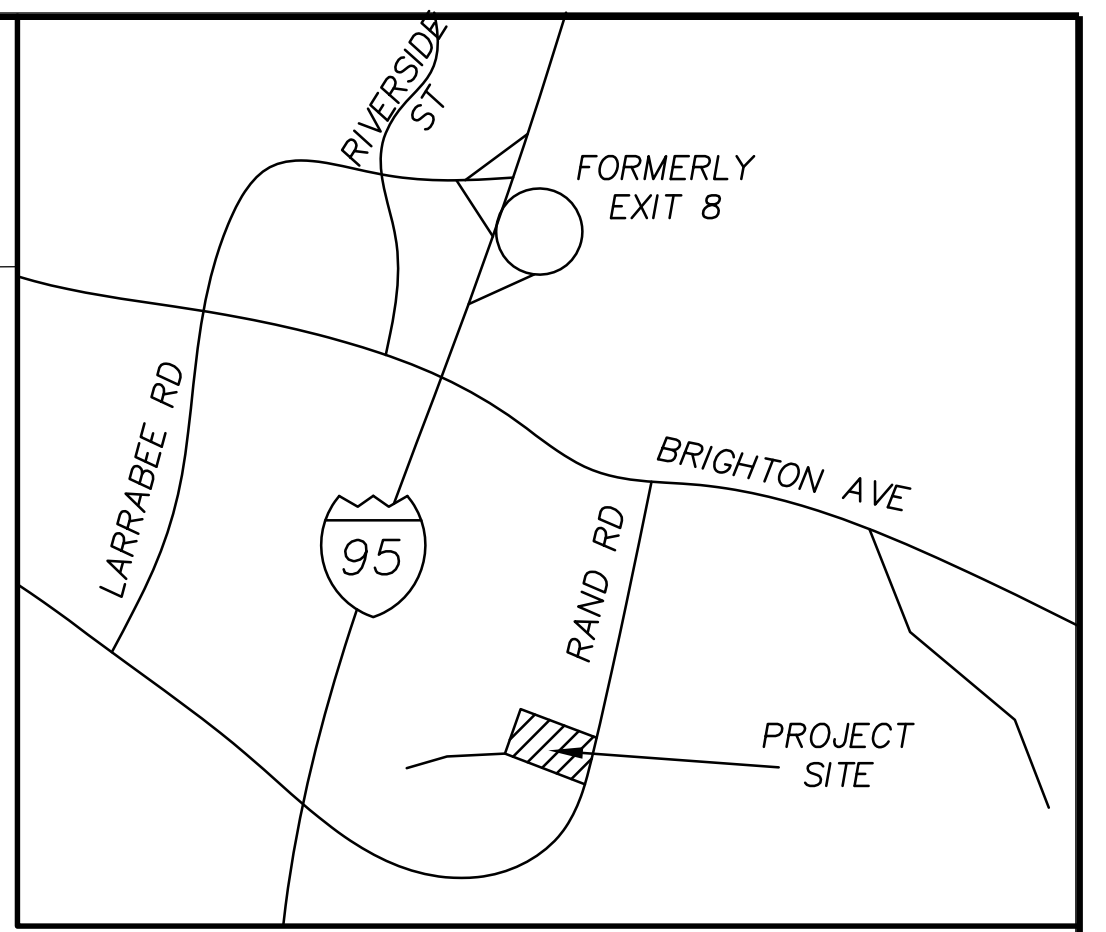
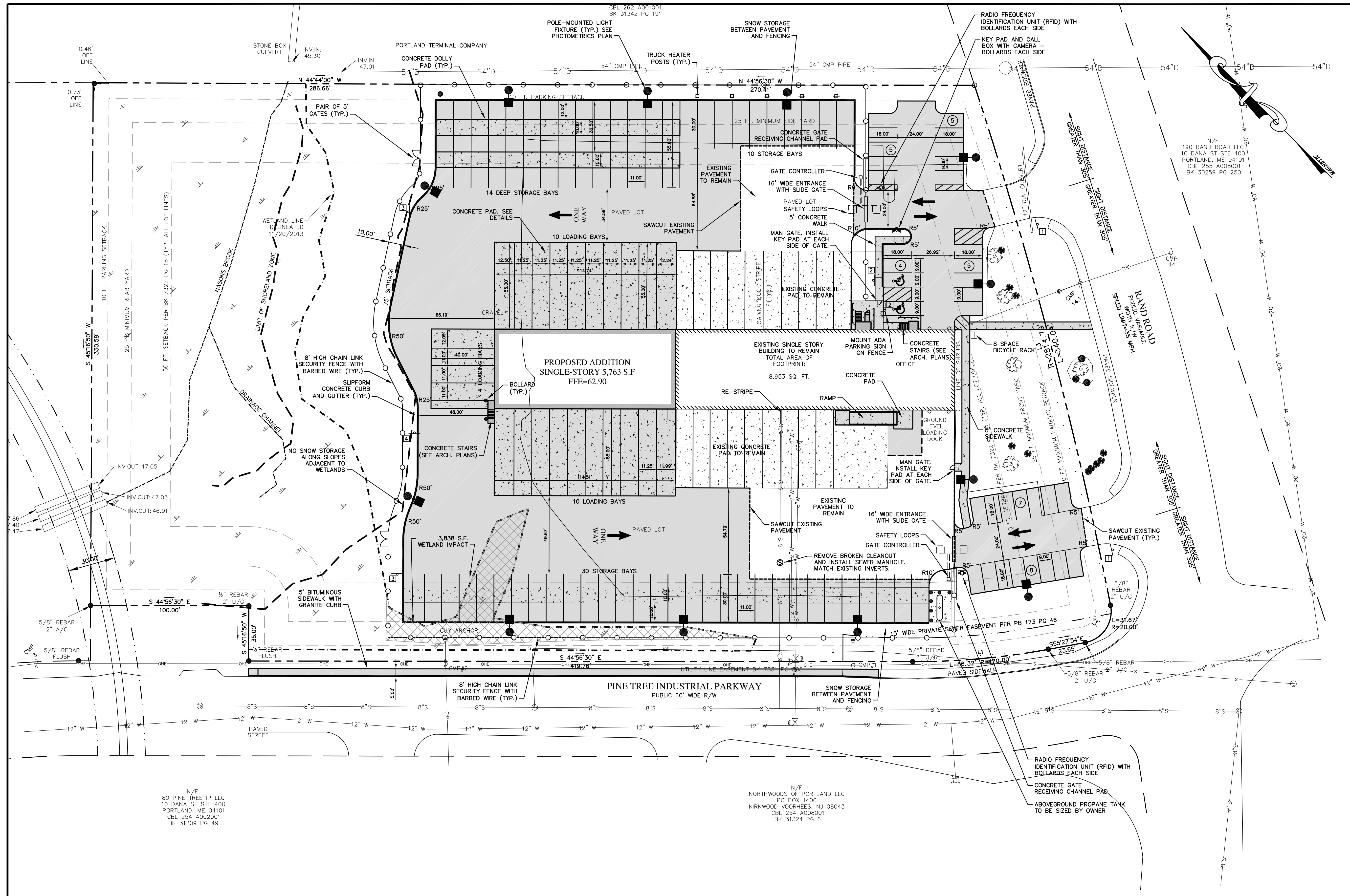
CALL DIG SAFE UTILITY LOCATION
1-888-344-7233
STATE LAW REQUIRES ADVANCE NOTICE OF AT LEAST 3 BUSINESS DAYS BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITIES



2. 06/19/14	REVISED PER CITY COMMENTS	JUM
1. 05/19/14	SUBMITTED TO CITY AND MDEP	JUM
TITLE: EXISTING CONDITIONS & DEMOLITION PLAN		
PROJECT: PROPOSED BUILDING EXPANSION 185 RAND ROAD, PORTLAND, ME 04102		
PREPARED FOR: OLD DOMINION FREIGHT LINES, INC. 500 OLD DOMINION WAY, THOMASVILLE, NC 27360		

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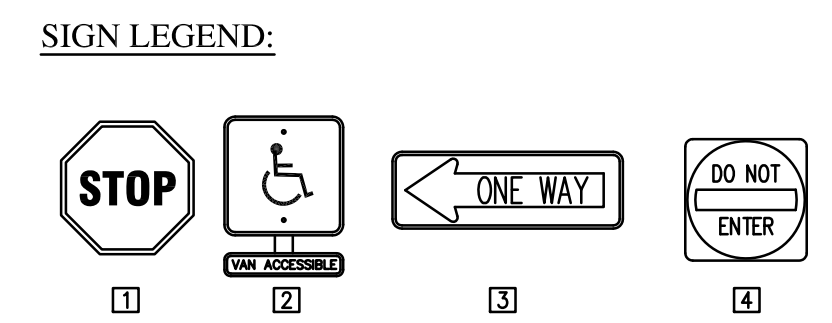
FIELD WK: JUM/MC	SCALE: 1" = 30'	SHEET:
DRN BY: RPL	JOB #: 2454	C2
CHD BY: CYN	MAP/LOT: 254/A007001	
DATE: 02/26/14	FILE: 2454-SITE	



- GENERAL NOTES:**
1. RECORD OWNER AND TITLE: OLD DOMINION FREIGHT LINE, LLC
 2. PLAN REFERENCE(S):
 - a) RECORDING PLAT FOR PINE TREE INDUSTRIAL PARK SUBDIVISION FOR PRESUMPCOT ASSOCIATES, INC. PREPARED BY DEARBORN/WHITED DATED 1/5/1988 AND RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS IN PB 173, PG 46.
 - b) BOUNDARY SURVEY FOR OLD DOMINION FREIGHT LINE, INC. PREPARED BY SITELINES, PA DATED 4/25/2014, NOT RECORDED.
 3. AREA INFORMATION: 217,697 SQ.FT. 5.00 ACRES±
 4. TAX MAP REFERENCE: CBL 254 A007001
 5. BASIS OF BEARINGS: REFER TO PLAN REFERENCE "b"
 6. ORDINANCE STANDARDS:
 - ZONE - IM
 - MINIMUM LOT AREA - NONE
 - MINIMUM STREET FRONTAGE - 60 FT
 - MINIMUM FRONT YARD - 1 FT FOR EACH 1 FT OF BUILDING HEIGHT
 - MINIMUM REAR YARD - 1 FT FOR EACH 1 FT OF BUILDING HEIGHT UP TO 25 FT
 - MINIMUM SIDE YARD - 1 FT FOR EACH 1 FT OF BUILDING HEIGHT UP TO 25 FT
 - MAXIMUM IMPERVIOUS SURFACE COVERAGE - 75%
 - MAXIMUM BUILDING HEIGHT - 75 FT
 - MINIMUM PAVEMENT SETBACK APPEARS TO BE 10 FT
 7. IMPERVIOUS AREA SUMMARY
 - EXISTING IMPERVIOUS AREA - 79,713 S.F. (1.83 AC)
 - NEW IMPERVIOUS AREA - 38,805 S.F. (0.89 AC)
 - TOTAL IMPERVIOUS AREA - 118,518 S.F. (2.72 AC)
 8. WETLANDS ONSITE WERE DELINEATED BY ECO-ANALYSTS, INC, P.O. BOX 224, BATH, ME 04530 (207)-837-2199.
 9. THE SITE IS SUBJECT TO THE REQUIREMENTS OF A SITE LOCATION OF DEVELOPMENT ACT PERMIT FROM THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION (#-16187-39-A-N).
 10. FLOOD ZONE INFORMATION:
 - PROJECT IS LOCATED IN ZONE X (AREAS OF 500-YEAR FLOODPLAIN) OF THE FLOOD INSURANCE RATE MAPS FOR CUMBERLAND COUNTY, MAINE. THE PROJECT IS LOCATED ON PANEL 12 OF 17 (COMMUNITY PANEL 230051-0012-C; EFFECTIVE DATE DECEMBER 8, 1998)

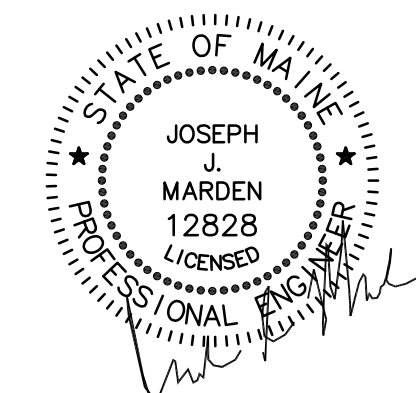
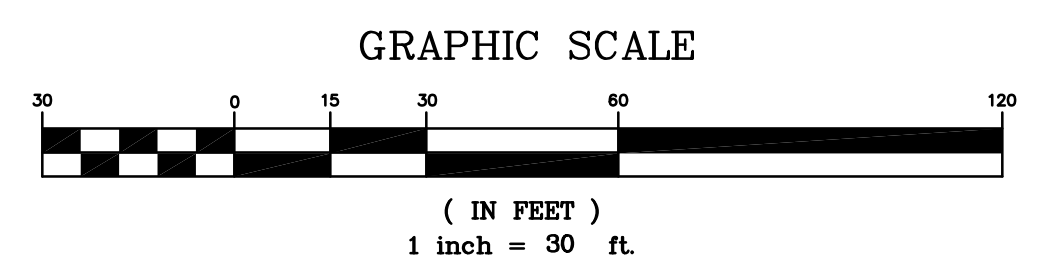
- LAYOUT NOTES:**
1. ALL DIMENSIONING, UNLESS NOTED OTHERWISE, IS TO THE FACE OF CURB OR FOUNDATION.
 2. OFFSETS TO CATCH BASINS AND MANHOLES ARE TO THE CENTER OF THE FRAME.
 3. PIPE LENGTH EQUALS THE CENTER TO CENTER DISTANCES BETWEEN CATCH BASINS AND/OR MANHOLES MINUS ONE HALF THE DIAMETER OF EACH CATCH BASIN OR MANHOLE.
 4. BOUNDARY INFORMATION ON LAYOUT PLAN IS FOR REFERENCE ONLY, REFER TO CERTIFIED BOUNDARY PLANS FOR BOUNDARY INFORMATION.
 5. ALL HANDICAP ACCESSIBLE PARKING SPACES, RAMPS AND SIDEWALKS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA).
 6. ALL SITE SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). PAVEMENT MARKING COLORS SHALL BE YELLOW WITHIN THE FENCED AREA, AND WHITE IN THE EMPLOYEE PARKING LOTS.
 7. BUILDING FOUNDATION SHOWN IS NOT FOR FOUNDATION LAYOUT. COORDINATE SITE WORK WITH ARCHITECTURAL DRAWINGS INCLUDING BUILDING FEATURES AND FOUNDATION PLAN.

- SEE SHEET C4 FOR GRADING, DRAINAGE AND EROSION CONTROL PLAN
3. 07/17/14 REVISED PER CITY COMMENTS JIM
 2. 06/19/14 REVISED PER CITY COMMENTS JIM
 1. 05/19/14 SUBMITTED TO CITY AND MDEP JIM



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 8 CUMBERLAND STREET, BRUNSWICK, ME 04011
 207.725.1200 www.sitelinespa.com

PROJECT: PROPOSED BUILDING EXPANSION
 185 RAND ROAD, PORTLAND, ME 04102

PREPARED FOR: OLD DOMINION FREIGHT LINES, INC.
 500 OLD DOMINION WAY, THOMASVILLE, NC 27360

FIELD WK: JIM/MC	SCALE: 1" = 30'	SHEET:
DRN BY: RPL	JOB #: 2454	C3
CHD BY: CYN	MAP/LOT: 254/A007001	
DATE: 02/26/14	FILE: 2454-SITE	

PORTLAND, ME 04102
 CBL 262 B037001
 BK 28506 PG 58

- GRADING AND DRAINAGE NOTES:**
1. THE CONTRACTOR SHALL PHASE GRADING EFFORTS SUCH THAT TOTAL SITE DISTURBANCE IS MINIMIZED. TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO GRADING EFFORTS OR WITHOUT DELAY UPON THEIR COMPLETION, DEPENDENT UPON THE SITUATION.
 2. ALL FILL SLOPES SHALL BE A MINIMUM OF 2:1 HORIZONTAL TO VERTICAL UNLESS OTHERWISE NOTED OR DIRECTED.
 3. THE LIMITS OF DISTURBANCE SHALL GENERALLY BE THE MINIMAL EXTENT NECESSARY ONLY TO PERFORM THE GRADING EFFORTS SHOWN ON THE DRAWINGS. SPECIAL CARE SHALL BE TAKEN TO AVOID DISTURBANCE OF OBJECTS AND AREAS NOT SPECIFICALLY IDENTIFIED FOR MODIFICATION OR REMOVAL.
 4. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED IN ACCORDANCE WITH THE DRAWINGS, UNLESS INTENDED FOR OTHER SURFACE COVER.
 5. STORM DRAINS SHALL BE CONSTRUCTED CONCURRENTLY WITH GRADING EFFORTS TO PROVIDE ADEQUATE CONVEYANCE FOR ANY SITE RUNOFF CONDITIONS.
 6. WHERE FINAL GRADING HAS BEEN COMPLETED, SURFACE RESTORATION FOR DISTURBED AREAS WILL BE COMPLETED AS SOON AS PRACTICABLE. FOR VEGETATIVE AREAS, VEGETATION WILL BE PROGRESSIVELY ESTABLISHED.
 7. UNLESS OTHERWISE NOTED, ALL STORM DRAIN PIPE SHALL BE IN ACCORDANCE WITH MOST SPECIFICATIONS SECTION 603. PIPE CULVERTS AND STORM DRAINS, LATEST REVISION WITH ACCEPTABLE TYPES OF PIPE ARE AS FOLLOWS:
 SMOOTH BORE POLYETHYLENE PIPE - HDPE N-12 ADS
 8. BENCHMARK INFORMATION: SEE PLAN
 9. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL DRAINAGE STRUCTURES AND PIPING PRIOR TO ORDERING.
 10. RIM ELEVATIONS OF PROPOSED DRAINAGE STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH AND CONSISTENT WITH THE GRADING PLANS.

STRUCTURE DATA:

CB#	RIM	INV.IN	INV.OUT	OC#	RIM	TOP OF WEIR	INV.IN	INV.OUT
CB#1	55.23	43.92 (FROM OCS#1)	43.82 (TO DMH#4)	OC#1	56.84	48.43	47.43 (FROM CHAMBERS)	44.69 (FROM UNDERDRAIN)
CB#2	54.76	47.81 (FROM CB#3)	47.71 (TO DMH#1)	DMH#1	55.51	47.53 (FROM DMH#1)	47.43 (TO CHAMBERS)	44.59 (TO CB#1)
CB#3	56.24	48.26 (FROM CB#4)	48.16 (TO CB#2)	DMH#2	56.17	47.53 (FROM DMH#1)	47.43 (TO CHAMBERS)	
CB#4	54.70	49.61 (FROM CB#5)	49.51 (TO CB#3)	DMH#3	57.23	47.43 (TO CHAMBERS)		
CB#5	55.22	50.25 (FROM CB#6)	50.15 (TO CB#4)	DMH#4	51.00	43.34 (FROM CB#1)	47.00 (FROM CULVERT)	43.24 (TO EXISTING DMH)
CB#6	55.56	51.00 (TO CB#5)						

STORM DRAIN PIPE DATA:

- P1: 24" HDPE L=10' S=0.0050
- P2: 24" HDPE L=96' S=0.0050
- P3: 24" HDPE L=134' S=0.0050
- P4: 24" HDPE L=40' S=0.0050
- P5: 18" HDPE L=60' S=0.0050
- P6: 18" HDPE L=250' S=0.0050
- P7: 15" HDPE L=100' S=0.0050
- P8: 15" HDPE L=150' S=0.0050

- 3. 07/17/14 REVISED PER CITY COMMENTS JUM
- 2. 06/19/14 REVISED PER CITY COMMENTS JUM
- 1. 05/19/14 SUBMITTED TO CITY AND MDEP JUM

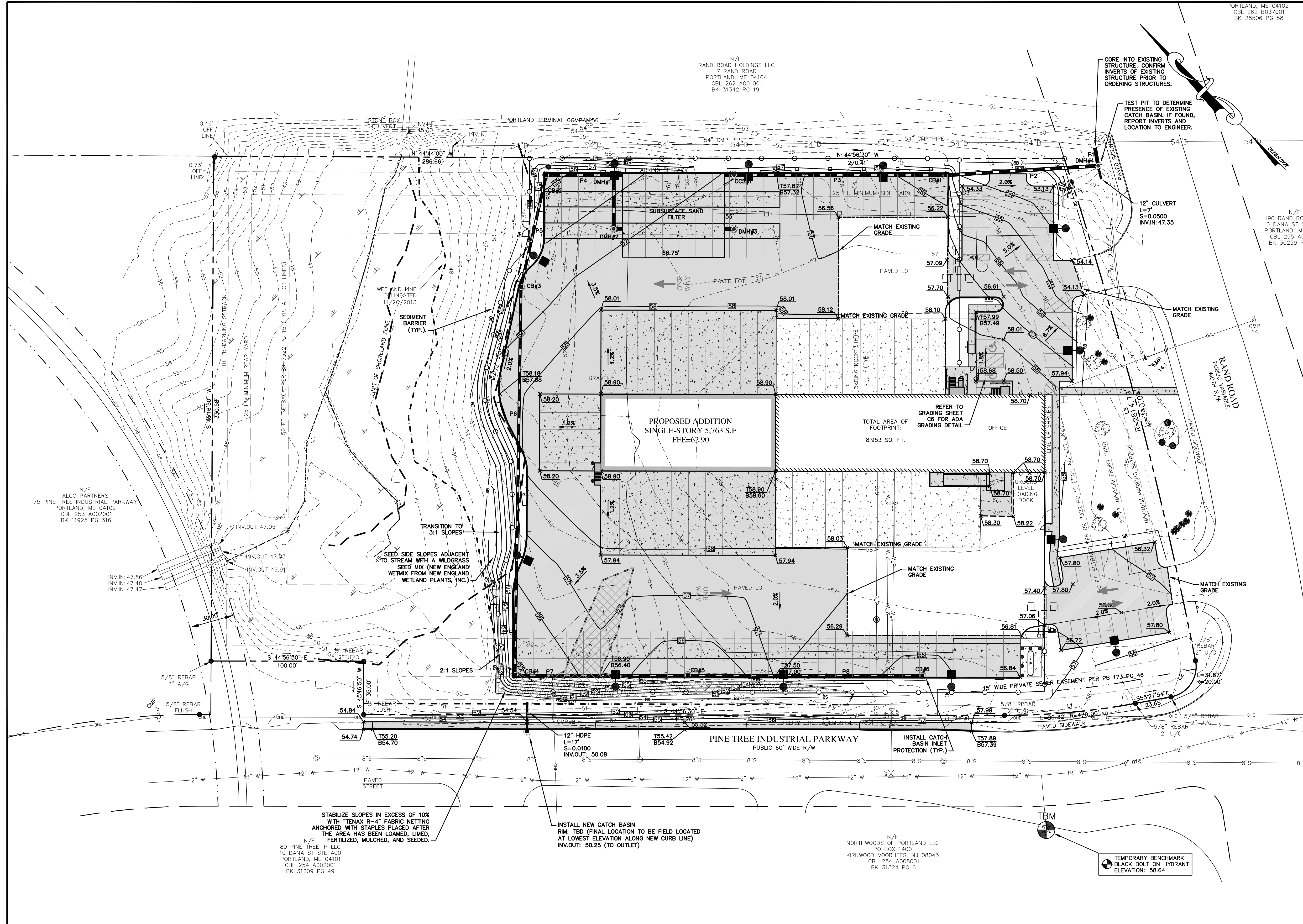
TITLE: GRADING, DRAINAGE & EROSION CONTROL PLAN

PROJECT: PROPOSED BUILDING EXPANSION
 185 RAND ROAD, PORTLAND, ME 04102

PREPARED FOR: OLD DOMINION FREIGHT LINES, INC.
 500 OLD DOMINION WAY, THOMASVILLE, NC 27360

SITELINES, PA
 ENGINEERS • PLANNERS • SURVEYORS
 LANDSCAPE ARCHITECTS
 8 CUMBERLAND STREET, BRUNSWICK, ME 04011
 207.725.1200 www.sitelinespa.com

FIELD WK: JIM/MC	SCALE: 1"=30'	SHEET:
DRN BY: RPL	JOB #: 2454	C4
CHD BY: CYN	MAP/LOT: 254/A007001	
DATE: 02/26/14	FILE: 2454-SITE	



N/F
 ALCO PARTNERS
 75 PINE TREE INDUSTRIAL PARKWAY
 PORTLAND, ME 04102
 CBL 253 A002001
 BK 11925 PG 316

N/F
 RAND ROAD HOLDINGS LLC
 7 RAND ROAD
 PORTLAND, ME 04104
 CBL 262 A001001
 BK 31342 PG 191

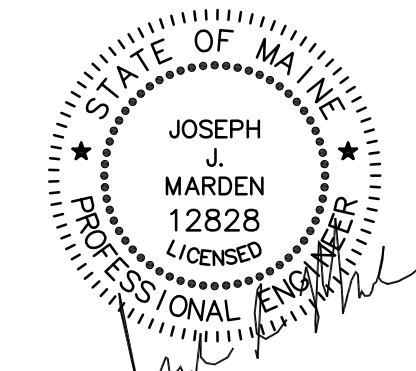
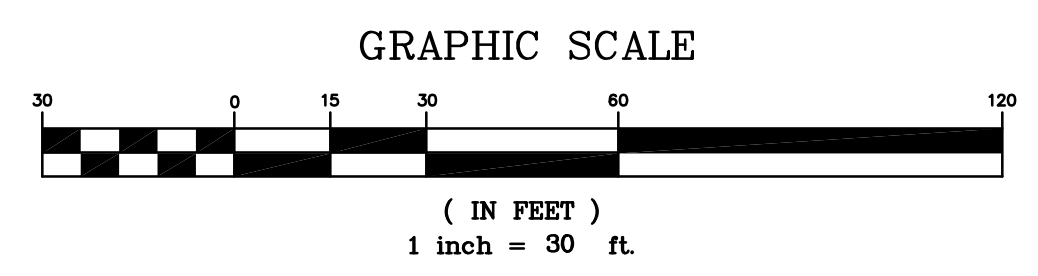
N/F
 190 RAND ROAD
 10 DANA ST STE 400
 PORTLAND, ME 04102
 CBL 255 A00
 BK 30259 PG

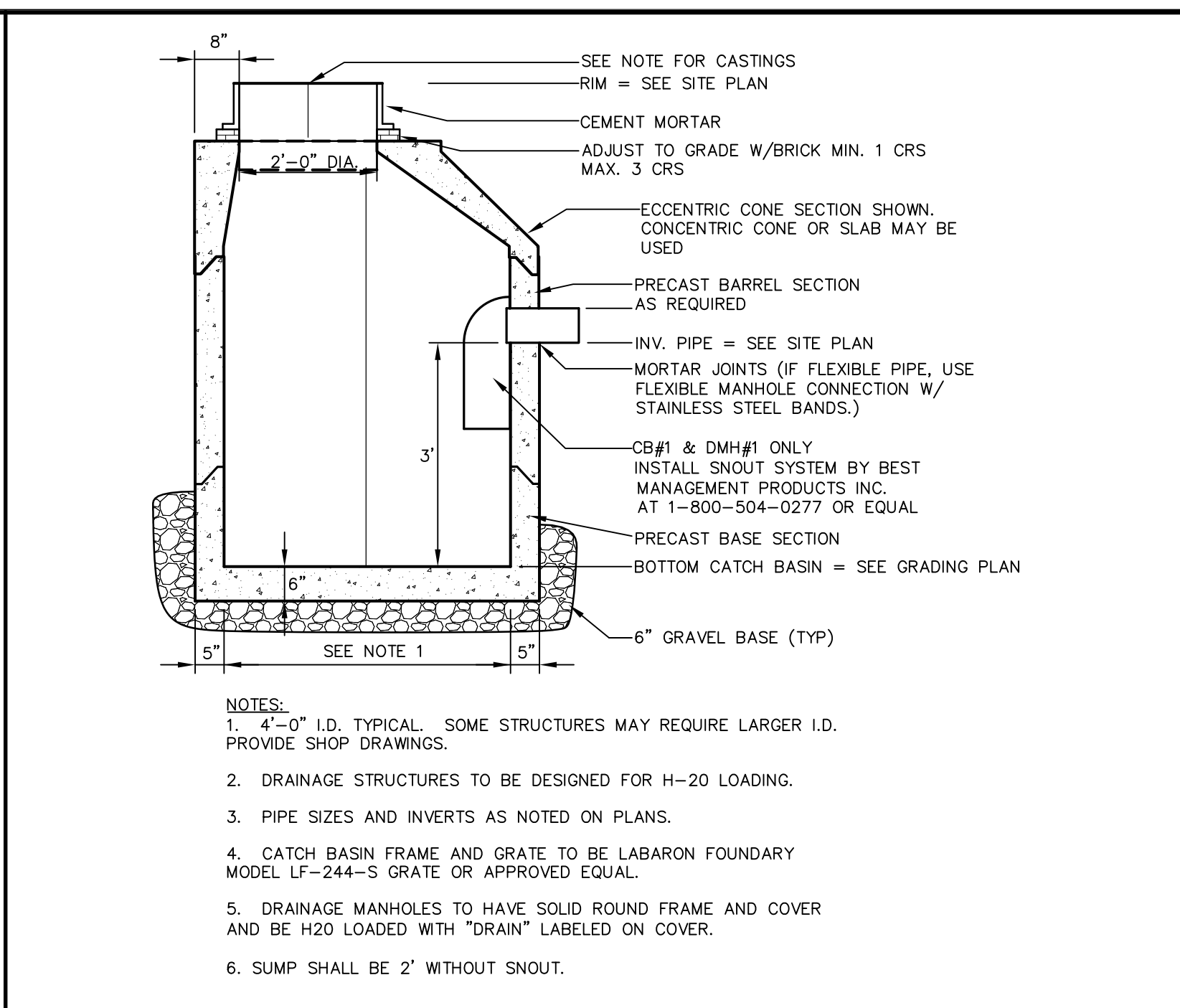
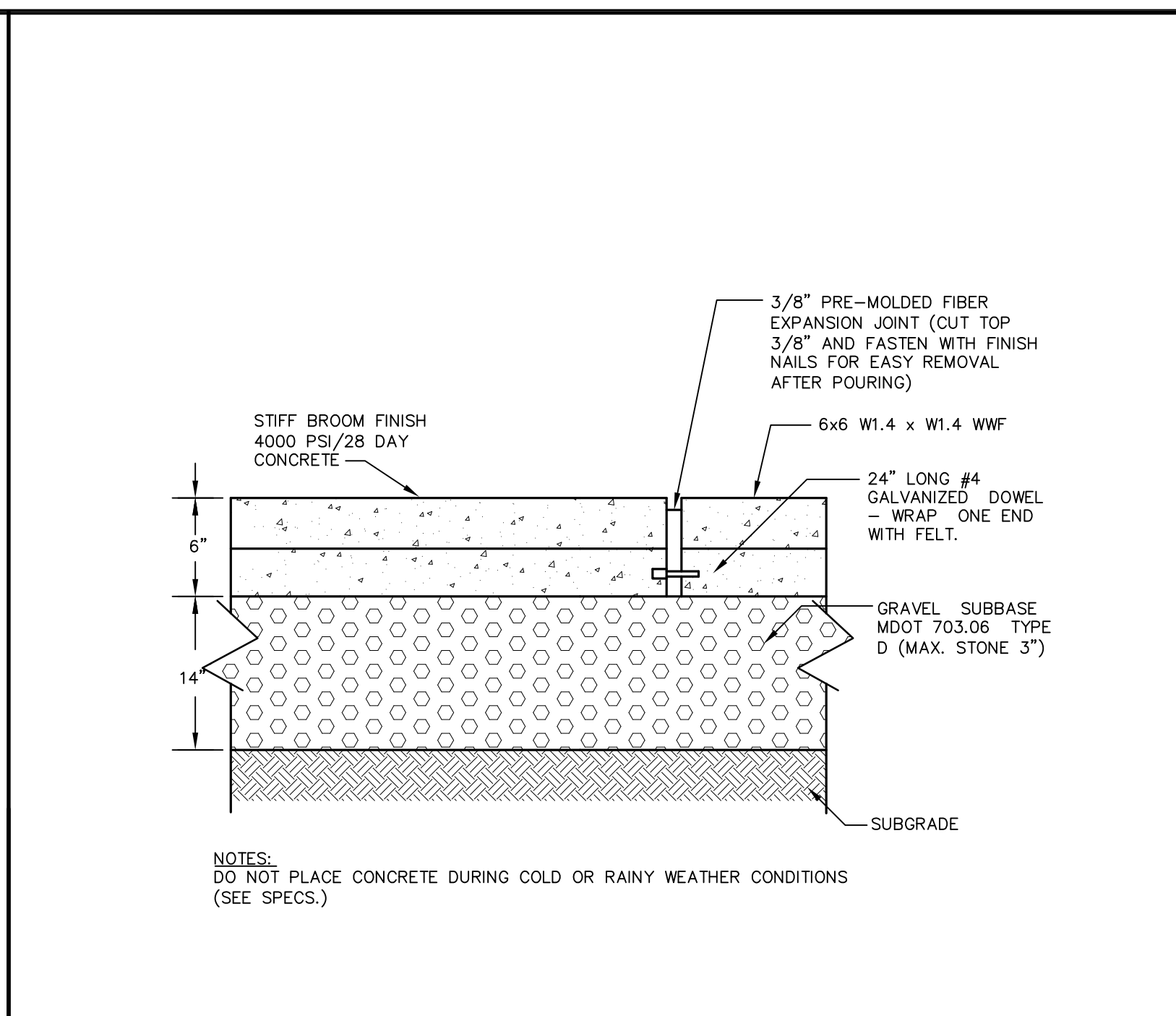
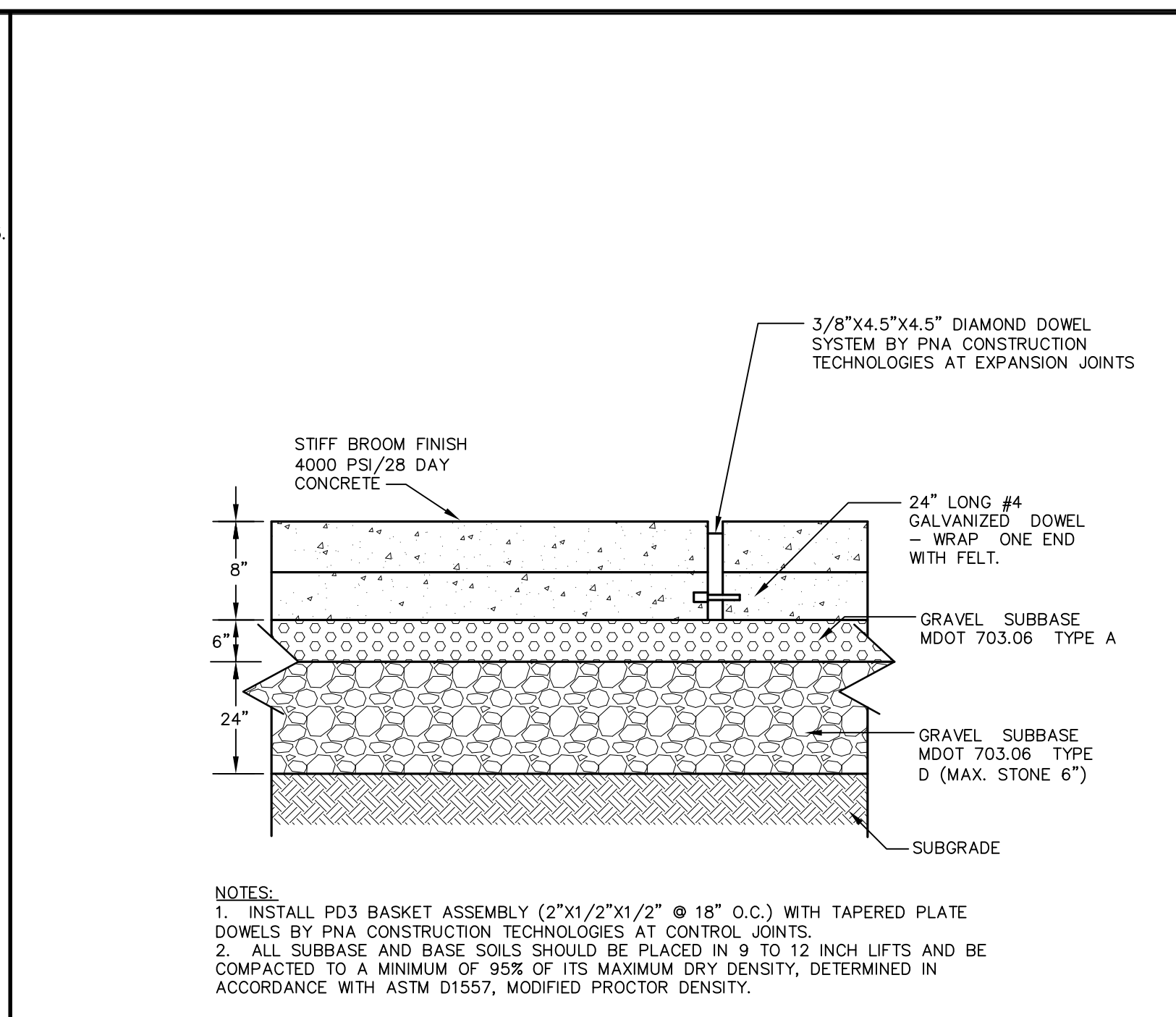
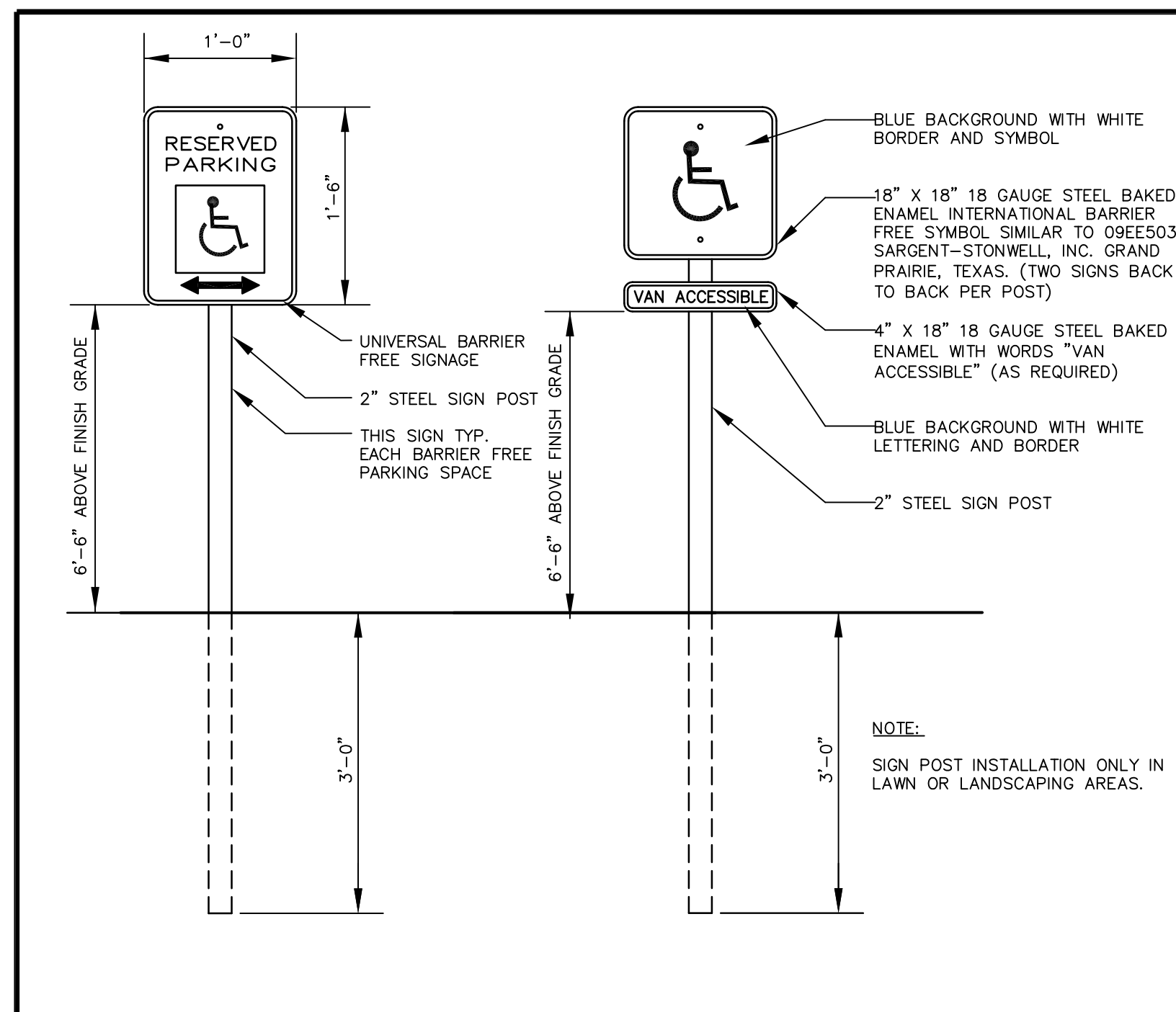
N/F
 80 PINE TREE IP LLC
 10 DANA ST STE 400
 PORTLAND, ME 04101
 CBL 254 A002001
 BK 31209 PG 49

N/F
 NORTHWOODS OF PORTLAND LLC
 PO BOX 1400
 KIRKWOOD VOORHEES, NJ 08043
 CBL 254 A008001
 BK 31324 PG 6

PROGRESS PRINT
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CALL DIG SAFE UTILITY LOCATION
1-888-344-7233
 STATE LAW REQUIRES ADVANCE NOTICE OF AT LEAST 3 BUSINESS DAYS BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND UTILITIES



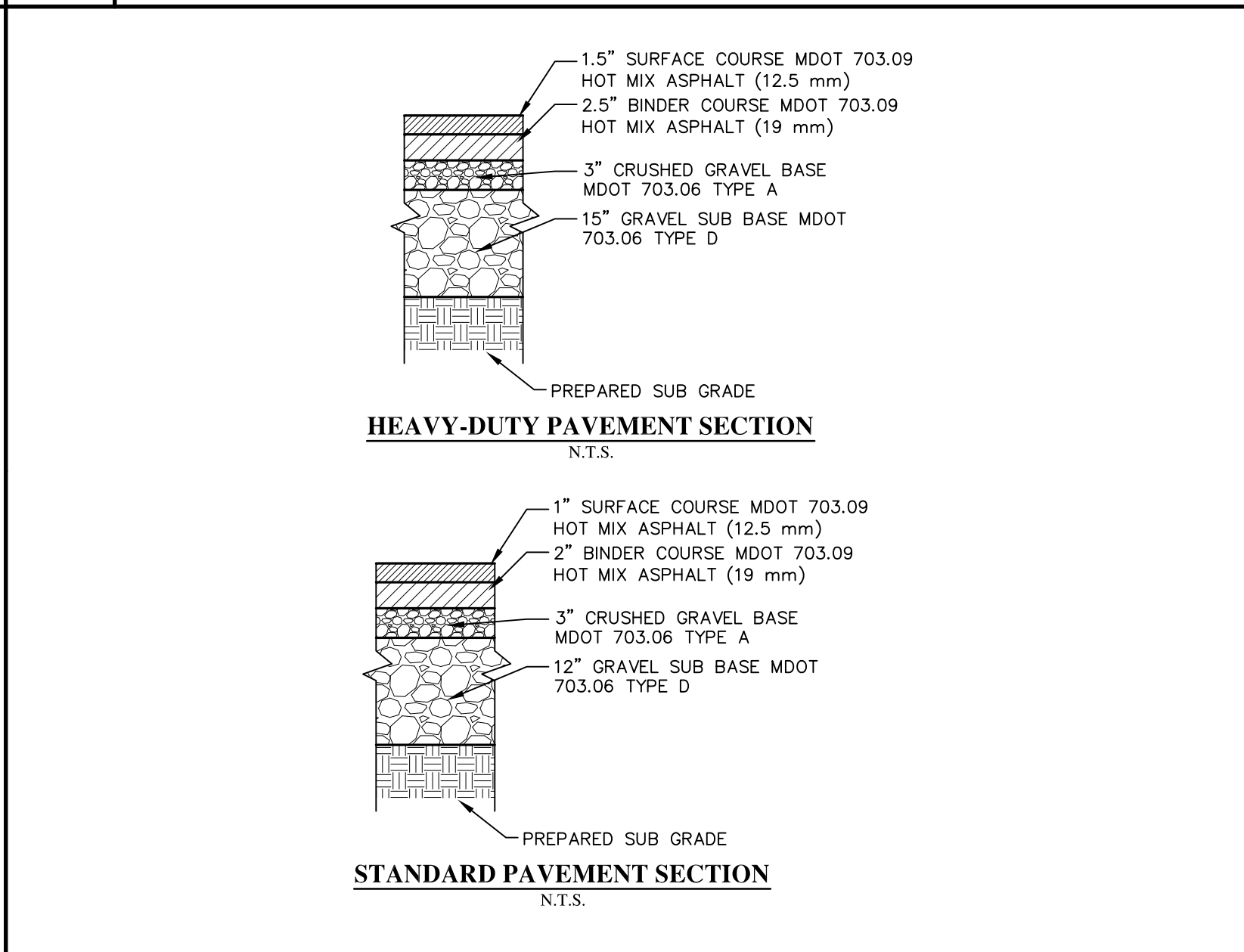
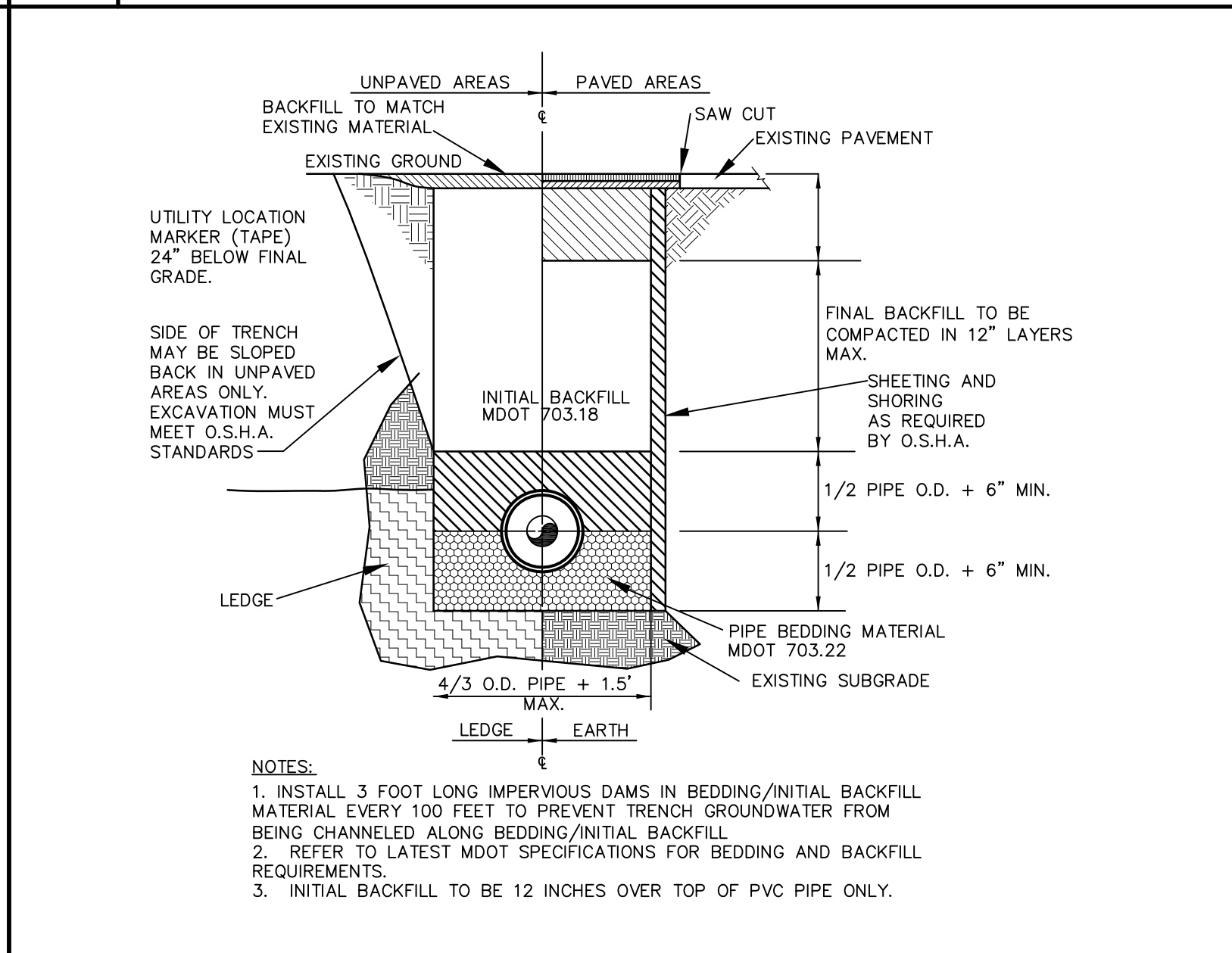
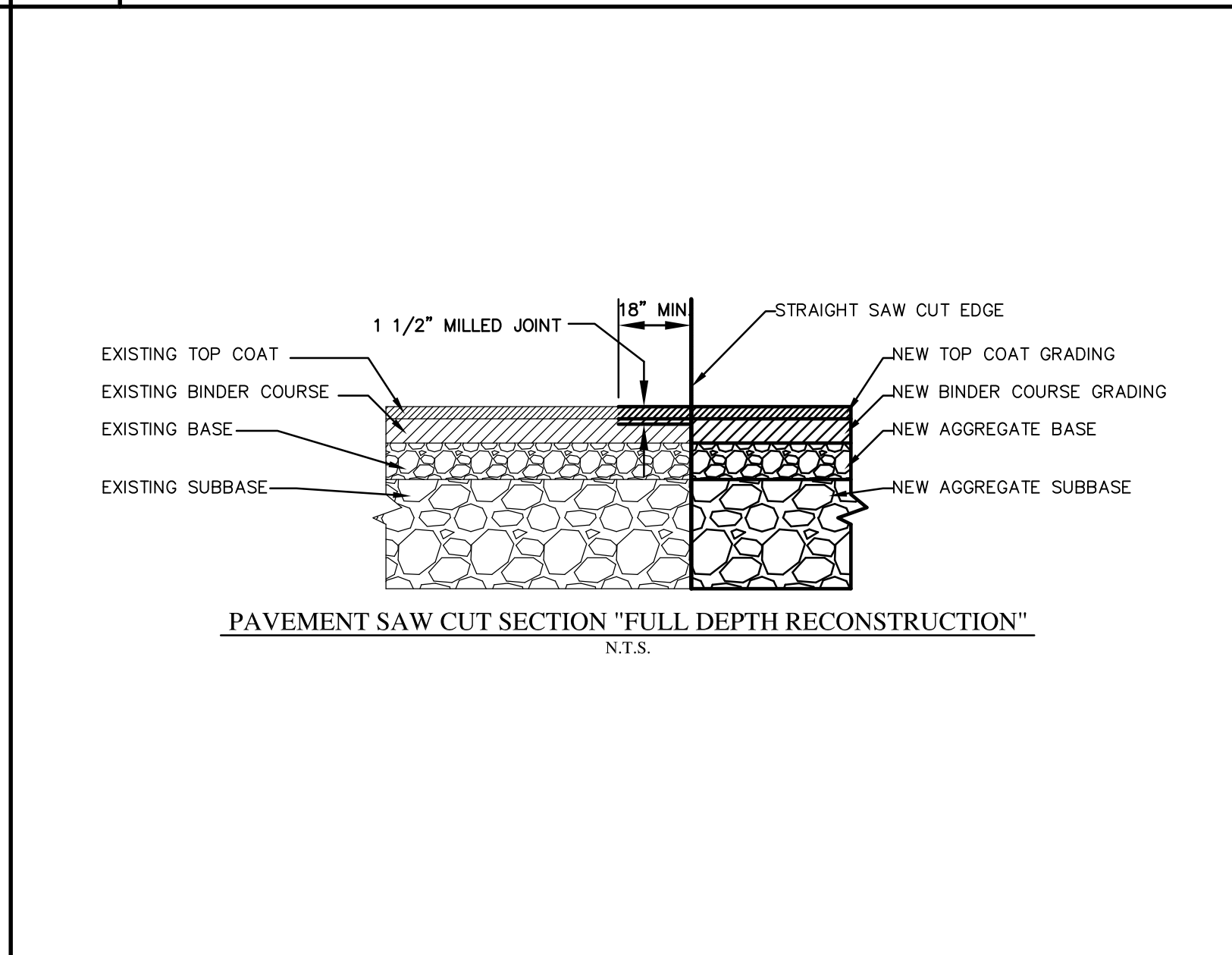
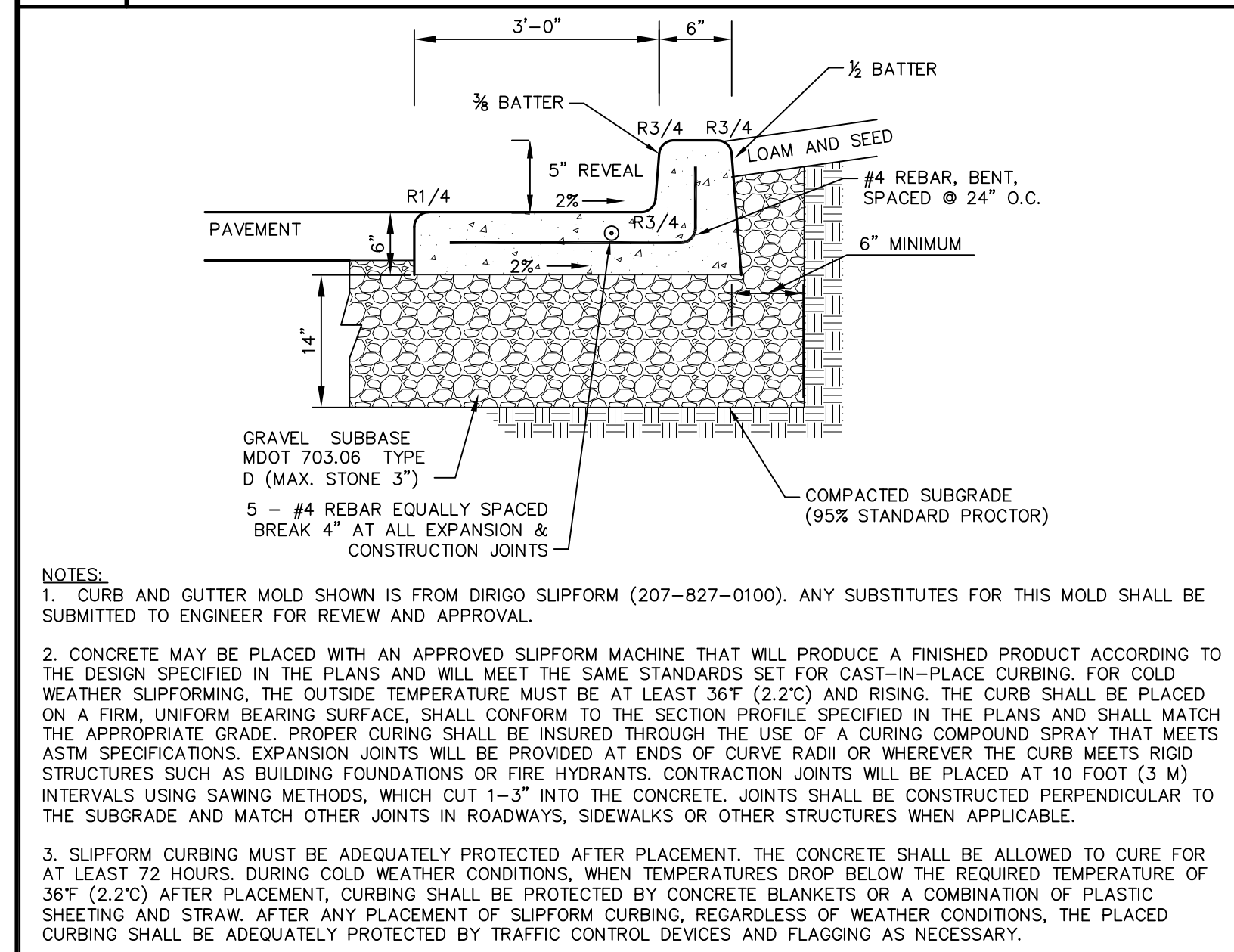


A BARRIER FREE PARKING SIGN DETAIL (IN GRASS)
N.T.S.

B CONCRETE PAD DETAIL (LOADING DOCKS, DOLLY PADS)
N.T.S.

C CONCRETE PAD DETAIL (PROPANE TANK PAD, RFID PAD)
N.T.S.

D CATCH BASIN OR DRAINAGE MANHOLE
N.T.S.

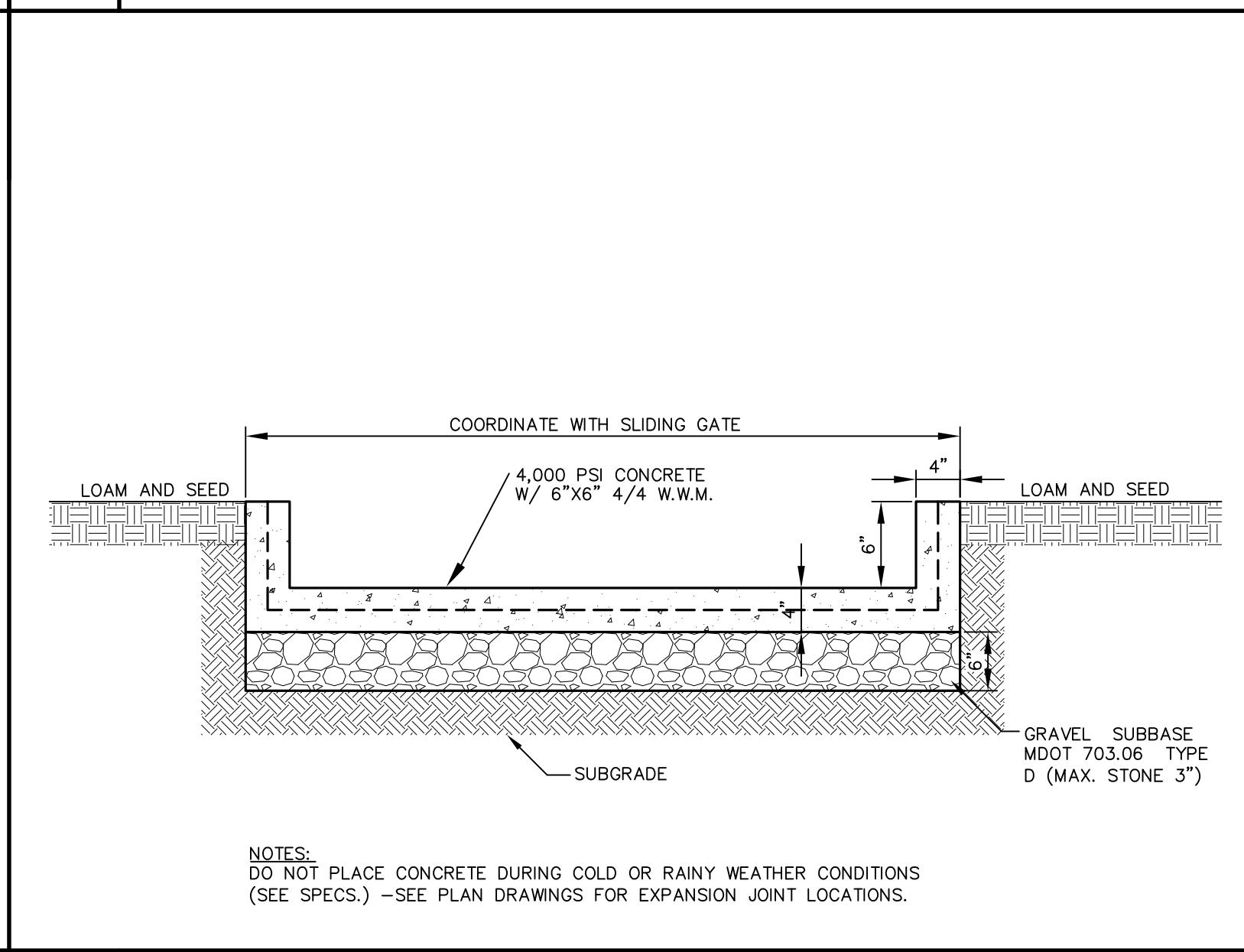
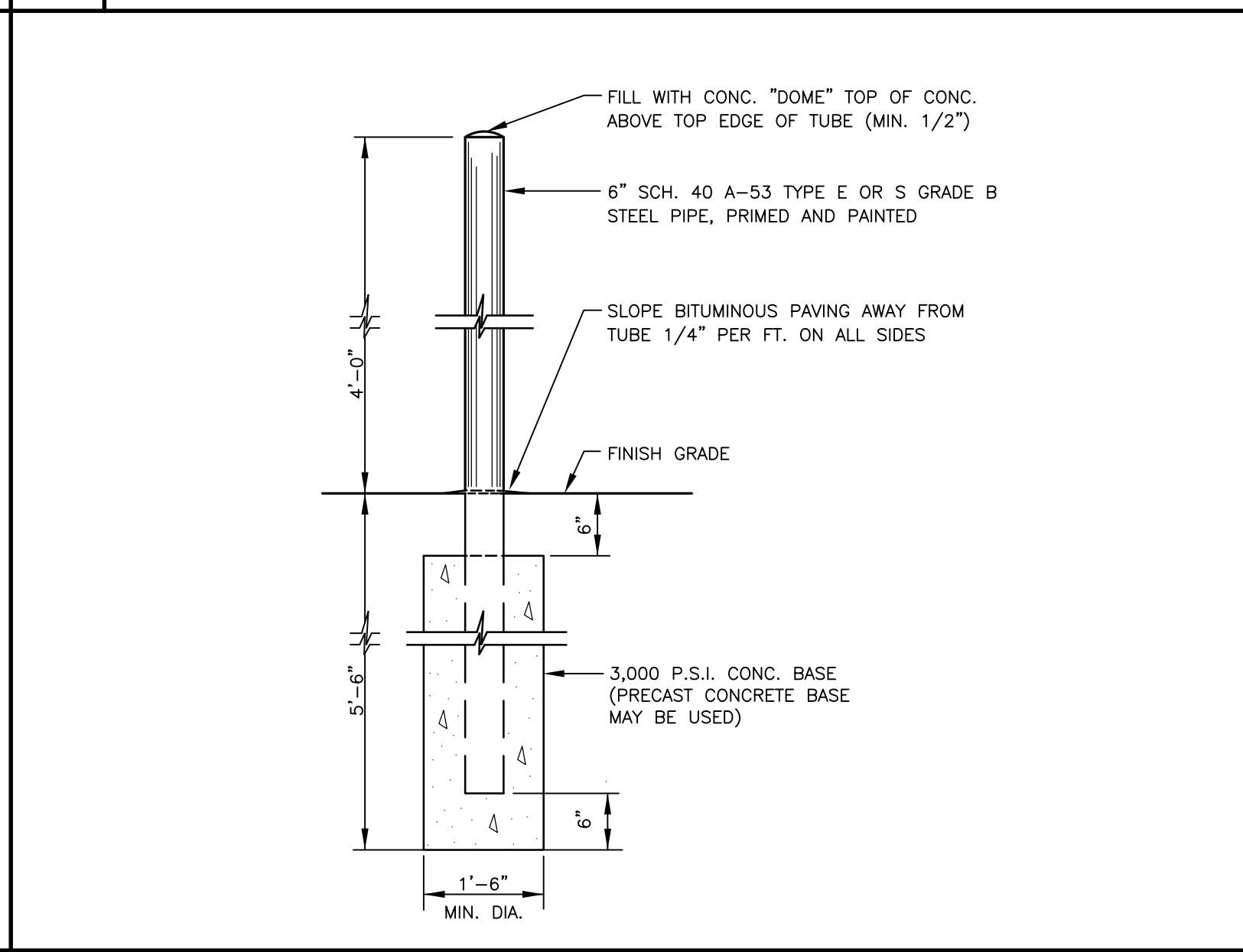
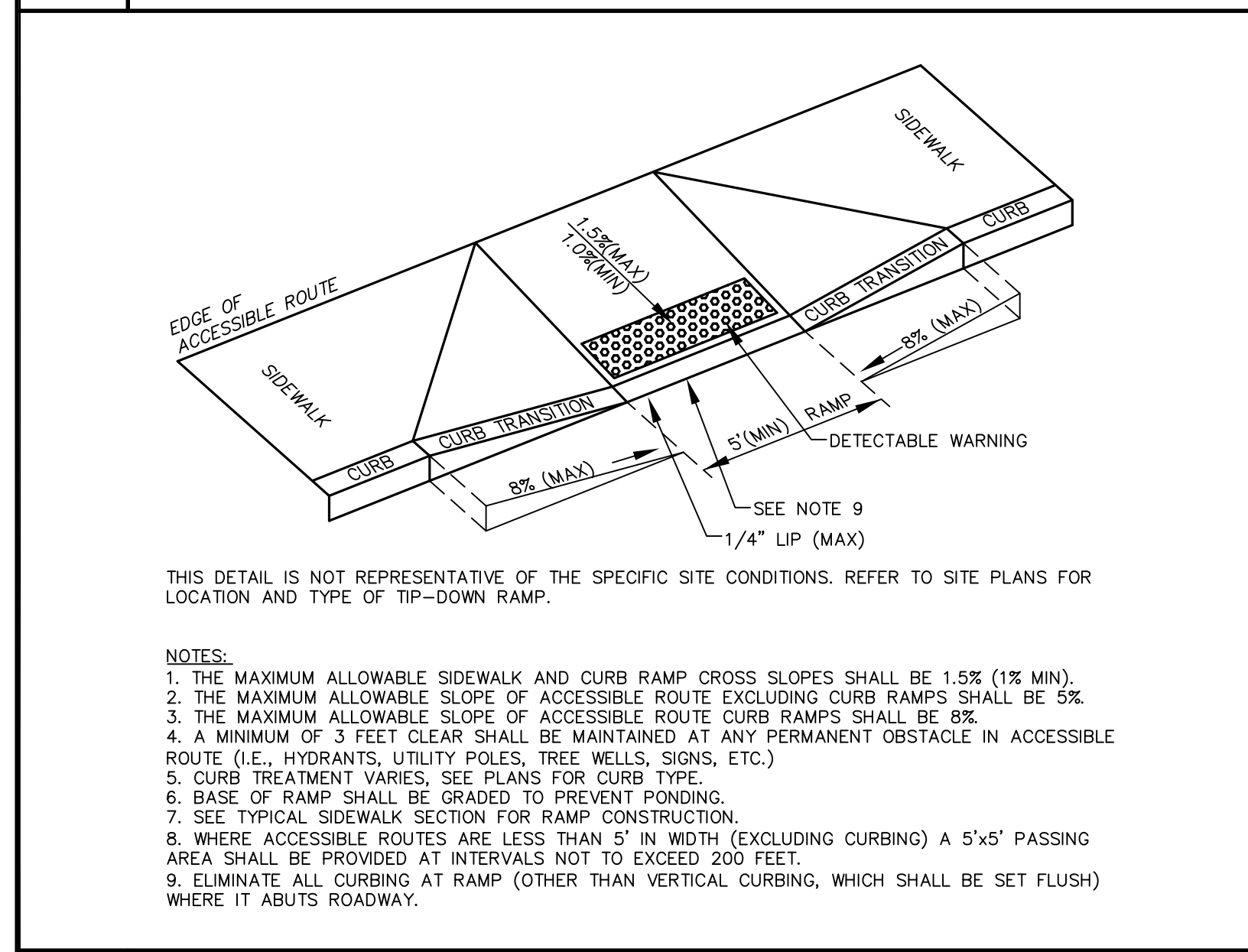


E SLIPFORM CONCRETE CURB AND GUTTER
N.T.S.

F PAVEMENT SAW CUT DETAILS
N.T.S.

G TYPICAL PIPE TRENCH DETAIL
N.T.S.

H TYPICAL PAVEMENT SECTIONS
N.T.S.



2. 06/19/14 REVISED PER CITY COMMENTS JUM

1. 05/19/14 SUBMITTED TO CITY AND MDEP JUM

TITLE: **SITE DEVELOPMENT DETAILS**

PROJECT: **PROPOSED BUILDING EXPANSION**
185 RAND ROAD, PORTLAND, ME 04102

OWNER: **OLD DOMINION FREIGHT LINES, INC.**
500 OLD DOMINION WAY, THOMASVILLE, NC 27360

PROGRESS PRINT
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STATE OF MAINE
JOSEPH J. MARDEN
12828
PROFESSIONAL ENGINEER

FIELD WK: JUM/MC SCALE: NTS SHEET: **C5**

DRN BY: RPL JOB #: 2454

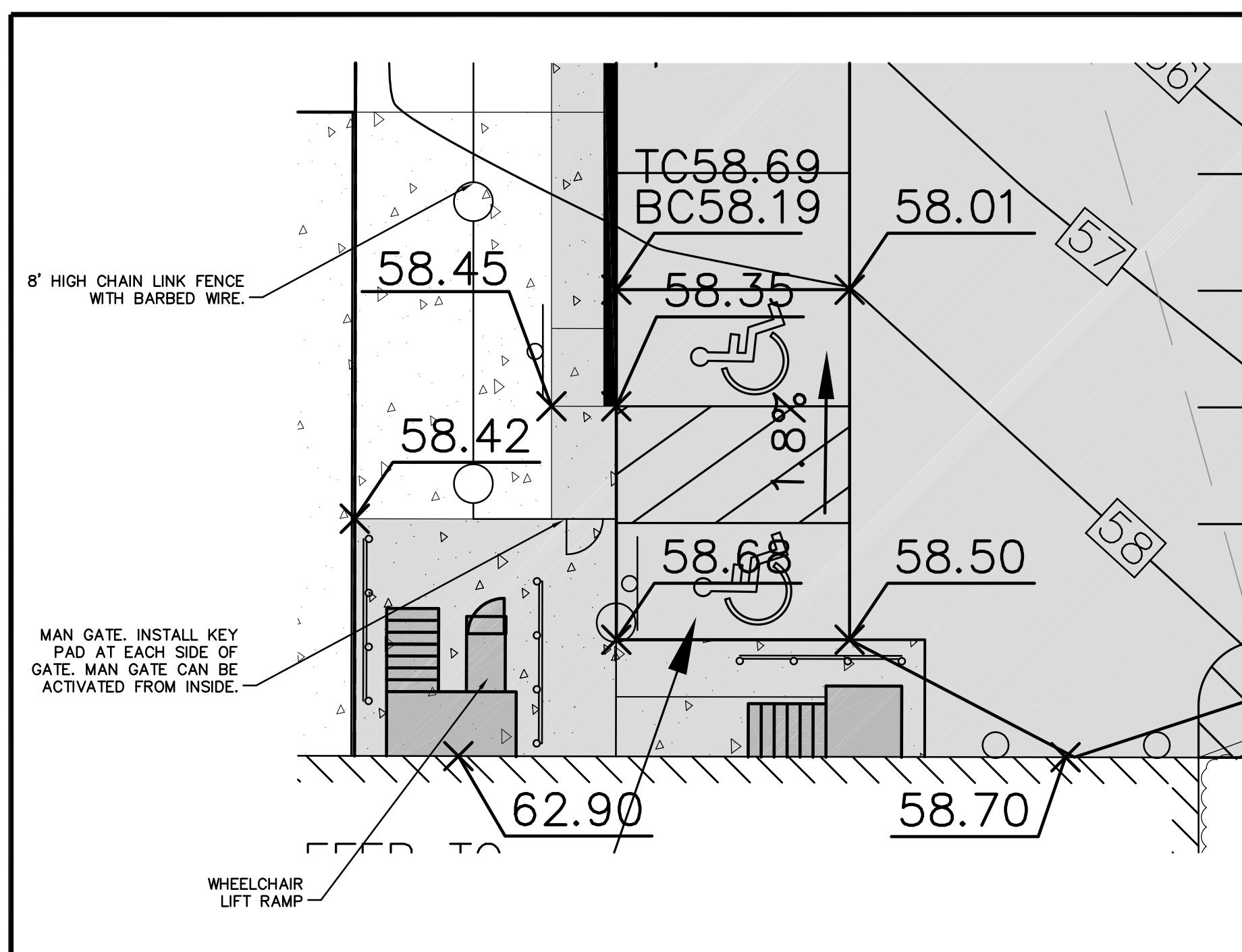
CHD BY: CYN MAP/LOT: 254/A007001

DATE: 02/26/14 FILE: 2454-COVER-DET

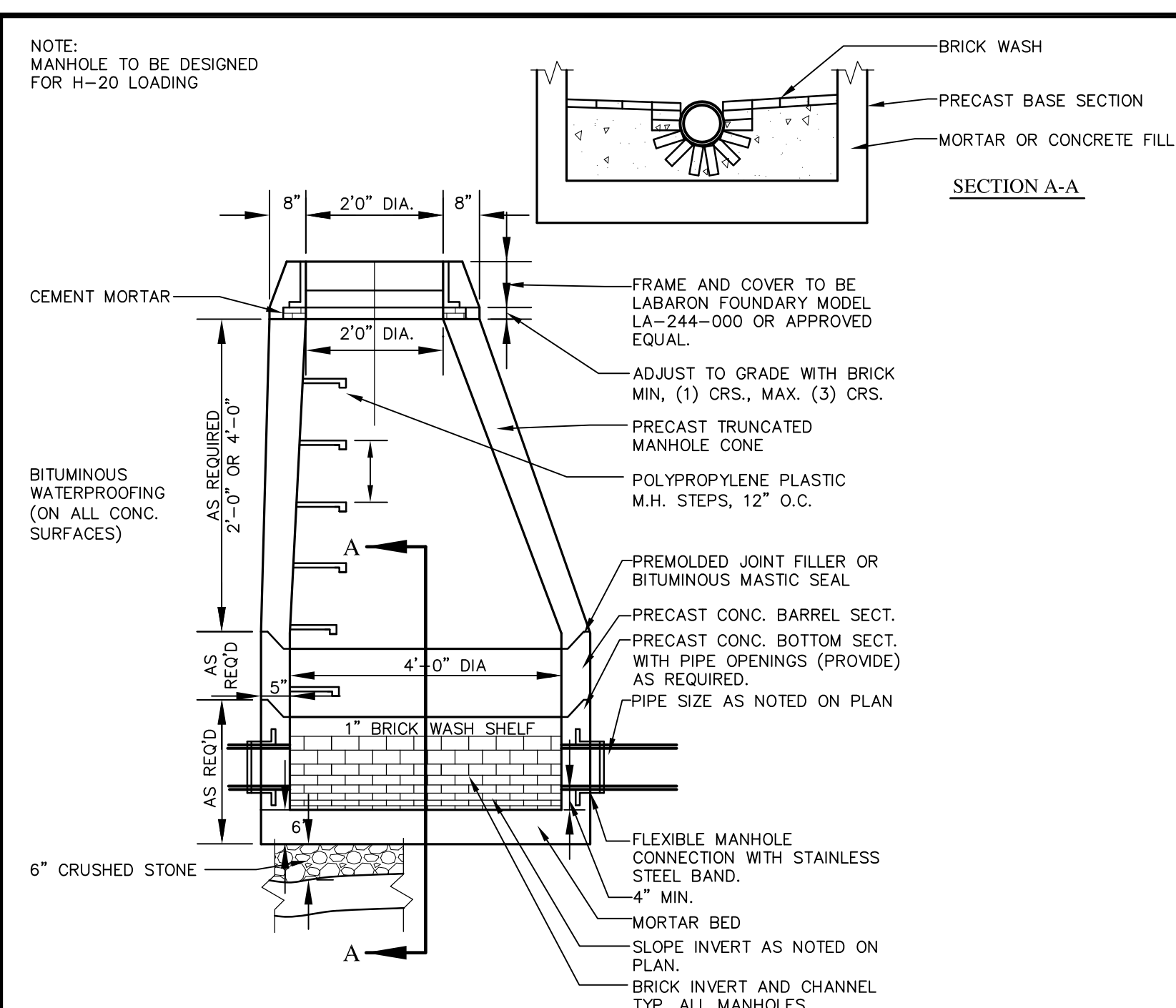
I TIP DOWN SIDEWALK RAMP
N.T.S.

J TYPICAL BOLLARD DETAIL
N.T.S.

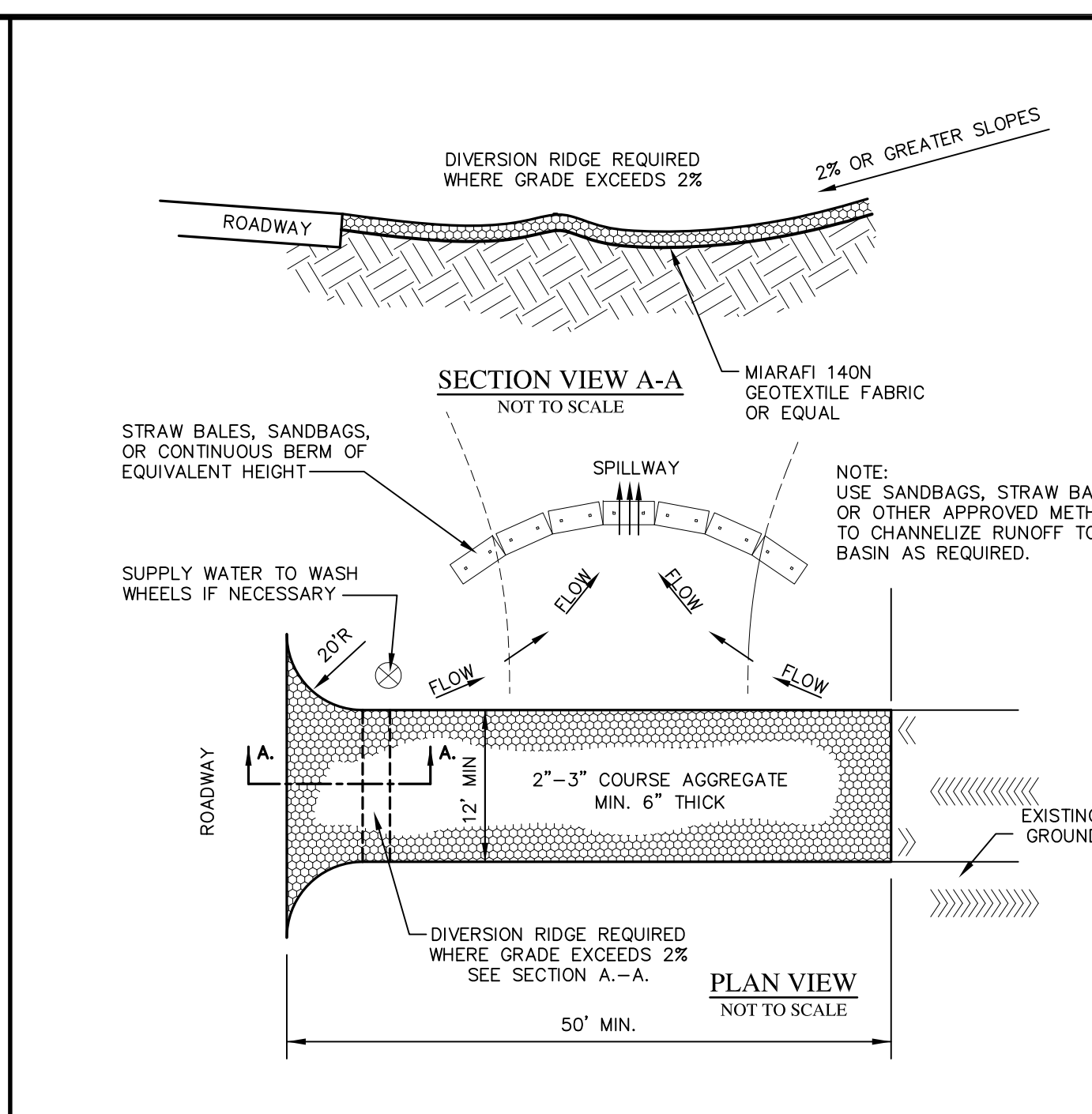
K CONCRETE GATE RECEIVING CHANNEL DETAIL
N.T.S.



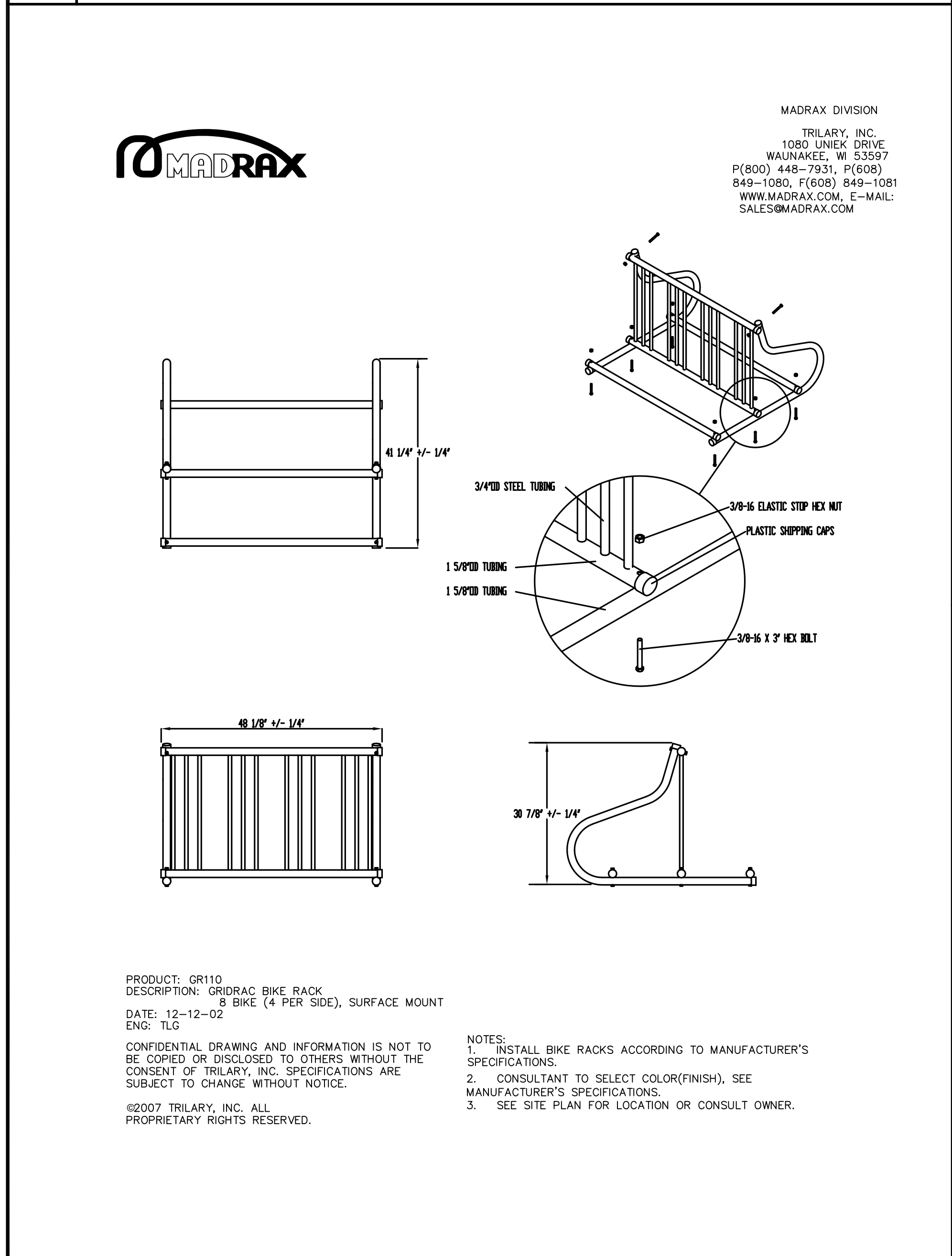
A ADA GRADING DETAIL
SCALE: 1"=10'



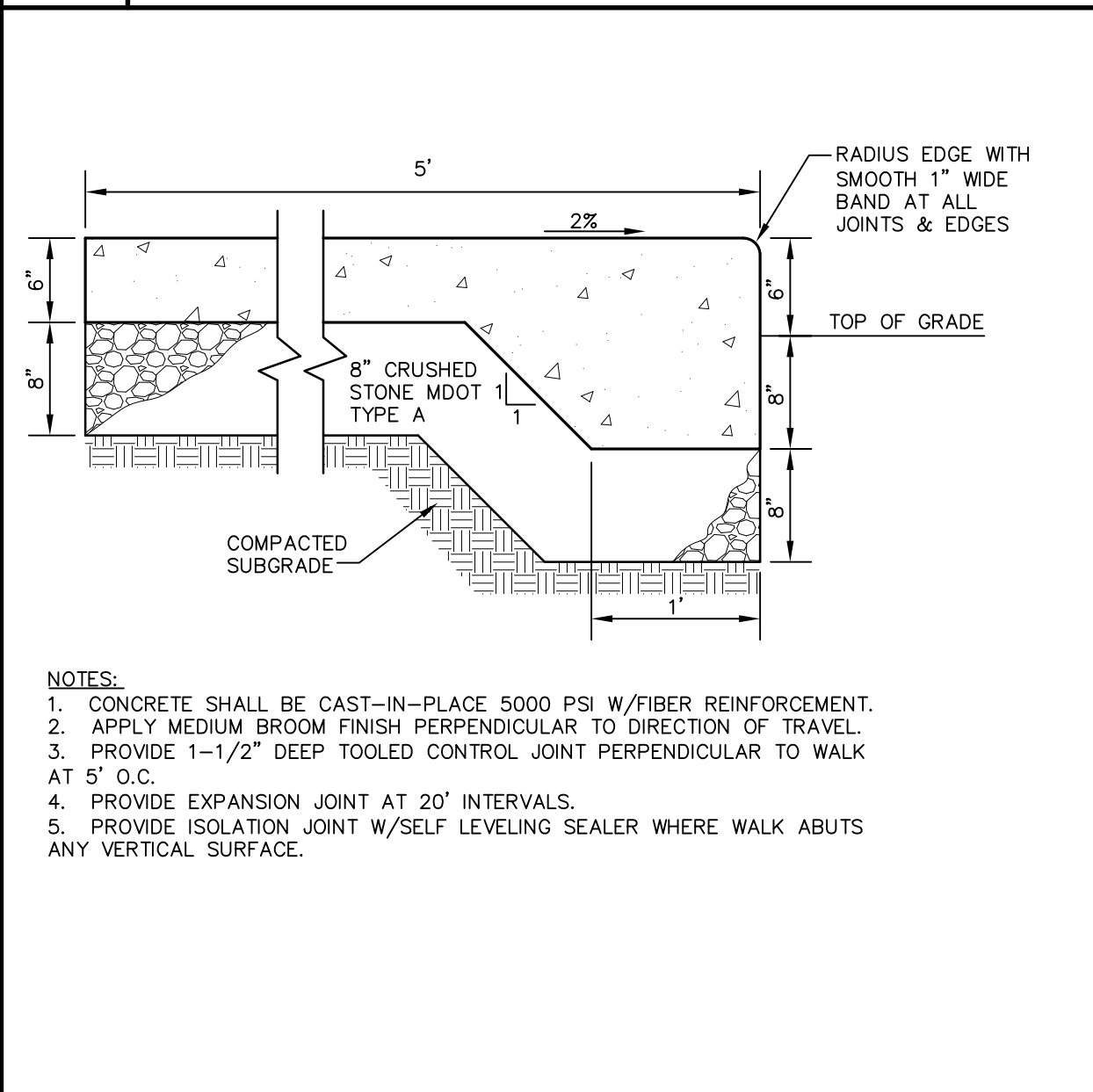
B SEWER MANHOLE DETAIL
N.T.S.



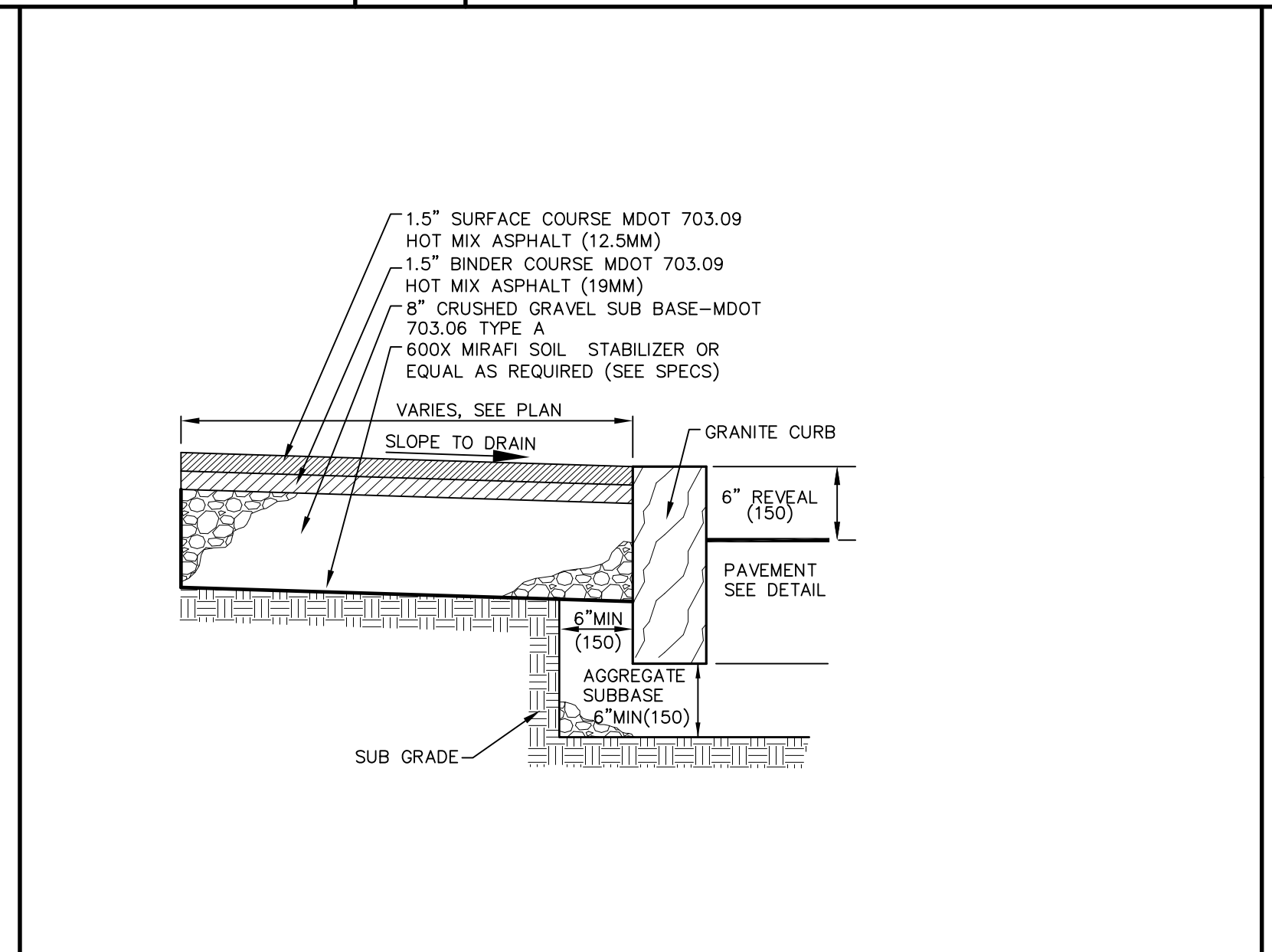
C STABILIZED CONSTRUCTION ENTRANCE
N.T.S.



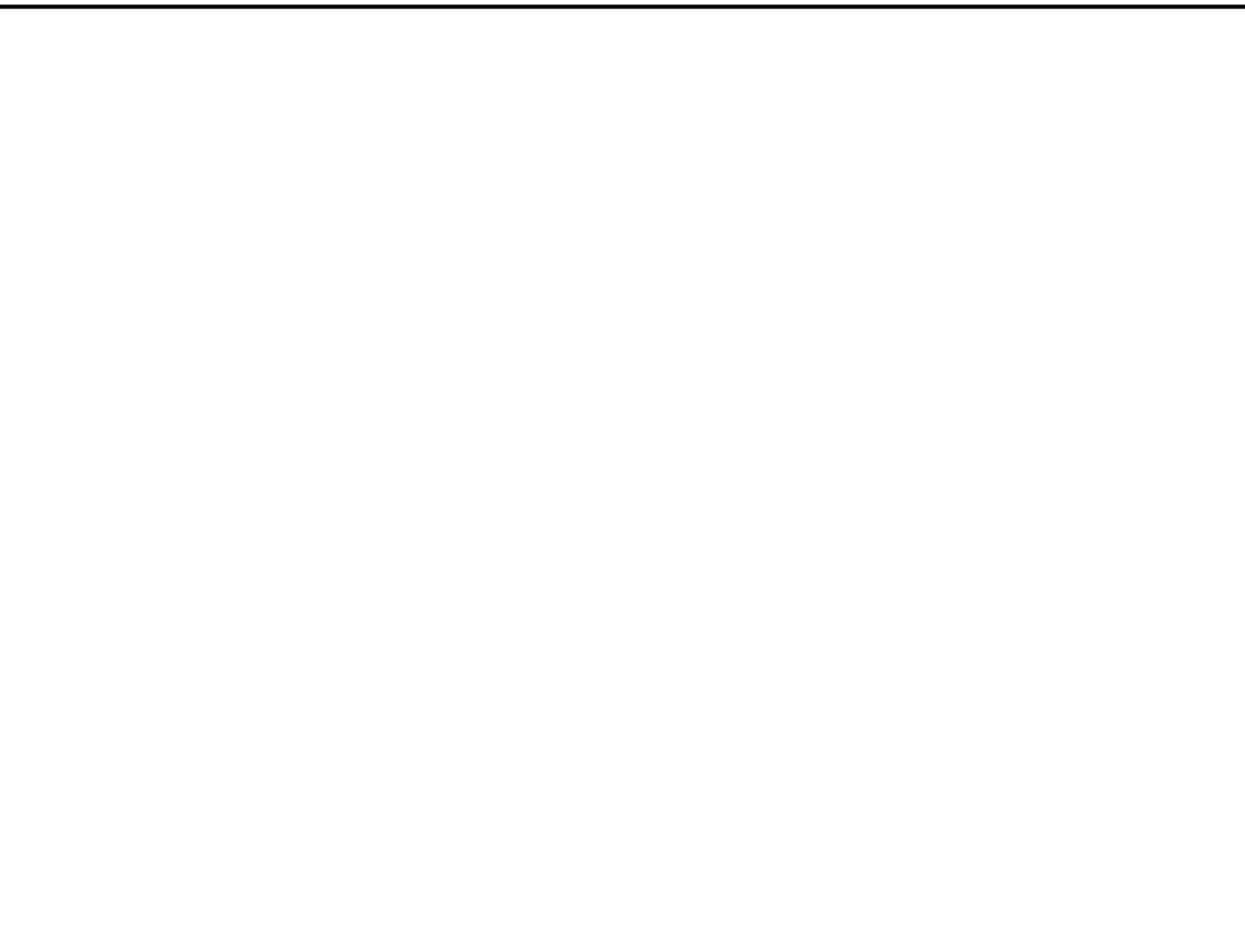
D BIKE RACK (8 SPACES)
N.T.S.



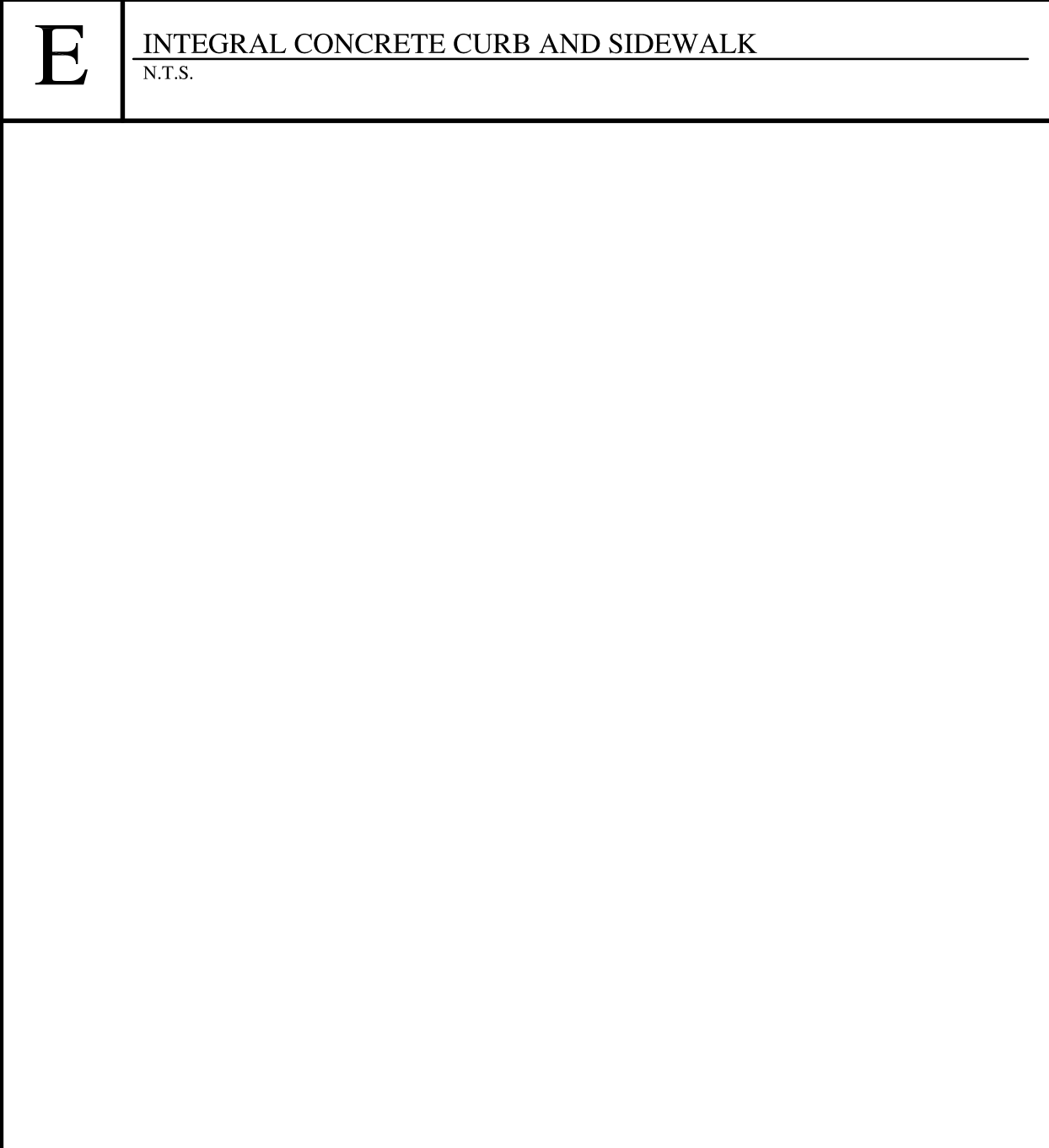
E INTEGRAL CONCRETE CURB AND SIDEWALK
N.T.S.



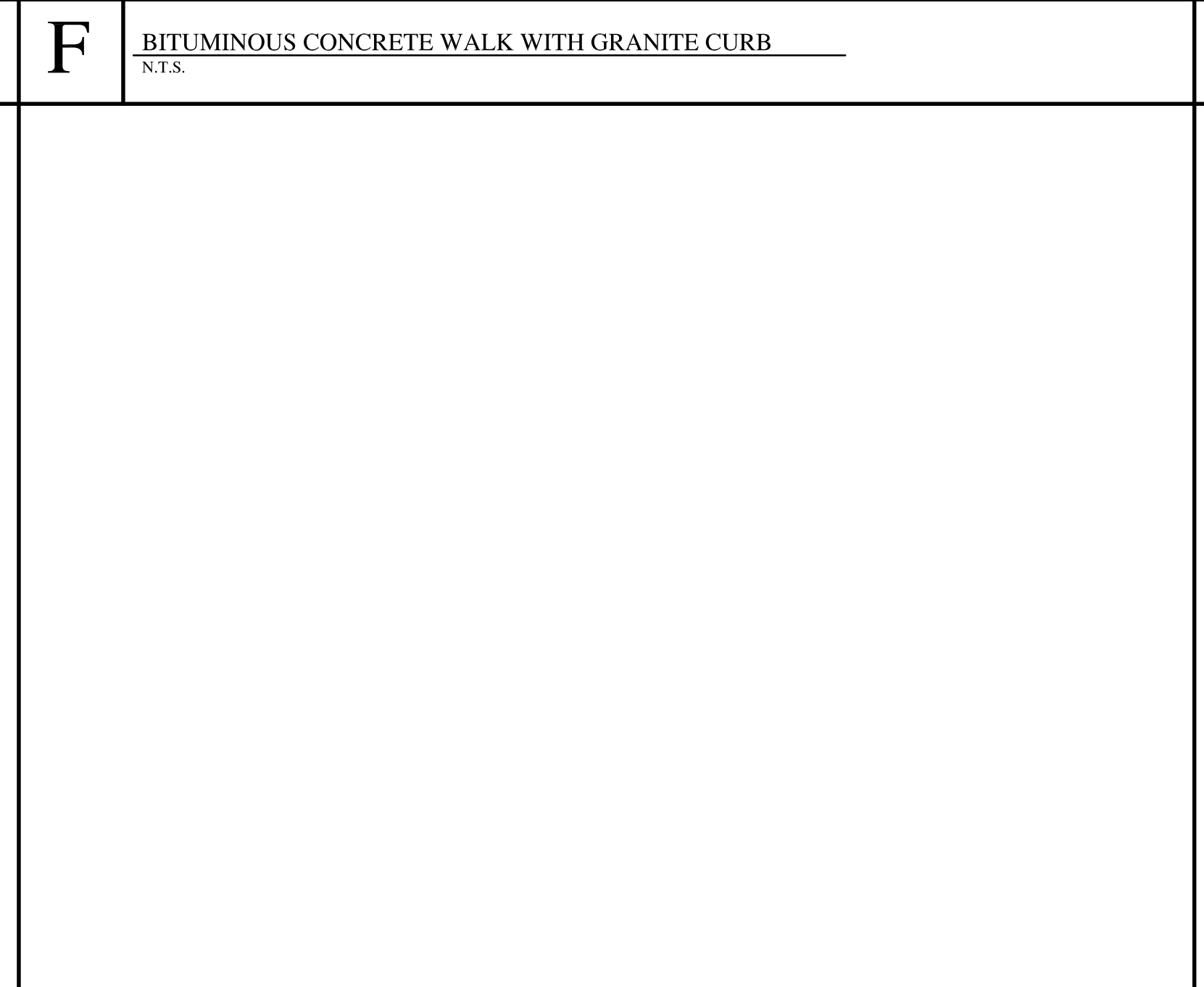
F BITUMINOUS CONCRETE WALK WITH GRANITE CURB
N.T.S.



G



H



I

3. 07/17/14 REVISED PER CITY COMMENTS JUM
2. 06/19/14 REVISED PER CITY COMMENTS JUM
1. 05/19/14 SUBMITTED TO CITY AND MDEP JUM

TITLE: **SITE DEVELOPMENT DETAILS**

PROJECT: **PROPOSED BUILDING EXPANSION
185 RAND ROAD, PORTLAND, ME 04102**

OWNER: **OLD DOMINION FREIGHT LINES, INC.
500 OLD DOMINION WAY, THOMASVILLE, NC 27360**

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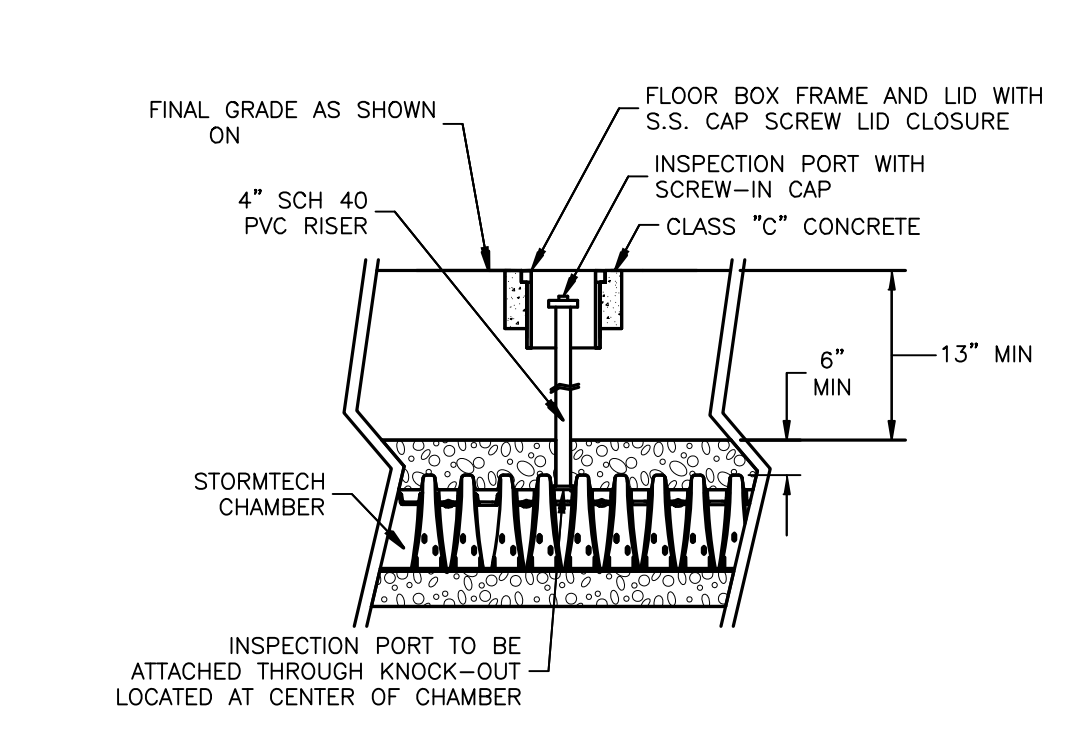
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8 CUMBERLAND STREET, BRUNSWICK, ME 04011
207.725.1200 www.sitelinespa.com

FIELD WK: JUM/MC SCALE: NTS SHEET:
DRN BY: RPL JOB #: 2454
CHD BY: CYN MAP/LOT: 254/A007001
DATE: 02/26/14 FILE: 2454-COVER-DET

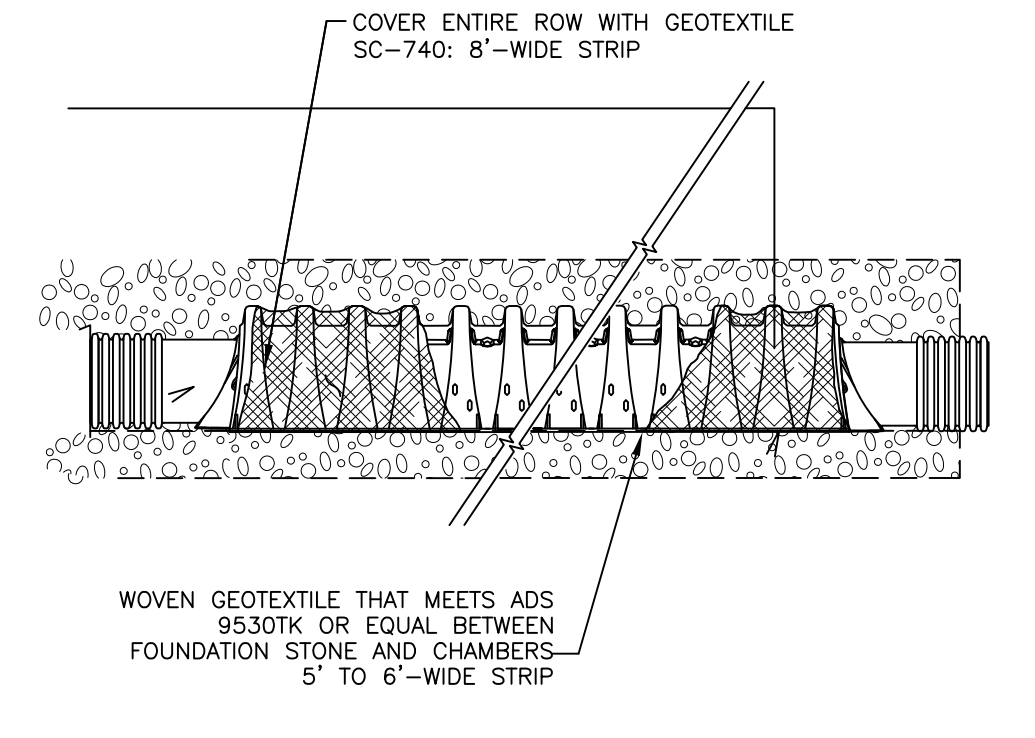
C6

C6

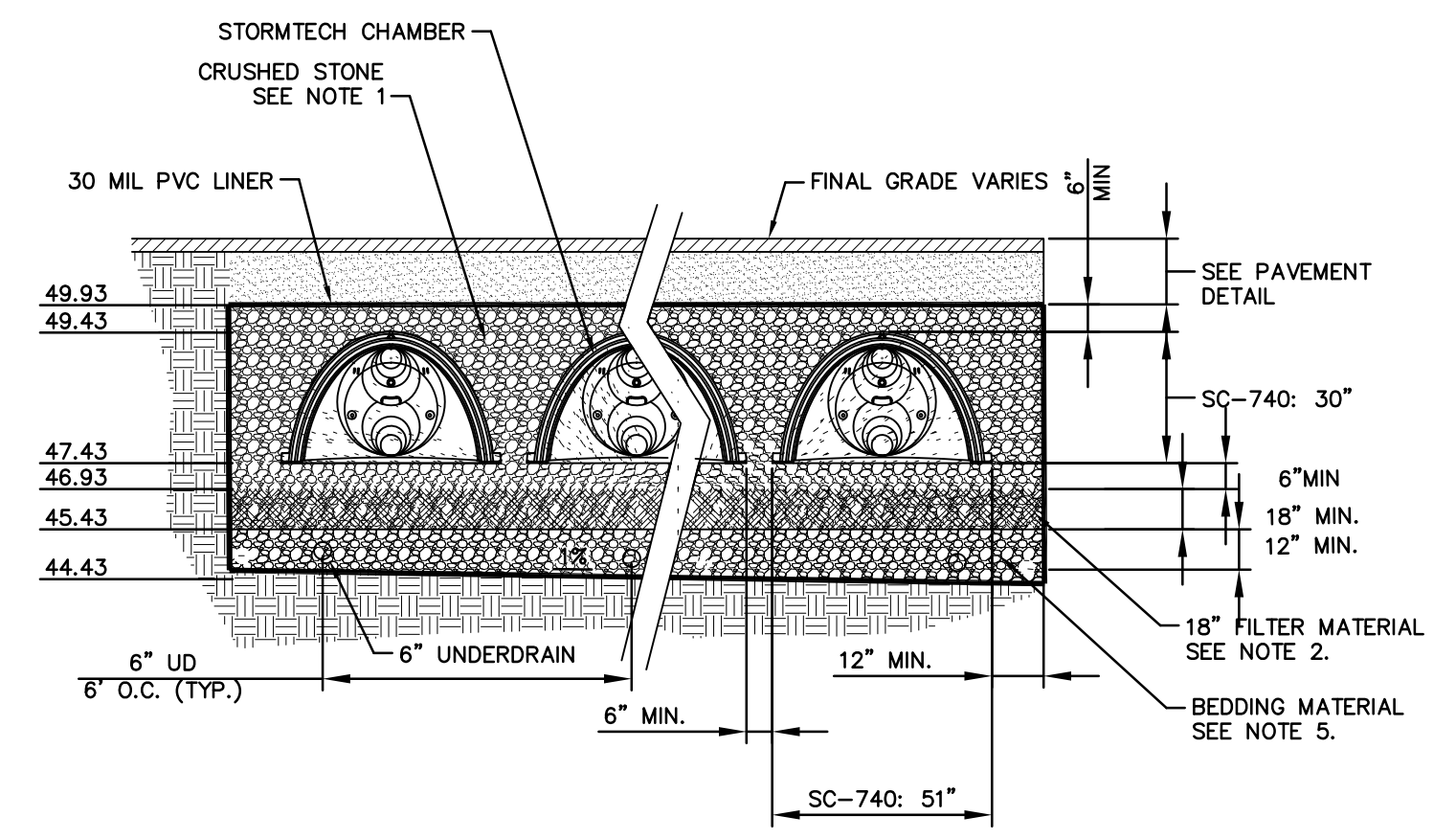
DESIGN STORM WATER SURFACE ELEVATIONS:
 25YR-50.69
 10YR-50.59
 2YR-50.19
 1-INCH-47.86



4" INSPECTION PORT DETAIL
 N.T.S.



ISOLATOR ROW (SECTION C-C)
 N.T.S.



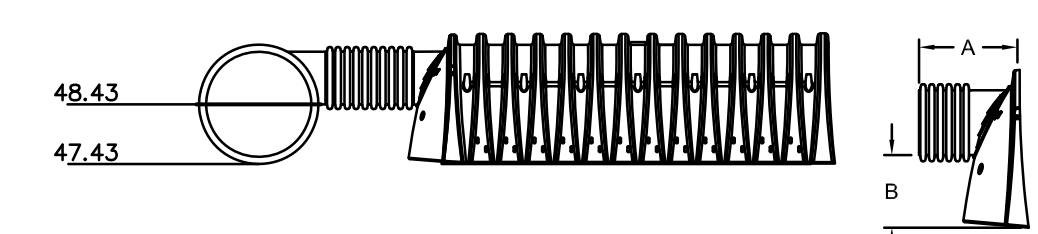
GENERAL NOTES PERTAINING TO STORMTECH CHAMBERS

- CRUSHED STONE
 CRUSHED STONE SHALL BE 3/4"-2" CLEAN, CRUSHED, ANGULAR STONE.
- SAND FILTER
 THE SOIL FILTER SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS, OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES. THE SOIL FILTER SHALL HAVE MINIMAL CLAY CONTENT, BUT SHALL CONTAIN BETWEEN 8% AND 10% FINES PASSING THE #200 SIEVE AND MEET SPECIFICATIONS SHOWN IN TABLE THIS SHEET. ON SITE MATERIAL MAY BE USED UPON WRITTEN SUBMISSION OF GRADATION TESTING. THE MATERIAL SHALL BE TESTED TO ENSURE ADEQUATE PERMEABILITY AT COMPACTION (92 TO 95% PROCTOR).
- GEOTEXTILE
 GEOTEXTILE SHALL BE MIRAFI 160N OR EQUAL UNLESS OTHERWISE STATED.
- OUTLET PIPES
 OUTLET PIPES SHALL BE 6" PERFORATED OR SLOTTED RIGID PVC SCHEDULE 40 PVC OR SDR35.
- BEDDING MATERIAL
 UNDERDRAIN BEDDING MATERIAL SHALL BE CLEAN, COARSE GRAVEL MEETING MDOT 703.22 TYPE C (SEE TABLE THIS SHEET).
- STORMTECH CHAMBERS
 A. MANUFACTURER: STORMTECH LLC, 20 BEAVER ROAD, SUITE 104, WETHERSFIELD, CT 06109, (888) 892-2894.
 B. DETAILS ADAPTED FROM CAD DRAWINGS DOWNLOADED FROM STORMTECH LLC <WWW.STORMTECH.COM>. ACCESSED MARCH 2008.
 C. CROSS SECTIONS DETAIL THE REQUIREMENTS NECESSARY TO SATISFY THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS USING STORMTECH CHAMBERS.
 D. STORMTECH CHAMBERS SHALL MEET ASTM F 2418-05 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- INVERT AND SIZING INFORMATION PROVIDED IN DETAILS ON THIS SHEET.

FILTER MEDIA GRADATION	
SIEVE SIZE	% PASSING BY WEIGHT
3/8"	100
#4	95-100
#8	80-100
#16	50-85
#30	25-60
#60	10-30
#100	2-10
#200	8-10

BEDDING GRADATION (MDOT 703.22 TYPE C)	
SIEVE SIZE	% PASSING BY WEIGHT
1"	100
3/4"	90-100
3/8"	0-75
#4	0-25
#10	0-5

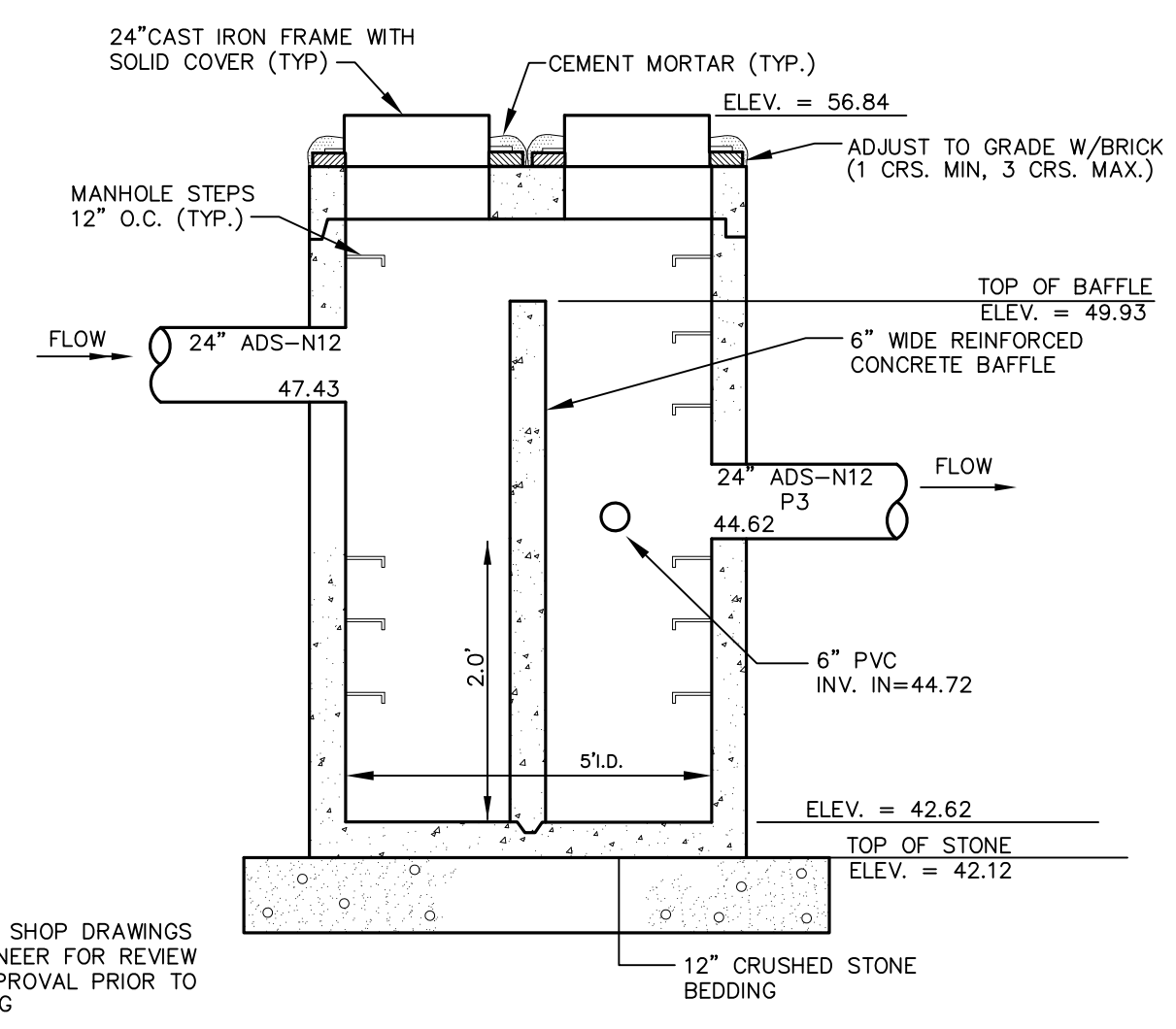
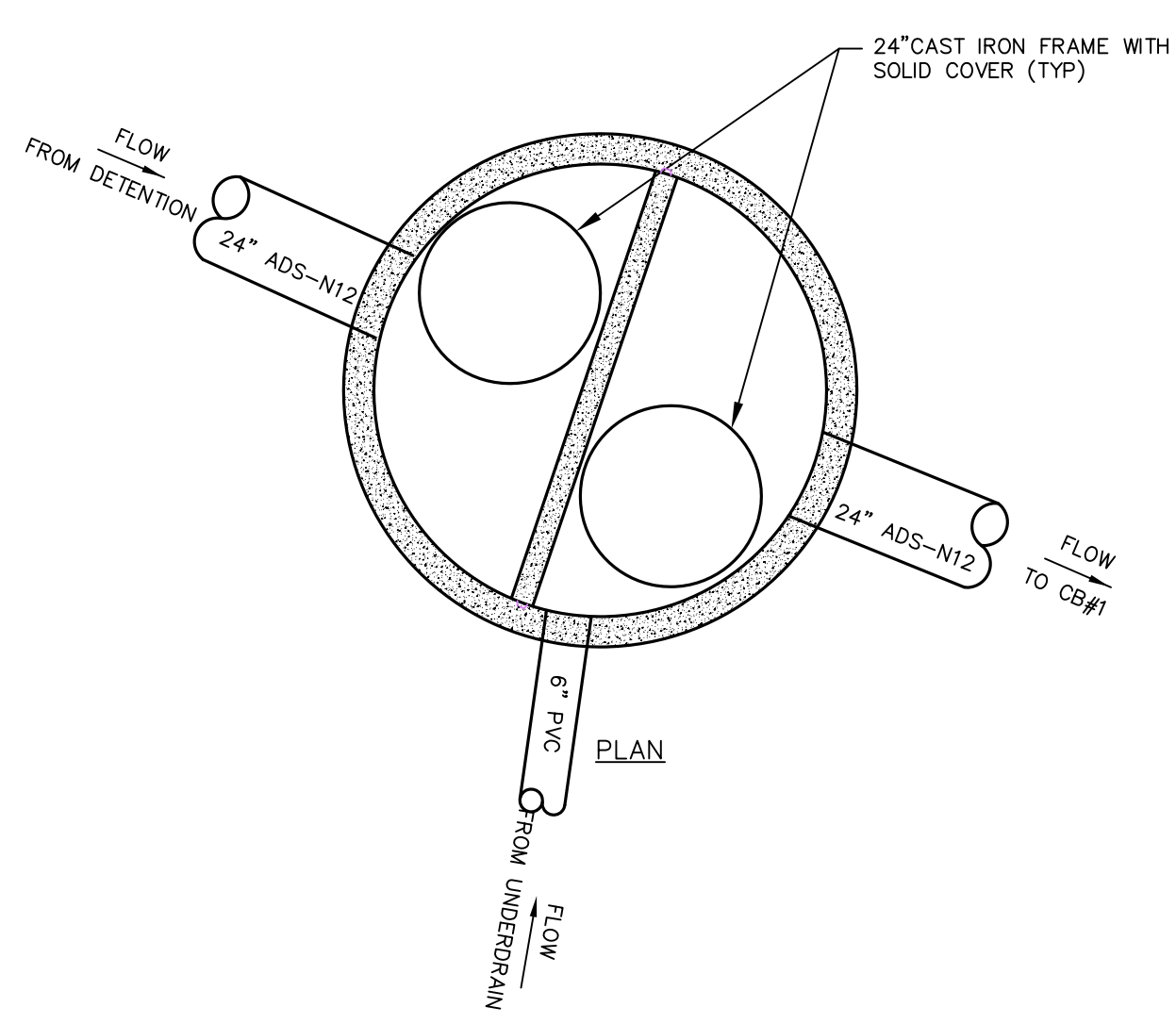
A STORMTECH CHAMBER DETAILS
 N.T.S.



PART#	STUB	A	B
SC740EPE12T	12" [300 mm]	14.70" [373 mm]	12.50" [318 mm]

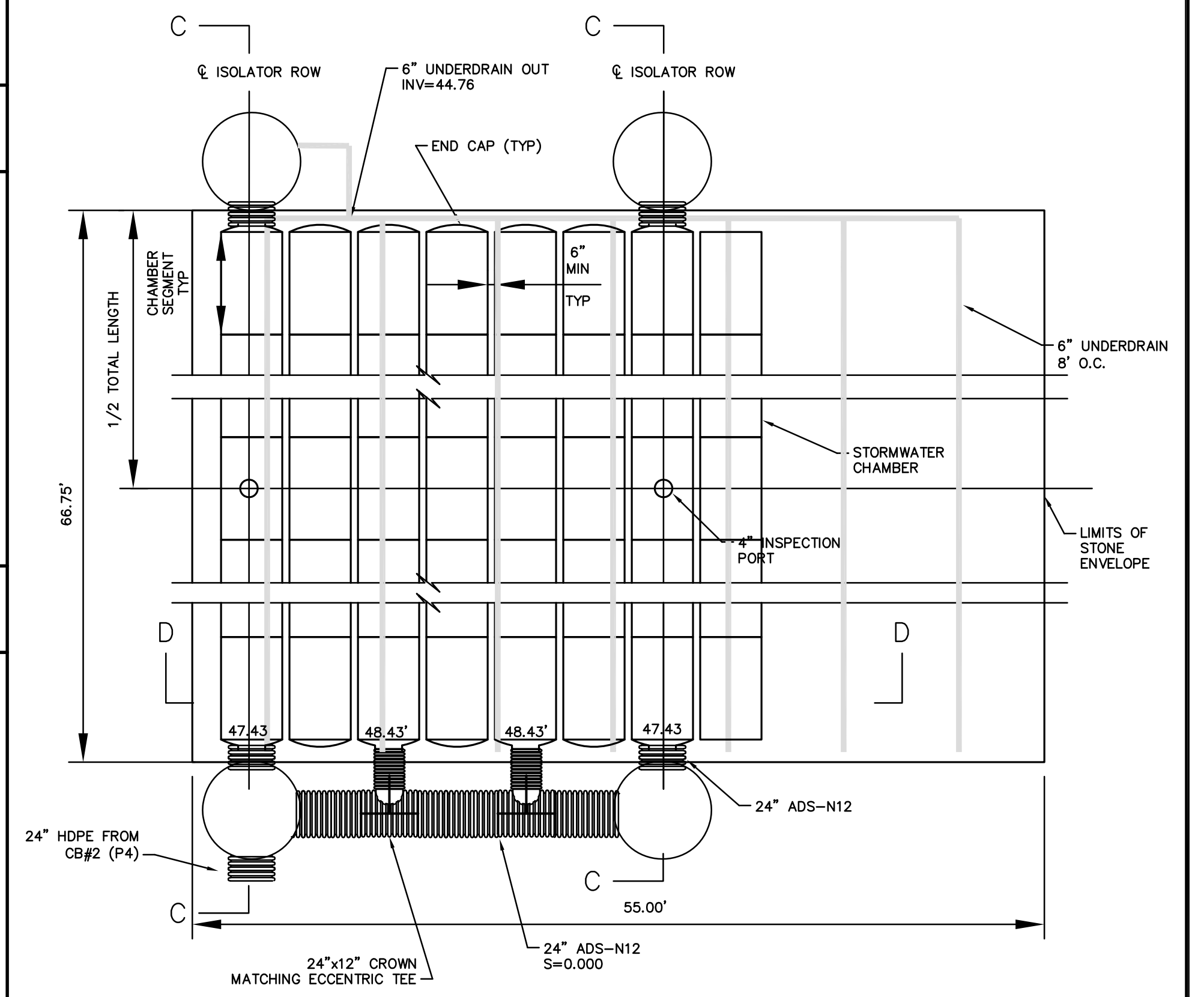
24"x12" CROWN MATCHING ECCENTRIC TEE & END CAP FOR DISTRIBUTION MANIFOLD ON ST-1

C MANIFOLD SECTION
 N.T.S.



NOTE: PROVIDE SHOP DRAWINGS TO ENGINEER FOR REVIEW AND APPROVAL PRIOR TO ORDERING

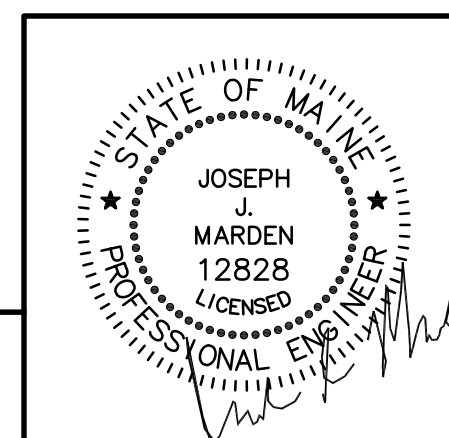
B OUTLET CONTROL STRUCTURE (OCS#1)
 N.T.S.



D STORMWATER CHAMBER LAYOUT (72 CHAMBERS)
 N.T.S.

- 06/19/14 REVISED PER CITY COMMENTS JUM
- 05/19/14 SUBMITTED TO CITY AND MDEP JUM

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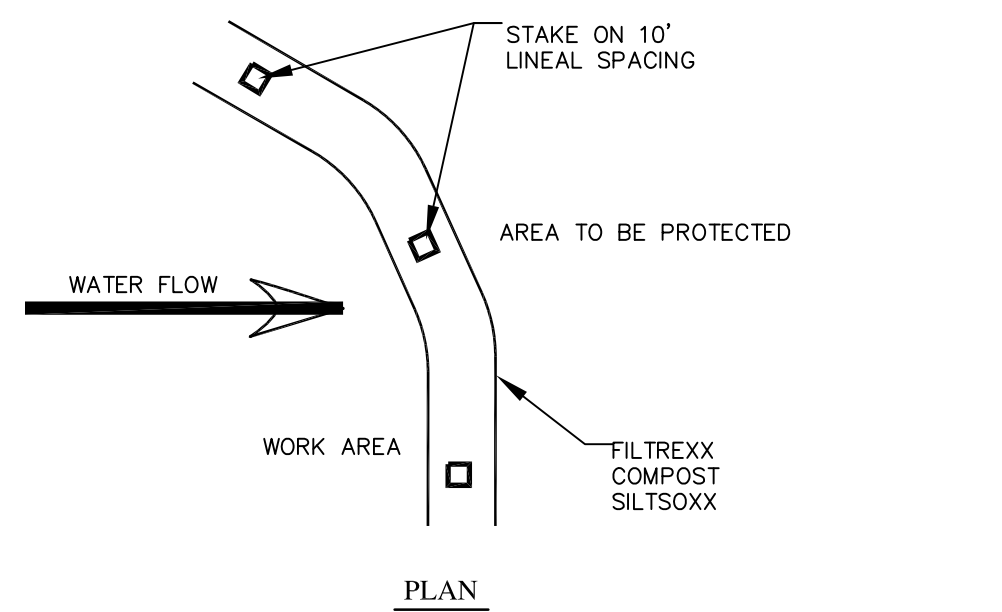
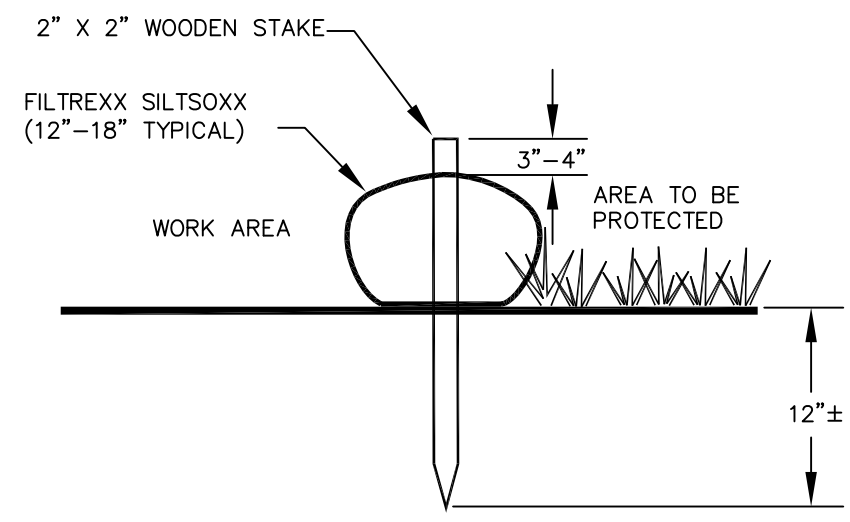


TITLE: **STORMWATER DETAILS**
 PROJECT: PROPOSED BUILDING EXPANSION
 185 RAND ROAD, PORTLAND, ME 04102
 OWNER: OLD DOMINION FREIGHT LINES, INC.
 500 OLD DOMINION WAY, THOMASVILLE, NC 27360

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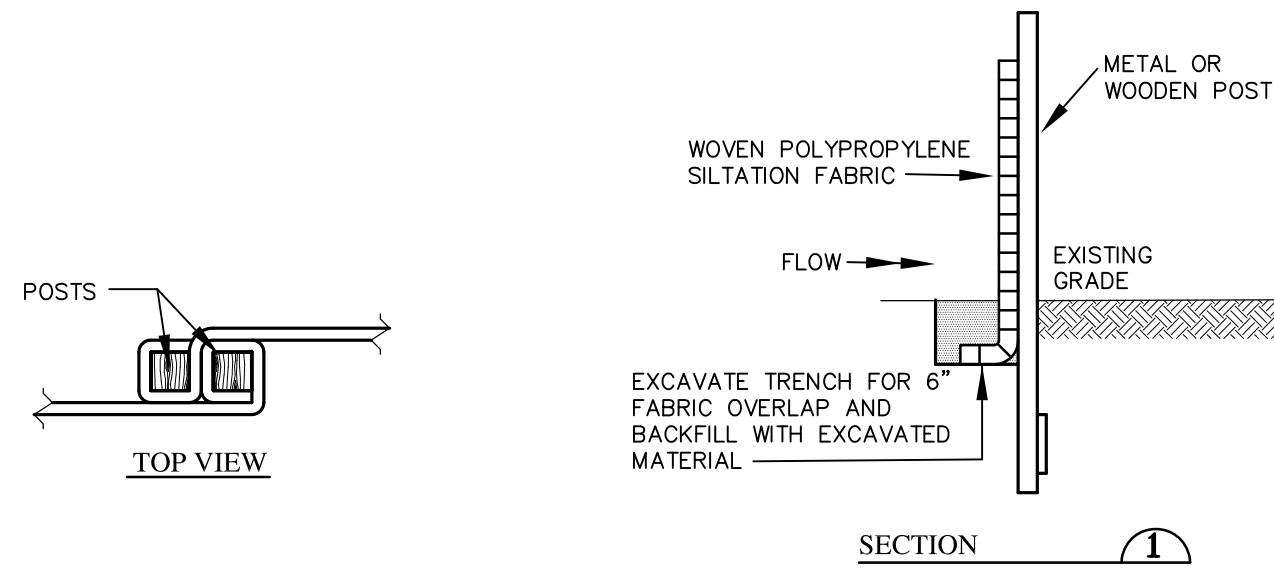
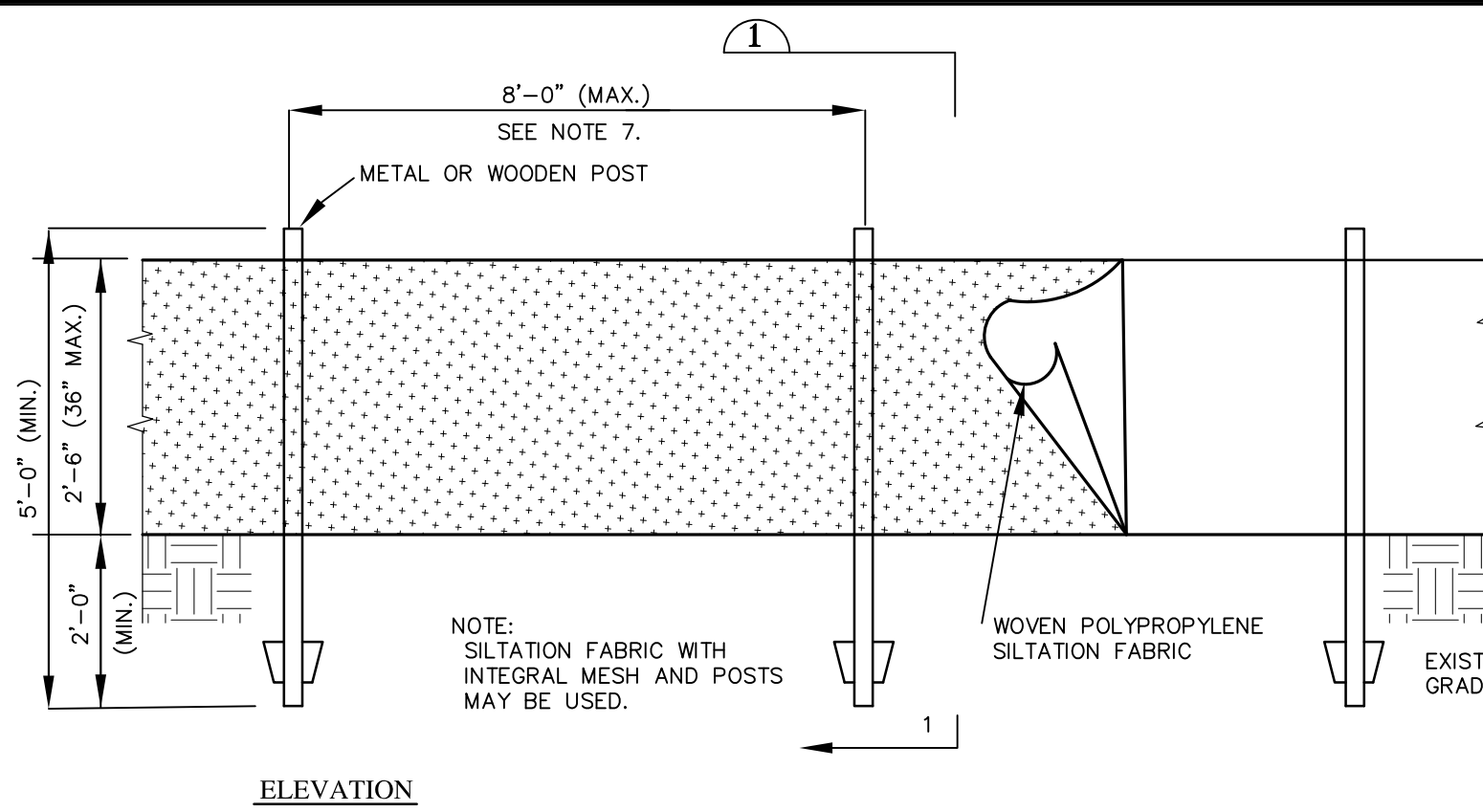
FIELD WK: JUM/MC	SCALE: NTS	SHEET:
DRN BY: RPL	JOB #: 2454	C7
CHD BY: CYN	MAP/LOT: 254/A007001	
DATE: 02/26/14	FILE: 2454-COVER-DET	

E



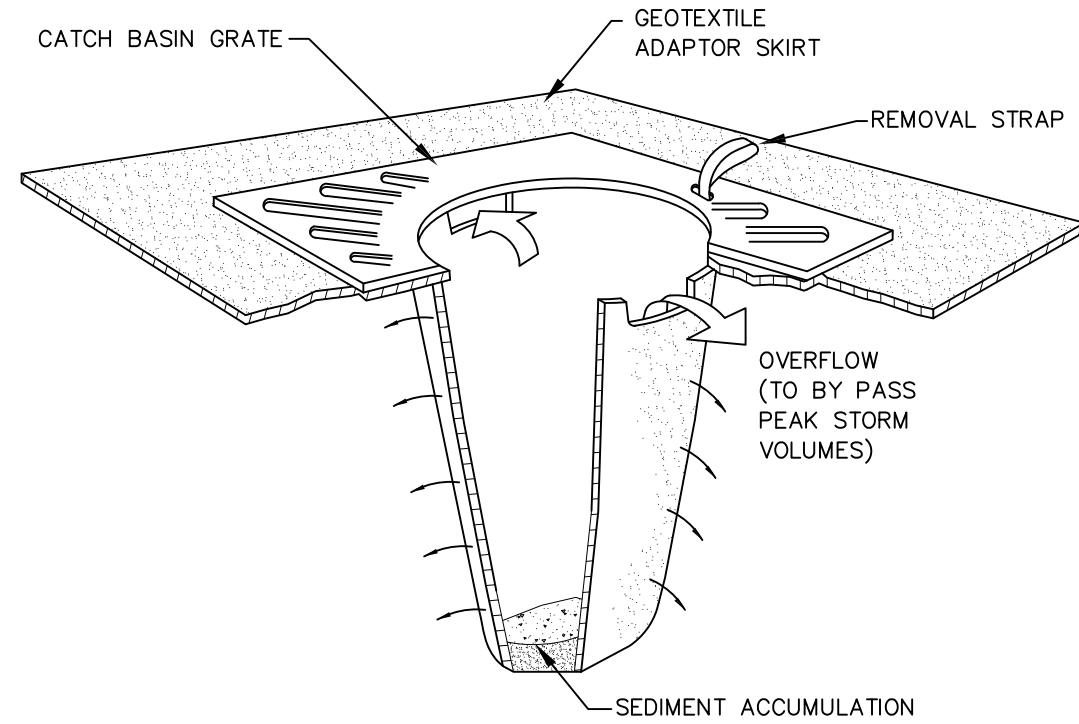
- NOTES:
1. ALL MATERIALS TO MEET FILTREXX SPECIFICATIONS
 2. SILTSOXX COMPOST/SOIL/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS
 3. SILTSOXX DEPICTED IS FOR MINIMUM SLOPES. GREATER SLOPES MAY REQUIRE LARGER SOCKS PER THE ENGINEER.
 4. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.
 5. SILT FENCE MAY BE USED AS AN ALTERNATE "SEDIMENT BARRIER OPTION"

A FILTREXX SILTSOXX DETAIL "SEDIMENT BARRIER OPTION"
N.T.S.



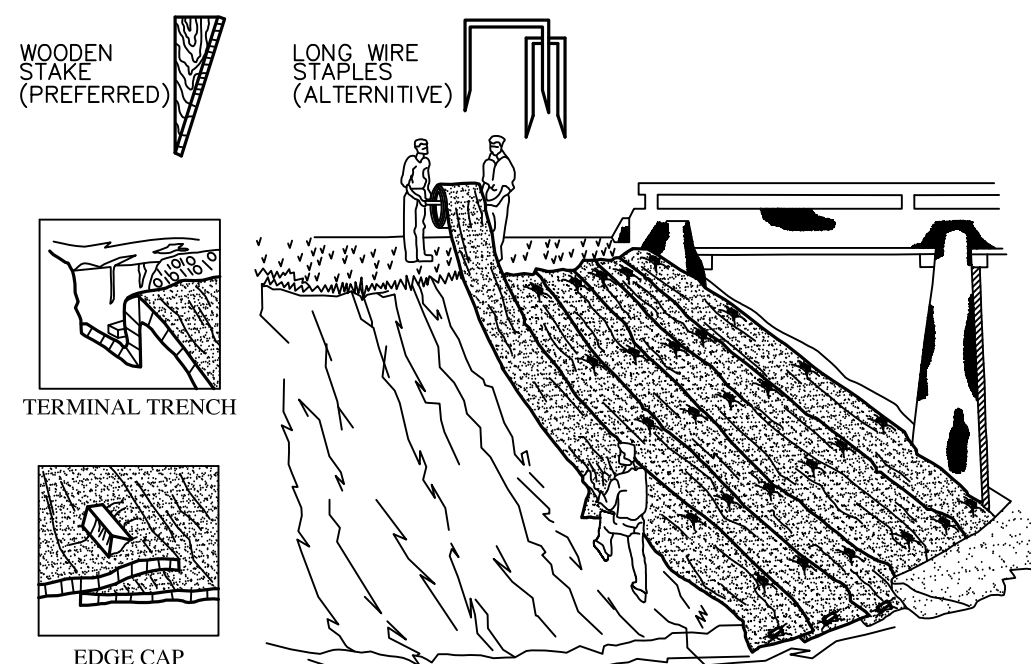
- INSTALLATION:
1. EXCAVATE A 6" X 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
 2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
 3. DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM.
 4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACK FILL THE TRENCH AND TAMP THE SOIL.
 5. JOIN SECTION AS SHOWN IN TOP VIEW.
 6. BARRIER SHALL BE MIRAFI SILT FENCE (100X) OR APPROVED EQUIVALENT.
 7. A STONE "FLEET" MAY BE USED FOR ANCHORING FABRIC IF IT CANNOT BE KEYED IN.

B SILT FENCE DETAIL "SEDIMENT BARRIER OPTION"
N.T.S.



- NOTES:
1. CATCH BASIN PROTECTION TO BE "SILTSAK" (BY ACF ENVIRONMENTAL) OR "STREAM GUARD" (BY FOSS ENVIRONMENTAL SERVICES).
 2. INSERT TO BE EMPTIED IN AN APPROVED MANNER WHEN IT IS 1/2 FULL OF SEDIMENT.
 3. INSPECT INSERT AFTER ALL RAINFALL EVENTS, REPAIR AND MAINTAIN AS REQUIRED.

C TEMPORARY INLET PROTECTION DETAIL
N.T.S.



- UNROLL MAT ONTO GROUND IN DIRECTION OF WATER FLOW.
- MAT SHOULD LIE FLAT. DO NOT STRETCH MAT OVER GROUND. STRETCHING MAY CAUSE MAT TO BRIDGE DEPRESSIONS IN THE SURFACE AND ALLOW EROSION UNDERNEATH.
- BURY TRANSVERSE TERMINAL ENDS OF MAT TO SECURE AND PREVENT EROSION UNDERNEATH.
- BACKFILL AND COMPACT TRENCHES AND CHECK SLOTS AFTER STAKING THE MAT IN BOTTOM OF TRENCH.
- OVERLAP ROLL ENDS BY THREE (3) FEET (MIN.) WITH UPSLOPE MAT ON TOP TO PREVENT UPLIFT OF MAT END BY WATER FLOW. IF INSTALLING IN THE DIRECTION OF A CONCENTRATED WATER FLOW, START NEW ROLLS IN A TRANSVERSE DITCH.
- WOOD STAKES ARE RECOMMENDED FOR PANNING MAT TO THE GROUND SURFACE. STAKES SHOULD BE 1"x 3" NOMINAL STOCK CUT IN A TRIANGULAR SHAPE. STAKES SHOULD BE 12" TO 18" LONG, DEPENDING ON SOIL DENSITY.
- DRIVE WOODEN STAKES TO WITHIN THREE (3) INCHES OF GROUND SURFACE. DO NOT DRIVE FLUSH TO SURFACE.
- IN ALL TRANSVERSE TERMINAL TRENCHES AND CHECK SLOTS, STAKE EACH MAT AT ITS CENTER AND OVERLAP EDGES BEFORE BACKFILLING AND COMPACTING.
- STAKE OVERLAPS LONGITUDINALLY AT THREE (3) TO FIVE (5) FOOT INTERVALS.

D EROSION CONTROL BLANKET - GENERAL INSTALLATION GUIDELINES
N.T.S.

EROSION AND SEDIMENTATION NOTES:
1. CONTRACTOR SHALL FOLLOW BEST MANAGEMENT PRACTICES OF THE CUMBERLAND COUNTY SOIL CONSERVATION SERVICE AND THE MAINE DEP BEST MANAGEMENT PRACTICES HANDBOOK.

GENERAL EROSION AND SEDIMENTATION CONTROL PRACTICES:
EROSION/SEDIMENT CONTROL DEVICES:
THE FOLLOWING EROSION SEDIMENTATION CONTROL DEVICES ARE PROPOSED FOR CONSTRUCTION ON THIS PROJECT. INSTALL THESE DEVICES AS INDICATED ON THE PLANS.

1. SEDIMENT BARRIER: SILT SOXX OR APPROVED EQUAL WILL BE INSTALLED ALONG THE DOWN GRADING EDGES OF DISTURBED AREAS TO TRAP RUNOFF BORNE SEDIMENTS UNTIL THE SITE IS STABILIZED. IN AREAS WHERE STORMWATER DISCHARGES THE SEDIMENT BARRIER WILL BE REINFORCED WITH HAY BALES TO HELP MAINTAIN THE INTEGRITY OF THE SEDIMENT BARRIER AND TO PROVIDE ADDITIONAL TREATMENT.
2. HAY BALES: HAY BALES TO BE PLACED IN LOW FLOW DRAINAGE SWALES AND PATHS TO TRAP SEDIMENTS AND REDUCE RUNOFF VELOCITIES. DO NOT PLACE HAY BALES IN FLOWING WATER OR STREAMS.
3. RIPRAP: PROVIDE RIPRAP IN AREAS WHERE CULVERTS DISCHARGE OR AS SHOWN ON THE PLANS.
4. LOAM, SEED, & MULCH: ALL DISTURBED AREAS, WHICH ARE NOT OTHERWISE TREATED, SHALL RECEIVE PERMANENT SEEDING AND MULCH TO STABILIZE THE DISTURBED AREAS. THE DISTURBED AREAS WILL BE REVEGETATED WITHIN 5 DAYS OF FINAL GRADING. SEEDING REQUIREMENTS ARE PROVIDED AT THE END OF THIS SPECIFICATION.
5. STRAW AND HAY MULCH: USED TO COVER DENUDED AREAS UNTIL PERMANENT SEED OR EROSION CONTROL MEASURES ARE IN PLACE. MULCH BY ITSELF CAN BE USED ON SLOPES LESS THAN 15% IN SUMMER AND 8% IN WINTER. JUTE MESH IS TO BE USED OVER MULCH ONLY.
6. IN LIEU OF MULCH, USE EROSION CONTROL BLANKET (EQUAL TO NORTH AMERICAN GREEN SC150) TO STABILIZE AREAS OF CONCENTRATED FLOW AND DRAINAGE WAYS.

TEMPORARY EROSION/SEDIMENTATION CONTROL MEASURES:
PROVIDE THE FOLLOWING TEMPORARY EROSION/SEDIMENTATION CONTROL MEASURES DURING CONSTRUCTION OF THE DEVELOPMENT:

1. SEDIMENT BARRIER ALONG THE DOWNGRADIENT SIDE OF THE PARKING AREAS AND OF ALL FILL SECTIONS. THE SEDIMENT BARRIER WILL REMAIN IN PLACE UNTIL THE SITE IS 85% REVEGETATED.
2. HAY BALES PLACED AT KEY LOCATIONS TO SUPPLEMENT THE SEDIMENT BARRIER.
3. PROTECT TEMPORARY STOCKPILES OF STUMPS, GRUBBINGS, OR COMMON EXCAVATION AS FOLLOWS:
A. SOIL STOCKPILE SIDE SLOPES SHALL NOT EXCEED 2:1.
B. AVOID PLACING TEMPORARY STOCKPILES IN AREAS WITH SLOPES OVER 10 PERCENT, OR NEAR DRAINAGE SWALES. SEE ITEM 3 IN CONSTRUCTION PHASE NOTES BELOW.
C. STABILIZE STOCKPILES WITHIN 7 DAYS BY TEMPORARILY SEEDING WITH A HYDROSEED METHOD CONTAINING AN EMULSIFIED MULCH TACKIFIER OR BY COVERING THE STOCKPILE WITH MULCH.
D. SURROUND STOCKPILE SOIL WITH SEDIMENT BARRIER AT BASE OF PILE.
4. ALL DENUDED AREAS WHICH HAVE BEEN ROUGH GRADED AND ARE NOT LOCATED WITHIN THE BUILDING PAD, OR PARKING AND DRIVEWAY SUBBASE AREA SHALL RECEIVE MULCH WITHIN 30 DAYS OF INITIAL DISTURBANCE OF SOIL OR WITHIN 7 DAYS AFTER COMPLETING THE ROUGH GRADING OPERATIONS. IN THE EVENT THE CONTRACTOR COMPLETES FINAL GRADING AND INSTALLATION OF LOAM AND SOD WITHIN THE TIME PERIODS PRESENTED ABOVE, INSTALLATION OF MULCH AND NETTING, WHERE APPLICABLE, IS NOT REQUIRED.
5. IF WORK IS CONDUCTED BETWEEN OCTOBER 15 AND APRIL 15, ALL DENUDED AREAS ARE TO BE COVERED WITH HAY MULCH, APPLIED AT TWICE THE NORMAL APPLICATION RATE, AND ANCHORED WITH FABRIC NETTING. THE PERIOD BETWEEN FINAL GRADING AND MULCHING SHALL BE REDUCED TO A 15 DAY MAXIMUM.
6. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE HAS BEEN STABILIZED OR IN AREAS WHERE PERMANENT EROSION CONTROL MEASURES HAVE BEEN INSTALLED.

PERMANENT EROSION CONTROL MEASURES:
THE FOLLOWING PERMANENT CONTROL MEASURES ARE REQUIRED BY THIS EROSION/SEDIMENTATION CONTROL PLAN:

1. ALL AREAS DISTURBED DURING CONSTRUCTION, BUT NOT SUBJECT TO OTHER RESTORATION (PAVING, RIPRAP, ETC.), WILL BE LOAMED, LIMED, FERTILIZED AND SEEDED. NATIVE TOPSOIL SHALL BE STOCKPILED AND REUSED FOR FINAL RESTORATION WHEN IT IS OF SUFFICIENT QUALITY.
 2. SLOPES GREATER THAN 2:1 WILL RECEIVE RIPRAP. (NONE ANTICIPATED)
- POST-CONSTRUCTION REVEGETATION:**
THE FOLLOWING GENERAL PRACTICES WILL BE USED TO PREVENT EROSION AS SOON AS AN AREA IS READY TO UNDERGO FINAL GRADING.

1. A MINIMUM OF 6" OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND GRADED TO A UNIFORM DEPTH AND NATURAL APPEARANCE, OR STONE WILL BE PLACED ON SLOPES TO STABILIZE SURFACES.
2. IF FINAL GRADING IS REACHED DURING THE NORMAL GROWING SEASON (4/15 TO 9/15), PERMANENT SEEDING WILL BE DONE AS SPECIFIED BELOW. PRIOR TO SEEDING, LIMESTONE SHALL BE APPLIED AT A RATE OF 138 LBS/1000 SQ. FT. AND 10:20:20 FERTILIZER AT A RATE OF 18.4 LBS/1000 SQ.FT WILL BE APPLIED. BROADCAST SEEDING AT THE FOLLOWING RATES:

LAWNS SHALL BE: ALLEN, STERLING & LATHROP "TUFTURF", 70% DIAMOND TALL FESCUE, 20% PLEASURE OLUS PERENNIAL RYEGRASS, 10% BARON KENTUCKY BLUEGRASS. SEEDING RATE SHALL BE 7-LBS./1,000 SQ. FT.

SWALES SHALL BE: WILDFLOWER MEADOW: (SEED) FESTUCA OVINA SHEEP FESCUE; SOW AT A RATE OF 12 OZ. PER 1,000 SQFT. TRIFOLIUM REPENS WHITE CLOVER; SOW AT A RATE OF 3/4 OZ.PER 1,000 SQFT. (FLOWERS) ACHILLEA MILLEFOLIUM YARROW; ACHILLEA CANADENSIS COLUMBINE; ASCLEPIAS TUBEROSE BUTTERFLY MILKWED. ASTER NOVAE-ANGIAE NEW-ENGLAND ASTER; BAPTISIA AUSTRALIS WILD INDIGO; BOLTONIA ASTERODS FALSE ASTER; CHRYSANTHEMUM LEUCANTHEMUM OXEYE DAISY; DIGITALIS PURPUREA FOXGLOVE; ECHINACEA PURPUREA PURPLE CONEFLOWER; LUPINUS PERENNIS LUPINE; MONARDA FISTULOSA BERGAMOT; PAPAVER ORIENTALE ORIENTAL POPY; RUDBECKIA HIRTA BLACK-EYED SUSAN, SALVIA OFFICINALIS SAGE; SOW AT A RATE OF 1/3 OZ. EACH PER 1,000 SQFT. OR 4 OZ. PER 1,000 SQFT. IN COMBINATION

3. AN AREA SHALL BE MULCHED IMMEDIATELY AFTER IS HAS BEEN SEEDDED. MULCHING SHALL CONSIST OF HAY MULCH, HYDRO-MULCH, JUTE NET OVER MULCH, PRE-MANUFACTURED EROSION MATS OR ANY SUITABLE SUBSTITUTE DEEMED ACCEPTABLE BY THE DESIGNER.
A. HAY MULCH SHALL BE APPLIED AT THE RATE OF 2 TONS PER ACRE. HAY MULCH SHALL BE SECURED BY EITHER: (NOTE: SOIL SHALL NOT BE VISIBLE)
I. BEING DRIVEN OVER BY TRACKED CONSTRUCTION EQUIPMENT ON GRADES OF 5% AND LESS.
II. BLANKETED BY TACKED PHOTODEGRADABLE/BIODEGRADABLE NETTING, OR WITH SPRAY, ON GRADES GREATER THAN 5%.
III. SEE NOTE 6, GENERAL NOTES, AND NOTE 8, WINTER CONSTRUCTION.
B. HYDRO-MULCH SHALL CONSIST OF A MIXTURE OF EITHER ASPHALT, WOOD FIBER OR PAPER FIBER AND WATER SPRAYED OVER A SEEDDED AREA. HYDRO-MULCH SHALL NOT BE USED BETWEEN 9/15 AND 4/15.

4. CONSTRUCTION SHALL BE PLANNED TO ELIMINATE THE NEED FOR SEEDING BETWEEN SEPTEMBER 15 AND APRIL 15. SHOULD SEEDING BE NECESSARY BETWEEN SEPTEMBER 15 AND APRIL 15 THE FOLLOWING PROCEDURE SHALL BE FOLLOWED. ALSO REFER TO NOTE 9 OF WINTER CONSTRUCTION.
A. ONLY UNFROZEN LOAM SHALL BE USED.
B. LOAMING, SEEDING AND MULCHING WILL NOT BE DONE OVER SNOW OR ICE COVER. IF SNOW EXISTS, IT MUST BE REMOVED PRIOR TO PLACEMENT OF SEED.
C. WHERE PERMANENT SEEDING IS NECESSARY, ANNUAL WINTER RYE (1.2 LBS./1000 SQ.FT) SHALL BE ADDED TO THE PREVIOUSLY NOTED AREAS.
D. WHERE TEMPORARY SEEDING IS REQUIRED, ANNUAL WINTER RYE (2.6 LBS./1000 SQ. FT.) SHALL BE SOWN INSTEAD OF THE PREVIOUSLY NOTED SEEDING RATE.
E. FERTILIZING, SEEDING AND MULCHING SHALL BE APPLIED TO LOAM THE DAY THE LOAM IS SPREAD BY MACHINERY.
F. ALTERNATIVE HAY MULCH SHALL BE SECURED WITH PHOTODEGRADABLE/BIODEGRADABLE NETTING. TRACKING BY MACHINERY ALONE WILL NOT SUFFICE.

5. FOLLOWING FINAL SEEDING, THE SITE WILL BE INSPECTED EVERY 30 DAYS UNTIL 85% COVER HAS BEEN ESTABLISHED. RESEEDING WILL BE CARRIED OUT BY THE CONTRACTOR WITHIN 10 DAYS OF NOTIFICATION BY THE ENGINEER THAT THE EXISTING CATCH IS INADEQUATE.

MONITORING SCHEDULE:
THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING, MONITORING, MAINTAINING, REPAIRING, REPLACING AND REMOVING ALL OF THE EROSION AND SEDIMENTATION CONTROLS OR APPOINTING A QUALIFIED SUBCONTRACTOR TO DO SO. MAINTENANCE MEASURES WILL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. AFTER EACH RAINFALL, A VISUAL INSPECTION WILL BE MADE OF ALL EROSION AND SEDIMENTATION CONTROLS AS FOLLOWS:

1. HAY BALE BARRIERS, SEDIMENT BARRIER, AND STONE CHECK DAMS SHALL BE INSPECTED AND REPAIRED ONCE A WEEK OR IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL. SEDIMENT TRAPPED BEHIND THESE BARRIERS SHALL BE EXCAVATED WHEN IT REACHES A DEPTH OF 6" AND REDISTRIBUTED TO AREAS UNDERGOING FINAL GRADING. SHOULD THE HAY BALE BARRIERS PROVE TO BE INEFFECTIVE, THE CONTRACTOR SHALL INSTALL SEDIMENT BARRIER BEHIND THE HAY BALES.
2. VISUALLY INSPECT RIPRAP ONCE A WEEK OR AFTER EACH SIGNIFICANT RAINFALL AND REPAIR AS NEEDED. REMOVE SEDIMENT TRAPPED BEHIND THESE DEVICES ONCE IT ATTAINS A DEPTH EQUAL TO 1/2 THE HEIGHT OF THE DAM OR RISER. DISTRIBUTE REMOVED SEDIMENT OFF-SITE OR TO AN AREA UNDERGOING FINAL GRADING.
3. REVEGETATION OF DISTURBED AREAS WITHIN 25' OF DRAINAGE-COURSE/STREAM WILL BE SEEDDED WITH THE "MEADOW AREA MIX" AND INSPECTED ON A WEEKLY BASIS OR AFTER EACH SIGNIFICANT RAINFALL AND RESEEDDED AS NEEDED. EXPOSED AREAS WILL BE RESEEDDED AS NEEDED UNTIL AREA HAS OBTAINED 100% GROWTH RATE. PROVIDE PERMANENT RIPRAP FOR SLOPES IN EXCESS OF 3:1 AND WITHIN 25' OF DRAINAGE COURSE.

EROSION CONTROL DURING WINTER CONSTRUCTION:
1. WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.

2. WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
3. EXPOSED AREA SHALL BE LIMITED TO THOSE AREAS TO BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT. AT THE END OF EACH WORK WEEK NO AREAS MAY BE LEFT UNSTABILIZED OVER THE WEEKEND.
4. CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED, SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
5. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR HAY AT A RATE OF 150 LB. PER 1000 S.F. (WITH OR WITHOUT SEEDING) OR DORMANT SEEDDED, MULCHED AND ANCHORED SUCH THAT SOIL SURFACE IS NOT VISIBLE THROUGH THE MULCH. NOTE: AN AREA IS ALSO CONSIDERED STABILIZED IF SOODED, COVERED WITH GRAVEL (PARKING LOTS) OR STRUCTURAL SAND.
6. BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1 AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED WITH A UNIFORM SURFACE, THEN THE AREA MAY BE DORMANT SEEDDED AT A RATE OF 3 TIMES HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW, DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF HAY, SEDIMENT BARRIER OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS SHOWN ON THE DESIGN DRAWINGS. NOTE: DORMANT SEEDING SHOULD NOT BE ATTEMPTED UNLESS SOIL TEMPERATURE REMAINS BELOW 50 DEGREES AND DAY TIME TEMPERATURES REMAIN IN THE 30'S.
7. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS. SLOPES GREATER THAN 3% FOR SLOPES EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%. VEGETATED DRAINAGE SWALES SHALL BE LINED WITH EXCELSIOR OR CURLEX.
8. BETWEEN THE DATES OF OCTOBER 15 TO NOVEMBER 1, WINTER RYE IS RECOMMENDED FOR STABILIZATION. AFTER NOVEMBER 1, WINTER RYE IS NOT EFFECTIVE. AROUND NOVEMBER 15 OR LATER, ONCE TEMPERATURES OF THE AIR AND SOIL PERMIT, DORMANT SEEDING IS EFFECTIVE.
9. IN THE EVENT OF SNOWFALL (FRESH OR CUMULATIVE) GREATER THAN 1 INCH DURING WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM THE AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.

SITE INSPECTION AND MAINTENANCE:
1. WEEKLY INSPECTIONS, AS WELL AS ROUTINE INSPECTIONS FOLLOWING RAIN FALLS, SHALL BE CONDUCTED BY THE GENERAL CONTRACTOR OF ALL TEMPORARY AND PERMANENT EROSION CONTROL DEVICES UNTIL FINAL ACCEPTANCE OF THE PROJECT (85% GRASS CATCH). NECESSARY REPAIRS SHALL BE MADE TO CORRECT DETERIORATING OR DETERIORATION. FINAL ACCEPTANCE SHALL INCLUDE A SITE INSPECTION TO VERIFY THE STABILITY OF ALL DISTURBED AREAS AND SLOPES. UNTIL FINAL INSPECTION, ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL IMMEDIATELY BE CLEANED, AND REPAIRED BY THE GENERAL CONTRACTOR AS REQUIRED. DISPOSAL OF ALL TEMPORARY EROSION AND CONTROL DEVICES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

IT IS RECOMMENDED THAT THE OWNER HIRE THE SERVICES OF THE DESIGN ENGINEER TO PROVIDE COMPLIANCE INSPECTIONS (DURING ACTIVE CONSTRUCTION) RELATIVE TO IMPLEMENTATION OF THE STORMWATER AND EROSION CONTROL PLANS. SUCH INSPECTIONS SHOULD BE LIMITED TO ONCE A WEEK OR AS NECESSARY AND BE REPORTABLE TO THE OWNER, TOWN AND DEP.

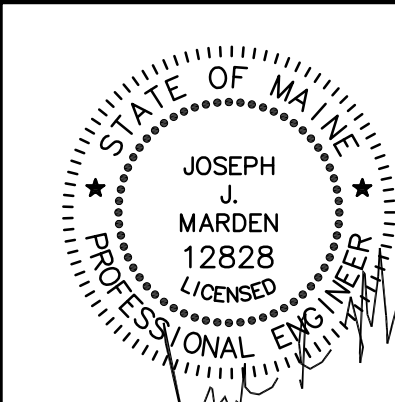
2. SHORT-TERM SEDIMENTATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CLEAN OUT ALL SWALES AND STRUCTURES PRIOR TO TURNING PROJECT OVER.
3. LONG-TERM PROVISIONS FOR PERMANENT MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL DEVICES AFTER ACCEPTANCE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE OWNER.

CONSTRUCTION PHASE:
THE FOLLOWING GENERAL PRACTICES WILL BE USED TO PREVENT EROSION DURING CONSTRUCTION OF THIS PROJECT.

1. ONLY THOSE AREAS UNDER ACTIVE CONSTRUCTION WILL BE CLEARED AND LEFT IN AN UNTREATED OR UNVEGETATED CONDITION. IF FINAL GRADING, LOAMING AND SEEDING WILL NOT OCCUR WITHIN 7 DAYS, SEE ITEM NO. 4.
2. PRIOR TO THE START OF CONSTRUCTION IN A SPECIFIC AREA, SEDIMENT BARRIER AND/OR HAY BALES WILL BE INSTALLED AT THE TOE OF SLOPE AND IN AREAS AS LOCATED ON THE PLANS TO PROTECT AGAINST ANY CONSTRUCTION RELATED EROSION. IMMEDIATELY FOLLOWING CONSTRUCTION OF CULVERTS AND SWALES, RIP RAP APRONS SHALL BE INSTALLED, AS SHOWN ON THE PLANS.
3. TOPSOIL WILL BE STOCKPILED WHEN NECESSARY IN AREAS WHICH HAVE MINIMUM POTENTIAL FOR EROSION AND WILL BE KEPT AS FAR AS POSSIBLE FROM THE EXISTING DRAINAGE COURSE. NO STOCKPILE SHALL BE CLOSER THEN 100' OF A RESOURCE INCLUDING, BUT NOT LIMITED TO, WETLANDS, STREAMS, AND OPEN WATER BODIES. ALL STOCKPILES SHALL HAVE A SEDIMENT BARRIER BELOW THEM REGARDLESS OF TIME OF PRESENCE. ALL STOCKPILES EXPECTED TO REMAIN LONGER THAN 7 DAYS SHALL BE:
A. TREATED WITH ANCHORED MULCH (WITHIN 5 DAYS OF THE LAST DEPOSIT OF STOCKPILED SOIL).
B. SEEDDED WITH CONSERVATION MIX AND MULCHED IMMEDIATELY.
C. INSTALL SEDIMENT BARRIER AROUND STOCKPILE AT BASE OF PILE. STOCKPILES TO HAVE SEDIMENT BARRIER INSTALLED AT TIME OF ESTABLISHMENT AT BASE OF PILE.
4. ALL DISTURBED AREAS EXPECTED TO REMAIN LONGER THAN 7 DAYS SHALL BE EITHER:
A. TREATED WITH ANCHORED MULCH IMMEDIATELY, OR
B. SEEDDED WITH CONSERVATION MIX OF ANNUAL RYE GRASS (0.9 LBS./1000 SQ. FT) AND MULCHED IMMEDIATELY.
5. ALL GRADING WILL BE HELD TO A MAXIMUM 2:1 SLOPE WHERE PRACTICAL. ALL SLOPES WILL BE STABILIZED WITH PERMANENT SEEDING, OR WITH STONE, WITHIN 5 DAYS AFTER FINAL GRADING IS COMPLETE. (SEE POST-CONSTRUCTION REVEGETATION FOR SEEDING SPECIFICATION.)
6. ALL CULVERTS WILL BE PROTECTED WITH STONE RIPRAP (D50 = 6" UNLESS OTHERWISE SPECIFIED) AT INLETS AND OUTLETS.

2. 06/19/14 REVISED PER CITY COMMENTS JMM
1. 05/19/14 SUBMITTED TO CITY AND MDEP JMM

PROGRESS PRINT
THIS PLAN IS ISSUED FOR REVIEW AND INFORMATION PURPOSES ONLY. THIS PLAN IS SUBJECT TO CHANGE AND IS NOT FOR PRICING OR CONSTRUCTION. PRICING BASED ON THIS PLAN IS NOT BINDING UNLESS SIGNED BY BOTH CONTRACTOR AND OWNER.



TITLE:	EROSION CONTROL DETAIL AND NOTES	
PROJECT:	PROPOSED BUILDING EXPANSION 185 RAND ROAD, PORTLAND, ME 04102	
OWNER:	OLD DOMINION FREIGHT LINES, INC. 500 OLD DOMINION WAY, THOMASVILLE, NC 27360	

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