

106 PINE TREE IND PKWY

254 A003001

Permit # 061812

**interior renovation, interior
loading dock addition, & second
floor addition for office space**

BKA Architects, Inc.
142 Crescent Street
Brockton, MA 02302

Architecture + Interiors

tel: 508 583.5603
fax: 508 584 2914
e-mail: bka@bkaarchs.com
www.bkaarchs.com



LETTER OF TRANSMITTAL

Date: September 3, 2009

TO: WB Mason
73 Industrial Park Road
Saco, Maine 04072
ATT.: Ed Gagne, Sales Manager

Project: WB Portland

Project
No.: 208162

WE TRANSMIT:

Herewith

Under separate cover
via: _____

In accordance with your
request _____

FOR YOUR:

Approval

Distribution

Information

Review & comment

Use

Record

Other: _____

THE FOLLOWING:

Drawings

Shop Dwg Prints

Samples

Specifications

Originals

Change Order

Shop Dwg Repro's

Product Literature

Other: _____

COPIES	DATE	NO.	DESCRIPTION
2			Permit drawings - for building department
1			pdf's on disc
1			permit application

REMARKS

The building department should only need the one stamped set and the drawing on disc.
The other set is for you to hold on to.

Signed: _____



Certificate of Design Application

From Designer: BKA Architects, Inc.
 Date: August 21, 2009
 Job Name: W.B. Mason - Office Renovation and Garage Addition
 Address of Construction: 106 Pine Tree Industrial Parkway, Portland, ME

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2003 Use Group Classification (s) Mercantile (M) / Business (B) / Storage (S-1)
 Type of Construction IIIB
 Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC Yes
 Is the Structure mixed use? Yes If yes, separated or non separated or non separated (section 302.3) Non-Sep (section 302)
 Supervisory alarm System? Yes Geotechnical/Soils report required? (See Section 1802.2) Yes

Structural Design Calculations

N/A Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Floor Area Use	Loads Shown
Office	100 psf

Wind loads (1603.1.4, 1609)

Analytical Design option utilized (1609.1.1, 1609.6)
100 mph Basic wind speed (1809.3)
II, 1.0 Building category and wind importance Factor, I_p table 1604.5, 1609.5
B Wind exposure category (1609.4)
+/- 0.18 Internal pressure coefficient (ASCE 7)
 Table 1606.2.2 Component and cladding pressures (1609.1.1, 1609.6.2.2)
 Table 1609.6 Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

Analytical Design option utilized (1614.1)
II Seismic use group ("Category")
 0.35 0.080 Spectral response coefficients, S_x & S_D (1615.1)
D Site class (1615.1.5)

Yes Live load reduction
20 psf Roof live loads (1603.1.2, 1607.11)
42 psf Roof snow loads (1603.7.3, 1608)
60 psf Ground snow load, P_g (1608.2)
42 If $P_g > 10$ psf, flat-roof snow load P_f
1.0 If $P_g > 10$ psf, snow exposure factor, C_e
1.0 If $P_g > 10$ psf, snow load importance factor, I_s
1.0 Roof thermal factor, C_t (1608.4)
N/A Sloped roof snowload, P_s (1608.4)
C Seismic design category (1616.3)
OBE Basic seismic force resisting system (1617.6.2)
5 Response modification coefficient, R , and
4 1/2 deflection amplification factor, C_d (1617.6.2)
Simplified Analysis procedure (1616.6, 1617.5)
54K Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

N/A Flood Hazard area (1612.3)
N/A Elevation of structure

Other loads

2000 # Concentrated loads (1607.4)
20 psf Partition loads (1607.5)
N/A Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

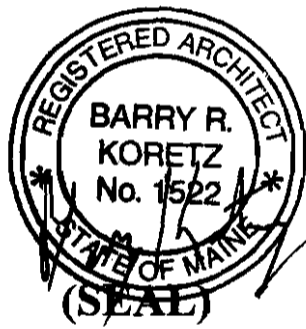
Building Inspections Division • 389 Congress Street • Portland, Maine 04101 • (207) 874-8703 • FACSIMILE (207) 874-8716 • TTY (207) 874-8936



Accessibility Building Code Certificate

Designer: Barry Koretz
 Address of Project: 106 Pine Tree Industrial Parkway
 Nature of Project: Office Renovation and Garage Addition

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: *Barry Koretz*
 Title: President
 Firm: BKA Architects, Inc.
 Address: 142 Crescent Street
Brockton, MA. 02302
 Phone: 508-583-5603

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

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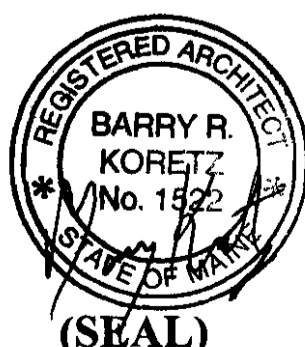
Certificate of Design

Date: August 21, 2009
 From: BKA Architects, Inc.

These plans and / or specifications covering construction work on:

106 Pine Tree industrial Parkway Portland, ME

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the 2003 International Building Code and local amendments.



Signature: *Barry Koretz*
 Title: President
 Firm: BKA Architects, Inc.
 Address: 142 Crescent Street
Brockton, MA. 02302
 Phone: 508-583-5603

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Applicant: WB MASON

Date: 9/14/09

Address: 106 Pintree Ind Pkwy

C-B-L: Z54-A-3

CHECK-LIST AGAINST ZONING ORDINANCE

Date - Existing

Permit # 09-0979

Zone Location - I-M

Interior or corner lot -

Proposed Use/Work - cover existing ^{paved} area for a garage (7,042[#])

Sewage Disposal - City

Lot Street Frontage - exact 60' min - 239.54' given

Front Yard - 1' for every 1' of height - N/A - additional feet

Rear Yard - 1' for every 1' of height up to 25' - ~105' shown

Side Yard - 1' for every 1' of height up to 25' - 35' @ ~92.5'

Projections -

Width of Lot -

Height - 29.5' given - 45' max

Lot Area - 10,000[#] min - 3.395 Acres

Lot Coverage (Impervious Surface) 75% MAX - 69% given

Area per Family - N/A

Off-street Parking - 85 pkg req - 95 pkg shown

Loading Bays - existing

Site Plan - # 2009-0037

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - not in - just misses the bldg
Panel 12 - Zone 2

REC. 4/22/09

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy

2009-0037
Application I. D. Number

WB Mason
Applicant
59 Center Street, Brockton, MA 02302
Applicant's Mailing Address

4/21/2009
Application Date
WB Mason Warehouse
Project Name/Description

Consultant/Agent
Applicant Ph: (508) 586-3434 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

106 - 106 Pine Tree Ind Pkwy, Portland, Maine
Address of Proposed Site
254 A003001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Apt 0 Condo 0 Other (specify)

Proposed Building square Feet or # of Units 147886 Acreage of Site 0 Proposed Total Disturbed Area of the Site 0 Zoning IM

Check Review Required:

- Site Plan (major/minor) Zoning Conditional - PB Subdivision # of lots _____
- Amendment to Plan - Board Review Zoning Conditional - ZBA Shoreland Historic Preservation Design Review
- Amendment to Plan - Staff Review Zoning Variance Flood Hazard Site Location
- After the Fact - Major Stormwater Traffic Movement Housing Replacement
- After the Fact - Minor PAD Review 14-403 Streets Review Other _____

Fees Paid: Site Plan \$400.00 Subdivision _____ Engineer Review _____ Date 4/21/2009

Zoning Approval Status:

Reviewer _____

- Approved Approved w/Conditions See Attached Denied

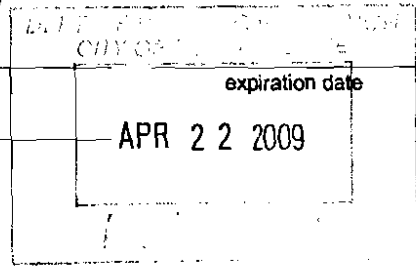
Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

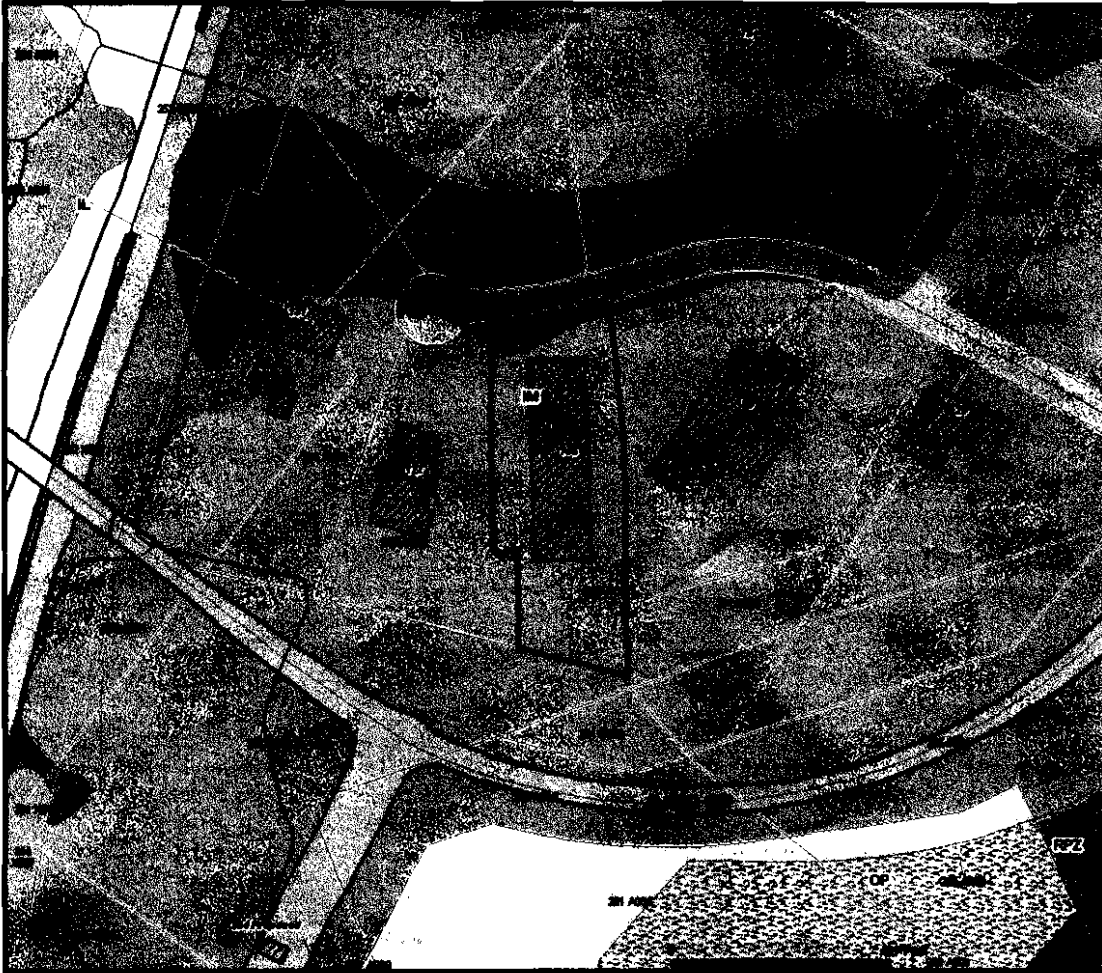
Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____ date _____	_____ amount _____	_____ expiration date _____
<input type="checkbox"/> Inspection Fee Paid	_____ date _____	_____ amount _____	_____ expiration date _____
<input type="checkbox"/> Building Permit Issue	_____ date _____	_____ remaining balance _____	_____ signature _____
<input type="checkbox"/> Performance Guarantee Reduced	_____ date _____	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date _____
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date _____	_____ signature _____	
<input type="checkbox"/> Final Inspection	_____ date _____	_____ signature _____	
<input type="checkbox"/> Certificate Of Occupancy	_____ date _____	_____ signature _____	
<input type="checkbox"/> Performance Guarantee Released	_____ date _____	_____ signature _____	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date _____	_____ amount _____	_____ expiration date _____
<input type="checkbox"/> Defect Guarantee Released	_____ date _____	_____ signature _____	





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Strengthening a Remarkable City Building a Community for Life

Planning & Urban Development Department
Penny St. Louis Littell, Director

Planning Division
Alexander Jaegerman, Director

May 20, 2009

W.B. Mason, Inc.
Chris Meehan
59 Center St.
Brockton, MA 02302

Lester S. Berry, P.E.
BH2M Engineers
28 State St.
Gorham, ME 04038

RE: 106 Pine Tree Industrial Parkway
CBL: 254 A003001
Application ID: 2009-0037

Dear Mr. Meehan:

On May 20, 2009, the Portland Planning Authority approved the minor site plan for an addition onto the existing office/warehouse building.

The approval is based on the submitted site plan 5/15/09. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

- 1. The site shall be developed and maintained as depicted in the site plan and the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or the planning authority pursuant to the terms of this article. Any such parcel lawfully altered prior to the enactment date of these revisions shall not be further altered without approval as provided herein. Modification or alteration shall mean and include any deviations from the approved site plan including, but not limited to, topography, vegetation and impervious surfaces shown on the site plan. No action, other than an amendment approved by the planning authority or Planning Board, and field changes approved by the Public Services authority as provided herein, by any authority or department shall authorize any such modification or alteration.**
- 2. The above approvals do not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.**
- 3. Final sets of plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.**

4. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and seven (7) final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the subdivision plat for recording at the Registry of Deeds or prior to the release of a building permit, street opening permit or certificate of occupancy for site plans. If you need to make any modifications to the approved plans, you must submit a revised subdivision or site plan application for staff review and approval.
5. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
6. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
7. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
8. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Eric Giles at 874-8723.

Sincerely,

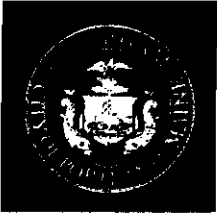


Alexander Jaegerman
Planning Division Director

Electronic Distribution:

Penny Littell, Planning & Development Dept. Director
Alexander Jaegerman, Planning Division Director
Barbara Barhydt, Development Review Services Manager
Philip DiPierro, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Tammy Munson, Inspections Division
Lisa Dunforth, Administrative Assistant
Michael Bobinsky, Public Works Director
Kathi Earley, Public Works
Bill Clark, Public works

Jim Carmody, City Transportation Engineer
Keith Gautreau, Fire Prevention
Jeff Tarling, City Arborist
Assessor's Office
Approval Letter File
Hard Copy: Project File



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life - www.portlandmaine.gov

Penny St. Louis Littell, Director of Planning and Development
Marge Schmuckal, Zoning Administrator

Meeting Information

DATE: 2/3/09 ZONE: F-M 254-A-003

LOCATION: 106 Pine Tree Industrial Parkway

PEOPLE PRESENT: Les Barry - Barbara - Marge

BH2M plans

DISCUSSION: WB MASON New user - mostly warehouse

3.39 acres - Warehouse/showroom

- has an easement on the property - showing a new access on pipeline easement problematic

- close to 75% impervious

- covered loading dock in the rear - 135' x 61' proposed

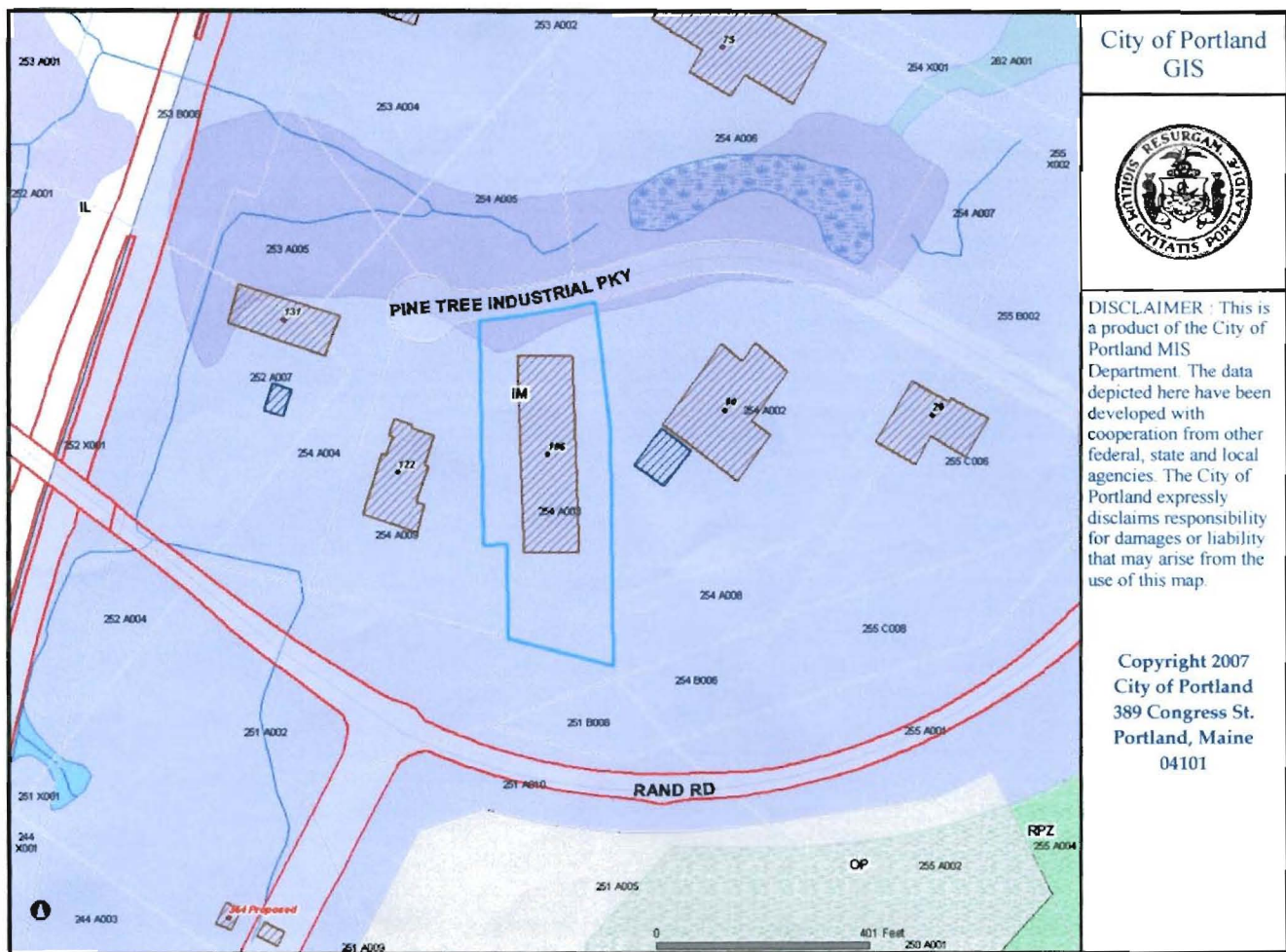
→ I may have to relook Discussed the "retail" use - floor plans show just over 7,000 sq ft

- Discussed Chapter 500 - in Mason's Brook area urban impaired stream

- This would be a minor (Administratively) as shown to us at this time - we would need a narrative to explain the past uses compared to what is proposed

- Not sure about whether a traffic movement is required

Please note: this meeting is not an pre-approval of any ordinances. No project can be approved without going thru the appropriate reviews. This meeting is only to outline the City processes to go through based on the information given at this meeting. Any changes to that information may change the process requirements. Please check ordinances that are on-line for further information at www.portlandmaine.gov.



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*Penny St. Louis Littell- Director of Planning and Development
Marge Schmuckal, Zoning Administrator*

October 23, 2008

Thomas E. Behenna, Esq.
60 State Street – Suite 700
Boston, MA 02109

RE: 106 Pine Tree Industrial Parkway – 254-A-003 (the “Property”) – I-M Zone

Dear Attorney Behenna,

I am in receipt of your request for a zoning determination letter concerning the Property. It is my understanding that the proposed buyer, W.B. Mason Co., intends to use the Property to operate a wholesale distribution and warehouse facility for office supply products and office furniture with accompanying office space and a small retail outlet to sell used and/or slightly damaged office furniture.

Warehousing and distribution facilities (14-247(e)) and general business offices (14-247(t)) are uses permitted by right. Section 14-247(s) allows incidental accessory uses. Section 14-249(b) specifically prohibits retail trade that is not ancillary to a permitted use.

After further conversations with you on October 23, 2008, I gained a bit more information concerning the proposed retail component. The area of the entire building is approximately 36,000 square feet. The retail component would be approximately 5,000 square feet in size. Only used or damaged office furniture, not new furniture, and not all products in the warehouse, will be offered for sale. At this time I do not have any specific floor plans to further assess this use.

Based on all the information available to me at this time, I have determined the specifically described retail component for W.B. Mason Co., Inc. could qualify as an accessory, ancillary retail use to the principal use(s) of warehouse and distribution and general offices.

I temper my determination opinion pending a permit application for the change of use with alterations that will show further data and floor plans concerning the retail component. However, the preliminary information supplied to this office leads me to believe that any offending details could be resolved.

RE: Request for Zoning Determination Letter
Underlying Transaction: Purchase and Sale Agreement
Proposed Buyer: W.B. Mason Co., Inc. or its Nominee
Owner/Seller: MEGCO Realty, LLC
Subject Parcel: 106 Pine Tree Industrial Parkway, Portland, ME
Zoning District: I-M
Municipal Tax Map Number: Map 254 Lot A-3
My Client: W.B. Mason Co., Inc.

*11/10/08
11/10/08*

However, Section 14-249 in the Code of Ordinances prohibits retail trade in an I-M zone that is not an ancillary use. But, since Mason will be selling used and/or damaged office furniture out of what will primarily be a warehouse distributing facility for office supplies and office furniture, it seems to me that a small retail outlet component subordinate thereto, would qualify as an ancillary use under the Code of Ordinances and therefore would be permitted.

I could not find a definition for "ancillary use" in the Code of Ordinances. However, Section 14-47 defines "accessory use" as "uses which are customarily incidental and subordinate to the location, function and operation of a permitted use." Section 14-47 also states that definitions set forth in the building code of the City shall apply to words not defined in the Code of Ordinances.

Accordingly, based upon my foregoing preliminary research and analysis, I believe Mason's plans for a small retail outlet at the site will meet the criteria for an accessory use under the Code of Ordinances

Prior to Mason acquiring the subject property, Mason seeks to procure a Zoning Determination Letter ("ZDL") from City of Portland Zoning Department to verify and confirm that: (i) warehousing, distribution office is allowed as a matter of right in an I-M zoning district; and, (ii) Mason's plan for a small retail outlet at the site would qualify as an ancillary-accessory use under the Code of Ordinances.

*~5,000th
per Thomas
Behenna
10/23/08*

could

Mason's mortgage lender has also requested the ZDL include language confirming that the subject property complies in all material respects with all applicable building, sewerage, zoning, subdivision, land use sanitary and safety laws, rules and regulations. Hence, I ask that such a provision be incorporated therein as well.

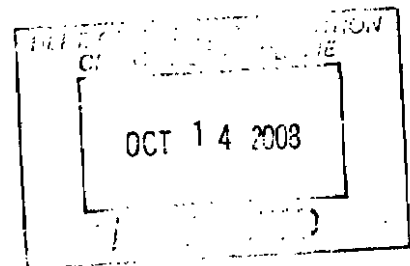
I enclose a check payable to the City of Portland in the amount of \$150.00 representing payment in full for the fee for the ZDL. If you-Portland should need any additional information or supporting documentation relative to my herein request, please let me know as soon as you can. Thank you for your consideration.

Very truly yours,



Thomas E. Behenna

TEB/ct
Enclosure



establishing the value of property and encouraging the most appropriate use of land throughout the community.

Sec. 14-47. Definitions.

The following words shall be defined as set forth below for use in the article. Definitions set forth in the building code of the city shall apply to words not herein defined:

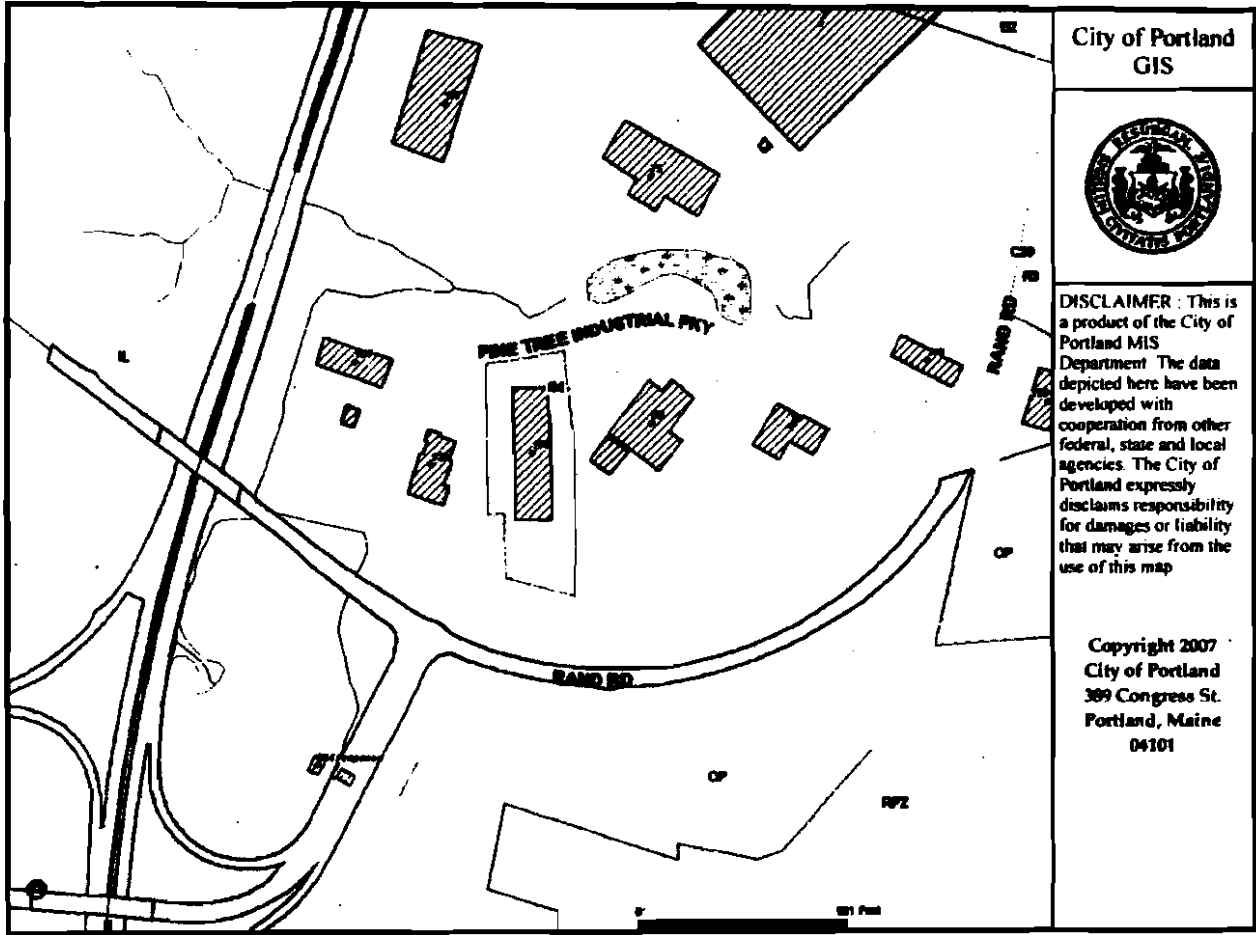
Secondary
Accessory uses: Uses which are customarily incidental and subordinate to the location, function and operation of permitted uses.

? The SAME AS Ancillary?

Adult day care facility: A facility which provides a regular program of care and protection for persons over the age of sixteen (16), for consideration, for any part of the day.

Apartment: See "dwelling unit".

Apartment house: See "multifamily dwelling".



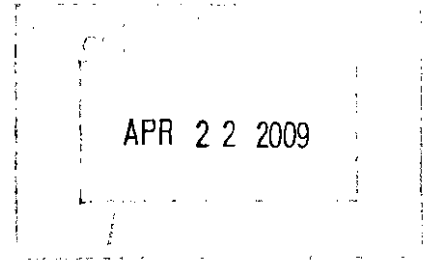


Berry, Huff, McDonald, Milligan Inc.
Engineers, Surveyors

LESTER S. BERRY
WILLIAM A. THOMPSON
ROBERT C. LIBBY, Jr.
WALTER E. PELKEY

April 13, 2009

Barbara Barhydt
Portland City Hall
Planning Department
389 Congress Street
Portland, ME 04101



RE: W.B. Mason Minor Amended Site Plan
106 Pine Tree Industrial Parkway

Dear Barbara:

Attached please find the site plans and attached documentation for a Minor Amended Site Plan for W.B. Mason.

The owner, JLTS VIII L.L.C. is the same ownership as W.B. Mason, the applicant, with the same contact person, Chris Meehan. JLTS VIII L.L.C. recently purchased the existing 36,190 s.f. office/warehouse building that we believe was used most recently by the U.S. Postal Service. W.B. Mason plans to modify the building interior, add a garage and make minor site modifications. The new use will be office, retail and warehouse with warehouse being the primary use. The new garage will be used the delivery vans for loading and unloading.

The following is a list of consultants for the project:

- Lester S. Berry, P.E. Project Engineer
Berry Huff McDonald Milligan, Inc.
28 State Street
Gorham, ME 04038
207-839-2771
- Robert Turner Contractor
Turner Brothers, L.L.C.
34 Bellow Road
Raynham, MA 02767
- BKA Architects, Inc. Architect
142 Crescent Street
Brockton, MA 02302
508-583-5603 ext. 321

The site has essentially been fully developed and operational for 20 years. The lot and all the improvements have been approved by the Planning Board. The proposed project will not have any substantial impacts to the site and no impacts to the abutters.

Stormwater management is always a major concern. Currently, all runoff is collected on-site via a stormdrain system and transported to the north under Pine Tree Industrial Parkway to an existing detention pond. (Approved as part of the original subdivision plan.) The site was approved for 75% impervious coverage and after all, the improvement will have 69% coverage. The new garage will be constructed in the former paved loading dock area. The net increase in impervious area will only be 893 s.f. The primary reason for the increase will be the paved driveway to the propane tanks.

All other utilities are existing. Utilities include public water, sewer and underground electric. A hydrant is located at the northwest corner of the property.

Since this is within an existing industrial park with similar activities be conducted by the abutters, we do not expect to create any impacts. We do have two easements on-site that are important to the easement holders:

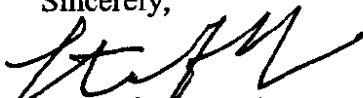
- Portland Pipeline Easement – The 35-foot wide easement contains two high pressure oil mains. We have met with the PPL and they have explained the safety concerns associated with their facilities. It should be noted that we are not proposing any construction on their easement and have included a plan note for a Safety Pre-construction Meeting. This Site Plan package has also been submitted to PPL for their review.
- Portland Water District Easement – The 100-foot wide easement contains a 42" water main. The Site Plan package has also been submitted to the PWD for their review.

The project owner, W.B. Mason, will be financing the project and will not be seeking any assistance from a financial institution. The contractor will be Turner Brothers, L.L.C. which has worked on several similar projects for W.B. Mason. The architect and engineer will also be involved throughout construction.

No new landscaping is proposed. The building and site is landscaped (shown on plan) and is similar to all the abutting industrial neighbors.

Please review and feel free to call if you have any questions.

Sincerely,



Lester S. Berry, P.E.

cc: Portland Pipeline
Portland Water District
Robert Turner
Tom Behenna
WBMasonPortland



Development Review Application Portland, Maine

Department of Planning and Development, Planning Division and Planning Board

Address of Proposed Development: 106 Pine Tree Industrial Parkway

APR 22 2009

Zone: I-M Industrial

Project Name: W.B. Mason

Existing Building Size: 36,190 sq. ft.

Proposed Building Size: 43,232 sq. ft.

Existing Acreage of Site: 147,886 sq. ft.

Proposed Acreage of Site: 147,886 sq. ft.

Proposed Total Disturbed Area of the Site: 30,000 sq. ft. *

* If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) or Chapter 500, Stormwater Management Permit with the Maine Department of Environmental Protection (DEP).

Tax Assessor's Chart, Block & Lot:

Chart # 254

Block # A

Lot # 3

**Property Owners Name/
Mailing address:**

JLTS VIII L.L.C.
59 Center St.
Brockton, MA 02302
Contact: Chris Meehan

Telephone #:

508-586-3434

Cell Phone #:

**Consultant/Agent Name,
Mailing Address, Telephone #, Fax #
and Cell Phone #:**

Lester S. Berry, P.E.
BH2M Engineers
28 State St. Gorham, ME
(207) 839-2771 ext. 201

**Applicant's Name/
Mailing Address:**

W.B. Mason, Inc.
Chris Meehan
59 Center St.
Brockton, MA

Telephone #:

508-586-3434

Cell Phone #:

Fee for Service Deposit (all applications) _____ (\$200.00)

*Check attached for \$600.00

Proposed Development (check all that apply)

- New Building Building Addition Change of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking lot
 Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____ + major site plan fee if applicable
 Site Location of Development (\$3,000.00)
 (except for residential projects which shall be \$200.00 per lot _____)
 Traffic Movement (\$1,000.00) Storm water Quality (\$250.00)
 Section 14-403 Review (\$400.00 + \$25.00 per lot)
 Other _____

~ Please see next page ~

Major Development (more than 10,000 sq. ft.)

- Under 50,000 sq. ft. (\$500.00)
- 50,000 - 100,000 sq. ft. (\$1,000.00)
- Parking Lots over 100 spaces (\$1,000.00)
- 100,000 - 200,000 sq. ft. (\$2,000.00)
- 200,000 - 300,000 sq. ft. (\$3,000.00)
- Over 300,000 sq. ft. (\$5,000.00)
- After-the-fact Review (\$1,000.00 + applicable application fee)

Minor Site Plan Review

- Less than 10,000 sq. ft. (\$400.00)
- After-the-fact Review (\$1,000.00 + applicable application fee)

Plan Amendments

- Planning Staff Review (\$250.00)
- Planning Board Review (\$500.00)

Billing Address: (name, address and contact information)

Chris Meehan
JLTS VIII L.L.C.
59 Center Street
Brockton, MA 02302

Submittals shall include **seven (7)** folded packets containing of the following materials:

- A. Copy of the application.
- B. Cover letter stating the nature of the project.
- C. Written Submittal (Sec. 14-525 2. (c), including evidence of right, title and interest.
- D. A standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 100 feet.
- E. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
- E. Copy of the checklist completed for the proposal listing the material contained in the submitted application.
- F. In addition to the seven (7) sets of documents listed above, one (1) set of the site plans reduced to 11 x 17 must be submitted.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: www.portlandmaine.gov Copies of the ordinances may be purchased through the Planning Division.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for site review only; a Performance Guarantee, Inspection Fee, Building Permit Application and associated fees will be required prior to construction.

Signature of Applicant: 	Date:
--	----------------------



Site Plan Checklist Portland, Maine

Department of Planning and Development, Planning Division and Planning Board

W.B. Mason - 106 Pine Tree Industrial Parkway
Project Name, Address of Project

_____ Application Number

The form is to be completed by the Applicant or Designated Representative:

Check Submitted	Site Plan Item	Required Information	Section 14-525 (b,c)
<u> X </u>	(1)	Standard boundary survey (stamped by a registered surveyor, at a scale of not less than 1 inch to 100 feet and including:	1
<u> X </u>	(2)	Name and address of applicant and name of proposed development	a
<u> X </u>	(3)	Scale and north points	b
<u> X </u>	(4)	Boundaries of the site	c
<u> X </u>	(5)	Total land area of site	d
<u> X </u>	(6)	Topography - existing and proposed (2 feet intervals or less)	e
<u> X </u>	(7)	Plans based on the boundary survey including:	2
<u> - </u>	(8)	Existing soil conditions	a
<u>None</u>	(9)	Location of water courses, wetlands, marshes, rock outcroppings and wooded areas	b
<u> X </u>	(10)	Location, ground floor area and grade elevations of building and other structures existing and proposed, elevation drawings of exterior facades, and materials to be used	c
<u> X </u>	(11)	Approx location of buildings or other structures on parcels abutting the site and a zoning summary of applicable dimensional standards (example page 9 of packet)	d
<u> X </u>	(12)	Location of on-site waste receptacles	e
<u> X </u>	(13)	Public utilities	e
<u> X </u>	(14)	Water and sewer mains	e
<u> X </u>	(15)	Culverts, drains, existing and proposed, showing size and directions of flows	e
<u> X </u>	(16)	Location and dimensions, and ownership of easements, public or private rights-of-way, both existing and proposed	f
<u> X </u>	(17)	Location and dimensions of on-site pedestrian and vehicular access ways	g
<u> X </u>	(18)	Parking areas	g
<u> X </u>	(19)	Loading facilities	g
<u> X </u>	(20)	Design of ingress and egress of vehicles to and from the site onto public streets	g
<u> X </u>	(21)	Curb and sidewalks	g
<u>Ex. Site</u>	(22)	Landscape plan showing:	h
<u>Ex. Site</u>	(23)	Location of existing vegetation and proposed vegetation	h
<u>Ex. Site</u>	(24)	Type of vegetation	h
<u>Ex. Site</u>	(25)	Quantity of plantings	h
<u>Ex. Site</u>	(26)	Size of proposed landscaping	h
<u>Ex. Site</u>	(27)	Existing areas to be preserved	h
<u>Ex. Site</u>	(28)	Preservation measures to be employed	h
<u>Ex. Site</u>	(29)	Details of planting and preservation specifications	h
<u>Ex. Site</u>	(30)	Location and dimensions of all fencing and screening	i
<u> X </u>	(31)	Location and intensity of outdoor lighting system	j
<u> X </u>	(32)	Location of fire hydrants, existing and proposed (refer to Fire Department checklist)	k
<u> X </u>	(33)	Written statements to include:	c
<u> X </u>	(34)	Description of proposed uses to be located on site	cl
<u> - </u>	(35)	Quantity and type of residential, if any	cl
<u> - </u>	(36)	Total land area of the site	c2
<u> - </u>	(37)	Total floor area, total disturbed area and ground coverage of each proposed Building and structure	c2
<u> X </u>	(38)	General summary of existing and proposed easements or other burdens	c3
<u> X </u>	(39)	Type, quantity and method of handling solid waste disposal	c4
<u> X </u>	(40)	Applicant's evaluation or evidence of availability of off-site public facilities, including sewer, water and streets	c5
<u> X </u>	(41)	Description of existing surface drainage and a proposed stormwater management plan or description of measures to control surface runoff.	c6

Doc#: 63194 Bk126448 Ps: 72

EXHIBIT A

A certain lot or parcel of land in the City of Portland, County of Cumberland, State of Maine, being Lot #302 as shown on the Revised Plan of Pine Tree Industrial Park subdivision made for Presumpscot Associates, Inc. dated January 1, 1988, recorded in the Cumberland County Registry of Deeds in Plan Book 173, Page 46, to which Plan reference is hereby made for a more particular description. Lot #302 is the easterly portion of Lot #3 as shown on a Plan for Pine Tree Industrial Park Subdivision made for Presumpscot Associates, Inc. prepared by Dearborn/Whited dated August 8, 1986, approved by the City of Portland Planning Board August 12, 1986, and recorded in the Cumberland County Registry of Deeds in Plan Book 157, Page 16. Said Lot #302 consists of 3.4 acres, more or less.

This conveyance is made subject to: (a) an easement conveyed to the Portland Pipe Line Company thirty-five (35) feet in width along the easterly side of said Lot #302 as shown on said plans; (b) an easement or right of way conveyed to the Portland Water District, one hundred (100) feet in width, which in part crosses the most southerly corner of said Lot #302 as shown on said plans; (c) the covenants and restrictions set forth on the face of the said Plan recorded in Plan Book 157, Page 16 and a Plan entitled "Recording Plot for Arthur Knowles" recorded in said Registry in Plan Book 160, Page 44; and (d) the restrictions, conditions and limitations set forth in the Deed from Ellen M. Knowles to Alco Partners dated March 24, 1987 and recorded in the Cumberland County Registry of Deeds in Book 7686, page 44.

As shown on said plan recorded in Plan Book 173, Page 46, this conveyance is made subject to an easement, and includes the grant of an easement, the said easements together creating a driveway thirty (30) feet in width, and each easement being fifteen (15) feet in width and adjacent to the westerly boundary of said Lot 302 (which is also the easterly boundary of the adjacent Lot 301). The said easements are for the use and benefit of said Lot #302 and said Lot #301.

Also conveying the right, in common with all other owners of lots on said plans, over all roads designated on said plans from the present and of Rand Road, across the Portland Terminal location, and over Rand Road extension and the Pine Tree Industrial Parkway, for access by vehicles and otherwise, as well as for the placement of utility lines, including sewer and water pipelines, power and telephone lines, the exact location of such utility lines to be determined by Presumpscot Associates, Inc.

Subject to current real estate taxes, which Grantee covenants and agrees to pay.

Reference is made to a deed from Alco Partners to MEGCO Realty Limited Liability Company, dated May 23, 1995 and recorded in the Cumberland County Registry of Deeds, in Book 11969, Page 181.

Received
Recorded Register of Deeds
Nov 19, 2008 12:16:57P
Cumberland County
Pamela E. Lovell

MAINE REAL ESTATE TAX PAID


QUITCLAIM DEED WITH COVENANT

KNOW ALL BY THESE PRESENTS, That MEGCO REALTY LIMITED LIABILITY COMPANY, a Maine limited liability company, with a place of business in Portland, Maine (the "Grantor"), for consideration paid, grants to JLTS VIII L.L.C., a Maine limited liability company, with a mailing address of I/C/O W. B. Mason Co., Inc., 73 Industrial Park Road, Saco, Maine 04072 (the "Grantee"), with QUITCLAIM COVENANT, the land and buildings in the City of Portland, Cumberland County, State of Maine, described more particularly as follows:

**SEE EXHIBIT A ATTACHED
HERETO AND MADE A PART HEREOF**

IN WITNESS WHEREOF, Julian R. Coles, duly authorized Member of MEGCO Realty Limited Liability Company, has caused this instrument to be executed this 5 day of November 2008.

Witness:



Nancy K. Bradford

**MEGCO REALTY LIMITED LIABILITY
COMPANY, a Maine limited liability company**

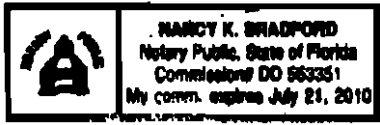
By: 


Name: Julian R. Coles
Its Member

STATE OF Florida
COUNTY OF Lee

On this 5 day of November 2008, then personally appeared the above named Julian R. Coles in his capacity as Member of MEGCO Realty Limited Liability Company, a Maine limited liability company, and acknowledged the foregoing instrument to be his free act and deed in his said capacity, and the free act and deed of said limited liability company.

MAINE DRIVE LICENSE PROVIDED AS TO





Notary Public
Nancy K. Bradford
Printed Name

BKA Architects, Inc.
142 Crescent Street
Brockton, MA 02302

Architecture + Interiors

tel: 508.583.5403
fax: 508.584.2914
e-mail: mat@bkaarch.com
www.bkaarch.com



LETTER OF TRANSMITTAL

TO: City of Portland
Inspections Division
389 Congress St. Rm 315
Portland, ME 04101
ATT.: Jeanie Bourke, Plan Reviewer

Date: December 15, 2009

Project: WB Mason - Portland
Addition / Renovation
Project No.: 208162

WE TRANSMIT:

Herewith

Under separate cover
via: _____

In accordance with your
request: _____

FOR YOUR:

Approval

Distribution

Information

Review & comment

Use

Record

Other: _____

THE FOLLOWING:

Drawings

Shop Dwg Prints

Samples

Specifications

Originals

Change Order

Shop Dwg Repro's

Product Literature

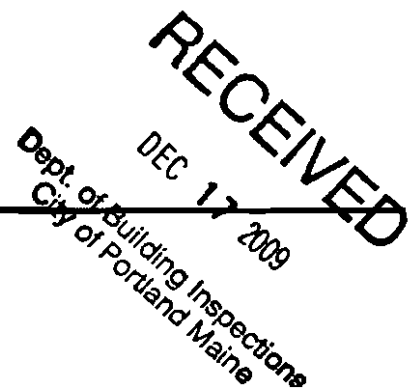
Other: _____

COPIES	DATE	NO.	DESCRIPTION
1	12/8/09	1	Revised Foundation Plan

REMARKS _____



Signed: Matthew Pelletier



Turner Brothers, LLC34 Bellows Road
Raynham, MA 02767Phone: (508) 823-6303
Fax: (508) 823-2045**SUBMITTAL**Submittal No. **0001**
Date: 12/16/2009**To:** Planning & Development Dept.
389 Congress Street
Portland, Maine 04101**Project:** WB Mason
106 Pine Tree Parkway
Portland, ME**Attention:** Jeanie Bourke**Prepared By:** Robert Turner**Division:**
Date Required: ASAP

Spec. Section	Description	Action Required	Copies Submitted
Metal Building	Letter Of Certification	Review & Approve	1(original)
	Complete set of Erection Drawings	Review & Approve	2(original)

RECEIVED
DEC 17 2009
Dept. of Building Inspections
City of Portland Maine



Wisconsin Technical Services Office
 2863 Liberty Lane
 Janesville, WI 53545
 Phone: (608) 758-3718 Fax: (608) 758-3796

November 17, 2009

Re: Chief Order No. C095226
 Description: Bldg A - 59'-8" x 114'-10" x 16'-0"
 Bldg B - 12'-7" x 16'-3" x 17'-10 3/8"
 Builders Name: Turner Brothers, LLC
 Building Owners Name: W B Mason Portland, ME
 Jobsite City, State: Portland, ME

RECEIVED
 DEC 17 2009
 Dept. of Building Inspections
 City of Portland Maine

Gentlemen:

Please accept this letter as certification that the Chief components, produced for the above described project to be furnished to Turner Brothers, LLC, for W B Mason Portland, ME, Portland, ME, have been designed for the following criteria as specified by Purchaser in the order documents:

2002 MBMA Occupancy Category	Standard Buildings	Seismic	
Roof Live Load (Tributary Area Reduction Allowed)	20 psf	Spectral Response Short Periods (S_s)	37.0%
Collateral Load	5 psf	Spectral Response 1 s Period (S_1)	10.0%
Ground Snow Load (P_g)	70 psf	Seismic Importance Factor	1.0
Exposure Factor (C_e)	1.0	Use Group	I
Thermal Factor (C_t)	1.0	Design Category	C
Importance Factor (I)	1.0	Site Class	D
Flat Roof Snow Load (P_f)	49 psf	Seismic Resisting System	
Building Enclosure	Enclosed	Longitudinal Direction	Steel System (R=3.0)
Wind Speed	90 mph (GCPi \pm 0.18)	Lateral Direction	Steel System (R=3.0)
Exposure Category	B	Seismic Response Coefficient (C_s)	0.124
Importance Factor (I)	1.0	Spectral Response Parameter Short Period (S_{DS})	0.371
Wind Pressure (q)	13.48 psf	Spectral Response Parameter 1 s Period (S_{D1})	0.160
		Analysis Procedure	ELF
		Base Shear	19,218 lbs.
		Other Loads:	
		None	

and applied in accordance with the IBC 2003 Building Code.

The design of Chief structural steel components is in accordance with the provisions of .
 These Chief components as supplied, when properly erected as furnished, on an adequate foundation, will meet the loading requirements supplied to Chief by Purchaser in accordance with good engineering practices.

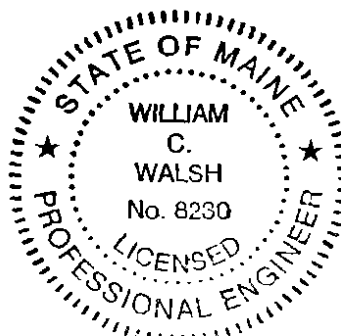
This certification does not cover field modifications nor does it cover materials furnished by someone other than Chief Industries, Inc.; nor the connection between Chief components and those manufactured or supplied by someone other than Chief Industries, Inc.

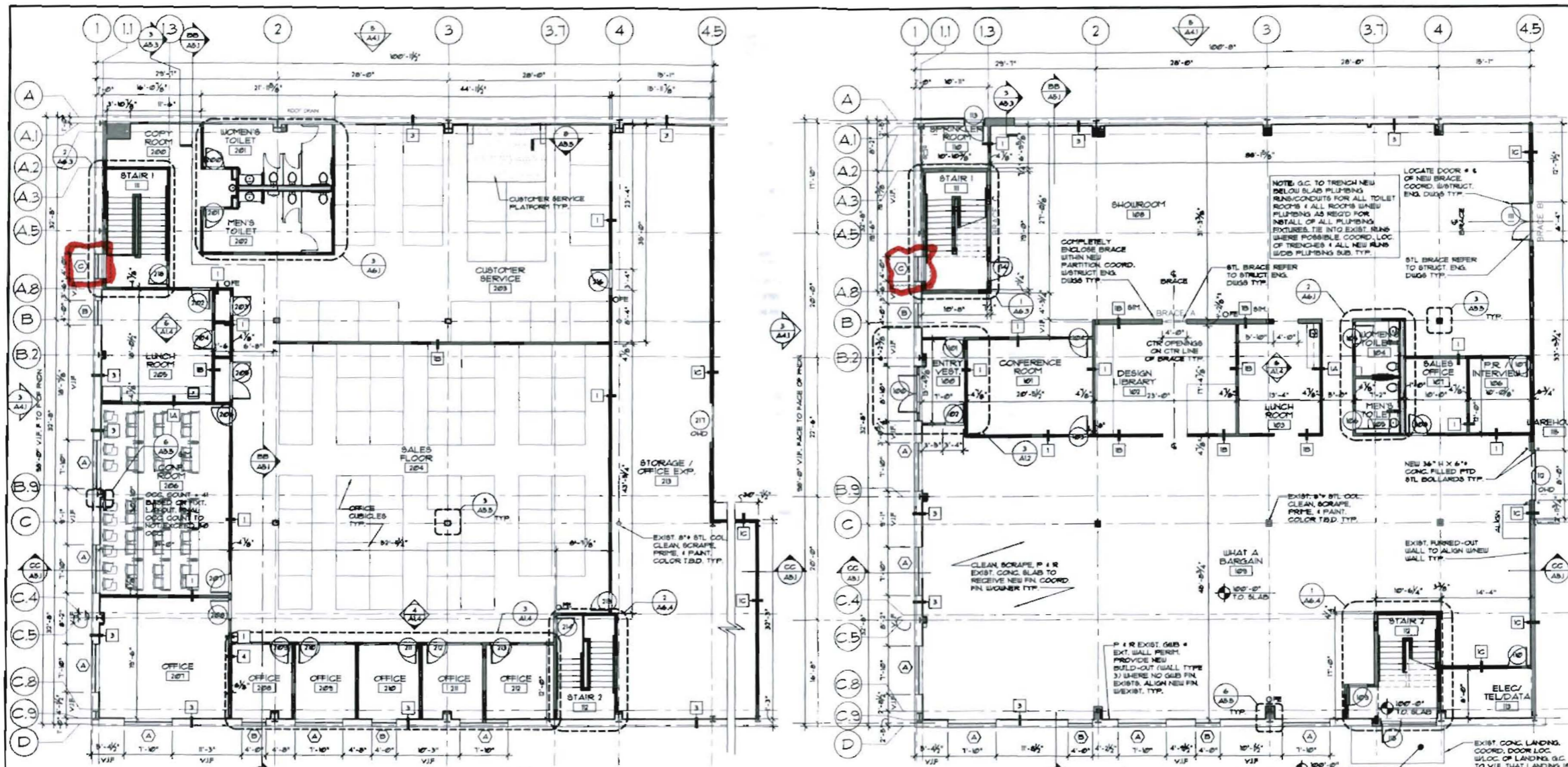
Chief design and detailing facilities: Grand Island, NE, Lincoln, NE, and Janesville, WI. Chief Fabrication facilities: Grand Island, NE and Rensselaer, IN.

Sincerely,

William C. Walsh
 William C. Walsh, P.E.

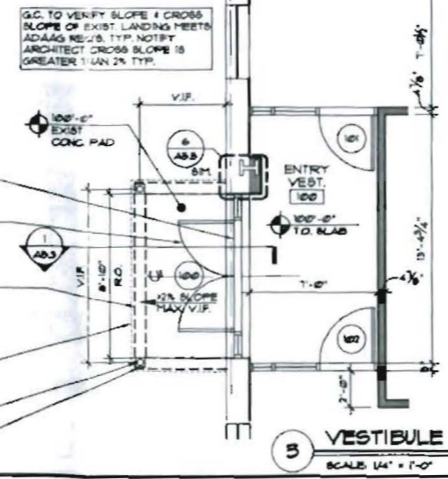
Sr. Design Engineer
 Chief Industries, Inc. - Buildings Division
 WW/tl





OFFICE 2ND FLOOR PLAN
SCALE: 1/8" = 1'-0"

OFFICE PARTIAL 1ST FLOOR PLAN
SCALE: 1/8" = 1'-0"



VESTIBULE PLAN
SCALE: 1/4" = 1'-0"

- NOTES**
- COORD. TEL/DAT/POWER LOCATIONS W/OWNER'S POWER PLAN & REQUIREMENTS
 - DIV ELECTRICAL SUBCONTRACTOR TO PROVIDE EMERGENCY LIGHTING & EGRESS EXIT LIGHTING PLAN. LIGHTING LAYOUTS TO CONFORM TO LOCAL ORDINANCES AND BE APPROVED BY BOTH THE STATE OF MAINE FIRE MARSHAL & THE PORTLAND FIRE DEPT.
 - G.C. TO COORD. APPROPRIATE REG'S W/ARCHITECT & DIV ELEC. SUB. PROVIDE PANIC DOOR HARDWARE IN ELEC/TEL/DATA ROOM 13, AS REG'D BY 1999 NATIONAL ELECTRIC CODE.
 - ALL FIRE EXTINGUISHERS SHALL BE CLASS A/B/C, FINAL QTY, RATING, HAZARD LEVEL, & LOC. SHALL BE DESIGNED & COORD BY DIV FP SUB-CONTRACTOR.
 - G.C. SHALL COORD. S/CITY OF PORTLAND, ME PD & DIV FP SUB FOR THE FINAL REG'S FOR FIRE EXTINGUISHERS.
 - FIRE EXTINGUISHER DESIGN SHALL CONFORM TO REG'S OF THE LATEST VERSION OF THE NFPA 10 STANDARD FOR PORTABLE FIRE EXTINGUISHERS.

CONSTRUCTION LEGEND

(Solid line)	NEW CONSTRUCTION
(Dashed line)	PATCH/REPAIR & FILL IN
(Dotted line)	EXIST. CONST. TO REMAIN
(Line with 'R')	1 HR RATED PARTITION

LEGEND

(Circle with 'R')	FIRE EXTINGUISHER
-------------------	-------------------

ba
BKA Architects, Inc.
Architects & Interiors
142 Crescent Street
Brookline, MA 02302
Tel: 617.868.8800
Fax: 617.868.8814
Email: bka@bka.com

REVISION	DATE	DESCRIPTION
1		ISSUED FOR PERMITS
2		ISSUED FOR PERMITS
3		ISSUED FOR PERMITS
4		ISSUED FOR PERMITS
5		ISSUED FOR PERMITS

OFFICE FLOOR PLANS
W.B. MASON PORTLAND
W.B. MASON PORTLAND
100 PINE TREE INDUSTRIAL PARKWAY
PORTLAND, ME

Scale: AS NOTED
Date: 02/08/09
Drawn By: LIC/MAP
Checked By: MAP
Job Number: 200867
Drawing:

A1.2

RECEIVED
DEC 9 2009
Dept. of Building Inspections
City of Portland Maine

BUILDER: TURNER BROTHERS, LLC

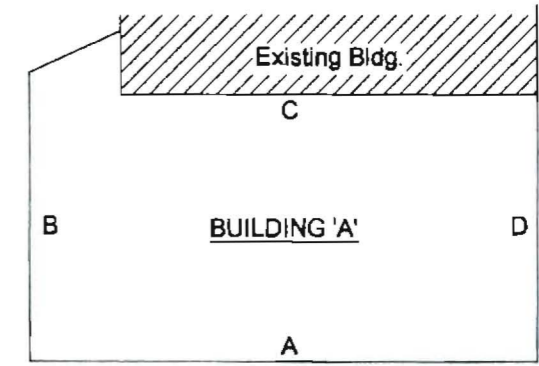
CUSTOMER: W B MASON PORTLAND ME.

LOCATION: PORTLAND, ME

	WIDTH	LENGTH	SWA HEIGHT	FRONT ROOF PITCH	DOWNSPOUT DROPS-SWA	DOWNSPOUT DROPS-SWC
Bldg A :	68.67	114.83	16.00	0.376	6	0

TABLE OF CONTENTS

GENERAL INFORMATION G1-G1
 ANCHOR ROD PLAN A1-A4
 CROSS SECTION CS1-CS6
 ROOF FRAMING RF1-RF6
 ROOF SHEETING RS1-RS5
 SIDEWALL S1-S6
 ENDWALL E1-E5
 UPDATED DETAILS UD1-UD1
 QUALITY ASSURANCE POLICY Q1-Q1



KEY PLAN

Roof Sheeting:

Type: MSC
 Gage: 24
 Color: Galvalume

Ordered Options:

Base Condition: Base angle w/ trim
 Base Trim Color: Cherokee
 Wall Mastic: No
 UL Rating: 90
 Thermal Blocks: Yes
 Sidewall Eave Trim Type: Eave Gutter
 Eave & Gable Trim Color: Cherokee
 Downspout Type: Closed
 Downspout Color: Cherokee
 Elbows at Bottom of Drops: Yes
 Corner Trim Color: Cherokee
 Framed Opening Trim Color: Cherokee
 Light Transmitting Panels: 0

Framing Kits & Wall Openings

See Accessory Schedule on Anchor Rod Plan, Page A1.

Loading Information & Frame Column Reactions

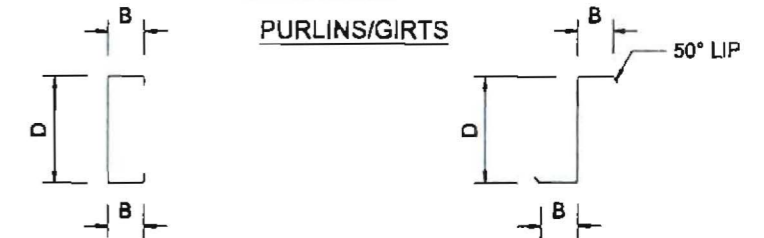
See Load Notes and Reactions on Anchor Rod Detail Page, Page A3-A4.

Wall Sheeting:

Type: CS
 Gage: 26
 Color: Cherokee
 Finish: Kynar

Framing:

Purlin Type: Zees
 Girt Type: Ceas



DESIGNATION	D	B
818	8.00	3.00
814	8.00	3.00
812	8.00	3.00
1014	10.00	3.50
1012	10.00	3.50

DESIGNATION	D	B
818	8.00	2.50
814	8.00	2.50
812	8.00	2.50
1014	10.00	2.75
1012	10.00	2.75

Drawing Designation:
 a) Drawings stamped "PERMIT DRAWINGS" are drawings that are complete for the most part, however, since some details and part marks are missing, they are preliminary and are not to be used for construction and are not considered final drawings
 b) Drawings stamped "PROGRESS DRAWINGS" are drawings that are complete for the most part, however, since some details and part marks are missing, they are preliminary and are not to be used for construction and are not considered final drawings
 c) Drawings stamped "DOCUMENTS FOR APPROVAL" are preliminary drawings, used for approval with no part markings and are not to be used for construction.

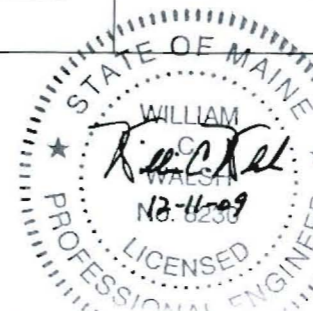
GENERAL DETAIL MANUAL V 4.1

ROOF PANEL MANUAL V 6.0

SHEETING TYPES

STEEL LINE	STEEL LINE	STEEL LINE	STEEL LINE	STEEL LINE								
LTC Panel	AP Panel	CFW-PANEL	FSP-PANEL	MVF/MVP-PANEL								
		<p>REVISIONS</p> <table border="1"> <tr><td>4</td><td></td></tr> <tr><td>3</td><td></td></tr> <tr><td>2</td><td></td></tr> <tr><td>1</td><td></td></tr> </table>			4		3		2		1	
4												
3												
2												
1												
STEEL LINE	STEEL LINE											
STC Panel	CS Panel											
	<table border="1"> <tr><th colspan="2">ENGINEER REVIEW</th></tr> <tr><th>ENGINEER</th><th>DATE</th></tr> <tr><td>CH</td><td>11-DEC-09</td></tr> </table>	ENGINEER REVIEW		ENGINEER	DATE	CH	11-DEC-09					
ENGINEER REVIEW												
ENGINEER	DATE											
CH	11-DEC-09											
STEEL LINE												
MSC Panel												

NOTWITHSTANDING THE ADJACENT SEAL, NEITHER THE ENGINEER NAMED NOR CHIEF BUILDINGS IS ACTING AS THE ENGINEER OF RECORD. THE ENGINEER NAMED AND CHIEF BUILDINGS RESPONSIBILITY IS LIMITED TO THE STRUCTURAL PERFORMANCE OF THE PRE-ENGINEERED COMPONENTS DESIGNED BY CHIEF BUILDINGS.



RECEIVED
 DEC 17 2009
 Dept. of Building Inspections
 City of Portland Maine
TO BE USED FOR CONSTRUCTION

COVER PAGE				
TURNER BROTHERS, LLC. / W. B. MASON				
PORTLAND, ME				
2-BUILDING COMPLEX				
CHIEF BUILDINGS	DRAWN	CHECK	ORDER NO.	C1
	BLO/JSA	JSA / AL	CO95226	C1
	18-NOV-09	9-DEC-09		



FOR 17 NOV 2009

ANCHOR ROD DRAWINGS			
TURNER BROTHERS, LLC. / W. B. MASON PORTLAND ME			
PORTLAND, ME			
2-BUILDING COMPLEX			
CHIEF BUILDINGS <small>a division of Chief Industries, Inc.</small> <small>P.O. BOX 3018 GRAND ISLAND, ME 04037-3018</small>	DRAWN	CHECK	ORDER NO.
	BLO	JSA	C095226
17-NOV-09	17-NOV-09	A4	
			A4

BUILDER: TURNER BROTHERS, LLC

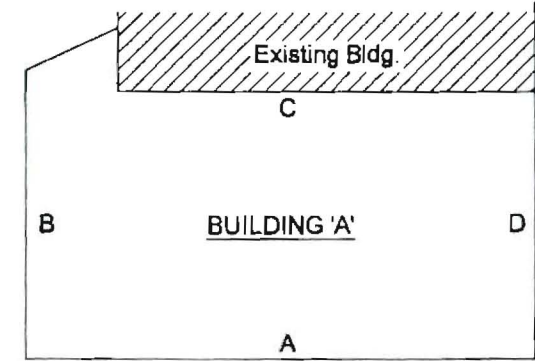
CUSTOMER: W B MASON PORTLAND ME.

LOCATION: PORTLAND, ME

	WIDTH	LENGTH	SWA HEIGHT	FRONT ROOF PITCH	DOWNSPOUT DROPS-SWA	DOWNSPOUT DROPS-SWC
Bldg A :	59.67	114.83	18.00	0.375	6	0

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 UPDATED DETAILS UD1-UD1
 QUALITY ASSURANCE POLICY Q1-Q1



KEY PLAN

Roof Sheeting:

Type: MSC
 Gage: 24
 Color: Galvalume

Ordered Options:

Base Condition: Base angle w/ trim
 Base Trim Color: Cherokee
 Wall Mastic: No
 UL Rating: 90
 Thermal Blocks: Yes
 Sidewall Eave Trim Type: Eave Gutter
 Eave & Gable Trim Color: Cherokee
 Downspout Type: Closed
 Downspout Color: Cherokee
 Elbows at Bottom of Drops: Yes
 Corner Trim Color: Cherokee
 Framed Opening Trim Color: Cherokee
 Light Transmitting Panels: 0

Framing Kits & Wall Openings
 See Accessory Schedule on Anchor Rod Plan, Page A1.

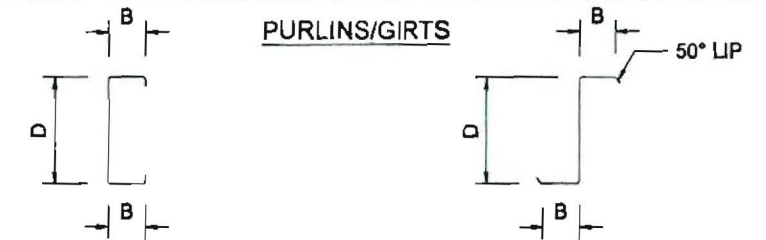
Loading Information & Frame Column Reactions
 See Load Notes and Reactions on Anchor Rod Detail Page, Page A3-A4.

Wall Sheeting:

Type: CS
 Gage: 26
 Color: Cherokee
 Finish: Kynar

Framing:

Purlin Type: Zees
 Girt Type: Ceas



DESIGNATION	D	B
816	8.00	3.00
814	8.00	3.00
812	8.00	3.00
1014	10.00	3.50
1012	10.00	3.50

DESIGNATION	D	B
816	8.00	2.50
814	8.00	2.50
812	8.00	2.50
1014	10.00	2.75
1012	10.00	2.75

Drawing Designation:
 a) Drawings stamped "PERMIT DRAWINGS" are drawings that are complete for the most part, however, since some details and part marks are missing, they are preliminary and are not to be used for construction and are not considered final drawings.
 b) Drawings stamped "PROGRESS DRAWINGS" are drawings that are complete for the most part, however, since some details and part marks are missing, they are preliminary and are not to be used for construction and are not considered final drawings.
 c) Drawings stamped "DOCUMENTS FOR APPROVAL" are preliminary drawings, used for approval with no part markings and are not to be used for construction.

GENERAL DETAIL MANUAL V 4.1

ROOF PANEL MANUAL V 6.0

SHEETING TYPES

LTC Panel	AP Panel	CFW-PANEL	FSP-PANEL	MVF/MVP-PANEL	
		REVISIONS NOTWITHSTANDING THE ADJACENT SEAL, NEITHER THE ENGINEER NAMED NOR CHIEF BUILDINGS IS ACTING AS THE ENGINEER OF RECORD. THE ENGINEER NAMED AND CHIEF BUILDINGS RESPONSIBILITY IS LIMITED TO THE STRUCTURAL PERFORMANCE OF THE PRE-ENGINEERED COMPONENTS DESIGNED BY CHIEF BUILDINGS.			
STC Panel	CS Panel				
	ENGINEER REVIEW				
MSC Panel	<table border="1"> <thead> <tr> <th>ENGINEER</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>CH</td> <td>11-DEC-09</td> </tr> </tbody> </table>				ENGINEER
ENGINEER	DATE				
CH	11-DEC-09				

RECEIVED
 DEC 17 2009
 Dept. of Building Inspections
 City of Portland Maine
TO BE USED FOR CONSTRUCTION

COVER PAGE				
TURNER BROTHERS, LLC. / W. B. MASON				
PORTLAND, ME				
2-BUILDING COMPLEX				
CHIEF BUILDINGS	DRAWN	CHECK	ORDER NO.	C1
<small>P.O. BOX 2078 GRAND ISLAND, ME 04853-0208</small>	BLO/JSA	JSA / AL	C095226	C1
	18-NOV-09	9-DEC-09		



#12 - 24 X 1 1/4" W/O

- LTC/MVF/MVP CLIP TO BAR JOIST WITH UP TO 4" THICK INSULATION.
- MEZZANINE DECKING TO BAR JOIST.



#12 - 14 X 1 1/4" W/O

- LTC/MVF/MVP CLIP TO PURLIN WITH UP TO 4" THICK INSULATION
- SUPPORT PLATE TO PURLINS AT HIP OR VALLEY CONDITIONS-LTC / MVF / MVP ROOF



1/4 - 14 X 1"

- MSC-STC-CLIP TO PURLIN (WITH UP TO 4" THICK INSULATION)
- EAVE PLATE TO PURLIN
- INSIDE CLOSURE TO EAVE PLATE OR EAVE STRUT
- CFW-18 WALL PANEL CLIP SCREW
- SUPPORT PLATE TO PURLINS AT HIP OR VALLEY CONDITIONS-MSC / STC ROOF



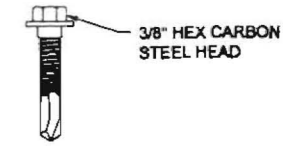
1/4 - 14 X 1 1/2"

- MSC/STC-CLIP TO PURLIN WITH OVER 4" THICK INSULATION
- SUPPORT PLATE TO PURLINS AT HIP OR VALLEY CONDITIONS-MSC / STC ROOF



1/4 - 14 X 1 1/4" SHOULDER

- MSC/STC-RAKE SUPPORT TO PURLIN
- FLOATING EAVE PLATE TO EAVE STRUT



1/4 - 20 X 1 1/4" SHOULDER

- MSC/STC-RAKE SUPPORT TO JOIST
- FLOATING EAVE PLATE TO JOIST



#12 - 24 X 1 1/2" W/O

- LTC/MVF/MVP CLIP TO BAR JOIST WITH OVER 4" THICK INSULATION



#12 - 14 X 1 1/2" W/O

- LTC/MVF/MVP CLIP TO PURLIN WITH OVER 4" THICK INSULATION
- SUPPORT PLATE TO PURLINS AT HIP OR VALLEY CONDITIONS-LTC / MVF / MVP ROOF



#12 - 24 x 1 1/2"

- MSC/STC CLIP SCREW FOR BAR JOIST
- DECKING ATTACHMENT TO BAR JOIST AND BEAMS



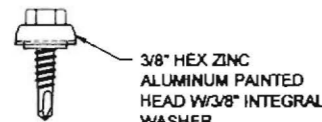
1/8" X 3/8" POP RIVET

- MSC / STC / MVF / MVP OUTSIDE CLOSURE TO BACK-UP ANGLE AT HIP CONDITION
- TRIM TO TRIM
- TRIM TO STEEL



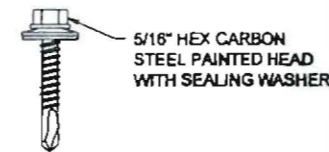
1/4 - 14 X 7/8"

- WALL OR SOFFIT PANEL: TRIM TO PANEL OR PANEL TO PANEL
- MEZZANINE DECKING AT SIDE LAPS.
- WALL OR SOFFIT PANEL: TRIM TO TRIM



1/4 - 14 X 7/8" WT

- ROOF: SHEETING TO SHEETING, TRIM TO SHEETING AND RIDGE FLASHING TO RIDGE CLOSURE



#12 - 14 X 1 1/4"

- WALL PANEL TO STEEL
- CS / AP SOFFIT PANEL TO STEEL
- DECKING TO PURLIN
- RAKE ANGLE TO PURLINS-LTC / MVF / MVP / CS ROOF



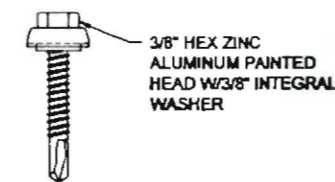
#10 - 16 X 1" PANCAKE HEAD

- RAKE ANGLE TO PURLINS-MSC / STC ROOF
- CORNER ANGLE TO GIRTS
- FLAT STRAPS TO PURLINS
- FLAT SOFFIT TO SUPPORTS
- SUPPORT PLATE TO PURLINS AT HIP OR VALLEY CONDITIONS-CS ROOF



#17 X 3/4"

- *STRIP OUT* REPLACEMENT FASTENERS FOR WALL PANEL, SOFFIT PANEL AND TRIM



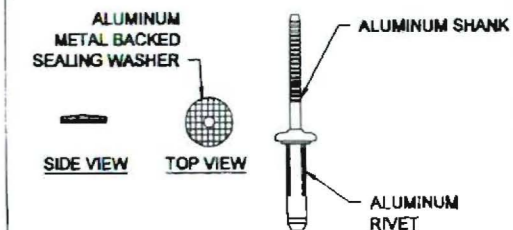
1/4 - 14 X 1 1/2" WT

- ROOF PANEL TO STEEL
- BACK-UP PANEL TO STEEL
- ROOF TRIM TO STEEL



#17 X 1" WT

- *STRIP OUT* REPLACEMENT FASTENER FOR ROOF AND BACK-UP PANEL AND TRIM



3/16" BULBTITE RIVET AND WASHER

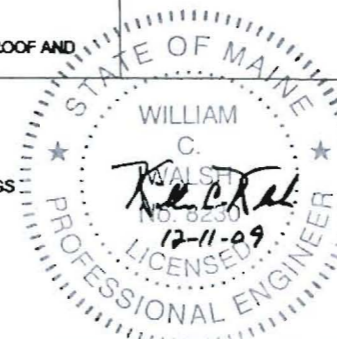
- LTC-VERTICAL RIBS OF PANEL
- LIGHT TRANSMITTING PANEL TO LIGHT TRANSMITTING PANEL SIDE LAP
- WINDOWS BY CHIEF TO WINDOW JAMBS

NOTE: THE DETAILS ON THIS PAGE OVERRIDE DETAILS IN THE ERECTION MANUALS.

REVISIONS

4	
3	
2	
1	

NOTWITHSTANDING THE ADJACENT SEAL, NEITHER THE ENGINEER NAMED NOR CHIEF BUILDINGS IS ACTING AS THE ENGINEER OF RECORD. THE ENGINEER NAMED AND CHIEF BUILDINGS RESPONSIBILITY IS LIMITED TO THE STRUCTURAL PERFORMANCE OF THE PRE-ENGINEERED COMPONENTS DESIGNED BY CHIEF BUILDINGS.



FASTENER IDENTIFICATION GD

TURNER BROTHERS, LLC. / W.B. MASON PORTLAND ME

PORTLAND, ME

2-BUILDING COMPLEX



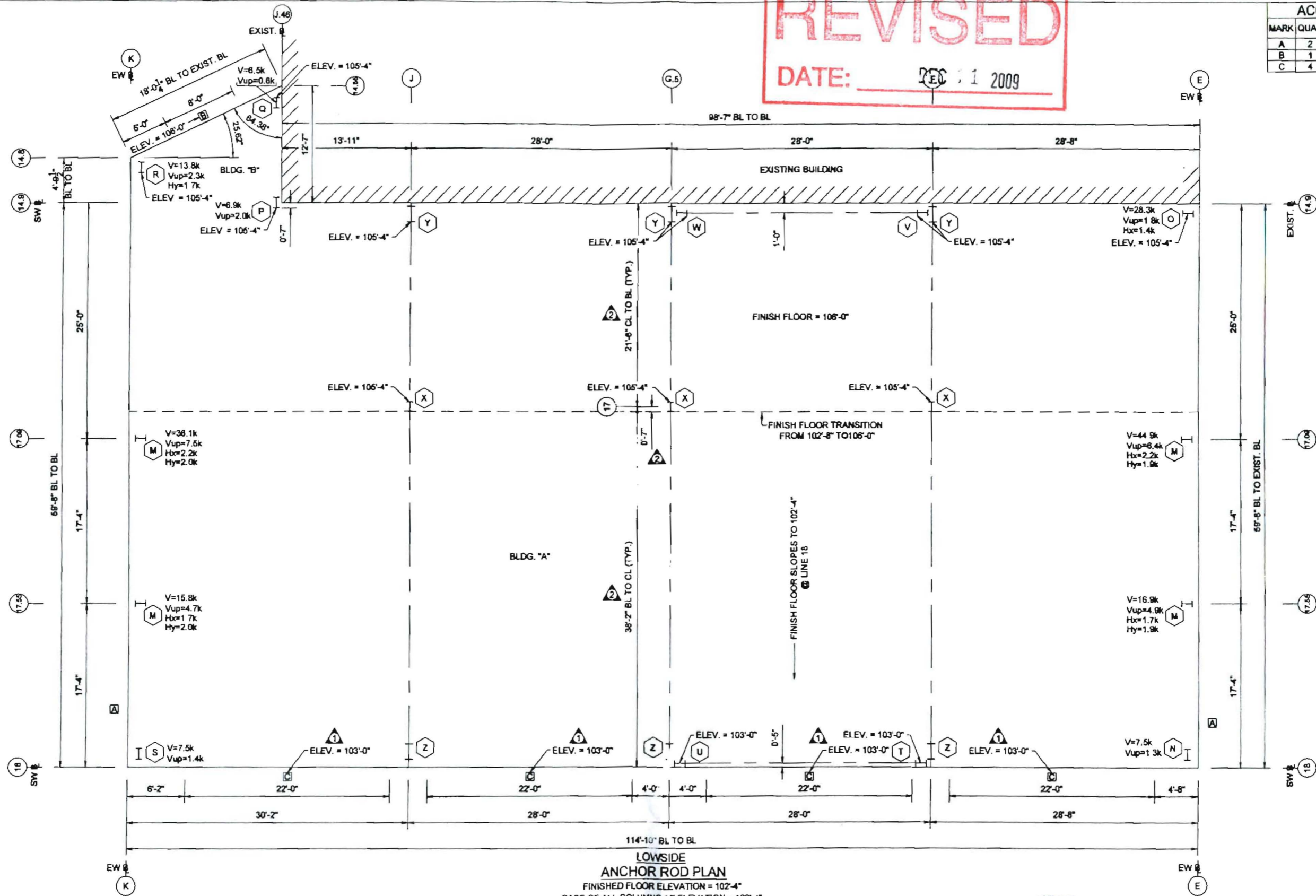
DRAWN	CHECK	ORDER NO.	G1
BLO	AL	C095226	G1
24-NOV-09	9-DEC-09		

RELEASED	10-23-08
SUPERSEDES	09-10-08

REVISED

DATE: DEC 1 2009

ACCESSORY SCHEDULE		
MARK	QUAN	DESCRIPTION
A	2	3070 WALKDOOR F.O.
B	1	8'-0" X 9'-0" OVERHEAD DOOR F.O.
C	4	22'-0" X 12'-4" OVERHEAD DOOR F.O.

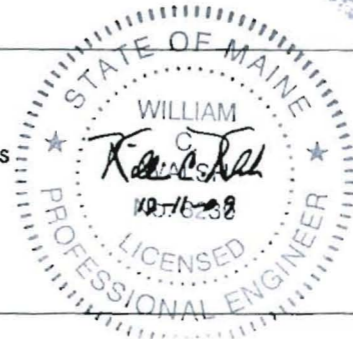


LOWSIDE ANCHOR ROD PLAN
 FINISHED FLOOR ELEVATION = 102'-4"
 BASE OF ALL COLUMNS AT ELEVATION = 102'-4"
 BASE OF FRAME OPENING JAMBS AT ELEVATION = 102'-4"
 (UNLESS OTHERWISE NOTED)

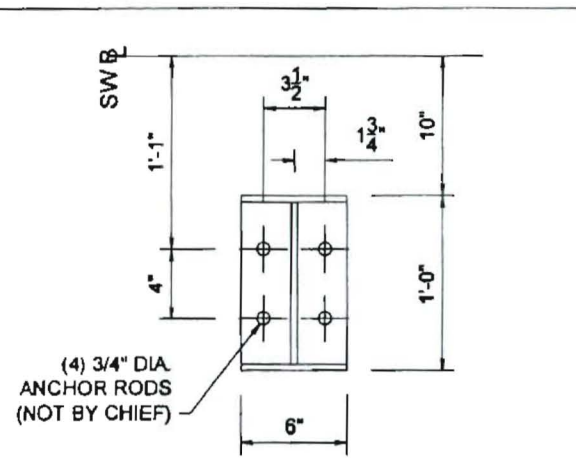
- REFERENCE NOTES:**
- ALL ANCHOR RODS INCLUDING NUTS AND WASHERS FOR SAME ARE NOT FURNISHED BY CHIEF BUILDINGS.
 - ANCHOR ROD MATERIAL SHALL CONFORM TO ASTM F1554 HAVING A YIELD OF 36 KSI OR GREATER.
 - ROD PROJECTIONS ARE RECOMMENDED MINIMUMS BASED ON THE BASE PLATE BEARING DIRECTLY ON THE CONCRETE PIER. IF THE BASE PLATE IS TO BEAR ON GRDUT, THE ROD PROJECTION MUST BE INCREASED ACCORDINGLY
 - CONCRETE SHALL HAVE A MINIMUM STRENGTH OF 3000 PSI.
 - ALL DRAWINGS ARE NOT TO SCALE.

ANCHOR RODS (BY OTHERS)			REVISIONS	
QUAN	SIZE	PROJ	NO.	DESCRIPTION
30	0-1/2" Ø	1 1/2"	4	
92	0-3/4" Ø	2"	3	
			2	REVISED PER CHANGE ORDER #3 11-DEC-09 JSA
			1	REVISED PER CHANGE ORDER #1 18-NOV-09 BLO

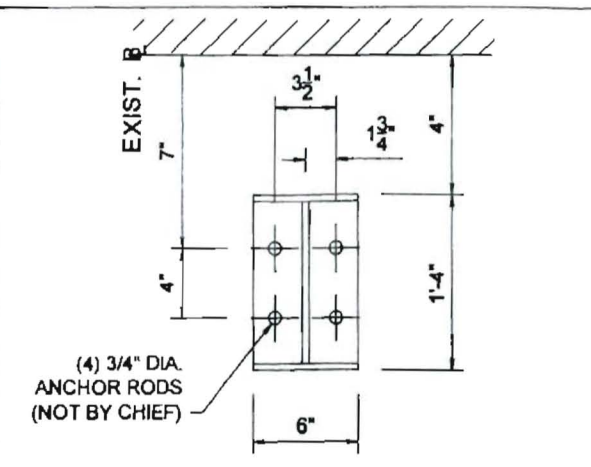
NOTWITHSTANDING THE ADJACENT SEAL, NEITHER THE ENGINEER NAMED NOR CHIEF BUILDINGS IS ACTING AS THE ENGINEER OF RECORD. THE ENGINEER NAMED AND CHIEF BUILDINGS RESPONSIBILITY IS LIMITED TO THE STRUCTURAL PERFORMANCE OF THE PRE-ENGINEERED COMPONENTS DESIGNED BY CHIEF BUILDINGS.



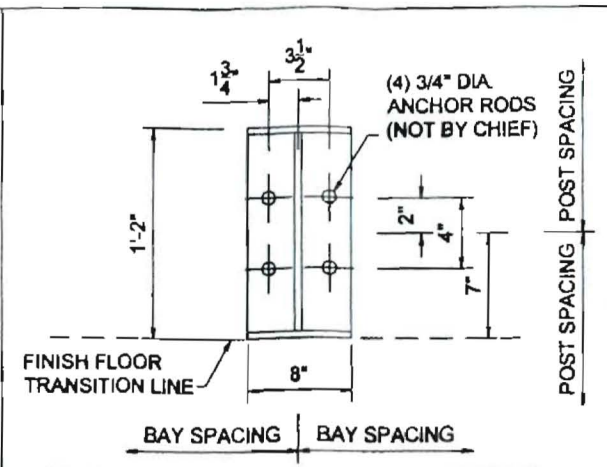
ANCHOR ROD DRAWINGS				
TURNER BROTHERS, LLC. / W. B. MASON PORTLAND ME				
PORTLAND, ME				
2-BUILDING COMPLEX				
DRAWN BLO	CHECK JSA	ORDER NO.	A1	
		17-NOV-09	17-NOV-09	CO95226
A4				



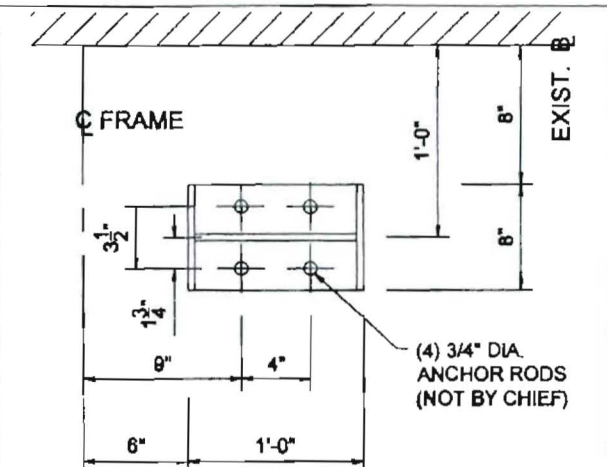
DETAIL Z



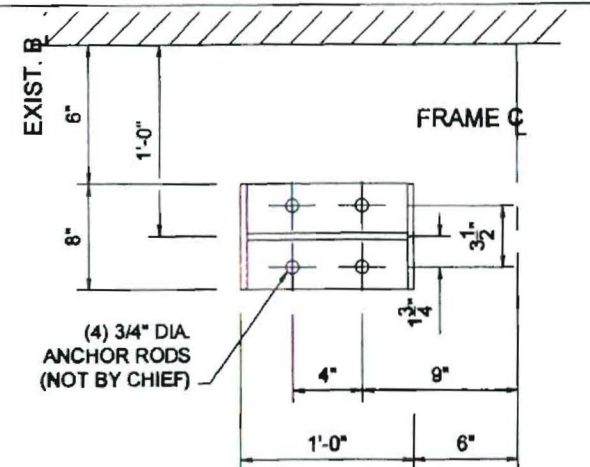
DETAIL Y



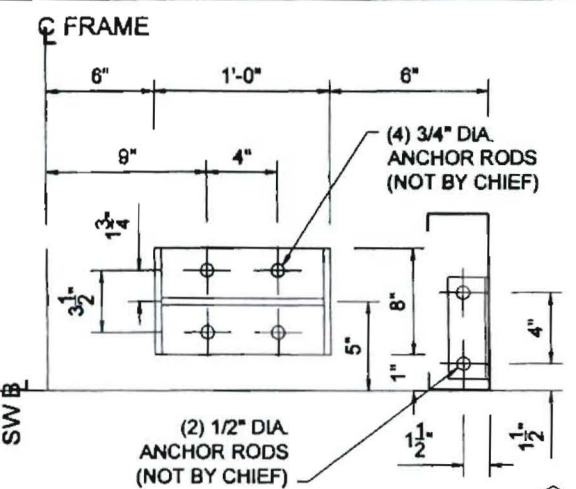
DETAIL X



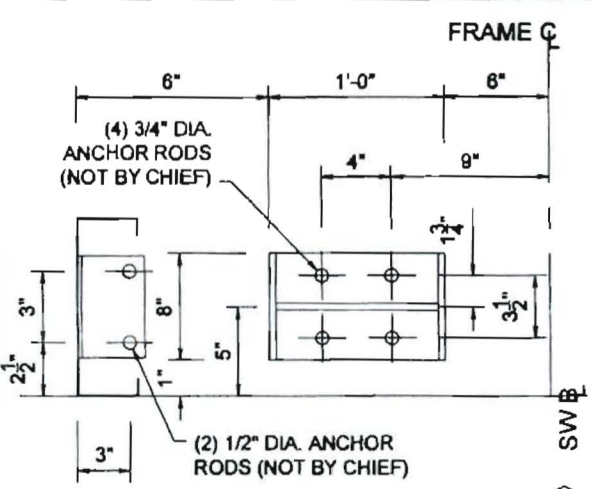
DETAIL W



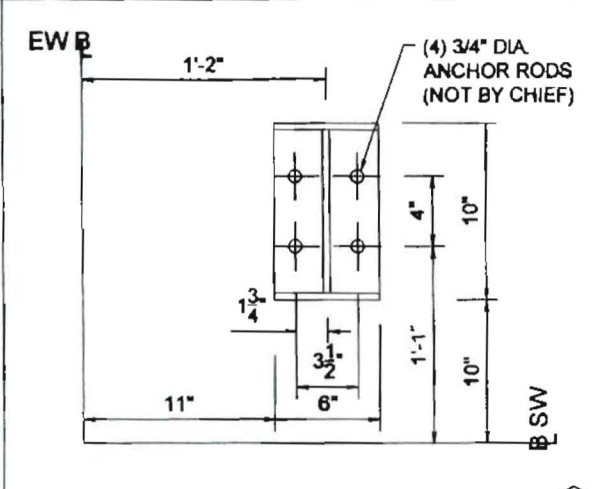
DETAIL V



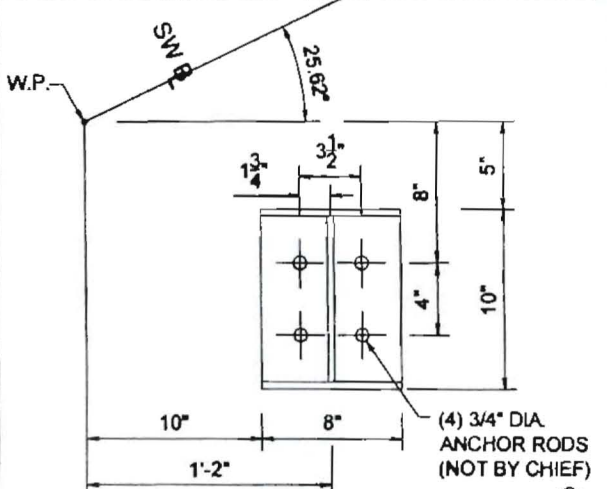
DETAIL C



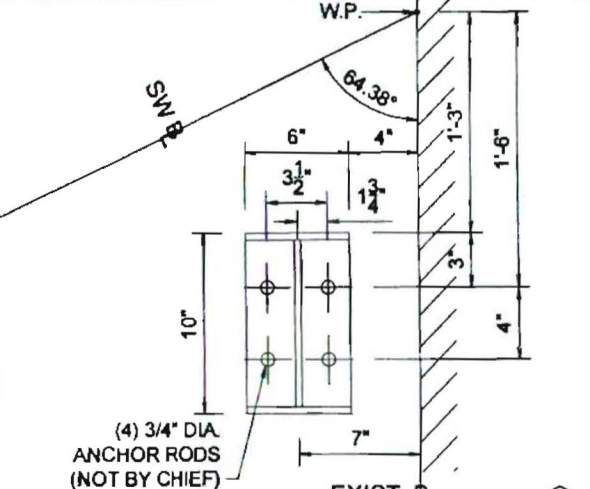
DETAIL T



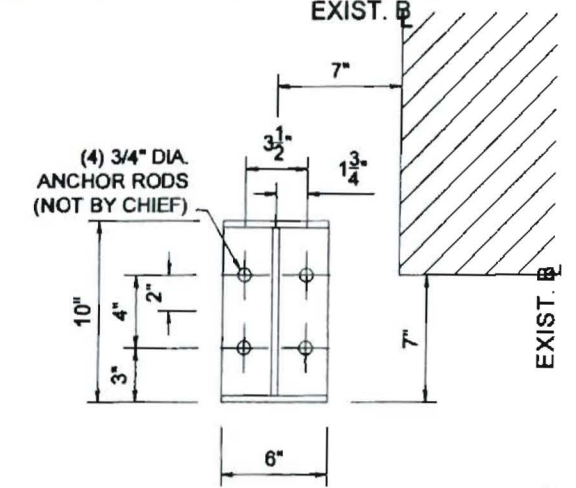
DETAIL S



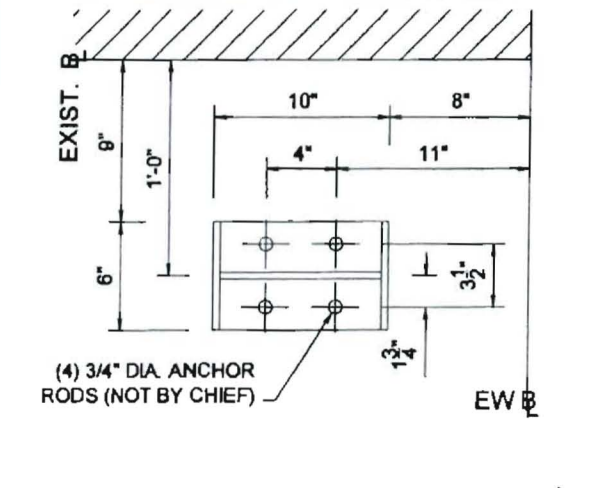
DETAIL R



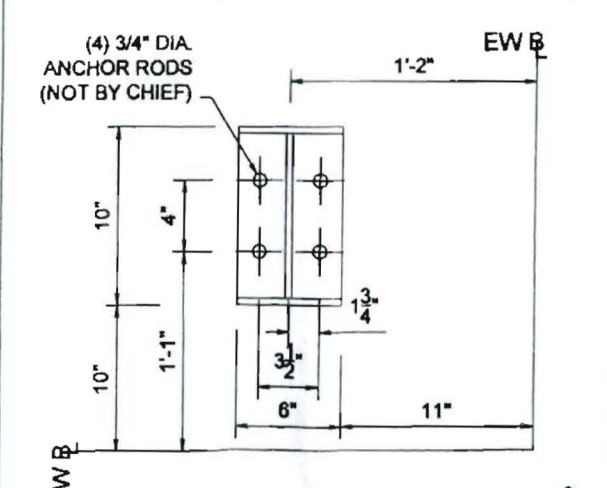
DETAIL Q



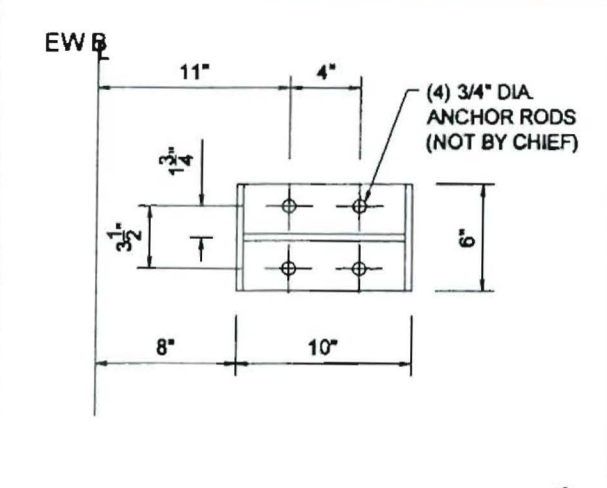
DETAIL P



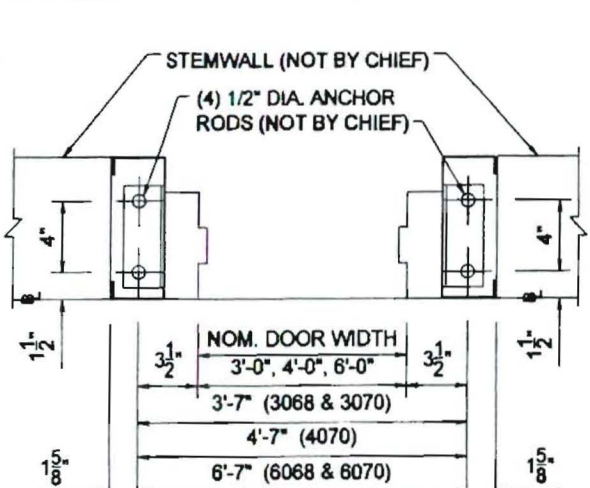
DETAIL O



DETAIL N



DETAIL M



WALK DOOR ANCHOR ROD DETAIL

REFERENCE NOTES
1 ACTUAL BASE PLATE DIMENSIONS MAY BE SMALLER THAN BASE PLATE DIMENSIONS SHOWN.

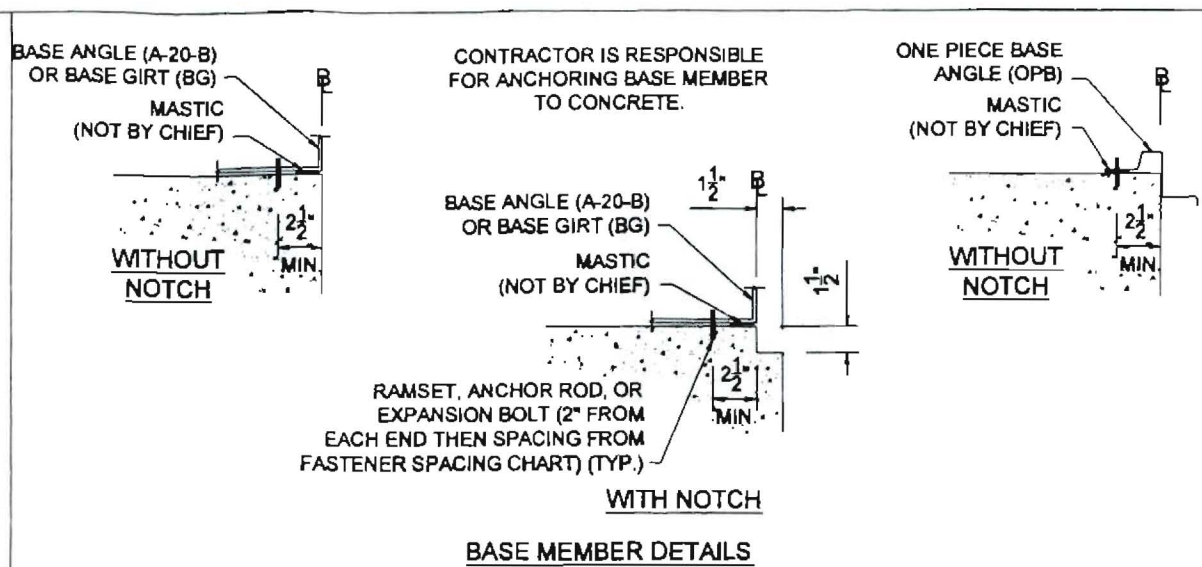
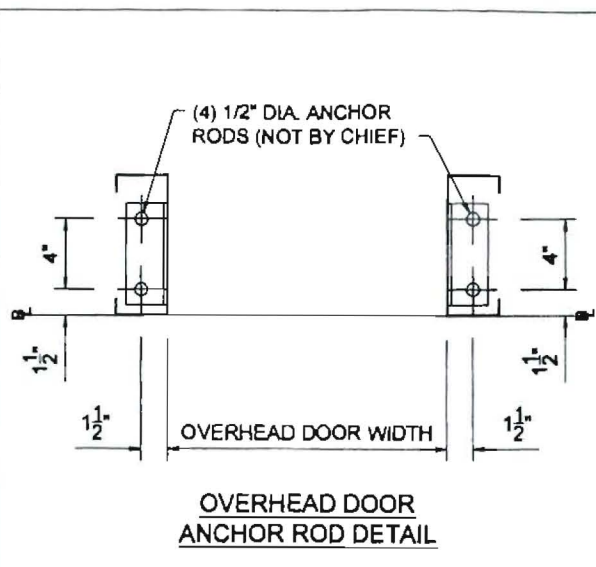
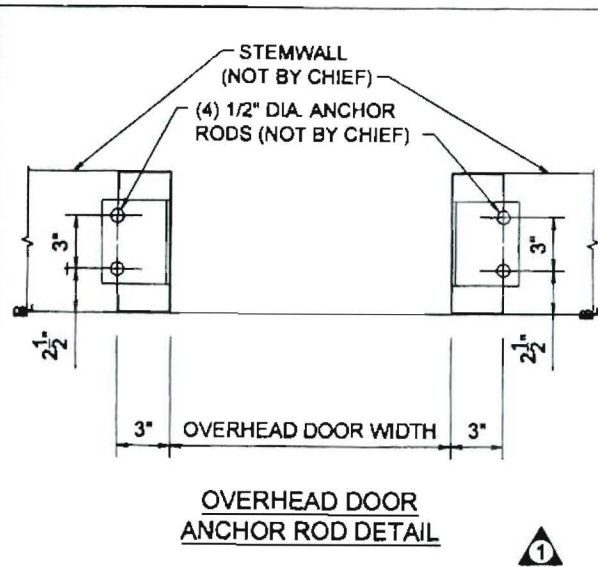
REVISED
DATE: DEC 11 2009

REVISIONS	
4	REVISED PER C. O. #3 & FIXED DETAIL T JSA 11-DEC-09
3	
2	
1	

NOTWITHSTANDING THE ADJACENT SEAL, NEITHER THE ENGINEER NAMED NOR CHIEF BUILDINGS IS ACTING AS THE ENGINEER OF RECORD. THE ENGINEER NAMED AND CHIEF BUILDINGS RESPONSIBILITY IS LIMITED TO THE STRUCTURAL PERFORMANCE OF THE PRE-ENGINEERED COMPONENTS DESIGNED BY CHIEF BUILDINGS.

STATE OF MAINE
WILLIAM K. JACOBSON
11/11/09
No. 8230
LICENSED PROFESSIONAL ENGINEER

ANCHOR ROD DRAWINGS			
TURNER BROTHERS, LLC. / W. B. MASON PORTLAND ME			
PORTLAND, ME			
2-BUILDING COMPLEX			
CHIEF BUILDINGS	DRAWN	CHECK	ORDER NO.
	BLO	JSA	A2
	17-NOV-09	17-NOV-09	CO95226
			A4



BASE ANCHORAGE SPACING FOR STANDARD BASE ANGLE, BASE GIRT OR ONE PIECE BASE WITH CS OR AP WALLS		
FASTENER TYPE & DIAMETER	MINIMUM EMBEDMENT	MAXIMUM SPACING
1/4" WEDGE ANCHOR ①	1 1/4"	3'-0"
1/4" SCREW TYPE ANCHOR ②	1 1/2"	3'-0"
3/8" CAST-IN ANCHOR	4" WITH HOOK OR HEAD	3'-0"
1/4" HAMMER-IN ③	1 3/8"	2'-0"
0.14" POWDER ACTUATED ④	1 1/4"	1'-6"

① HILTI KWIK BOLT®, RAMSET TRIBOLT®, POWERS POWERSTUD®, OR EQUAL
 ② CFS TAPCON®, HILTI KWIK-CON III®, POWERS WEDGE-BOLT®, OR EQUAL
 ③ POWERS ZAMAC HAMMER SCREW®, HILTI METAL HIT ANCHOR®, OR EQUAL
 ④ POWERS BALLISTIC POINT PIN, RAMSET 1500/1600 SERIES, HILTI UNIVERSAL NAIL OR EQUAL

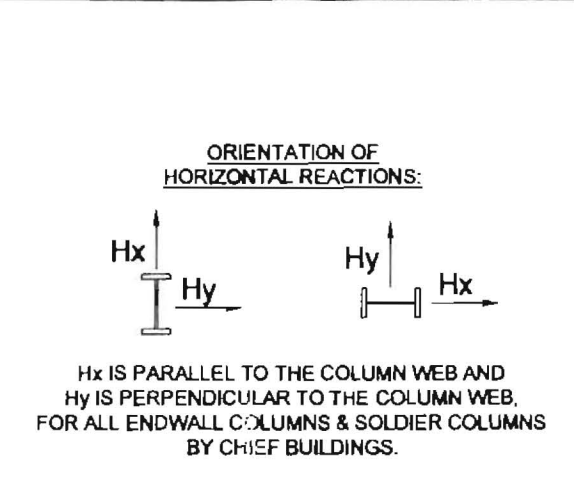
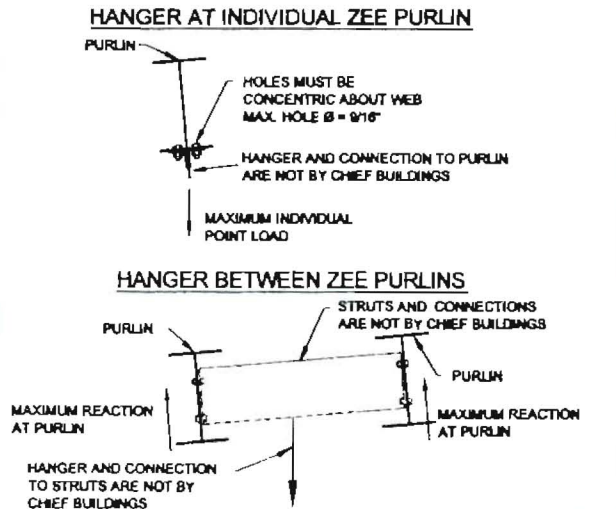
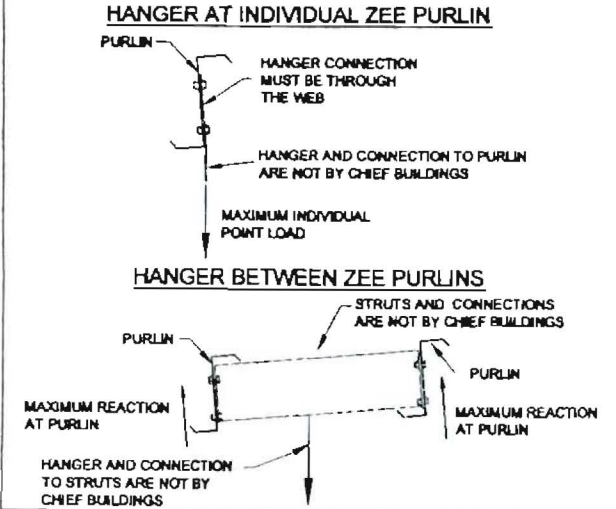
FASTENER SPACING CHART

This building has been designed for a collateral load of 5 psf. The total applied loads due to ceiling panels, ducts, sprinkler distribution lines, electrical equipment, conduit, fireproofing, other piping and mechanical loads, etc., cannot exceed this collateral load. In no case shall the total uniform collateral load on an individual roof member exceed the product of 5 psf times the spacing of the supporting member. Nor shall any individual point load or summation of point loads on any one roof member exceed the product of 5 psf times the member spacing times half the member length. In addition, no individual point load on a purlin can exceed 100 lbs. All loads suspended from purlins shall have the load introduced through the web and not the flange of the purlin. Hangers cannot be supported from the edge of flanges or through holes in the flanges of the purlins. Design of hangers and their attachments are not by Chief Buildings. Chief Buildings is NOT responsible for lateral or longitudinal bracing of suspended members subjected to horizontal service, seismic, or wind loading.

This building has been designed for a collateral load of 5 psf. The total applied loads due to ceiling panels, ducts, sprinkler distribution lines, electrical equipment, conduit, fireproofing, other piping and mechanical loads, etc., cannot exceed this collateral load. In no case shall the total uniform collateral load on an individual roof member exceed the product of 5 psf times the spacing of the supporting member. Nor shall any individual point load or summation of point loads on any one roof member exceed the product of 5 psf times the member spacing times half the member length. In addition, no individual point load on a purlin can exceed 300 lbs. All loads suspended from purlins shall have the load introduced through the web and not the flange of the purlin. Hangers cannot be supported from the edge of flanges. Maximum 9/16" diameter holes can be drilled in the flanges of the WF purlins for support clips (not by Chief Buildings.) Design of hangers and their attachments are not by Chief Buildings. Chief Buildings is NOT responsible for lateral or longitudinal bracing of suspended members subjected to horizontal service, seismic, or wind loading.

Chief Buildings neither assumes nor accepts any responsibility for the design of hangers, bracing of suspended members, transverse support members, nor connections to roof purlins. It is the responsibility of the Buyer/Contractor and/or End Owner to have this design performed by a registered design professional.

Chief Buildings neither assumes nor accepts any responsibility for the design of hangers, bracing of suspended members, transverse support members, nor connections to roof purlins. It is the responsibility of the Buyer/Contractor and/or End Owner to have this design performed by a registered design professional.



1. COLUMN FOOTINGS AND PIERS MUST BE DESIGNED TO WITHSTAND HORIZONTAL AND VERTICAL REACTIONS AS SHOWN ON THE ANCHOR ROD PLAN. CHIEF BUILDINGS IS NOT RESPONSIBLE FOR DESIGN OF CONCRETE FOUNDATION. CHIEF BUILDINGS RECOMMENDS THAT THE SERVICES OF A QUALIFIED ENGINEER IS OBTAINED BY THE CONTRACTOR / BUILDER TO DESIGN THE FOUNDATIONS FOR THE INDICATED REACTIONS.
2. REACTIONS ARE GIVEN IN KIPS. (1 KIP = 1000 LBS.) MOMENTS, IF ANY, ARE GIVEN IN KIP-FT.
3. ANCHOR ROD DESIGN IS BASED ON SHEAR, TENSION, AND COMBINED TENSION AND SHEAR. CHIEF BUILDINGS IS NOT RESPONSIBLE FOR ANCHOR ROD SIZE RECOMMENDATIONS WHEN ANCHOR ROD CONFIGURATION PLACES THE RODS IN A BENDING MODE. WHEN THE COLUMN BASE PLATE BEARS ON GROUT, THE CONTRACTOR / BUILDER OR FOUNDATION ENGINEER SHALL INVESTIGATE BENDING IN THE ANCHOR RODS AND PROVIDE A SHEAR KEY FOR THE COLUMN BASE TO THE PIER WHEN THE ANCHOR RODS ARE NOT ADEQUATE IN BENDING ABOUT THE PIER.

Building Design Criteria CO95226	
Building Code	IBC 2003
2002 MBMA Occupancy Category	Standard Buildings
Roof Live Load	20 psf (Tributary Area Reduction Allowed)
Collateral Load	5 psf
Ground Snow Load (Pg)	70 psf
Exposure Factor (Ce)	1.0
Thermal Factor (Ct)	1.0
Importance Factor (I)	1.0
Flat Roof Snow Load (Pf)	49 psf
Building Enclosure	Enclosed
Wind Speed	94 mph (GCpi ± 0.18)
Exposure Category	B
Importance Factor (I)	1.0
Wind Pressure (q)	13.46 psf
Seismic	
Spectral Response Short Periods (Ss)	37.0%
Spectral Response 1 s Period (S1)	10.0%
Seismic Importance Factor	1.0
Use Group	I
Design Category	C
Site Class	D
Seismic Resisting System	
Longitudinal Direction	Steel System (R=3.0)
Lateral Direction	Steel System (R=3.0)
Seismic Response Coefficient (Cs)	0.124
Spectral Response Parameter Short Period (SDS)	0.371
Spectral Response Parameter 1 s Period (SD1)	0.160
Analysis Procedure	ELF
Base Shear	19,218 lbs.
Other Loads:	None

REFERENCE NOTES

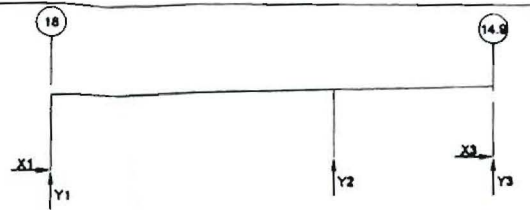
1 ACTUAL BASE PLATE DIMENSIONS MAY BE SMALLER THAN BASE PLATE DIMENSIONS SHOWN.

REVISIONS	
④	
③	
②	
①	REVISED PER CHANGE ORDER #1 18-NOV-09 BLO

NOTWITHSTANDING THE ADJACENT SEAL, NEITHER THE ENGINEER NAMED NOR CHIEF BUILDINGS IS ACTING AS THE ENGINEER OF RECORD. THE ENGINEER NAMED AND CHIEF BUILDINGS RESPONSIBILITY IS LIMITED TO THE STRUCTURAL PERFORMANCE OF THE PRE-ENGINEERED COMPONENTS DESIGNED BY CHIEF BUILDINGS.

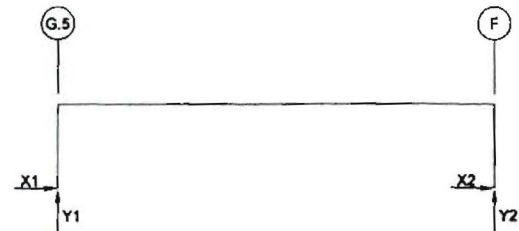


ANCHOR ROD DRAWINGS			
TURNER BROTHERS, LLC. / W. B. MASON PORTLAND ME			
PORTLAND, ME			
2-BUILDING COMPLEX			
DRAWN BLO	CHECK JSA	ORDER NO.	A3
		CO95226	A4
17-NOV-09	17-NOV-09		



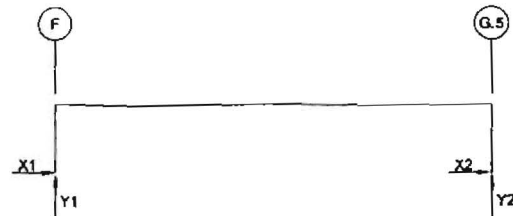
LOAD TYPE	X1	Y1	Y2	X3	Y3
DL - DEAD LOAD	0.2	2.6	5.6	-0.2	1.0
COL- COLLATERAL	0.3	2.4	5.4	-0.3	0.7
LL - LIVE LOAD	0.8	8.7	13.0	-0.8	1.7
SL - SNOW LOAD	3.2	22.0	84.3	-3.2	46.1
WLL- WIND FROM LEFT	-1.8	-5.4	-11.4	-1.9	0.4
WLR- WIND FROM RIGHT	1.5	-3.2	-7.1	3.0	-2.3
WLR- WIND LT CASE 2	-2.4	-3.1	-6.3	-1.6	1.3
WLR- WIND RT CASE 2	0.8	-1.0	-2.0	3.3	-1.4
WLE- WIND ON ENDWALL	1.1	-6.8	-12.8	-0.2	-2.0
WE2- EW WIND CASE 2	1.2	-5.4	-13.0	-0.2	-3.3
LLA	0.5	5.6	9.0	-0.6	-1.8
LLB	0.1	-0.2	4.0	-0.1	3.5
SEI- SEISMIC LOAD	-1.3	-0.4	-2.0	-3.6	2.4
MAXIMUM POSITIVE	4.0	26.9	85.3	3.2	46.8
MAXIMUM NEGATIVE	-2.2	-5.3	-9.6	-4.3	-2.8

CO95226A01 REACTIONS USED AT LINE(S): J, O.5, & F



LOAD TYPE	X1	Y1	X2	Y2
DL - DEAD LOAD	0.1	0.6	-0.1	0.6
WLL- WIND FROM LEFT	-1.4	-1.5	-1.4	1.6
WLR- WIND FROM RIGHT	1.4	1.5	1.4	-1.6
SEL- SEISMIC LOAD	-4.5	-4.8	-4.5	4.8
SER- SEISMIC LOAD	4.5	4.8	4.5	-4.8
MAXIMUM POSITIVE	3.3	4.0	3.1	4.0
MAXIMUM NEGATIVE	-3.1	-3.0	-3.3	-3.0

CO95226AA1 REACTIONS USED AT LINE(S): 18



LOAD TYPE	X1	Y1	X2	Y2
DL - DEAD LOAD	0.1	0.6	-0.1	0.6
WLL- WIND FROM LEFT	-2.1	-2.1	-2.1	2.1
WLR- WIND FROM RIGHT	2.1	2.1	2.1	-2.1
SEL- SEISMIC LOAD	-4.6	-4.7	-4.6	4.7
SER- SEISMIC LOAD	4.6	4.7	4.6	-4.7
MAXIMUM POSITIVE	3.3	4.0	3.2	4.0
MAXIMUM NEGATIVE	-3.2	-3.0	-3.3	-3.0

CO95226AC1 REACTIONS USED AT LINE(S): 14.9

- CHIEF BUILDINGS IS NOT RESPONSIBLE FOR CONCRETE AND/OR MASONRY DESIGN, DIMENSIONS & REINFORCING STEEL DETAILS. CHIEF BUILDINGS RECOMMENDS THE CONTRACTOR/BUILDER TO OBTAIN THE SERVICES OF A QUALIFIED DESIGN ENGINEER FOR DESIGNS & DRAWINGS OF MASONRY OR CONCRETE WALL, FLOORS, & FOUNDATIONS TO WITHSTAND THE COLUMN REACTIONS INDICATED ON THE A.B. PLAN. CONCRETE OR MASONRY WALLS SHALL ALSO BE DESIGNED TO WITHSTAND WIND/SEISMIC LOAD ON THE WALL & BASE OF BLDG. WALL PANEL.
- WHEN ENDWALL POST & CORNER POST REACTIONS ARE NOT INDICATED, THE CONTRACTOR/BUILDER &/OR CONCRETE DESIGN ENGINEER SHALL DETERMINE THE REACTIONS FROM THE SPECIFIED LIVE LOADS, WIND/SEISMIC LOAD, AND ANY APPLICABLE AUXILIARY LOADS.
- CONCRETE AND/OR MASONRY ELEV. INDICATED ARE PER THE AGREEMENT TO PURCHASE/CUSTOMER DRAWINGS RECEIVED FROM THE CONTRACTOR/BUILDER.

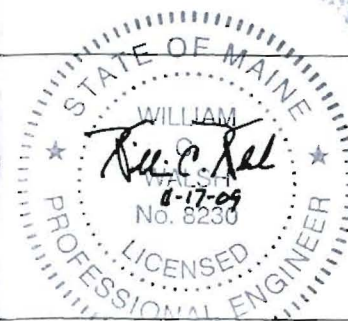
REFERENCE NOTES

- ACTUAL BASE PLATE DIMENSIONS MAY BE SMALLER THAN BASE PLATE DIMENSIONS SHOWN.

REVISIONS

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NOTWITHSTANDING THE ADJACENT SEAL, NEITHER THE ENGINEER NAMED NOR CHIEF BUILDINGS IS ACTING AS THE ENGINEER OF RECORD. THE ENGINEER NAMED AND CHIEF BUILDINGS RESPONSIBILITY IS LIMITED TO THE STRUCTURAL PERFORMANCE OF THE PRE-ENGINEERED COMPONENTS DESIGNED BY CHIEF BUILDINGS.

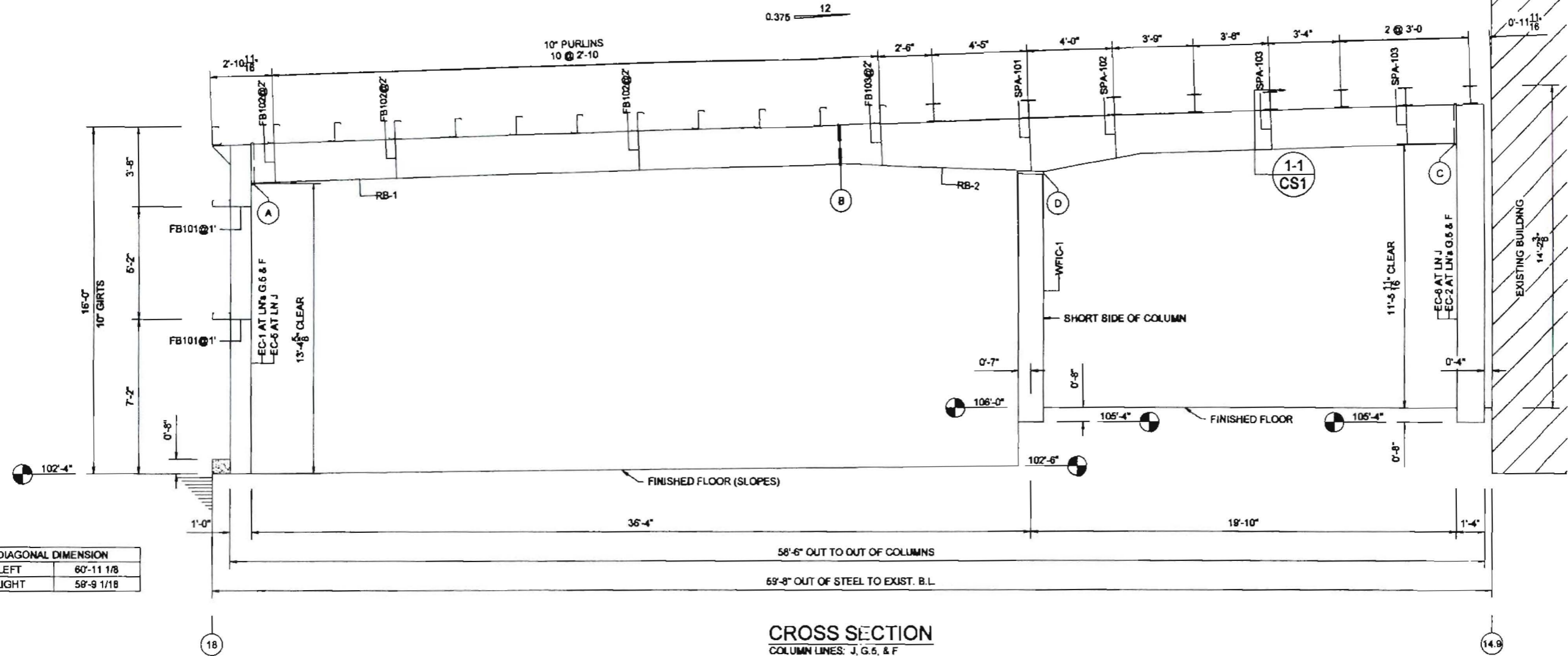


ANCHOR ROD DRAWINGS

TURNER BROTHERS, LLC. / W. B. MASON PORTLAND ME
PORTLAND, ME

2-BUILDING COMPLEX

CHIEF BUILDINGS a Division of Chief Industries, Inc. P.O. BOX 2075 GRAND ISLAND, ME 04042-2075	DRAWN	CHECK	ORDER NO.	A4
	BLO	JSA	CO95226	A4
	17-NOV-09	17-NOV-09		



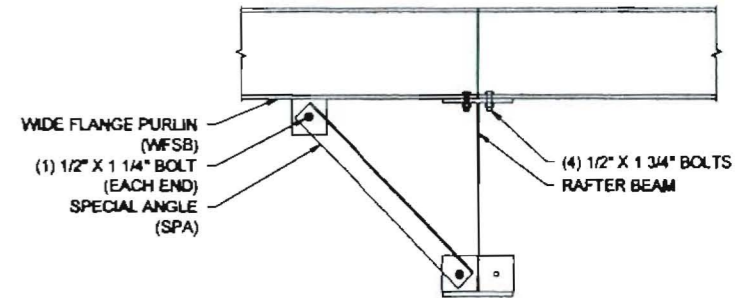
DIAGONAL DIMENSION	
LEFT	60'-11 1/8"
RIGHT	58'-9 1/18"

CROSS SECTION
COLUMN LINES: J, G.5, & F

REFERENCE NOTES

- BOLTING RECOMMENDATIONS**—ALL HIGH STRENGTH BOLTS ARE A-325 WITH HEAVY HEX NUTS AND ARE TO BE INSTALLED USING THE SNUG TIGHT METHOD SPECIFIED IN THE 'SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 BOLTS', PUBLISHED BY RCSC, DATED JUNE 30, 2004. SNUG TIGHT CONDITION IS ATTAINED WITH A FEW IMPACTS OF AN IMPACT WRENCH OR THE FULL EFFORT OF AN IRON WORKER USING AN ORDINARY SPUD WRENCH TO BRING THE PLIES INTO FIRM CONTACT.
- BOLT SPECIFICATIONS** — ALL BOLTS SPECIFIED THROUGHOUT THESE DRAWINGS WILL BE HIGH STRENGTH BOLTS CONFORMING TO ASTM A325 BOLT SPECIFICATIONS. SUBSTITUTION OF MILD STEEL BOLTS WILL NOT BE ALLOWED, AND ANY FIELD SUBSTITUTION WILL VOID THE DESIGN WARRANTY.
- NUT SPECIFICATIONS** — NUTS SPECIFIED THROUGHOUT THESE DRAWINGS WILL BE HIGH STRENGTH NUTS CONFORMING TO ASTM A194 GRADE 2 OR 2H, OR ASTM A563 GRADE C, D, OR DH NUT SPECIFICATIONS. SUBSTITUTION OF MILD STEEL NUTS WILL NOT BE ALLOWED, AND ANY FIELD SUBSTITUTION WILL VOID THE DESIGN WARRANTY.
- ALL ELEVATION DIMENSIONS** ARE TAKEN FROM BOTTOM OF FRAME COLUMN BASE PLATE. REFER TO ANCHOR ROD DRAWING FOR BASE OF COLUMN ELEVATION.
- TEMPORARY BRACING** SHALL BE INTRODUCED WHEREVER NECESSARY TO TAKE CARE OF ALL LOADS IMPOSED UPON THE STRUCTURE DURING THE ERECTION PROCESS.
- ALL DIMENSIONS** ARE IN INCHES UNLESS OTHERWISE MARKED.
- ALL DRAWINGS** ARE NOT TO SCALE.
- NOTE** * REFER TO GENERAL DETAILS AND SECTIONS FOR ROOF SHEET OVERHANG AND SPLICE LAP DIMENSIONS.
- FLANGE BRACES** ARE REQUIRED ONLY ON ONE SIDE OF FRAME, EXCEPT THOSE FLANGE BRACES THAT ARE PRECEDED WITH A (2)FB.. ARE REQUIRED ON BOTH SIDES OF THE FRAME.
- EAVE HEIGHT DIMENSION** IS NOT ALWAYS TO THE TOP OF THE EAVE STRUT. DUE TO THERMAL BLOCK SITUATIONS, EAVE HEIGHT DIMENSION AND TOP GIRT SPACE DIMENSION MAY BE TO THE INTERSECTION OF THE TOP OF THE PURLINS. REFER TO THE EAVE DETAILS FOR MORE INFORMATION.
- ALL WELDS** HAVE A MINIMUM CHARPY V-NOTCH TOUGHNESS OF 20 FT-LBF AT MINUS 20 DEGREES F.

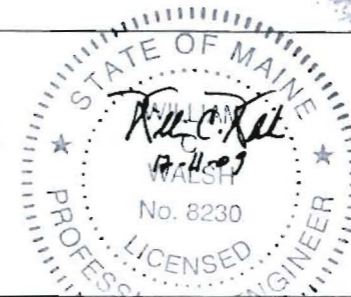
SPLICE BOLT TABLE			
SPLICE	NO	SIZE	DEPTH
A	10	5/8 X 1 1/2	1'-10
B	10	5/8 X 1 1/2	1'-10
C	10	5/8 X 1 1/2	1'-10
D	4	5/8 X 2	1'-0



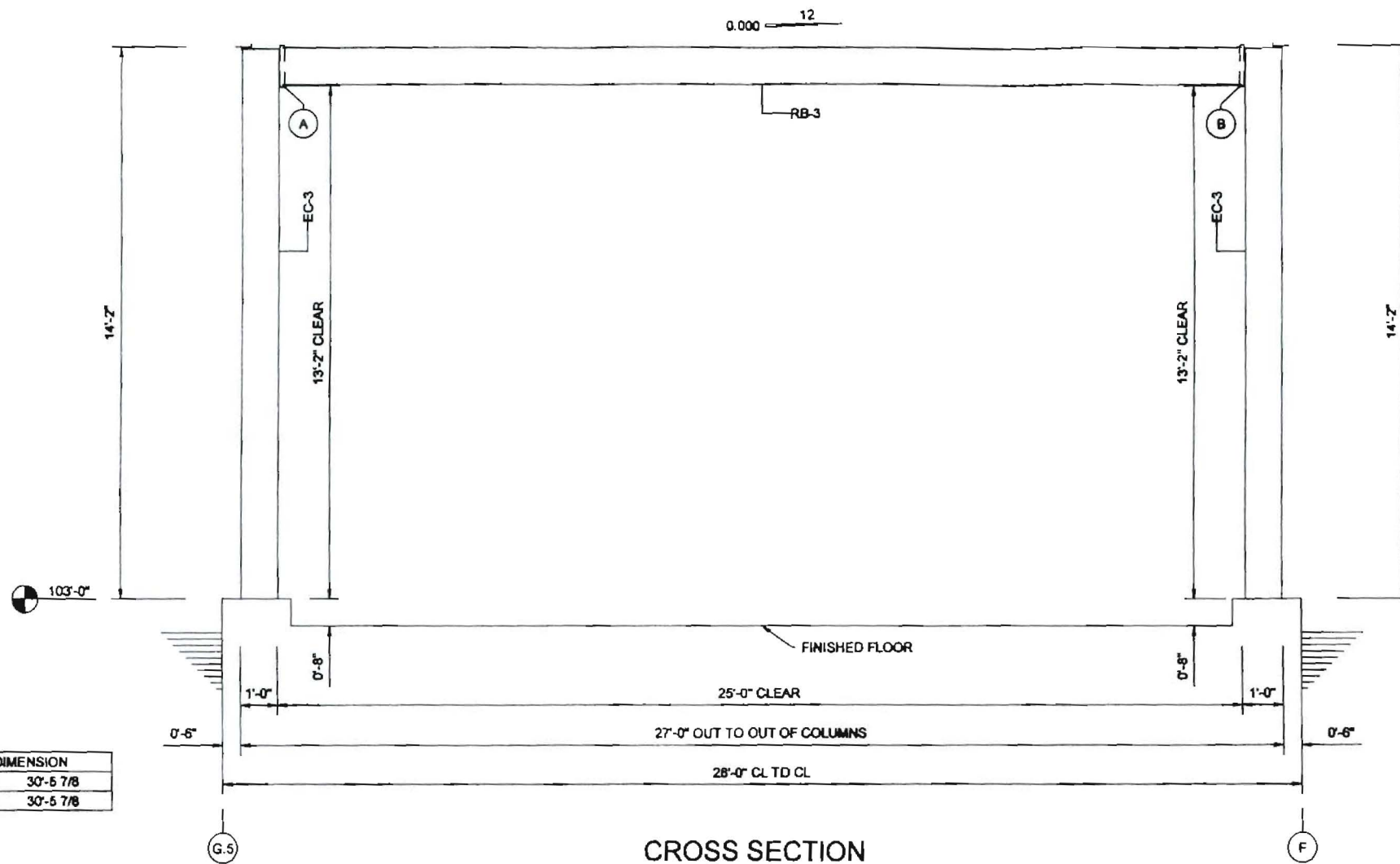
SECTION 1-1
CS1

REVISIONS	
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NOTWITHSTANDING THE ADJACENT SEAL, NEITHER THE ENGINEER NAMED NOR CHIEF BUILDINGS IS ACTING AS THE ENGINEER OF RECORD. THE ENGINEER NAMED AND CHIEF BUILDINGS RESPONSIBILITY IS LIMITED TO THE STRUCTURAL PERFORMANCE OF THE PRE-ENGINEERED COMPONENTS DESIGNED BY CHIEF BUILDINGS.



CROSS SECTION			
TURNER BROTHERS, LLC. / W. B. MASON PORTLAND ME			
PORTLAND, ME			
2-BUILDING COMPLEX			
CHIEF BUILDINGS	DRAWN	CHECK	ORDER NO.
	BLO / AL	JSA	CS1
	17-NOV-09	7-DEC-09	C095226
			CS6



DIAGONAL DIMENSION	
LEFT	30'-5 7/8
RIGHT	30'-5 7/8

CROSS SECTION
COLUMN LINES: 18

SPLICE BOLT TABLE			
SPLICE	NO	SIZE	DEPTH
A	8	5/8 X 2	1'-0
B	8	5/8 X 2	1'-0

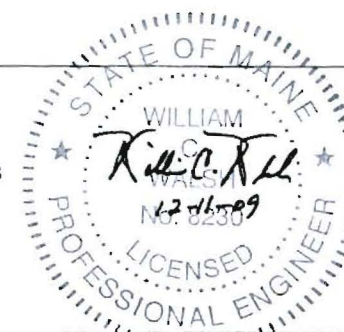
REFERENCE NOTES

- BOLTING RECOMMENDATIONS—ALL HIGH STRENGTH BOLTS ARE A-325 WITH HEAVY HEX NUTS AND ARE TO BE INSTALLED USING THE SNUG TIGHT METHOD SPECIFIED IN THE 'SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 BOLTS', PUBLISHED BY RCSC, DATED JUNE 30, 2004. SNUG TIGHT CONDITION IS ATTAINED WITH A FEW IMPACTS OF AN IMPACT WRENCH OR THE FULL EFFORT OF AN IRON WORKER USING AN ORDINARY SPUD WRENCH TO BRING THE PLIES INTO FIRM CONTACT.
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- ALL WELDS HAVE A MINIMUM CHARPY V-NOTCH TOUGHNESS OF 20 FT-LBF AT MINUS 20 DEGREES F.

FRAME: CO95226AA1 12-NOV-2009 16:50.17.85

REVISIONS	
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NOTWITHSTANDING THE ADJACENT SEAL, NEITHER THE ENGINEER NAMED NOR CHIEF BUILDINGS IS ACTING AS THE ENGINEER OF RECORD. THE ENGINEER NAMED AND CHIEF BUILDINGS RESPONSIBILITY IS LIMITED TO THE STRUCTURAL PERFORMANCE OF THE PRE-ENGINEERED COMPONENTS DESIGNED BY CHIEF BUILDINGS.

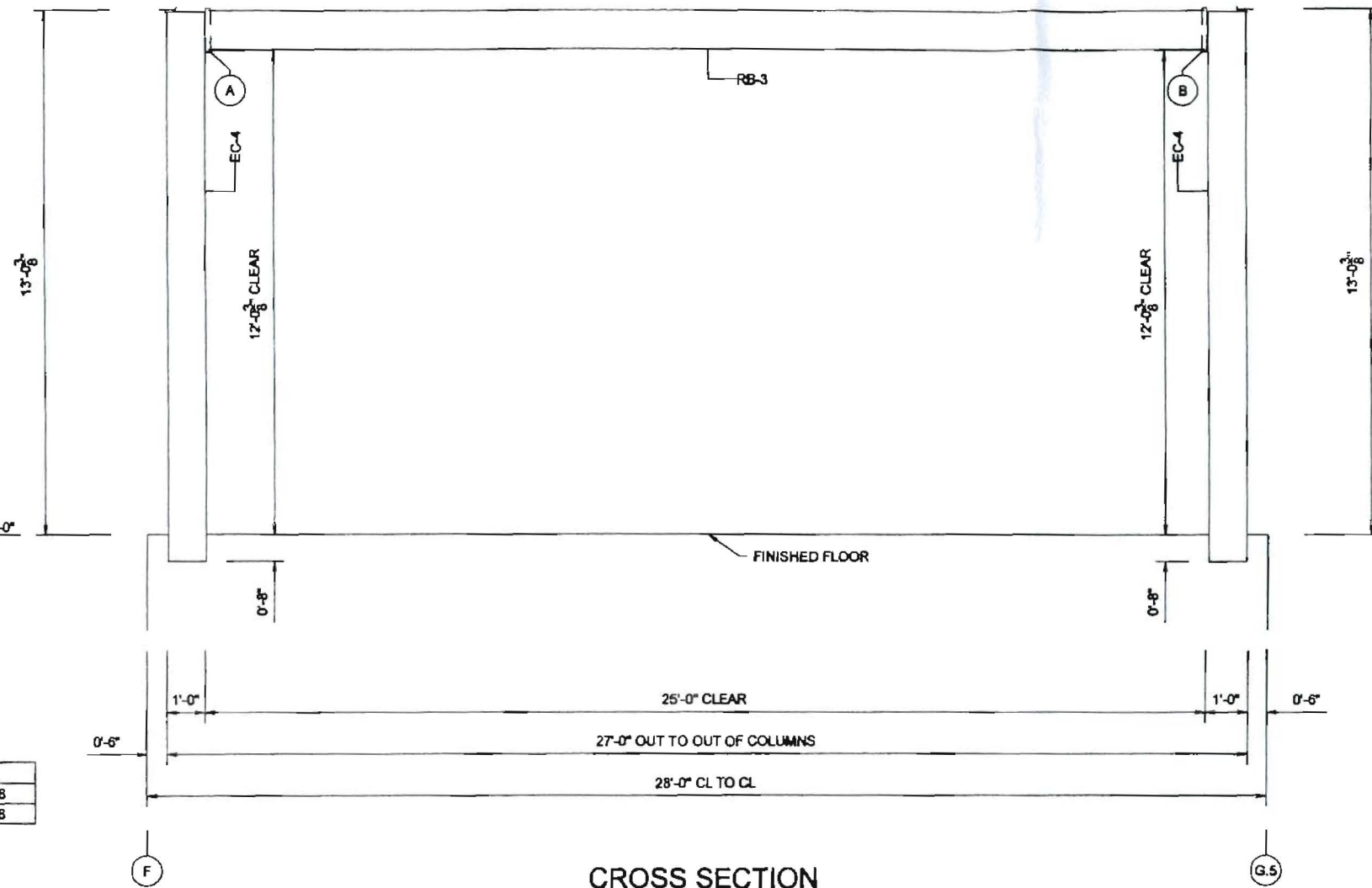


CROSS SECTION	
TURNER BROTHERS, LLC. / W. B. MASON PORTLAND ME	
PORTLAND, ME	
2-BUILDING COMPLEX	
DRAWN	CHECK
BLO / AL	JSA
17-NOV-09	7-DEC-09
ORDER NO.	CS2
CS6	CS2
CS6	CS2



ORDER NO. CO95226

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DIAGONAL DIMENSION	
LEFT	30'-3 5/16
RIGHT	30'-3 6/16

CROSS SECTION
COLUMN LINES: 14.9

SPlice BOLT TABLE			
SPLICE	NO	SIZE	DEPTH
A	8	5/8 X 2	1'-0
B	8	5/8 X 2	1'-0

REFERENCE NOTES

- BOLTING RECOMMENDATIONS--ALL HIGH STRENGTH BOLTS ARE A-325 WITH HEAVY HEX NUTS AND ARE TO BE INSTALLED USING THE SNUG TIGHT METHOD SPECIFIED IN THE 'SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 BOLTS', PUBLISHED BY RCSC, DATED JUNE 30, 2004. SNUG TIGHT CONDITION IS ATTAINED WITH A FEW IMPACTS OF AN IMPACT WRENCH OR THE FULL EFFORT OF AN IRON WORKER USING AN ORDINARY SPUD WRENCH TO BRING THE PLIES INTO FIRM CONTACT.
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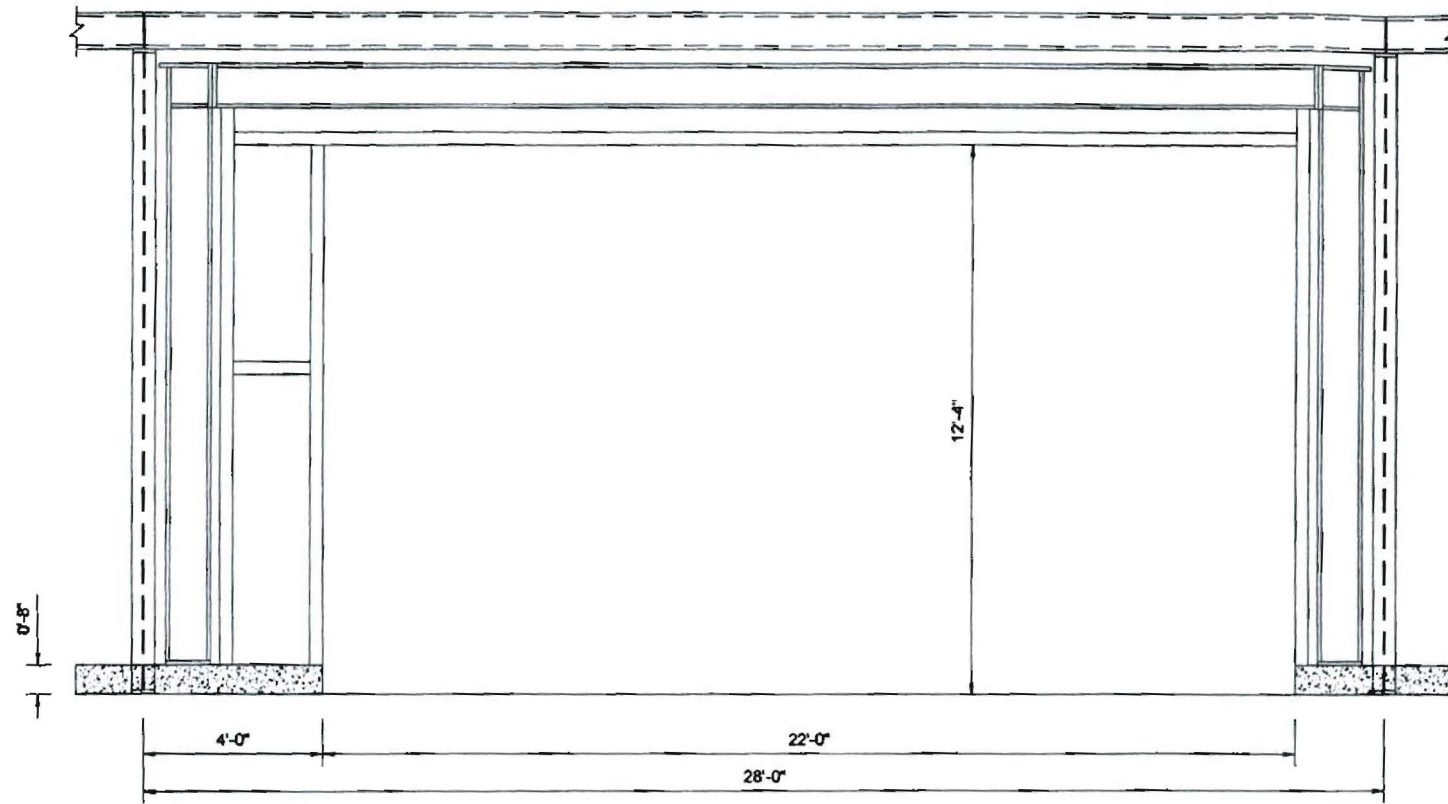
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REVISIONS	
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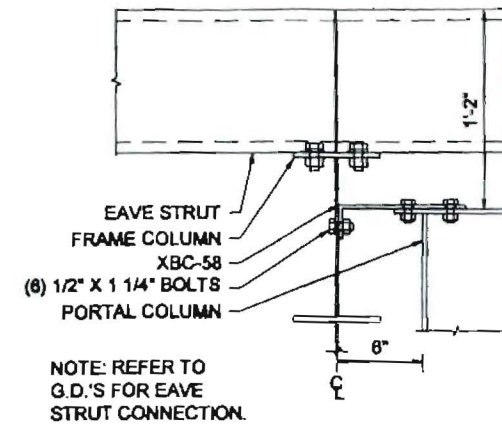
NOTWITHSTANDING THE ADJACENT SEAL, NEITHER THE ENGINEER NAMED NOR CHIEF BUILDINGS IS ACTING AS THE ENGINEER OF RECORD. THE ENGINEER NAMED AND CHIEF BUILDINGS RESPONSIBILITY IS LIMITED TO THE STRUCTURAL PERFORMANCE OF THE PRE-ENGINEERED COMPONENTS DESIGNED BY CHIEF BUILDINGS.



CROSS SECTION			
TURNER BROTHERS, LLC. / W. B. MASON PORTLAND ME			
PORTLAND, ME			
2-BUILDING COMPLEX			
CHIEF BUILDINGS	DRAWN	CHECK	ORDER NO.
<small>P.O. BOX 2078 ORLAND MEANING, ME 04552-2078</small>	BLO / AL	JSA	CS3
	17-NOV-09	7-DEC-09	CS6
			CS3
			CS6

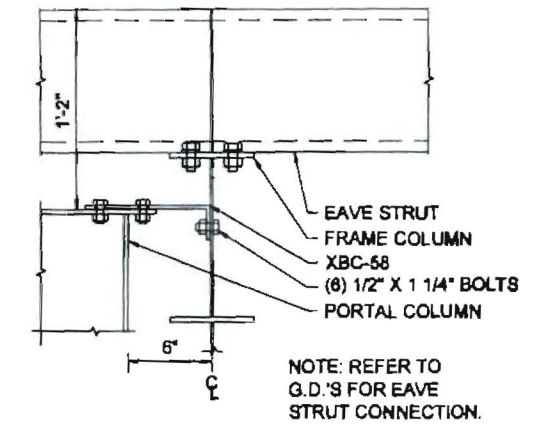


PORTAL FRAME ELEVATION
COL LINE 18



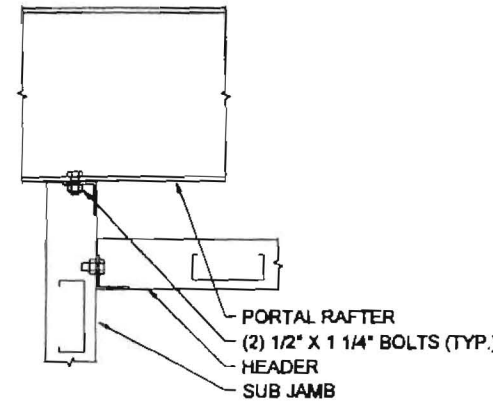
PORTAL FRAME TO MAIN
FRAME CONNECTION

NOTE: REFER TO
G.D.'S FOR EAVE
STRUT CONNECTION.

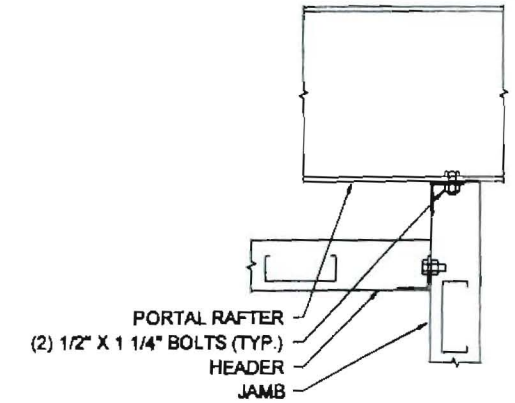


PORTAL FRAME TO MAIN
FRAME CONNECTION

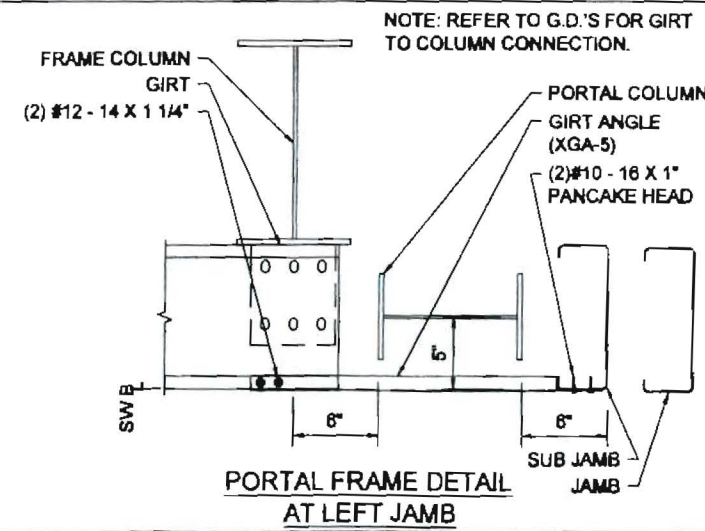
NOTE: REFER TO
G.D.'S FOR EAVE
STRUT CONNECTION.



SUB JAMB TO
RAFTER WITH HEADER

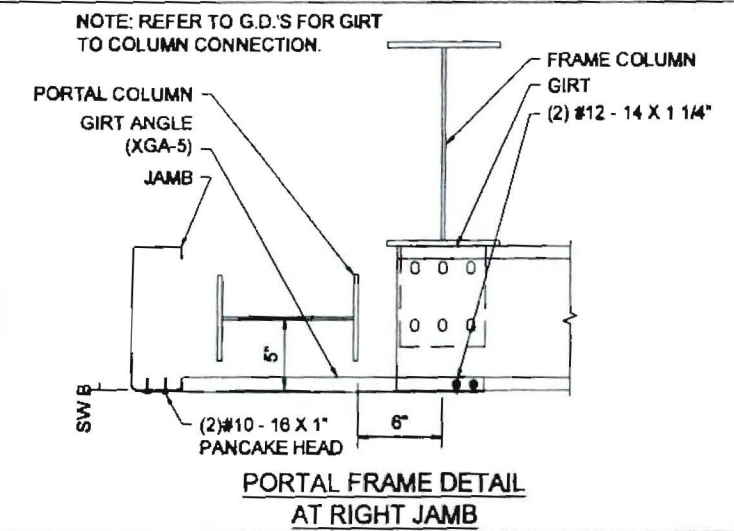


SUB JAMB TO
RAFTER WITH HEADER



PORTAL FRAME DETAIL
AT LEFT JAMB

NOTE: REFER TO G.D.'S FOR GIRT
TO COLUMN CONNECTION.



PORTAL FRAME DETAIL
AT RIGHT JAMB

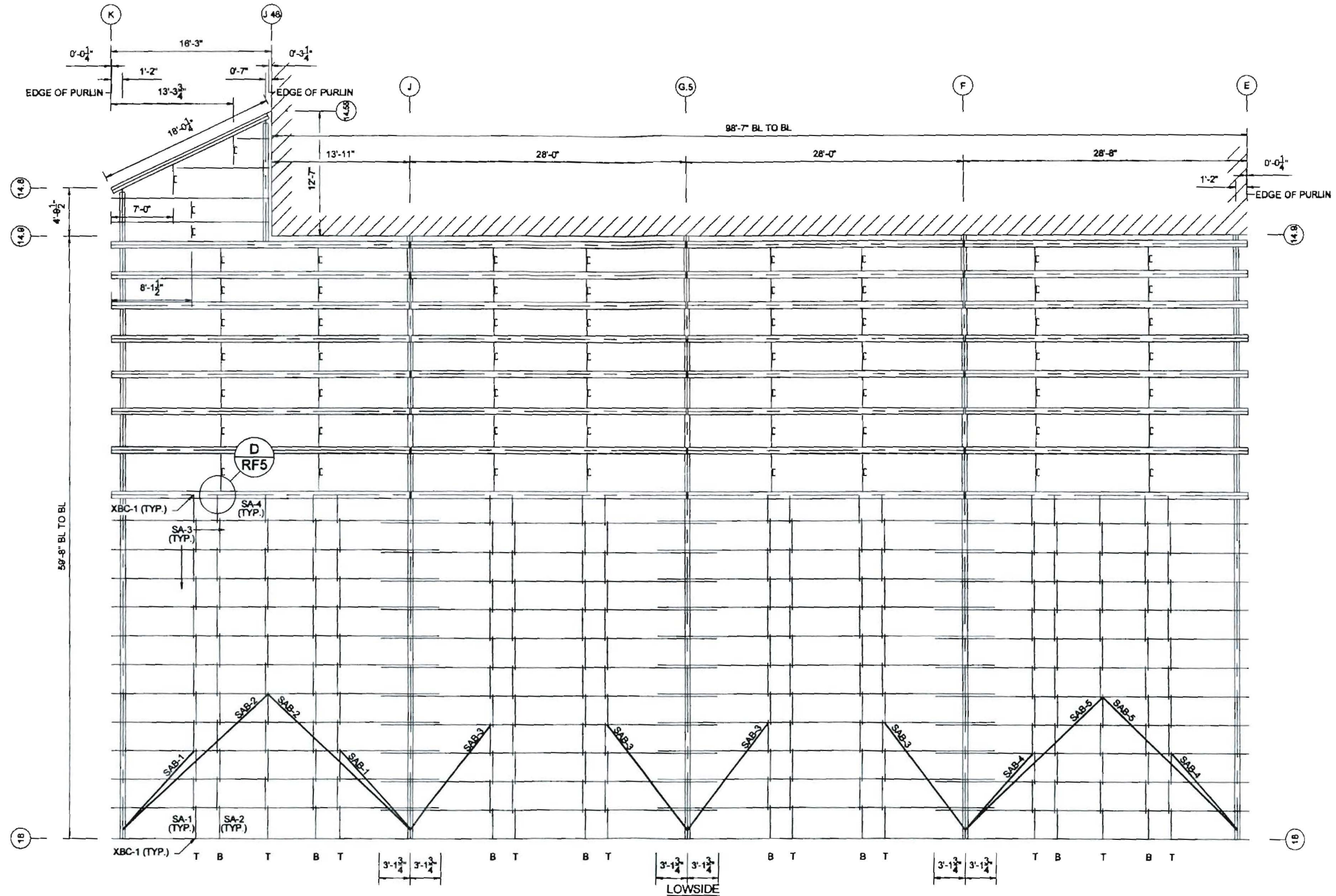
NOTE: REFER TO G.D.'S FOR GIRT
TO COLUMN CONNECTION.

REVISIONS	
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NOTWITHSTANDING THE ADJACENT SEAL, NEITHER THE ENGINEER NAMED NOR CHIEF BUILDINGS IS ACTING AS THE ENGINEER OF RECORD. THE ENGINEER NAMED AND CHIEF BUILDINGS RESPONSIBILITY IS LIMITED TO THE STRUCTURAL PERFORMANCE OF THE PRE-ENGINEERED COMPONENTS DESIGNED BY CHIEF BUILDINGS.



CROSS SECTIONS			
TURNER BROTHERS, LLC. / W. B. MASON PORTLAND ME			
PORTLAND, ME			
2-BUILDING COMPLEX			
CHIEF BUILDINGS	DRAWN	CHECK	ORDER NO.
	AL	JSA	CS4
	2-DEC-08	7-DEC-09	CS6
			CS4
			CS6



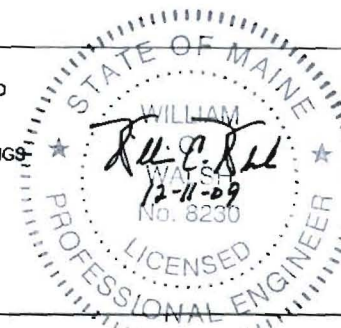
PURLIN BRACING PLAN

REFERENCE NOTES

1. ALL PURLINS ATTACH TO FRAMING USING "STD" ATTACHMENT UNLESS NOTED. REFER TO GD MANUAL SECTION 4 FOR BOLT LOCATIONS.
2. "T" = TOP SAG ANGLE
"B" = BOTTOM SAG ANGLE

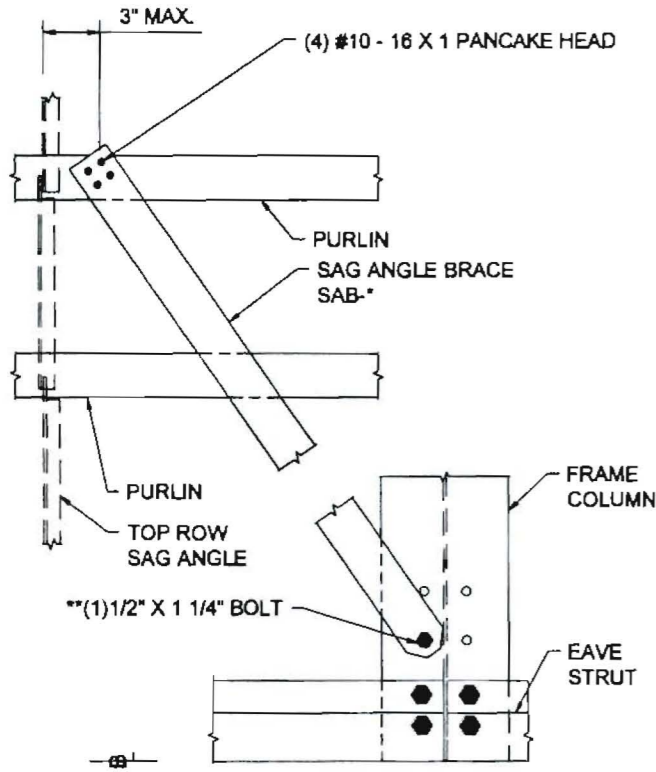
REVISIONS	
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ROOF FRAMING DRAWINGS			
TURNER BROTHERS, LLC. / W. B. MASON PORTLAND ME			
PORTLAND, ME			
2-BUILDING COMPLEX			
CHIEF BUILDINGS <small>a Division of Chief Industries, Inc.</small> <small>P.O. BOX 3076 GRAND ISLAND, ME 04842-3076</small>	DRAWN	CHECK	ORDER NO.
	AL/BLO	JSA / AL	RF2
	18-NOV-09	9-DEC-09	CO95226
			RF6

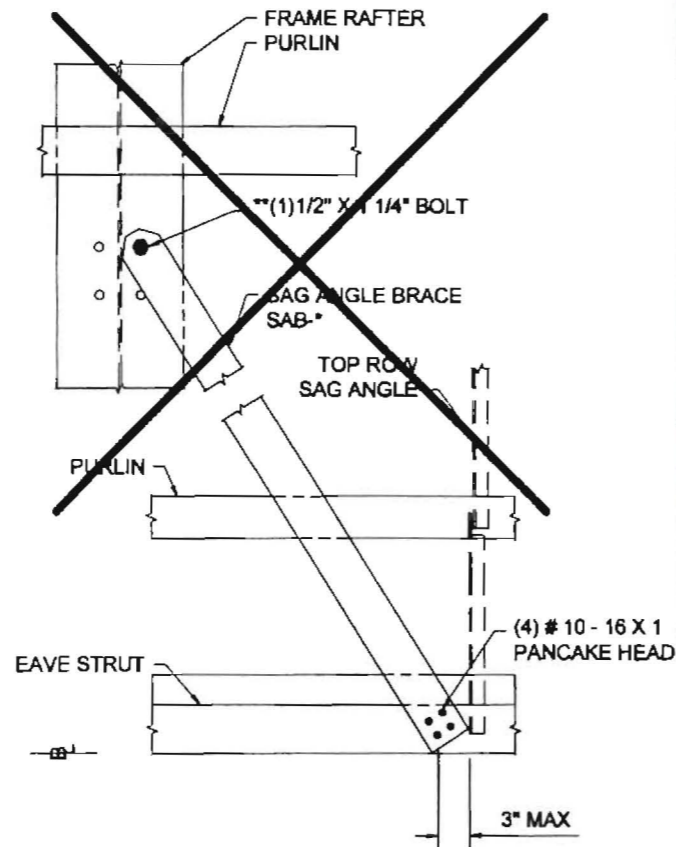
NOTE: FIELD BEND FLAT STRAP FROM TOP OF PURLINS TO TOP OF FRAME RAFTER. BOLT STRAP TO FRAME BEFORE SCREWING TO PURLIN OR EAVE STRUT.



FLAT STRAP CONNECTION ENDING AT COLUMN

GD1050H

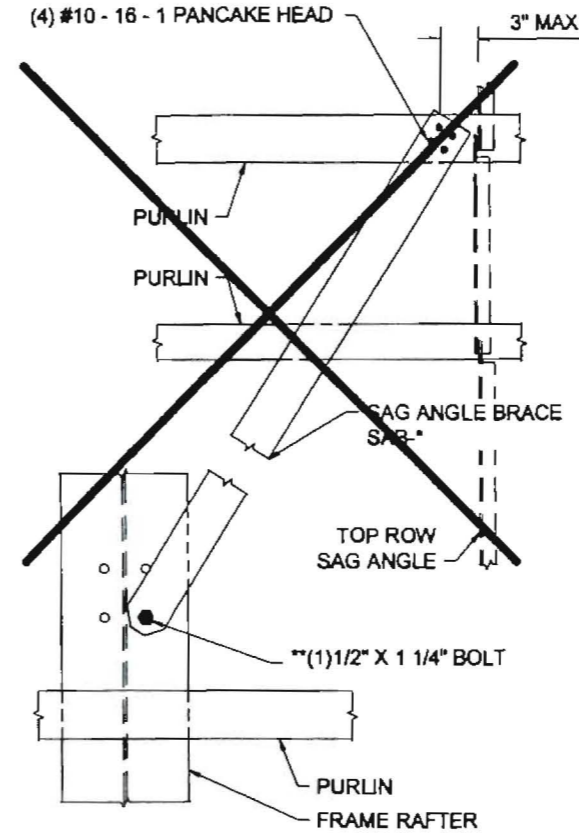
NOTE: FIELD BEND FLAT STRAP FROM TOP OF PURLINS TO TOP OF FRAME RAFTER. BOLT STRAP TO FRAME BEFORE SCREWING TO PURLIN OR EAVE STRUT.



FLAT STRAP CONNECTION ENDING AT EAVE STRUT

GD1050J

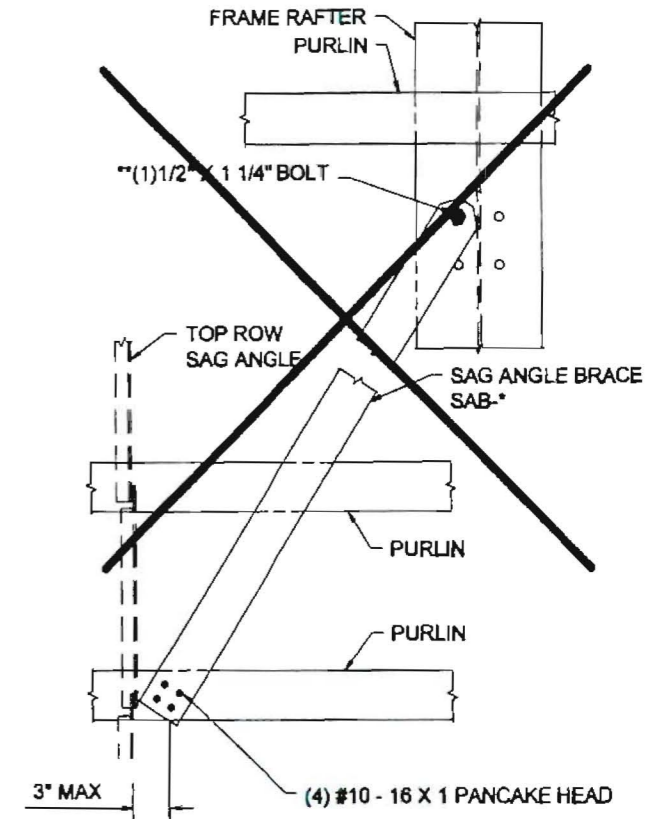
NOTE: FIELD BEND FLAT STRAP FROM TOP OF PURLINS TO TOP OF FRAME RAFTER. BOLT STRAP TO PURLIN OR EAVE STRUT.



FLAT STRAP CONNECTION ENDING AT FRAME RAFTER

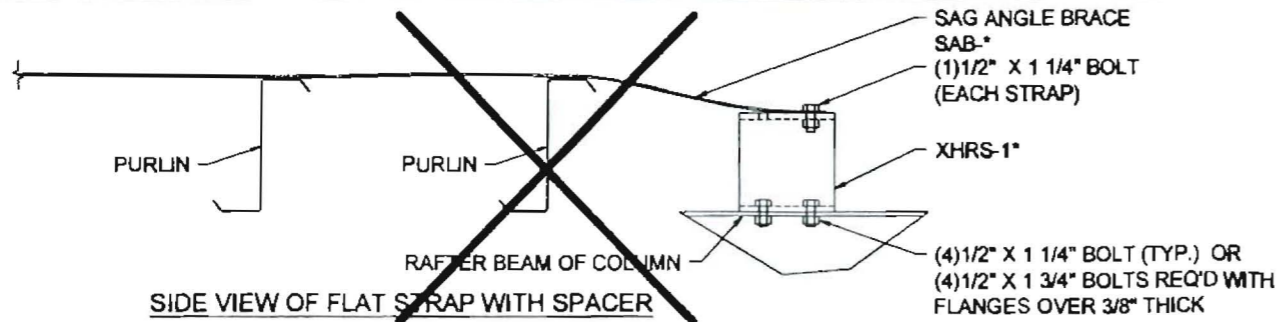
GD1050K

NOTE: FIELD BEND FLAT STRAP FROM TOP OF PURLINS TO TOP OF FRAME RAFTER. BOLT STRAP TO PURLIN OR EAVE STRUT.

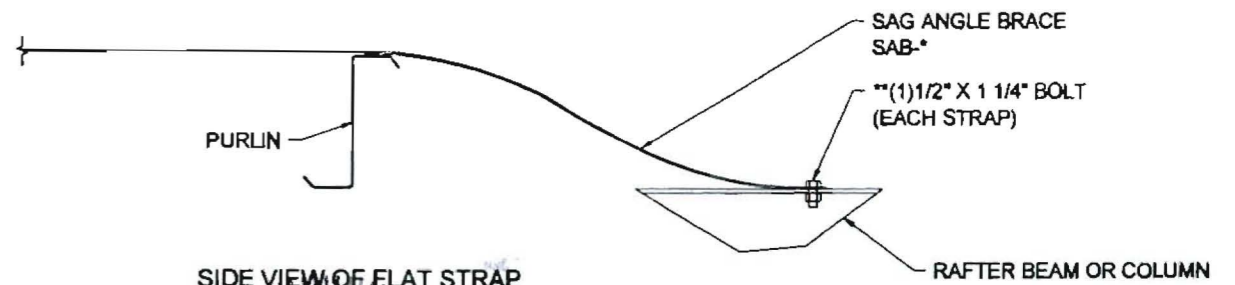


FLAT STRAP CONNECTION ENDING AT PURLIN

GD1050L



SIDE VIEW OF FLAT STRAP WITH SPACER



SIDE VIEW OF FLAT STRAP

NOTE:

1. THE DETAILS ON THIS PAGE OVERRIDE DETAILS IN THE GENERAL DETAILS MANUAL.
2. SAG ANGLE BRACING IS TO BE PLACED ON THE TOP OF THE PURLINS AND BENT DOWN TO THE RAFTER/COLUMN FLANGE.
3. TERMINATION OF THE STRAP AT THE PURLINS IS TO BE WITHIN 3" OF THE TOP ROW SAG ANGLE.
4. *REFER TO ROOF BRACING PLAN FOR LOCATIONS AND CALLOUTS.
5. ** 1/2" X 1 3/4" BOLTS MAY BE REQUIRED AT FLANGES THAT ARE 5/8" AND THICKER.

RELEASED	02-13-07
SUPERSEDES	02-14-06

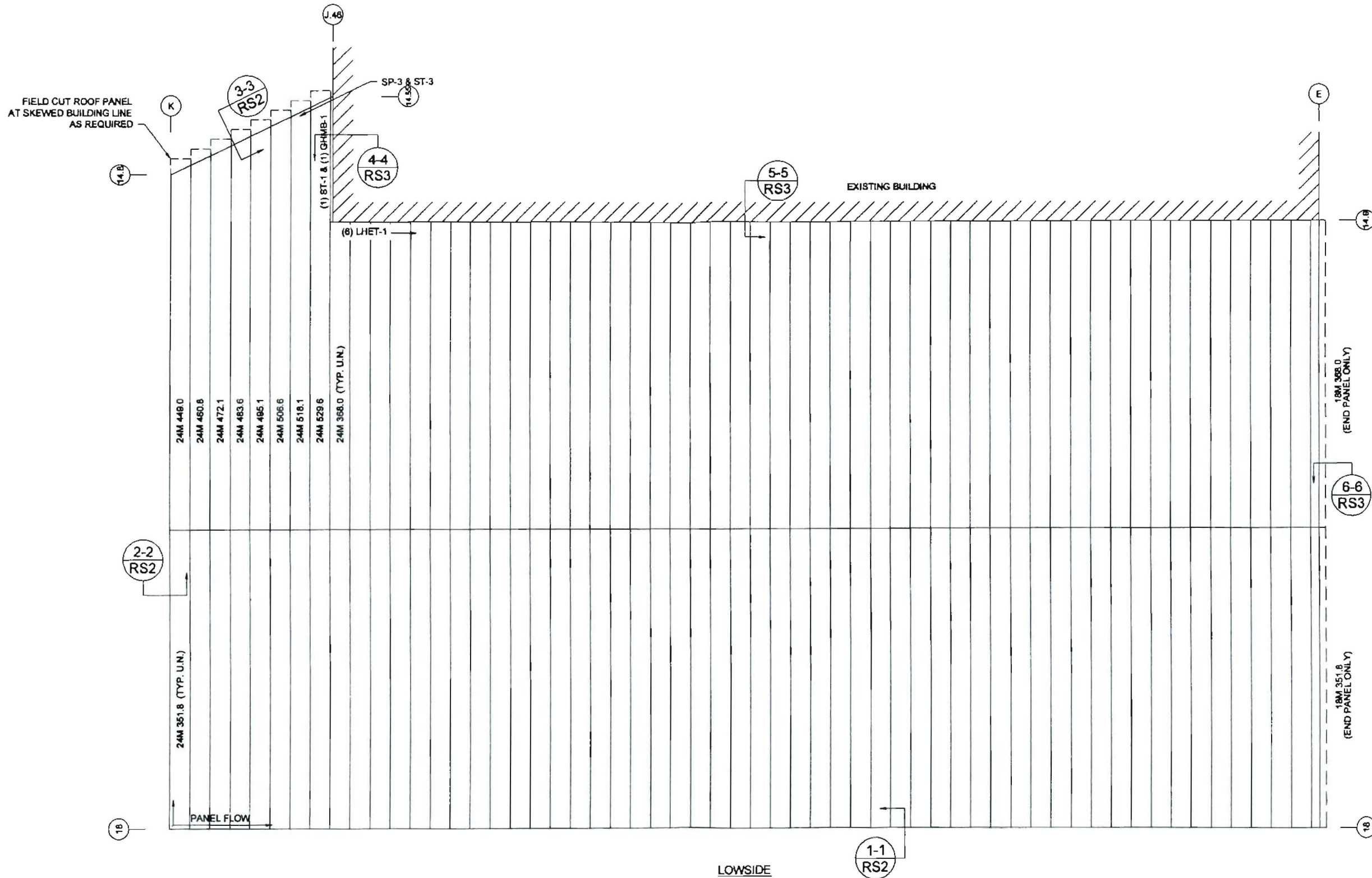
REVISIONS

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FLAT STRAP SAG ANGLE BRACING INSTALLATION			
TURNER BROTHERS, LLC. / W. B. MASON PORTLAND ME			
PORTLAND, ME			
2-BUILDING COMPLEX			
CHIEF BUILDINGS	DRAWN	CHECK	ORDER NO.
AL	JSA	24-NOV-09	9-DEC-09
		CO95226	RF6



LOWSIDE

MSC ROOF PANEL PLAN

UL 90

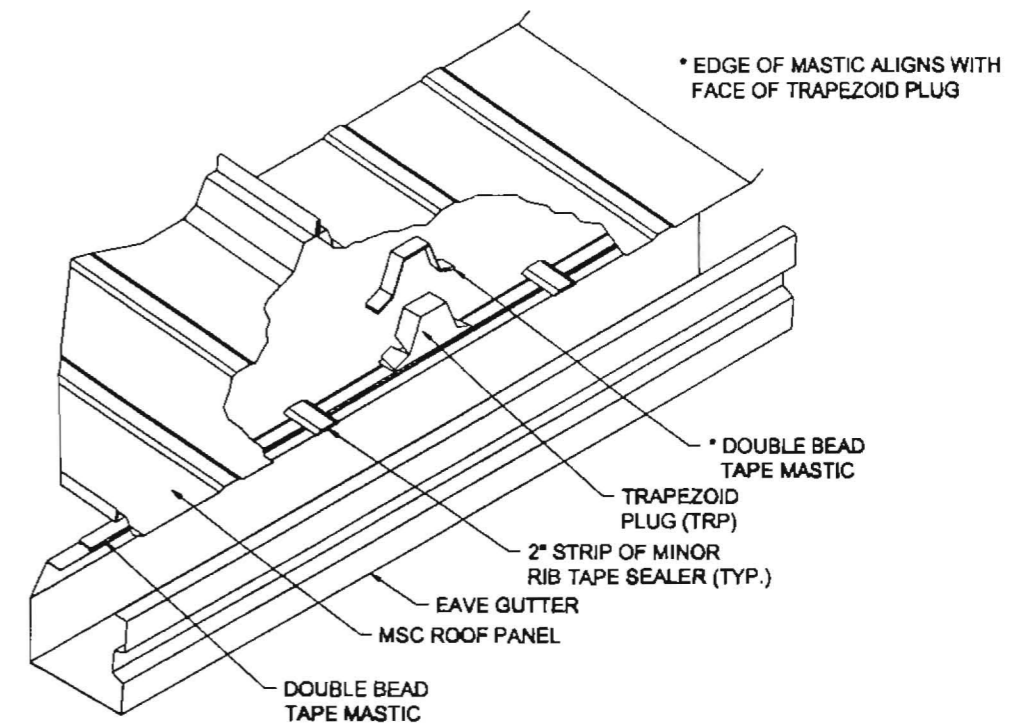
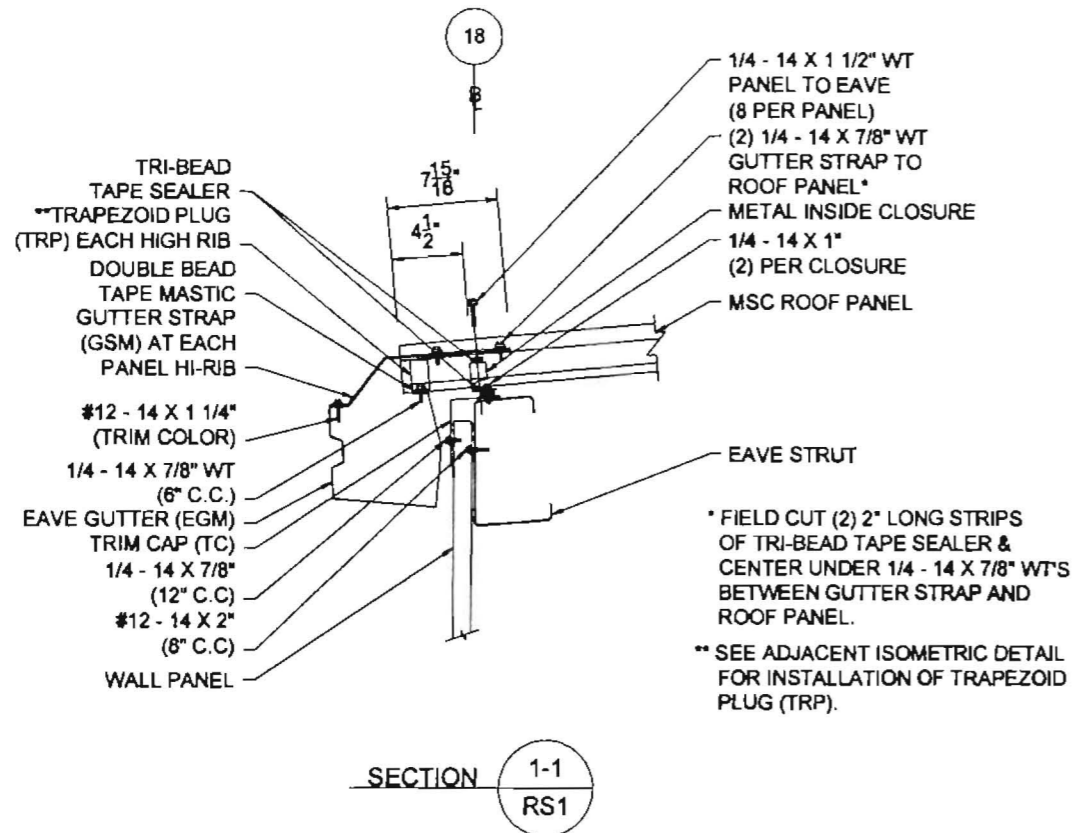
REFERENCE NOTES:
 ROOF SHEETING SYSTEM IS BASED ON THE FOLLOWING:
 1. FLOATING SYSTEM
 2. HIGH SYSTEM
 3. SLIDING CLIPS WITH (2) 1/4" - 14 x 1-1/2" FASTENERS PER CLIP AT PURLINS AND (2) #12 - 24 x 1 1/2" FASTENERS PER CLIP AT WIDE FLANGE PURLINS, UNLESS OTHERWISE NOTED.

REVISIONS	
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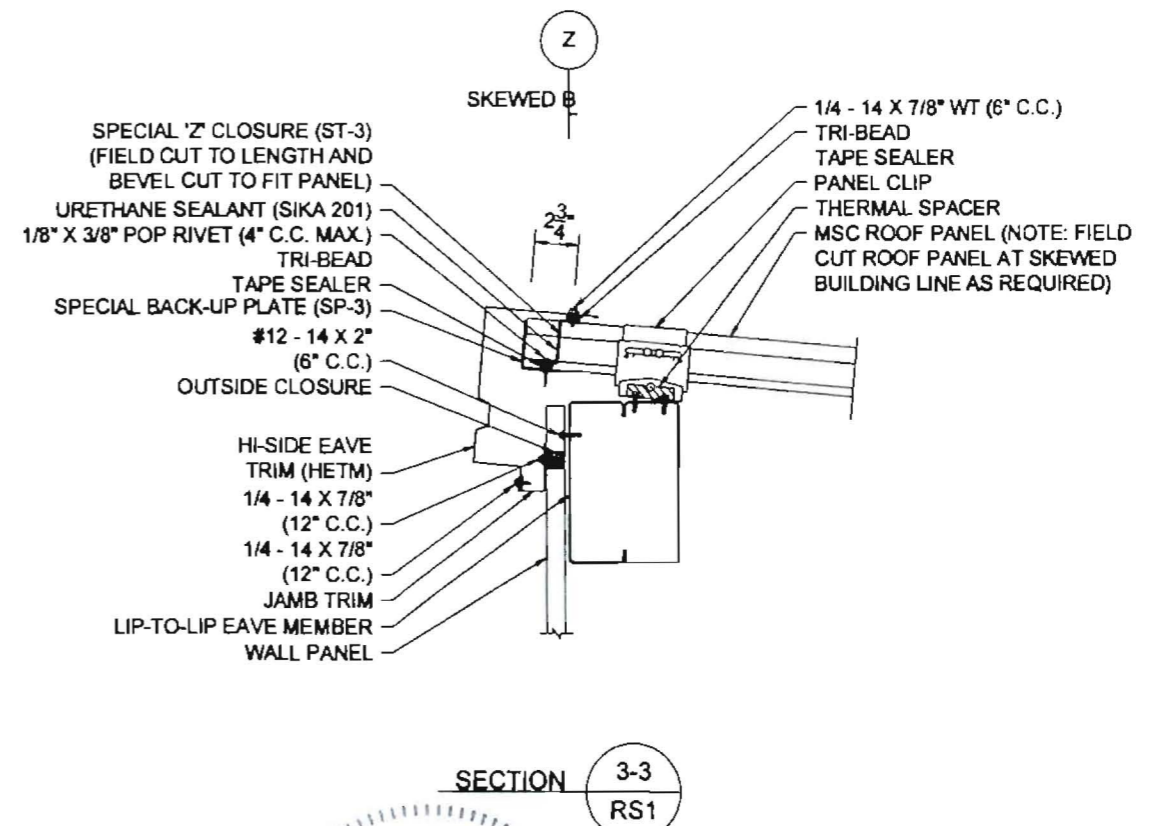
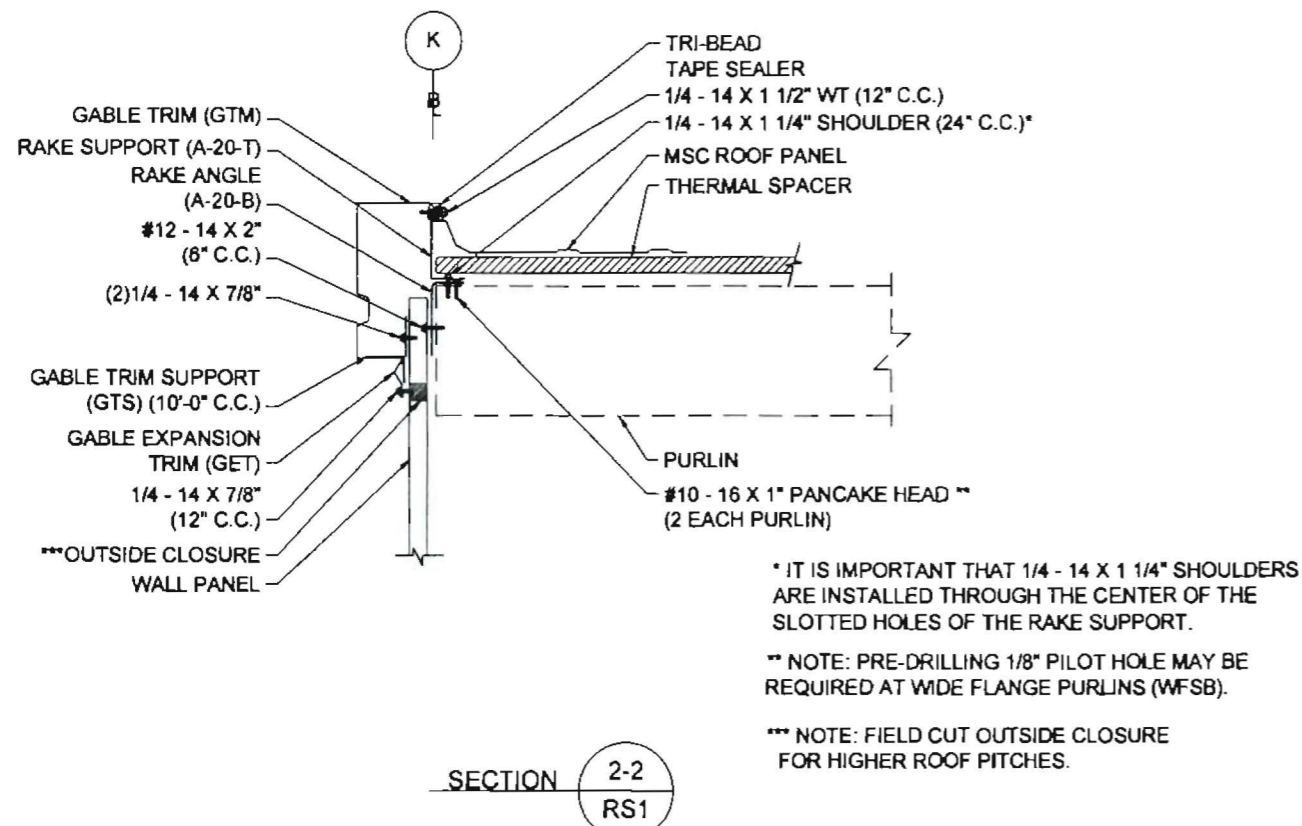
NOTWITHSTANDING THE ADJACENT SEAL, NEITHER THE ENGINEER NAMED NOR CHIEF BUILDINGS IS ACTING AS THE ENGINEER OF RECORD. THE ENGINEER NAMED AND CHIEF BUILDINGS RESPONSIBILITY IS LIMITED TO THE STRUCTURAL PERFORMANCE OF THE PRE-ENGINEERED COMPONENTS DESIGNED BY CHIEF BUILDINGS.



MSC ROOF PANEL PLAN			
TURNER BROTHERS, LLC. / W. B. MASON PORTLAND ME			
PORTLAND, ME			
2-BUILDING COMPLEX			
CHIEF BUILDINGS <small>a division of Chief Industries, Inc.</small>	DRAWN	CHECK	ORDER NO.
	JSA	AL	CO95226
1-DEC-09	9-DEC-08	RS1 RS5	



TRAPEZOID PLUG INSTALLATION WITH GUTTER

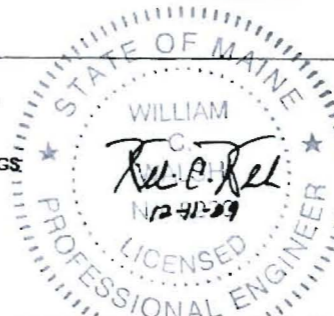


REFERENCE NOTE:
REFER TO ROOF MANUAL DETAILS FOR SEALANTS AND SEALANT PLACEMENT

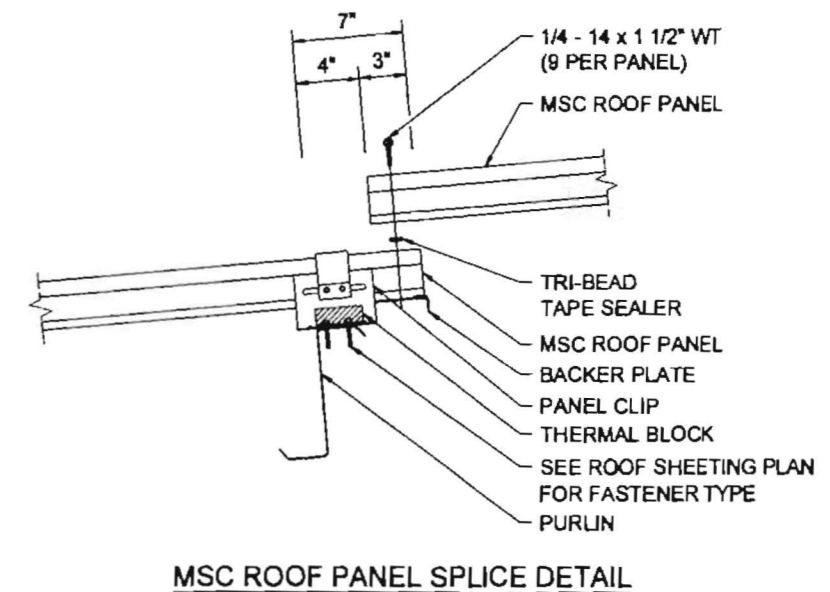
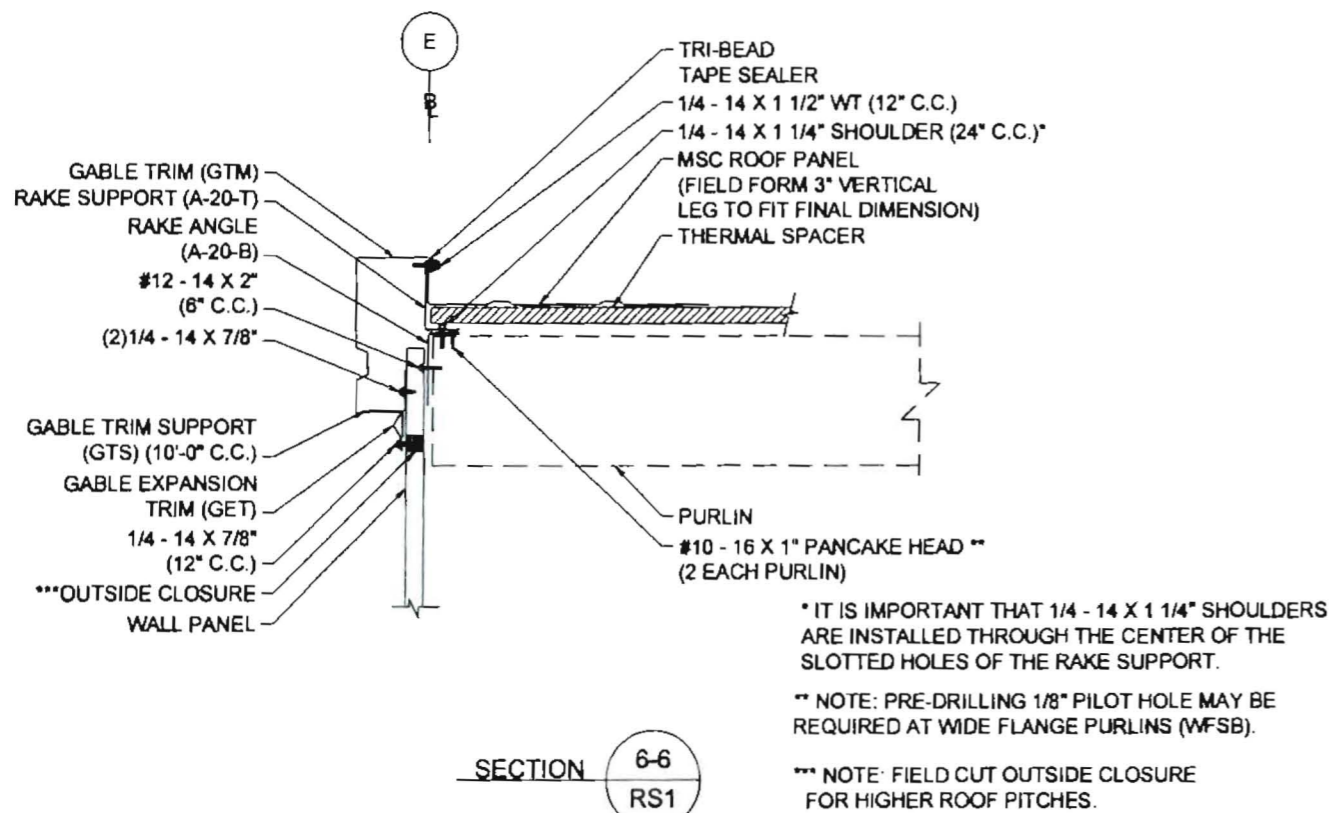
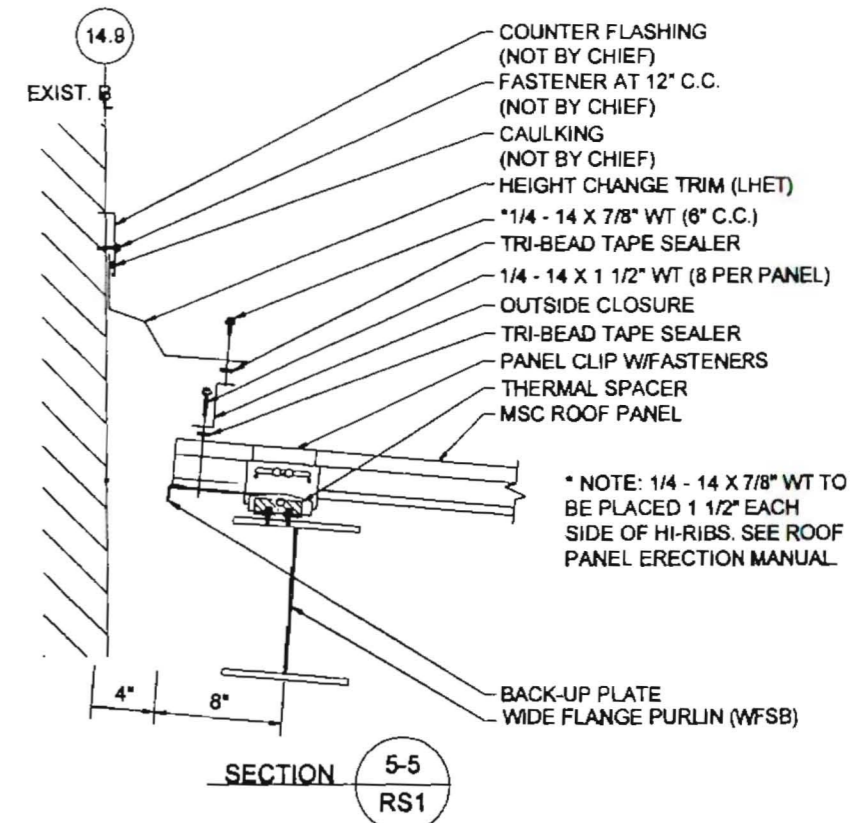
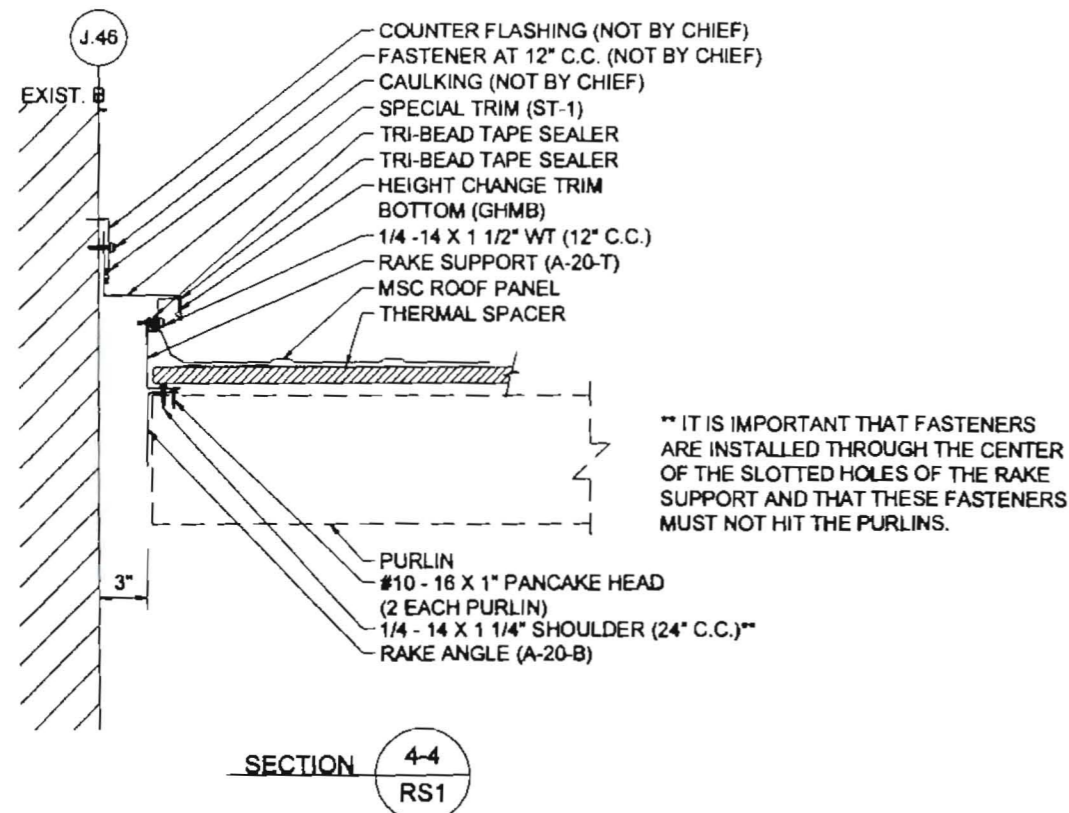
REVISIONS

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NOTWITHSTANDING THE ADJACENT SEAL, NEITHER THE ENGINEER NAMED NOR CHIEF BUILDINGS IS ACTING AS THE ENGINEER OF RECORD. THE ENGINEER NAMED AND CHIEF BUILDINGS RESPONSIBILITY IS LIMITED TO THE STRUCTURAL PERFORMANCE OF THE PRE-ENGINEERED COMPONENTS DESIGNED BY CHIEF BUILDINGS.



EAVE & GABLE SECTIONS			
TURNER BROTHERS, LLC. / W. B. MASON PORTLAND ME			
PORTLAND, ME			
2-BUILDING COMPLEX			
CHIEF BUILDINGS	DRAWN JSA	CHECK AL	ORDER NO. CO95226
	1-DEC-09	9-DEC-09	RS2
			RS5



REVISIONS

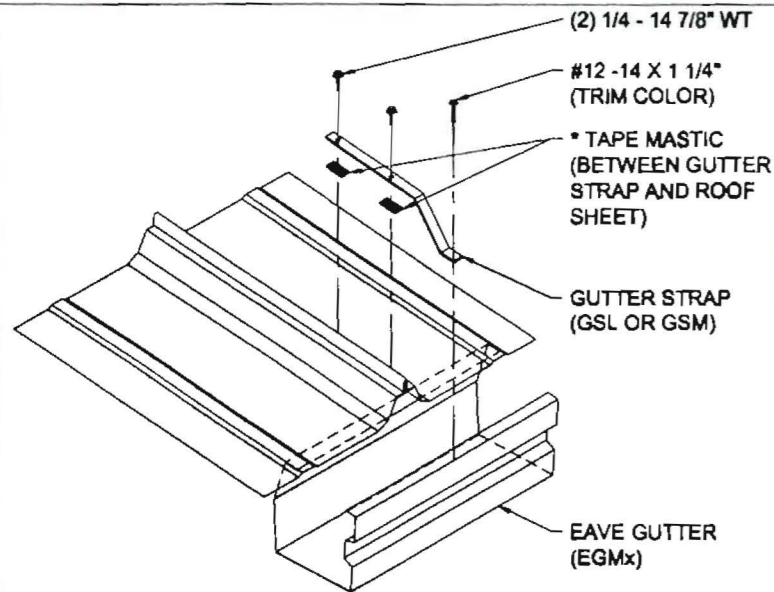
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NOTWITHSTANDING THE ADJACENT SEAL, NEITHER THE ENGINEER NAMED NOR CHIEF BUILDINGS IS ACTING AS THE ENGINEER OF RECORD THE ENGINEER NAMED AND CHIEF BUILDINGS RESPONSIBILITY IS LIMITED TO THE STRUCTURAL PERFORMANCE OF THE PRE-ENGINEERED COMPONENTS DESIGNED BY CHIEF BUILDINGS.



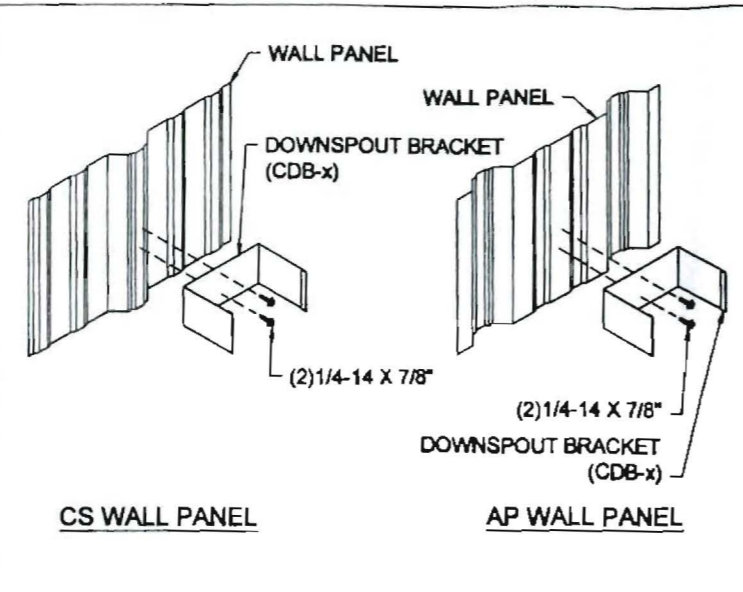
EAVE & GABLE SECTIONS
 TURNER BROTHERS, LLC. / W. B. MASON PORTLAND ME
 PORTLAND, ME

2-BUILDING COMPLEX		ORDER NO.	RS3
CHIEF BUILDINGS a Division of Chief Industries, Inc.	DRAWN	CHECK	RS5
	JSA	AL	
1-DEC-09	9-DEC-09	CO95226	



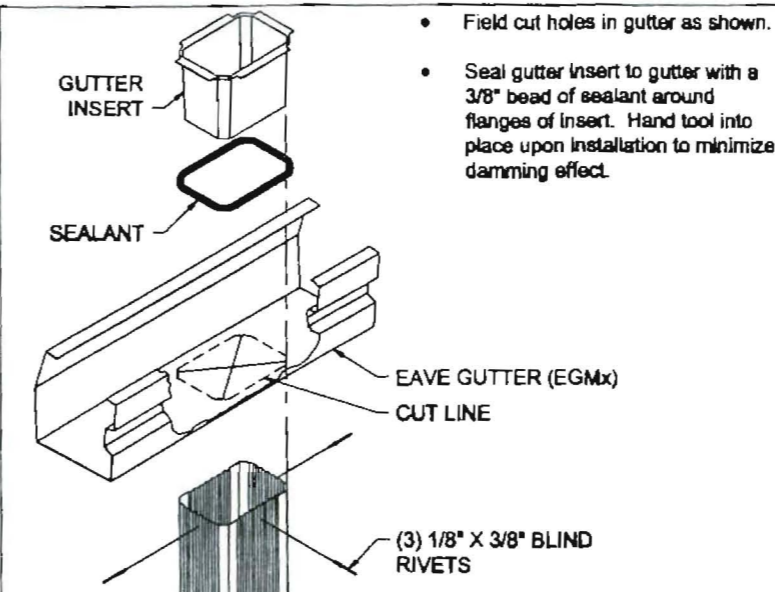
GUTTER STRAP TO ROOF SHEET AND GUTTER
REFER TO EAVE SECTION ON ERECTION DRAWINGS FOR GUTTER STRAP SPACING AND TYPE.

* TAPE MASTIC WILL BE TRI-BEAD FOR STC AND MSC ROOF. USE DOUBLE BEAD FOR LTC ROOF. TAPE MASTIC NOT REQUIRED FOR MVF OR MVP ROOF.



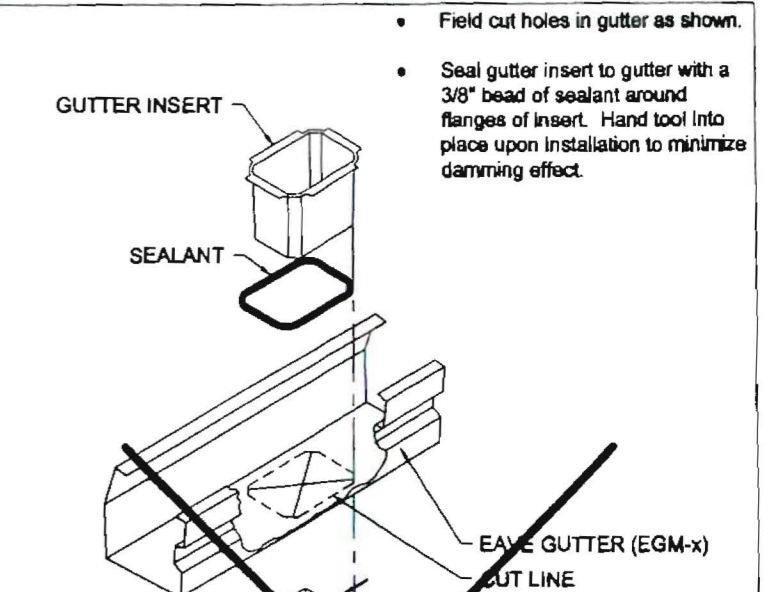
BRACKET TO WALL PANEL

LOCATE BRACKETS AT 6'-0" C.C.
LOCATE BRACKET ON HIGH RIBS FOR CS WALL PANEL.
LOCATE BRACKET ON FLAT OF PANEL FOR AP WALL PANEL.
ATTACH BRACKET TO DOWNSPOUT WITH (2) 1/8" X 3/8" BLIND RIVET EACH LEG



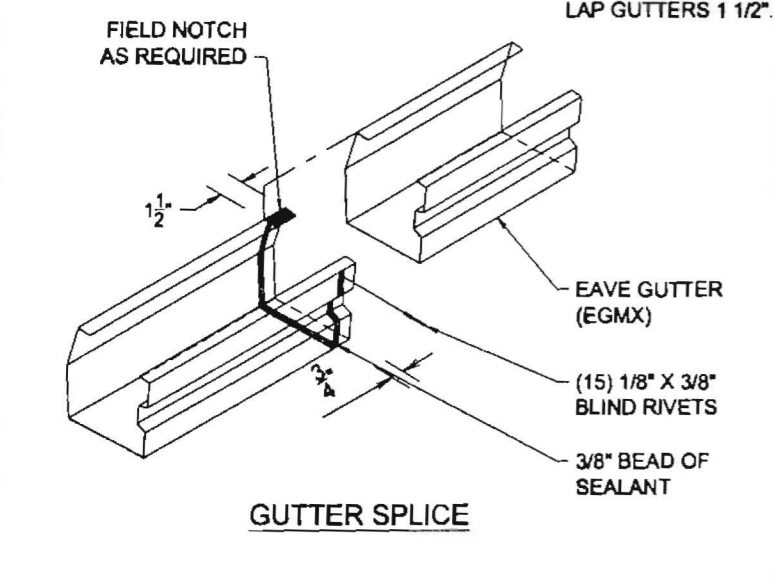
GUTTER TO DOWNSPOUT

FIELD CUT HOLES IN GUTTER AS SHOWN. ATTACH DOWNSPOUT TO GUTTER INSERT WITH (3) 1/8" X 3/8" BLIND RIVETS. LOCATE CUT AS CLOSE AS POSSIBLE TO BUILDING LINE FOR BRACKET ATTACHMENT.

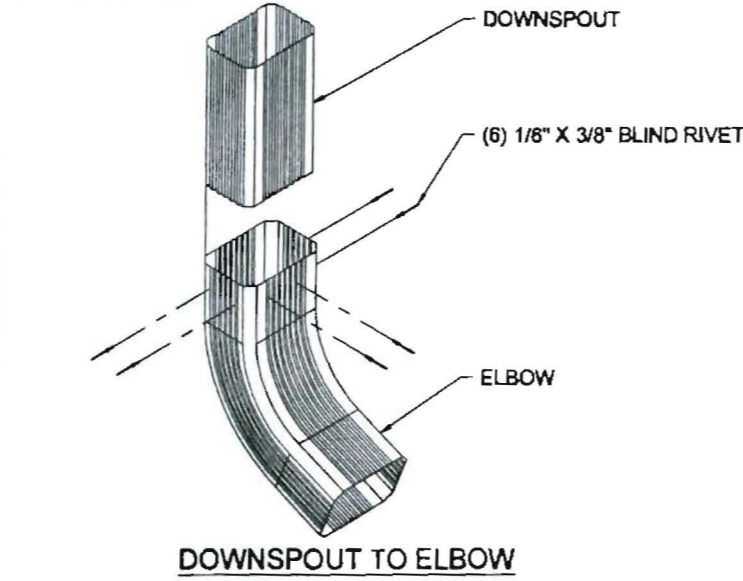


GUTTER TO OPEN DOWNSPOUT

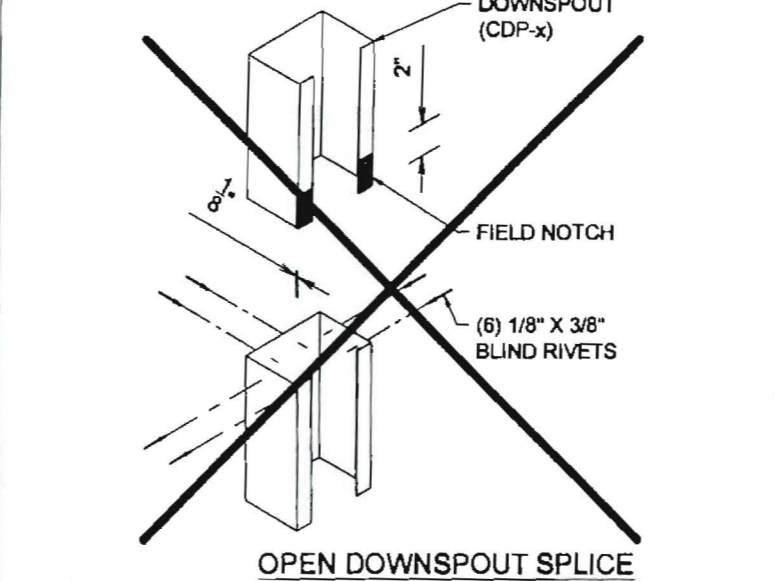
FIELD CUT HOLES IN GUTTER AS SHOWN. ATTACH DOWNSPOUT TO GUTTER INSERT WITH (3) 1/8" X 3/8" BLIND RIVETS. LOCATE CUT AS CLOSE AS POSSIBLE TO BUILDING LINE FOR BRACKET ATTACHMENT.



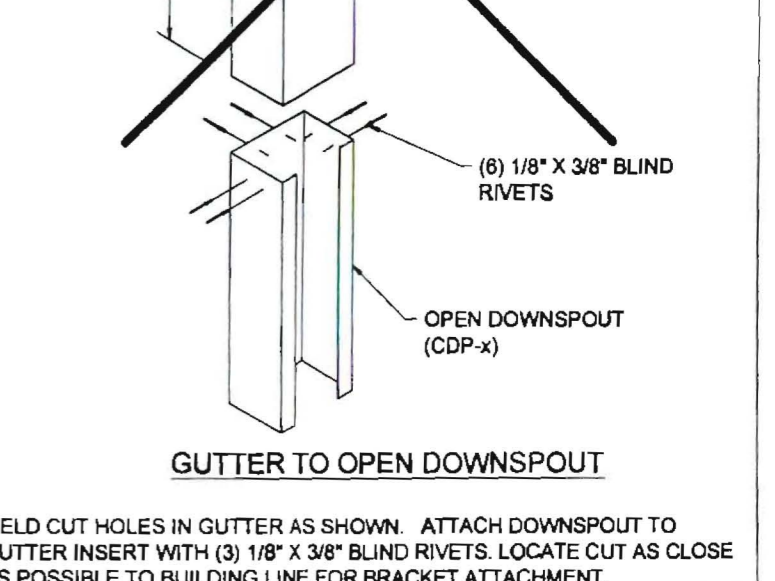
GUTTER SPLICE



DOWNSPOUT TO ELBOW

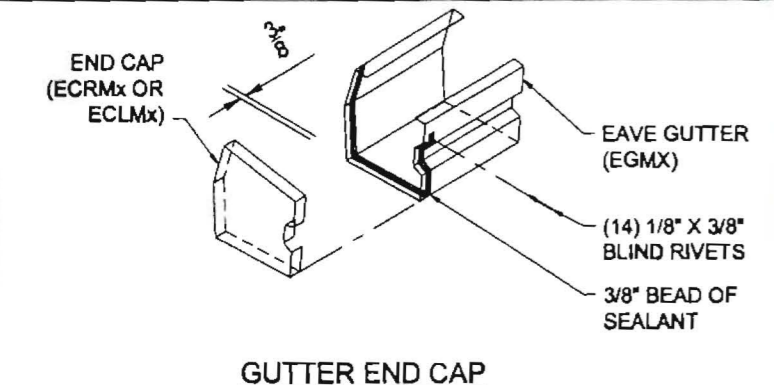


OPEN DOWNSPOUT SPLICE

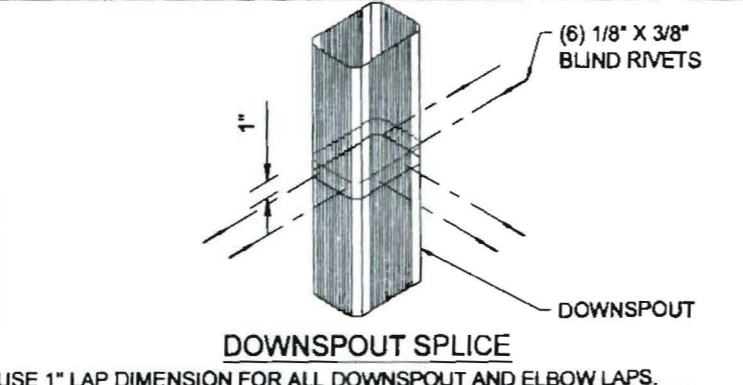


GUTTER TO OPEN DOWNSPOUT

FIELD CUT HOLES IN GUTTER AS SHOWN. ATTACH DOWNSPOUT TO GUTTER INSERT WITH (3) 1/8" X 3/8" BLIND RIVETS. LOCATE CUT AS CLOSE AS POSSIBLE TO BUILDING LINE FOR BRACKET ATTACHMENT.

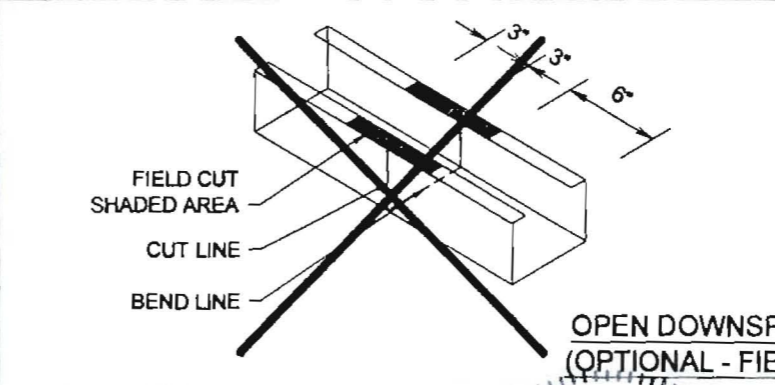


GUTTER END CAP

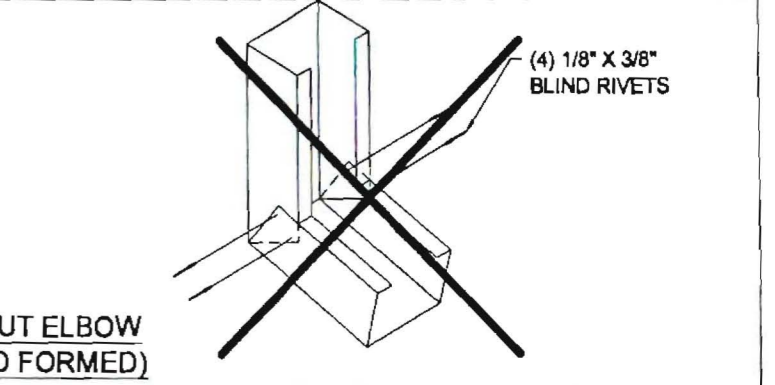


DOWNSPOUT SPLICE

USE 1" LAP DIMENSION FOR ALL DOWNSPOUT AND ELBOW LAPS.



OPEN DOWNSPOUT ELBOW (OPTIONAL - FIELD FORMED)



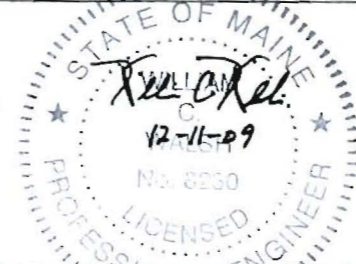
REFERENCE NOTES:

- ALL SEALANT IS SIKA 201.
- DRILL 1/8" DIA. HOLE FOR 1/8" X 3/8" BLIND RIVETS.

REVISIONS

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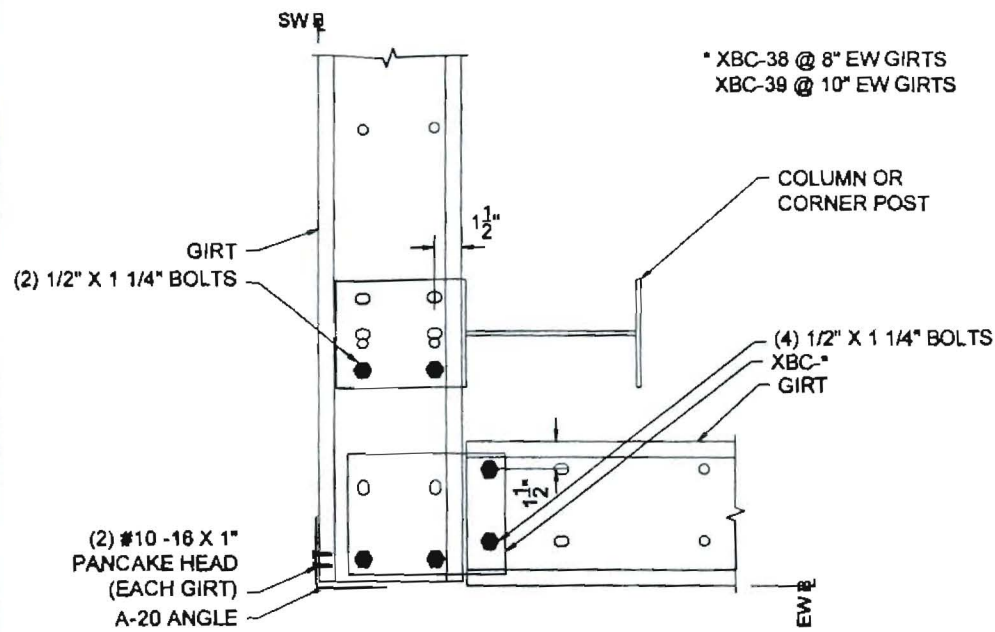
NOTWITHSTANDING THE ADJACENT SEAL, NEITHER THE ENGINEER NAMED NOR CHIEF BUILDINGS IS ACTING AS THE ENGINEER OF RECORD. THE ENGINEER NAMED AND CHIEF BUILDINGS RESPONSIBILITY IS LIMITED TO THE STRUCTURAL PERFORMANCE OF THE PRE-ENGINEERED COMPONENTS DESIGNED BY CHIEF BUILDINGS.



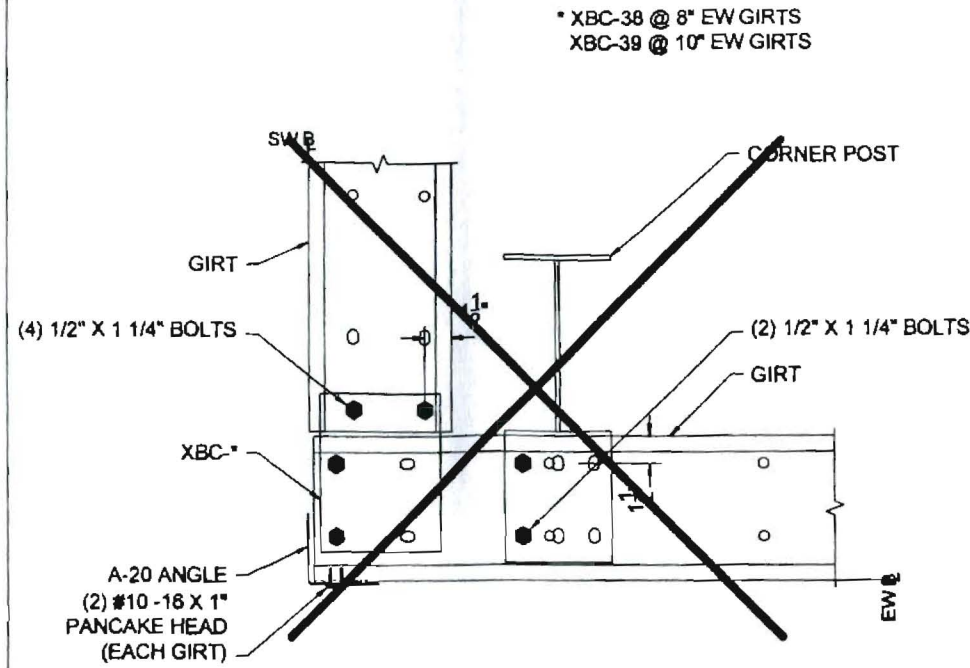
STANDING SEAM ROOF WITH STANDARD GUTTER
TURNER BROTHERS, LLC. / W. B. MASON PORTLAND ME
PORTLAND ME
2-BUILDING COMPLEX

CHIEF BUILDINGS	DRAWN	CHECK	ORDER NO.	RS5
	JSA	AL	C095226	RS5
	1-DEC-09	9-DEC-09		

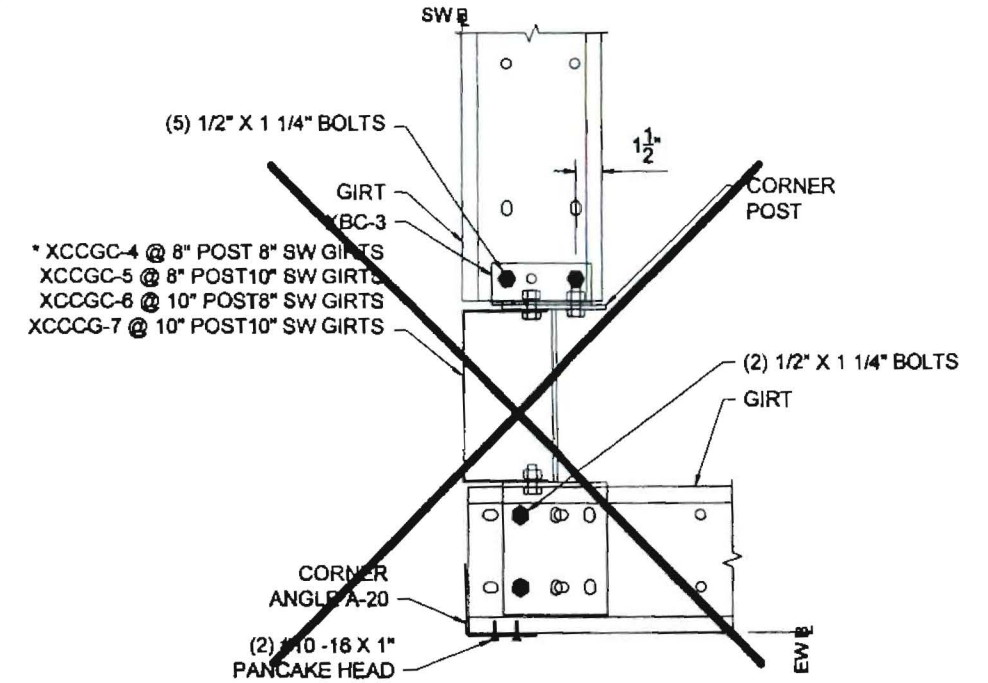
RELEASED	06-26-09
SUPERSEDES	04-14-09



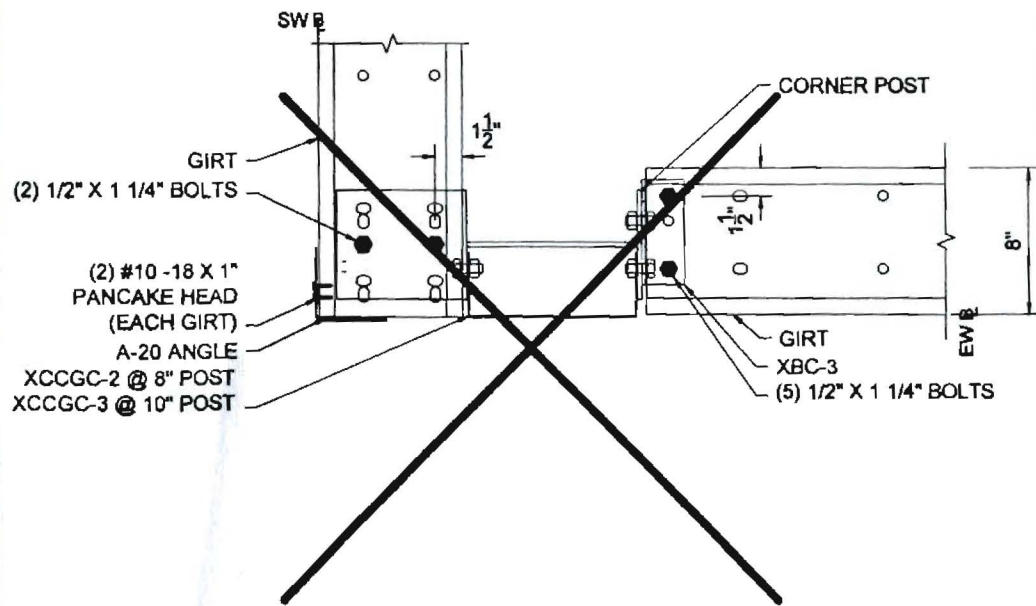
**GIRT TO GIRT CONNECTION
OUTSET SIDEWALL / OUTSET ENDWALL**



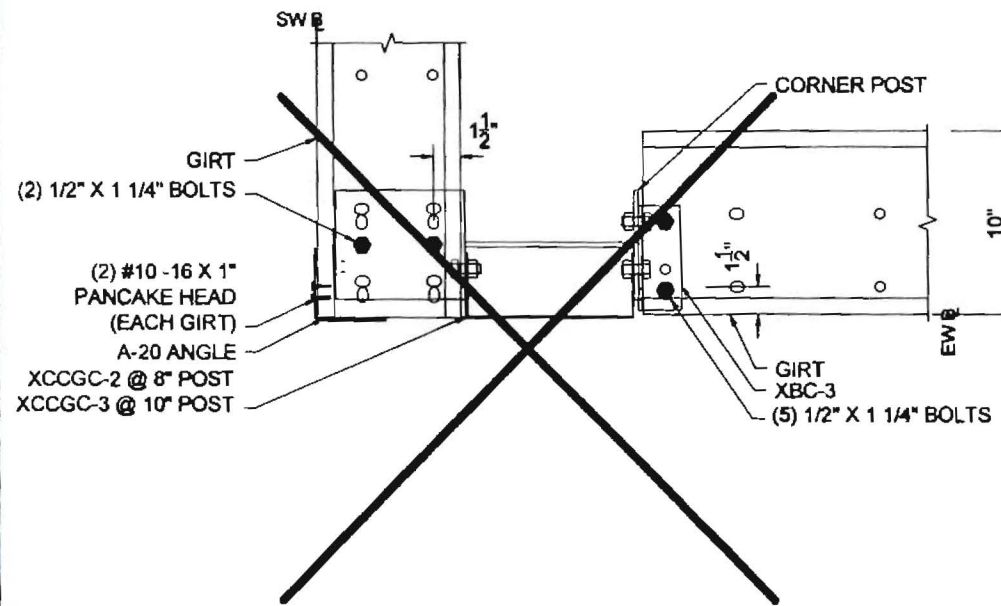
**GIRT TO GIRT CONNECTION
AT ROTATED CORNER POST**



**GIRT TO ROTATED CORNER POST
INSET SIDEWALL / OUTSET ENDWALL**



**GIRT TO CORNER POST
OUTSET SIDEWALL / INSET ENDWALL**



**GIRT TO CORNER POST
OUTSET SIDEWALL / INSET ENDWALL**

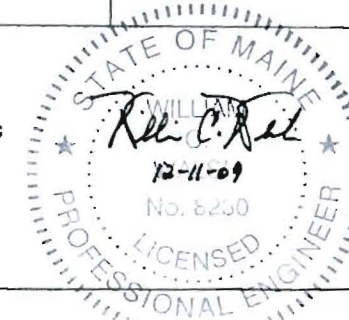
NOTE:
THE DETAILS ON THIS PAGE OVERRIDE DETAILS IN THE
GENERAL DETAILS MANUAL.

RELEASED 11-30-09
SUPERSEDES

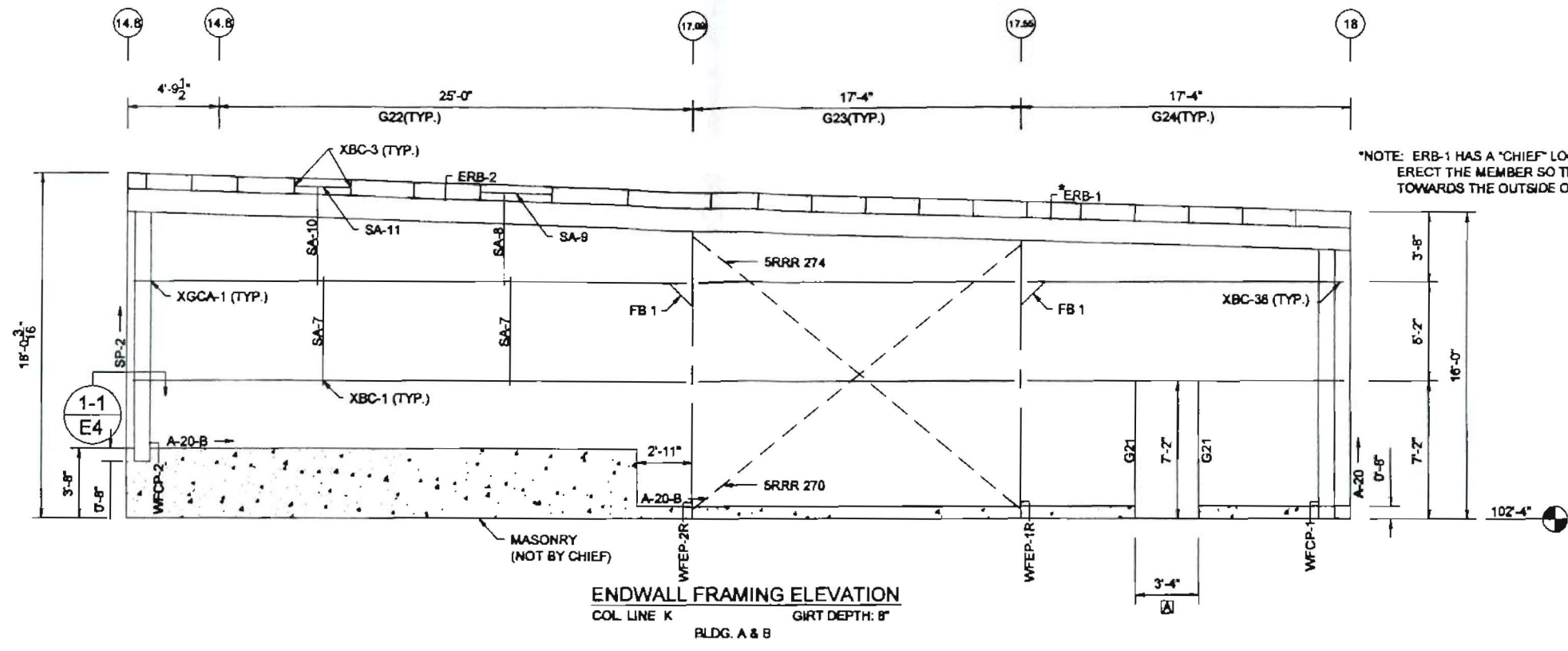
REVISIONS

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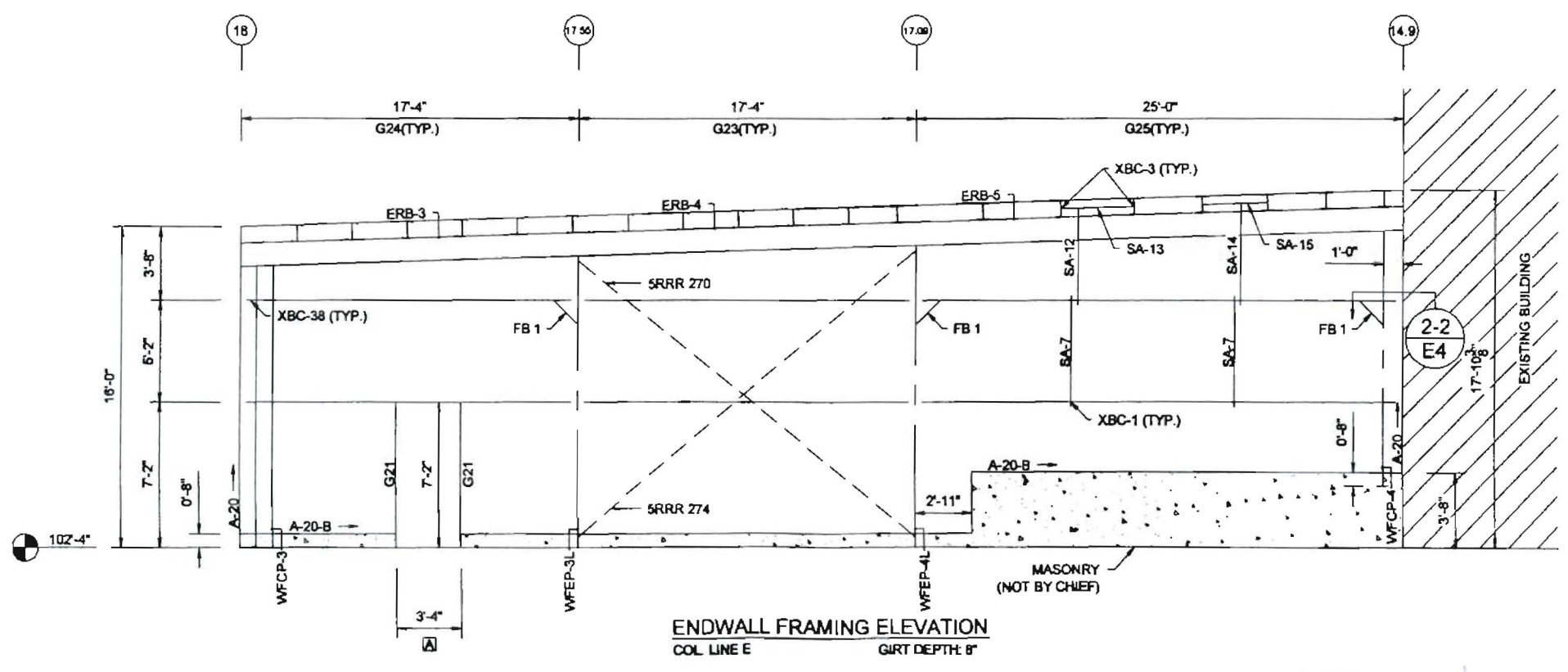


UPDATED DETAILS C GIRT CONNECTIONS		C 2	
TURNER BROTHERS, LLC. / W.B. MASON PORTLAND ME			
PORTLAND ME			
2-BUILDING COMPLEX			
CHIEF BUILDINGS	DRAWN	CHECK	ORDER NO.
	JSA	AL	S6
	3-DEC-09	9-DEC-09	CO95226
			S6



*NOTE: ERB-1 HAS A "CHIEF" LOGO STICKER. ERECT THE MEMBER SO THE STICKER IS TOWARDS THE OUTSIDE OF THE BUILDING.

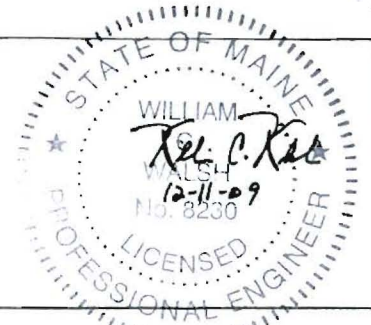
ENDWALL FRAMING ELEVATION
COL LINE K GIRT DEPTH: 8"
BLDG. A & B



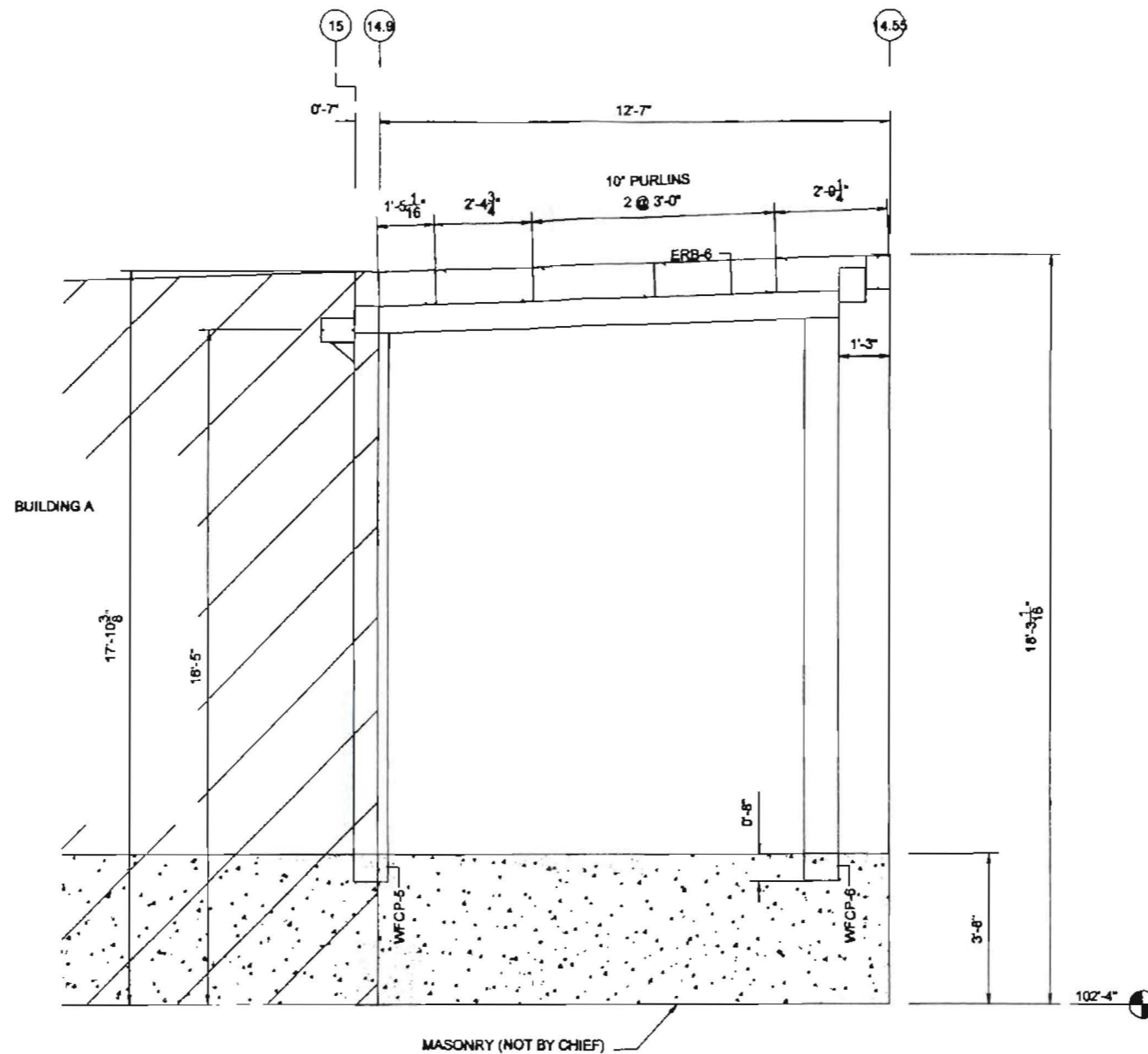
ENDWALL FRAMING ELEVATION
COL LINE E GIRT DEPTH: 8"

REVISIONS	
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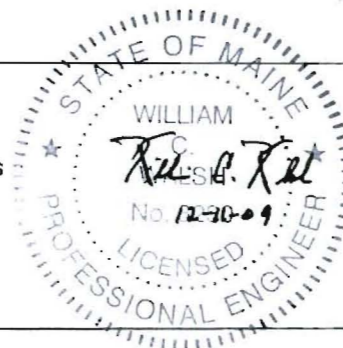
ENDWALL DRAWINGS			
TURNER BROTHERS, LLC. / W. B. MASON PORTLAND ME			
PORTLAND, ME			
2-BUILDING COMPLEX			
	DRAWN	CHECK	ORDER NO.
	AL/BLO	JSA / AL	E1
13-NOV-09 9-DEC-09			E5
CO95226			



ENDWALL FRAMING ELEVATION
COL LINE J.46 BLDG. B

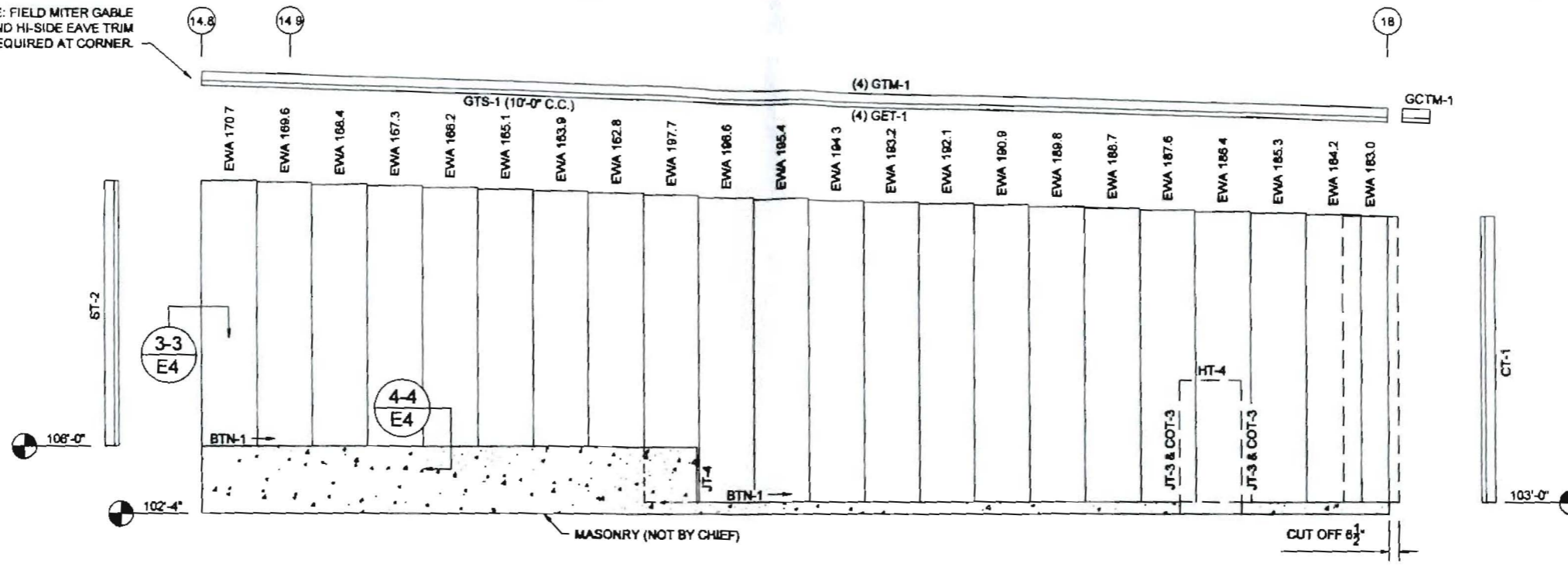
REVISIONS	
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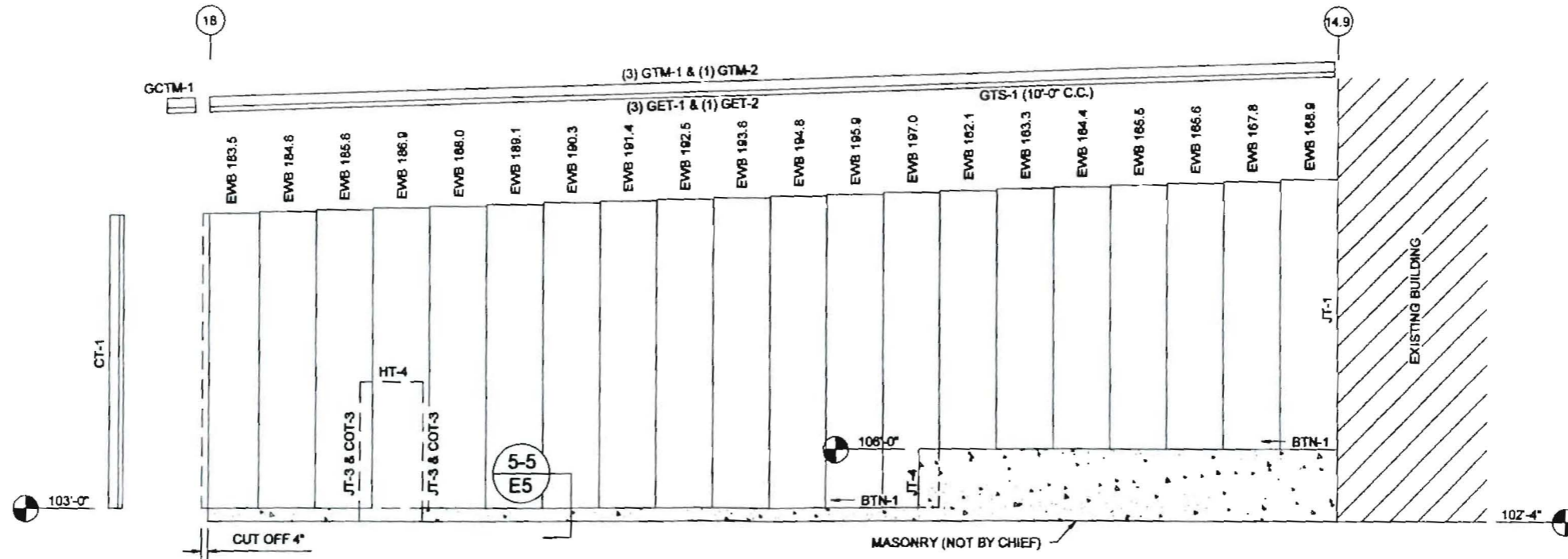


ENDWALL DRAWINGS			
TURNER BROTHERS, LLC. / W. B. MASON PORTLAND ME			
PORTLAND, ME			
2-BUILDING COMPLEX			
CHIEF BUILDINGS	DRAWN AL	CHECK JSA	ORDER NO. CO95226
<small>P.O. BOX 2879 QUAKO ISLAND, ME 04052-2879</small>	13-NOV-09	9-DEC-09	E2 E5

NOTE: FIELD MITER GABLE TRIM AND HI-SIDE EAVE TRIM AS REQUIRED AT CORNER.



ENDWALL SHEETING ELEVATION
COL. LINE K



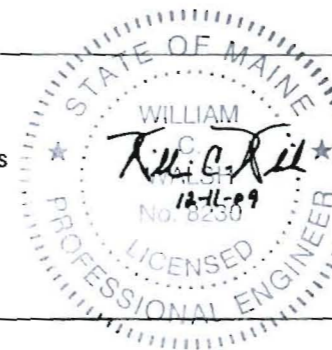
ENDWALL SHEETING ELEVATION
COL. LINE E

REFERENCE NOTES

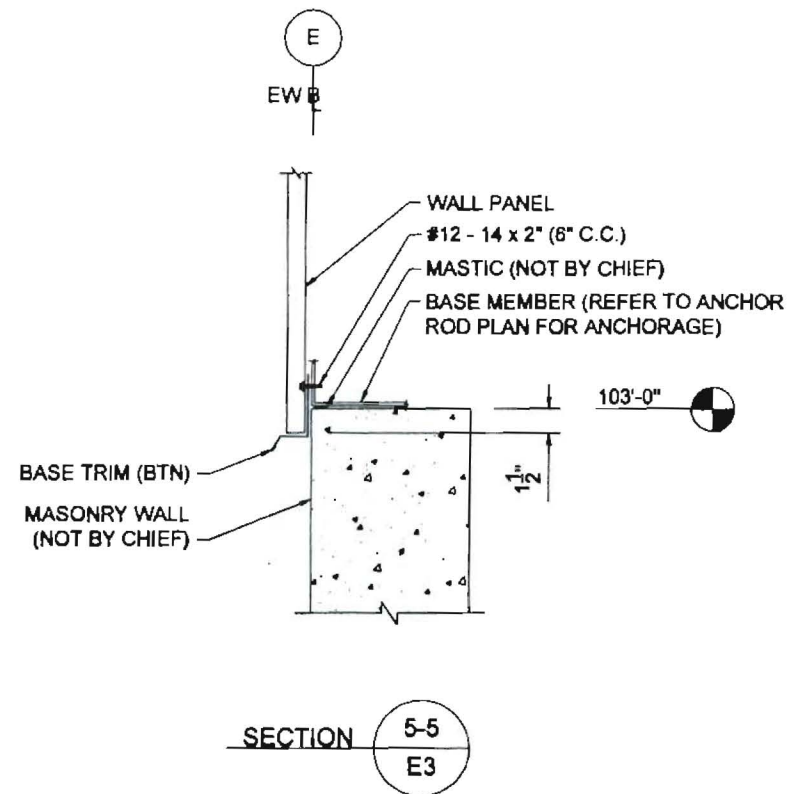
1. FOR OPENING TRIMS, REFER TO GENERAL DETAILS.

REVISIONS	
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ENDWALL DRAWINGS			
TURNER BROTHERS, LLC. / W. B. MASON PORTLAND ME			
PORTLAND, ME			
2-BUILDING COMPLEX			
CHIEF BUILDINGS	DRAWN	CHECK	ORDER NO.
<small>a Division of Chief Industries, Inc.</small>	JSA	AL	E3
<small>P.O. BOX 2076 GRAND ISLAND, ME 04033-2076</small>	13-NOV-09	9-DEC-09	E5
CO95226			

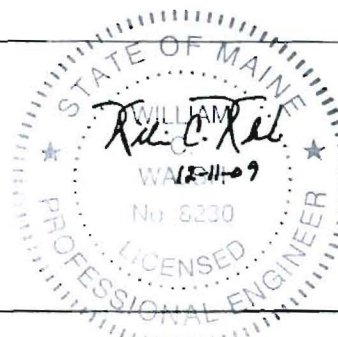


SECTION 5-5
E3

REVISIONS

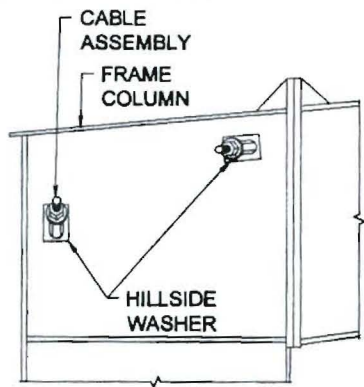
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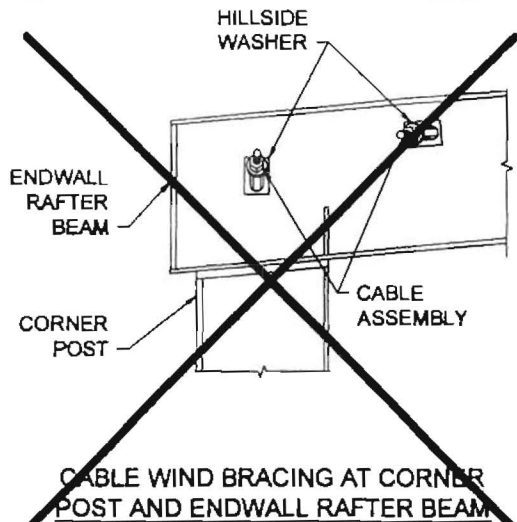
SECTIONS & DETAILS

TURNER BROTHERS, LLC. / W. B. MASON PORTLAND ME			
PORTLAND, ME			
2-BUILDING COMPLEX			
CHIEF BUILDINGS <small>P.O. BOX 3078 GRAND ISLAND, ME 04042-3078</small>	DRAWN JSA	CHECK AL	ORDER NO. CO95226
	13-NOV-09	9-DEC-09	E5 E5



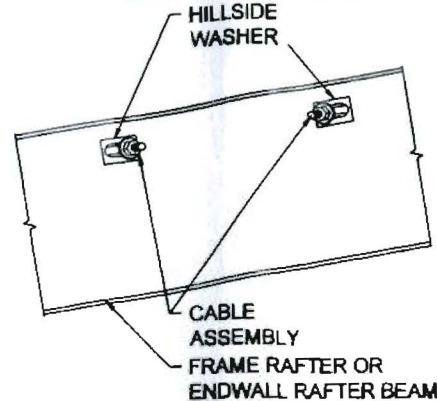
CABLE WIND BRACING AT TOP OF FRAME COLUMN

GD1650F



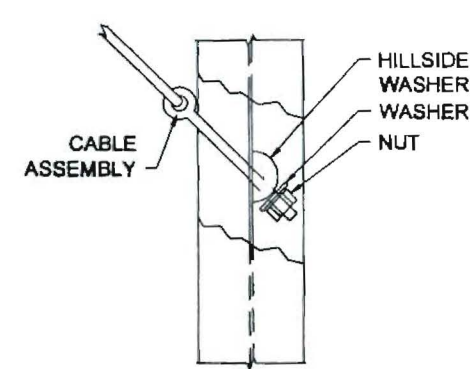
CABLE WIND BRACING AT CORNER POST AND ENDWALL RAFTER BEAM

GD1650I



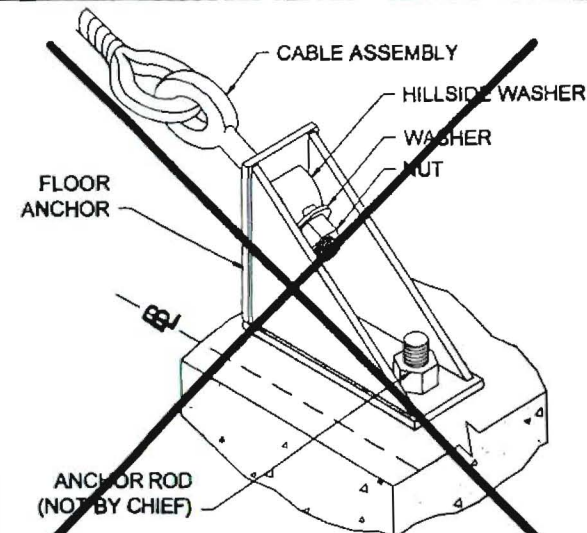
CABLE WIND BRACING AT INTERMEDIATE PURLIN

GD1650G

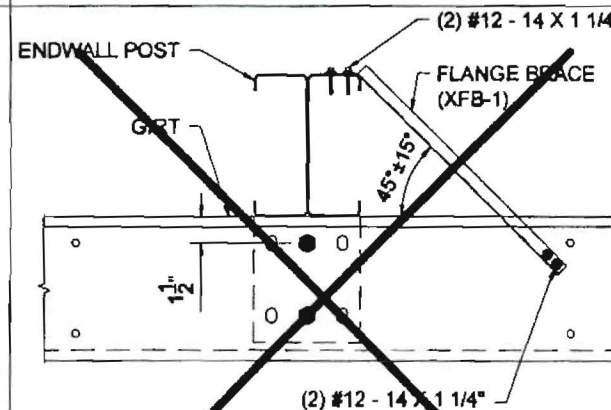


TYPICAL CABLE CONNECTION AT END

GD1650D



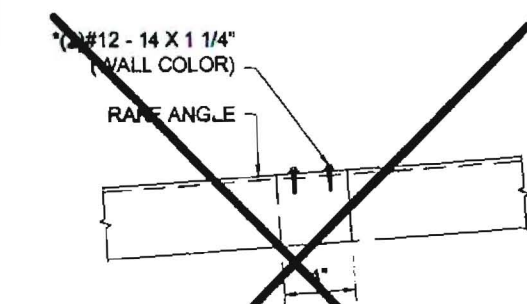
FLOOR ANCHOR DETAIL



FLANGE BRACE MAY BE FIELD CUT & DRILLED WITH 1/4" HOLES, IF REQUIRED. DO NOT EXCEED 60° ANGLE.

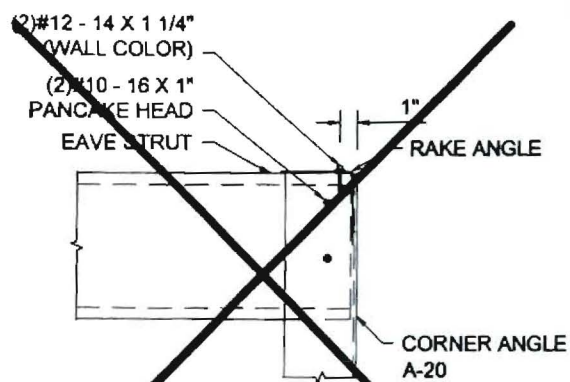
TYPICAL FLANGE BRACE ZEE GIRTS TO B-B POST

GD1600U



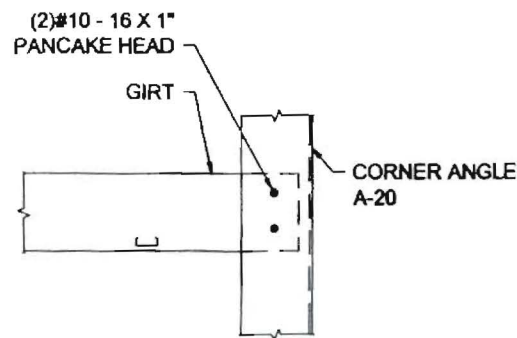
* NOTE: IN VERTICAL LEG FOR LTC AND MVF / MVP ROOF

RAKE ANGLE LAP DETAIL CS / LTC / MVF / MVP ROOF SYSTEM



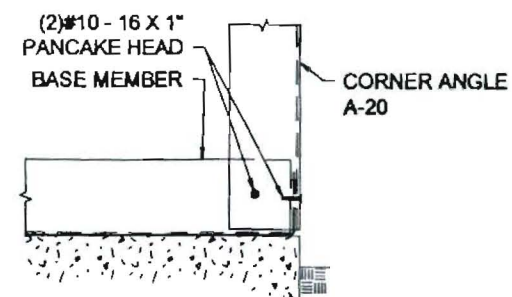
DETAIL AT EAVE & GABLE CS ROOF

GD1750E



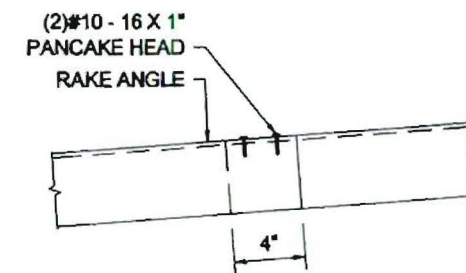
CORNER ANGLE TO GIRTS

GD1750B



DETAIL AT BASE ANGLE

GD1750F



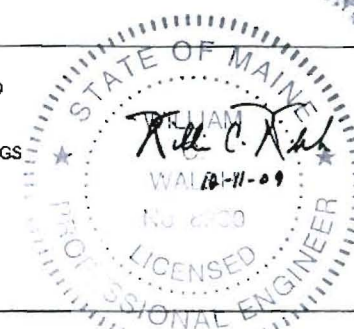
RAKE ANGLE LAP DETAIL MSC / STC ROOF SYSTEM

NOTE:
THE DETAILS ON THIS PAGE OVERRIDE DETAILS IN THE GENERAL DETAILS MANUAL.

REVISIONS

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UPDATED DETAILS PROC GD1

TURNER BROTHERS, LLC. / W. B. MASON PORTLAND ME

PORTLAND, ME

2-BUILDING COMPLEX

CHIEF BUILDINGS a Division of Chief Industries, Inc. P.O. BOX 3075 GRAND ISLAND, ME 04042-3075	DRAWN	CHECK	ORDER NO.	UD1
	JSA	AL	CO95226	UD1

RELEASED	11-30-09
SUPERSEDES	10-23-08

Quality Assurance Policy

The following Quality Assurance Policy is comprised of a list of guidelines and procedures to expedite customer service requirements in the field. Chief's objective is to produce a first-class product and back it up with the best customer service in the industry.

The Quality Assurance Policy has been developed over the last twenty-five years and is based on handling customer service in the field. These guidelines will simplify the communication process and expedite any special requirements needed to make your project run as smooth as possible.

Common Industry Practices

The correction of minor misfits by the use of drift pins to draw the components into line, shimming, moderate amounts of reaming, chipping and cutting, and the replacement of minor shortages of material are a normal part of erection and are not subject to claim.

Chief will not pay claims unless the following claim and authorization procedure is strictly complied with by the Builder, or if the correction work is started prior to receipt by Builder of Chief's written "Authorization of Corrective Work". If erection is not by the Builder, the Erector is responsible for providing the Builder with the information necessary to make the claim to Chief as provided below.

Chief is not responsible for any claim resulting from the use of any drawings or literature not specifically released for the components purchased for the project.

Chief is not responsible for any claim resulting from the use by the Erector of any improper material or material containing defects that can be detected by visual inspection. Claims for disassembling such improper or defective material and costs of erecting replacement material are not allowed.

Before you call Chief

Have the following information ready when you call.

- The name of Chief's Project Manager for your project. This information should be available from the office.
- Chief's order number for your project. This information is available from the drawings.
- Page numbers and detail callouts from the drawings.
- Part marks.
- Line numbers.

1. Shortage and Damage Claims

Chief personnel check off all components of orders prior to shipment. However, it is imperative that the Builder check each shipment against the packing lists or Shipping Papers to ensure that the shipment is complete and no damage has occurred.

One of the smaller resale boxes contains a set of drawings, M.S.D.S. sheets and other important documents that will aid you in erecting your project. Look for a box that says "DOCUMENTS ENCLOSED".

Checking the Shipping List

Duplicates of packing lists are part of the paper work that is shipped with each load of steel. The full set of checked off Shipping Papers is on the final shipment. An advance copy of the Shipping Papers is included in the document box.

Find the box or bundle that contains the packing list. Check the contents against the packing list. The larger pieces have a piece mark written on the part, check the piece mark against the Shipping Papers.

Columns, rafters, posts, crane beams, etc. are marked with a grease pencil or paint prior to painting.

Tube flange brace marks are stamped into the end of the part. The Shipping Papers also reflect the tube size and length in inches.

Sag angles. The standard sag angle part XSA-61.25 is stamped into the part. The miscellaneous sag angles are marked with a colored marker after they are primed. If there is a pile of same sag angles, only the top angle is marked and the pile is color coded with spray paint on the ends. The Shipping Papers also reflect the angle size and length in inches.

Special plates are individually marked with a grease pencil prior to painting. The drawings that are sent with the steel shipment will also have part drawings included. These drawing packets are with the other documents included with the shipment.

Standard bolting clips are stamped on the individual parts. A drawing of these clips is also included in the "Component Identification" section of the "General Details (G.D.) Manual"

Wind bracing is marked with a tag that is attached to the piece. The mark number contains the size of the cable in eighths (ex. 4WB = 1/2" diameter cable) and length in inches. Rod bracing is marked with a tag that is stretch wrapped to the bundle.

Girts and purlins are marked with a grease pencil or printer prior to painting. A packing slip is also attached to each bundle that contains quantities and marks. The bundle weight is marked on the top of the bundle. The member size and length in inches are printed on the Shipping Papers.

Sheeting is identified with packing lists. These packing lists also include the number of pieces of each length and the weight. In the case of LTC sheeting, the marks are written on the paper on the end of the panel, and again on a crate support board toward the inside of the bundle. The length of the sheeting in inches is included in the piece mark. The sheeting prefix generally contains the use of the panel. RS = roof sheet, WS = sidewall sheeting, EW = endwall sheeting, LP = liner panel

The boxes containing standard trims have packing lists attached that contain piece marks and quantities. The part dimensions are covered in the "Component Identification" section of the G.D. Manual. Special trim tabs are included with the erection drawings, M.S.D.S. sheets and other documents in the resale box.

Bolts, nuts, screws and other assorted smaller resale parts are packed in smaller boxes and then packaged into larger resale boxes. A packing list is attached to these larger boxes that describe the contents.

Missing or Damaged Parts

Any missing items are to be noted on the Bill of Lading and Chief is to be notified immediately. If any item is damaged, it should be noted on the freight bill.

Concealed shortages must be reported to Chief during the following period dating from receipt of the first load:

- one load job = 2 weeks
- two load job = 3 weeks
- three load job = 4 weeks
- seven or more load job = 8 weeks
- four load job = 5 weeks
- five load job = 6 weeks
- six load job = 7 weeks

Chief's responsibility for shortages expires at the end of these notification periods.

Replacement Shipment

Maximum effort will be made by Chief to ship replacement components as quickly as possible. Chief will attempt to ship standard components fabricated in its building plants within 48 hours and stock items will be ready to ship in 24 hours.

When a shortage is determined, the Builder needs to notify Chief's Project Manager of the Quality Assurance issue. Chief's Order Number and complete information describing the parts required must be conveyed at this time.

Chief will act immediately to get the parts to the Builder and responsibility for the problem will be determined later.

After the problem has been corrected, Chief will determine where the responsibility lies. If it is Chief's error, Chief will provide the replacement material. Otherwise, Chief will invoice accordingly.

Transit Damage

Nominal damage can occur during transit. Chief supplies touch-up paint for such cases. However, if excessive damage occurs, the following procedure will be observed: Material damage (transit or otherwise) should be noted on the carrier's Bill Of Lading. If the damage is not noted on the Bill of Lading, Chief may charge the Builder for the replacement material. Customer pickup - Driver must inspect the load for any damaged material before leaving the plant, and notify Chief accordingly.

White Rust

All panels shipped from Chief's building plants are in good condition.

Chief bundles and/or boxes components only for protection during transit. This packaging is not intended for protection during storage.

Panels must be stored so air can circulate freely. Trapped moisture may cause discoloration or white rust. Refer to the G.D. Manual for proper bundling storage. This manual is supplied with each order. (again in the resale box)

Primer

Chief's shop primer is a rust inhibiting grey modified acrylic primer. This primer is intended to protect the steel only for short periods of exposure to ordinary atmospheric conditions. In addition, shop primer does not provide the uniformity of appearance, or the durability of a field applied finish coat of paint over a shop primer.

The Builder must ensure that the grey primed material is stored in such a manner that water, snow, ice and other debris are not allowed to pond in the members. If primed material is to be top coated with other paint, compatibility tests must be performed by the Builder to ensure acceptable results. These compatibility tests should cover a cross-section of members (clips, angles, purlins, girts, columns, rafters, beams, flange braces, etc.) as different primers may be used on different members.

2. Authorization for Returning Merchandise

The authorization must be obtained from Chief's Project Manager before merchandise may be returned for credit. Returned merchandise shall be limited to resale type items (i.e. fasteners, closures, etc.) at Chief's sole discretion. Chief retains the prerogative to allow or disallow the return of merchandise.

Builder must contact Chief's Project Manager with a description of the merchandise and the reason for their request.

When authorization has been granted, an authorization form will be sent to the Builder along with a pre-numbered tag to attach to the merchandise being returned.

A 15% re-stock charge may be assessed on all merchandise which is authorized to be returned.

Special Order Merchandise
Special merchandise ordered, such as special doors, windows, vents, fasteners, etc., may not be returned for credit.

Replacement Items
All merchandise shipped will be invoiced to the Builder. This includes parts sent to replace merchandise which has been authorized for return to Chief.

Credit will be issued to the Builder's account when the returned merchandise has been accepted by Chief. Chief may refuse to credit your account if the returned merchandise is not in good condition.

3. Field Modifications

Notification of Field Problems

The initial claim must be made promptly by either written or verbal notification to Chief's Project Manager. Any verbal notification must be followed up in writing within 7 days. The initial claim must include:

1. Description of nature and the extent of the errors, including quantities.
2. Description of nature and the extent of proposed corrective work, including estimated man-hours and costs.
3. Material to be purchased from other than Chief, including estimated quantities and costs.
4. Maximum total cost of proposed corrective work and material to be purchased from other than Chief

If necessary, Chief may request pictures, field measurements, or other information that will aid in helping to solve the problem.

Authorization MUST be obtained from Chief's Technical Service Department in writing before field modification is made. Authorization identifies the problem and allows Chief to participate in arriving at a solution, it does not assign fault or liability.

Chief cannot be responsible for structures which have been modified without specific authorization. Any such action may void warranties.


The order number must be shown on all backcharges submitted to Chief.

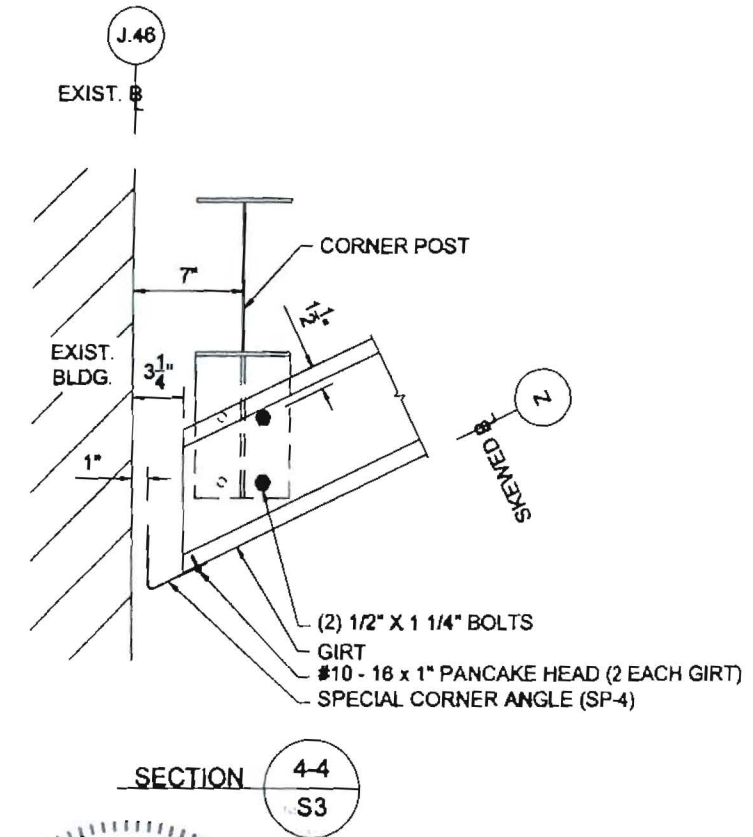
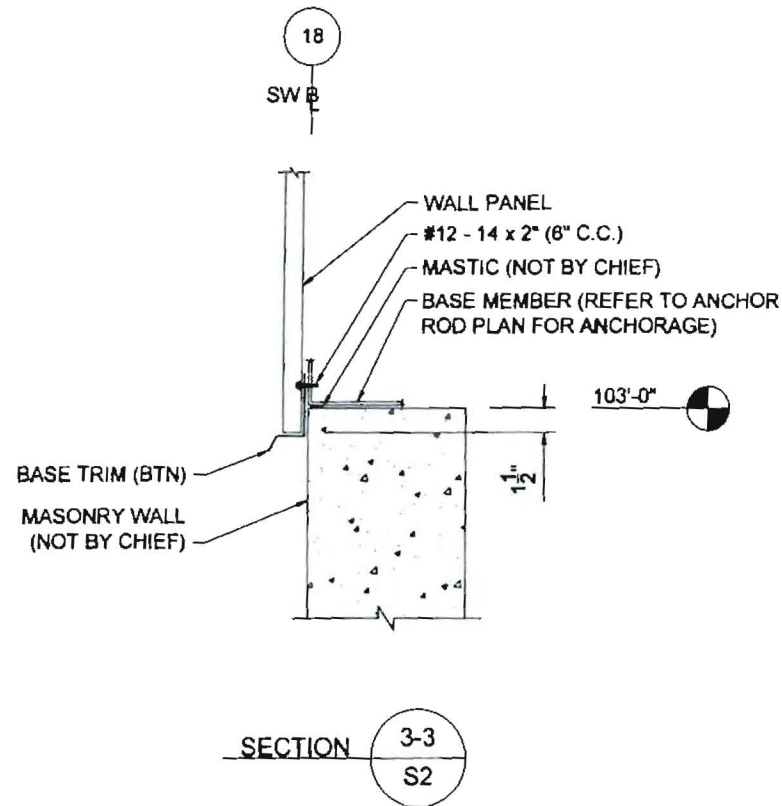
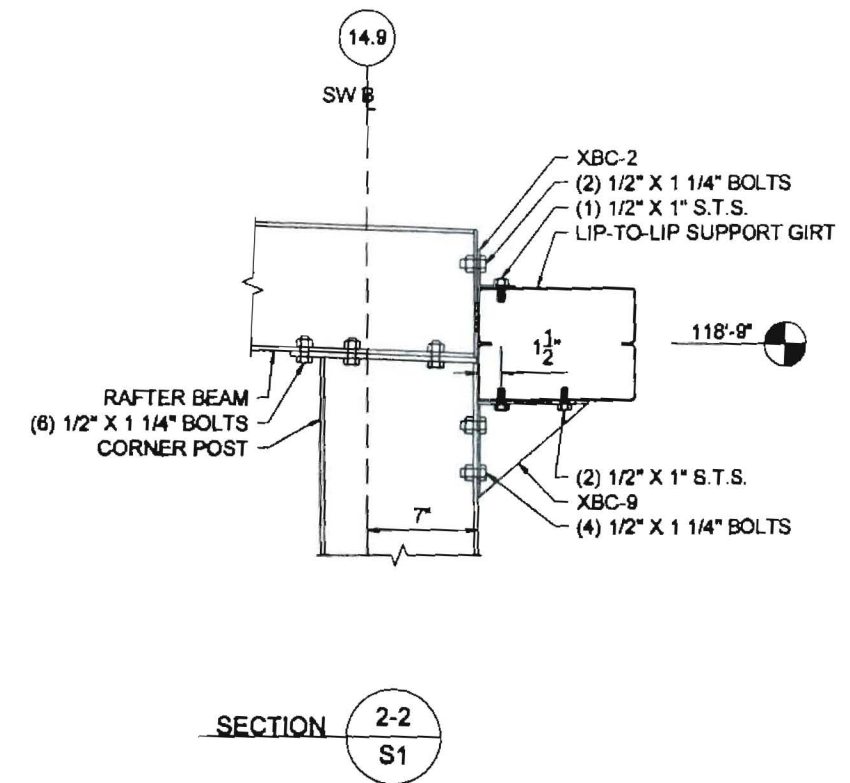
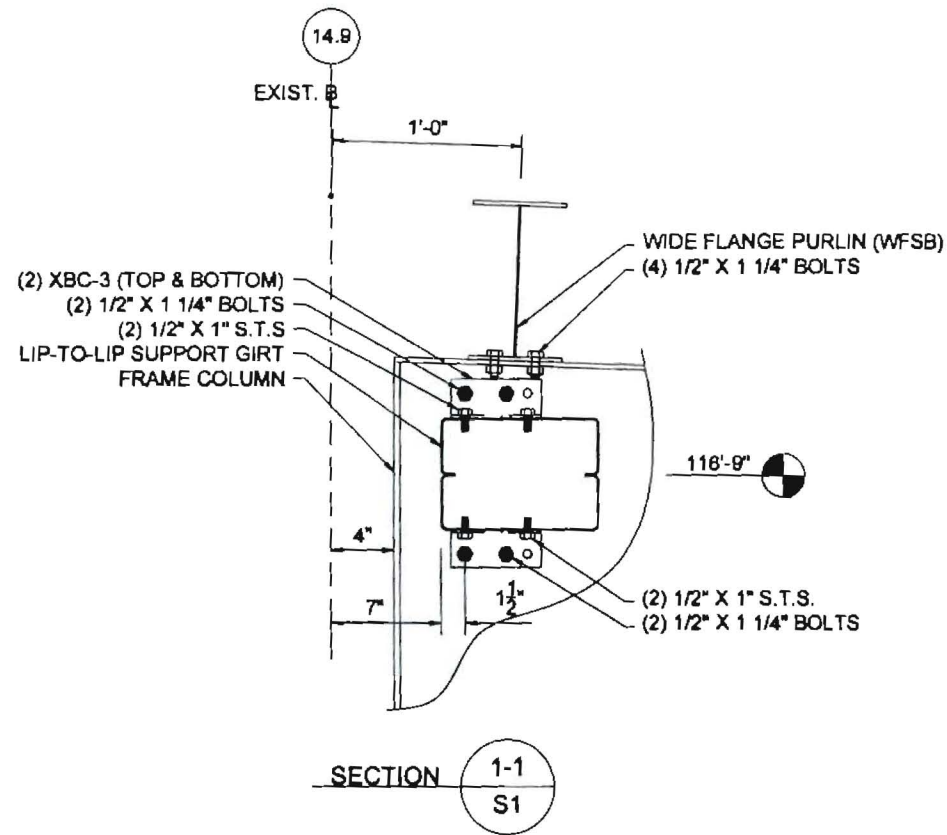
Backcharge Procedure

All backcharges must be submitted within 14 (fourteen) days after completion of the corrective work for which prior approved authorization has been given. Failure to submit the backcharge within this time limit will negate Chief's obligation to pay said charges.

Information Required for Submitting the Final Claim

1. Chief's Order Number.
2. Actual man-hours by date of direct labor use on corrective work and hourly rates of pay.
3. Cost of material (not minor supplies) authorized by Chief to be purchased from other than Chief, including copies of paid invoices.
4. Total actual direct cost of corrective work (sum of 2 and 3).
The final claim shall be signed and certified true and correct by the Builder. Final claims are paid to the Builder in an amount of the lesser of
a) cost set forth in the initial report and subsequent "Authorization for Field Modification",
or
b) the total actual direct cost of corrective work.
5. The cost of equipment (rental or depreciation), small tools, supervision, overhead and profit are not subject to claim. This includes crane and lift charges.

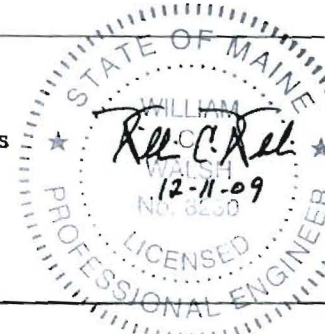
QUALITY ASSURANCE POLICY			
TURNER BROTHERS, LLC. / W. B. MASON PORTLAND ME			
PORTLAND, ME			
2-BUILDING COMPLEX			
RELEASED	01-15-07	DRAWN	CHECK
		JSA	AL
SUPERSEDES		ORDER NO.	Q1
		CO95226	Q1
		24-NOV-09	9-DEC-09



REVISIONS

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NOTWITHSTANDING THE ADJACENT SEAL, NEITHER THE ENGINEER NAMED NOR CHIEF BUILDINGS IS ACTING AS THE ENGINEER OF RECORD. THE ENGINEER NAMED AND CHIEF BUILDINGS RESPONSIBILITY IS LIMITED TO THE STRUCTURAL PERFORMANCE OF THE PRE-ENGINEERED COMPONENTS DESIGNED BY CHIEF BUILDINGS.



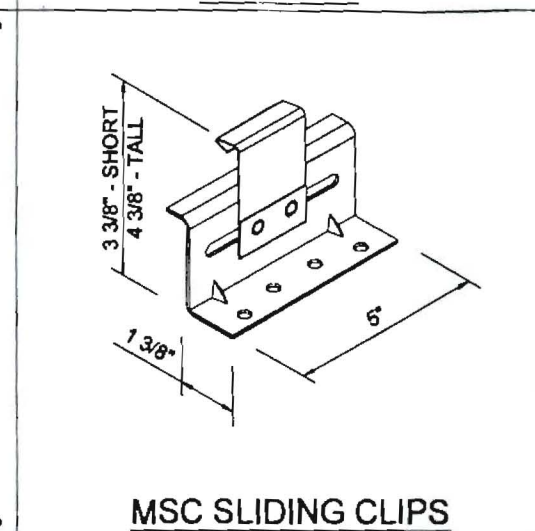
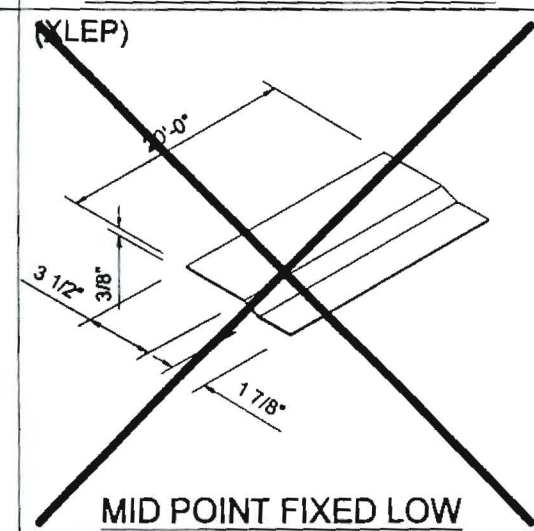
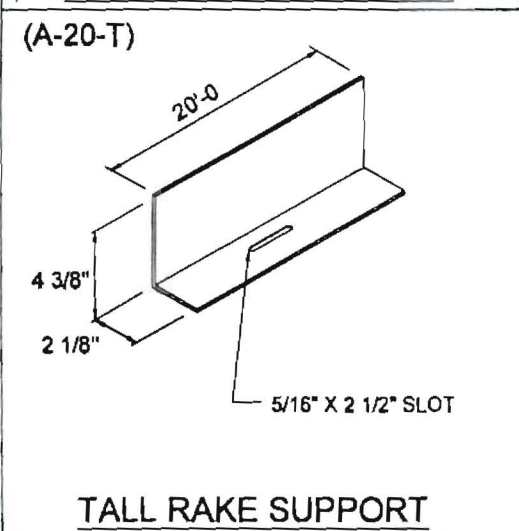
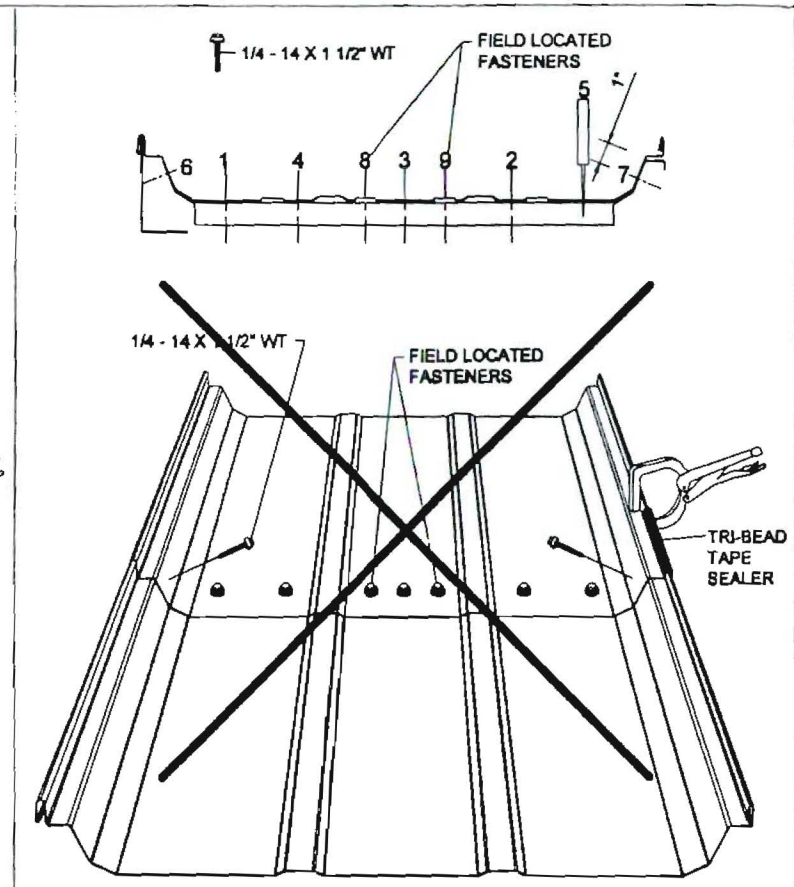
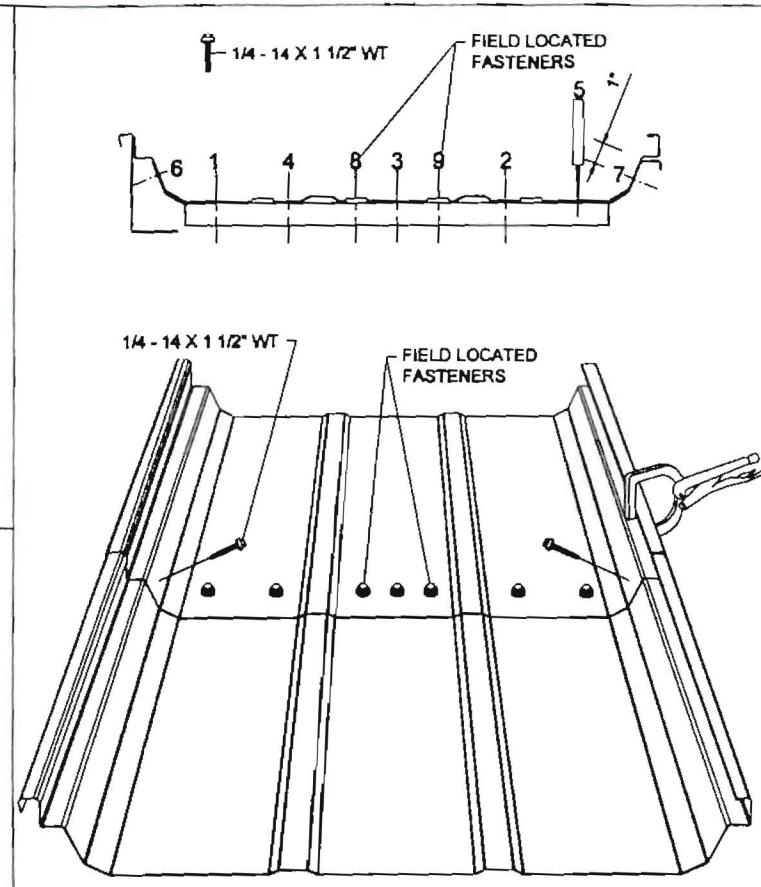
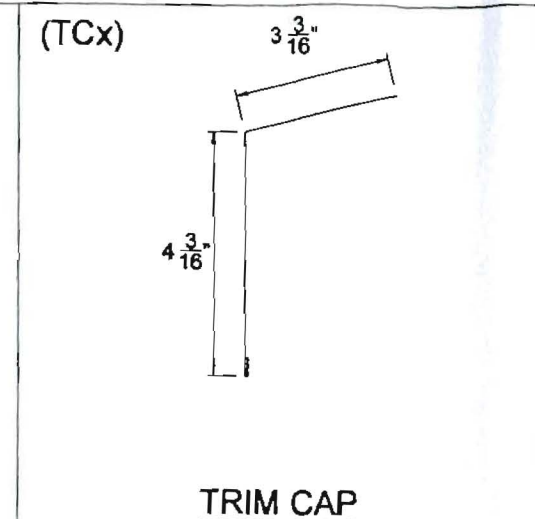
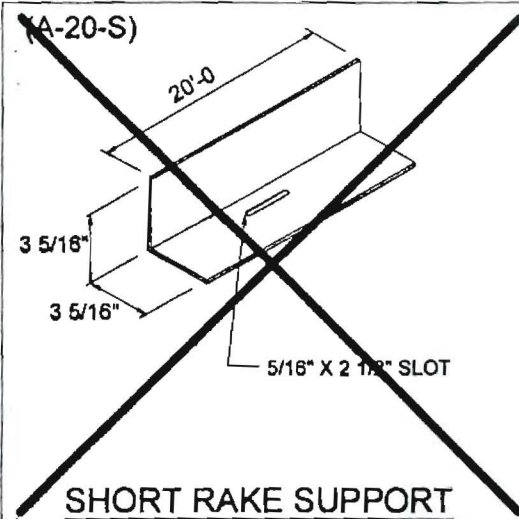
SECTIONS & DETAILS

TURNER BROTHERS, LLC. / W. B. MASON PORTLAND ME
PORTLAND, ME

2-BUILDING COMPLEX

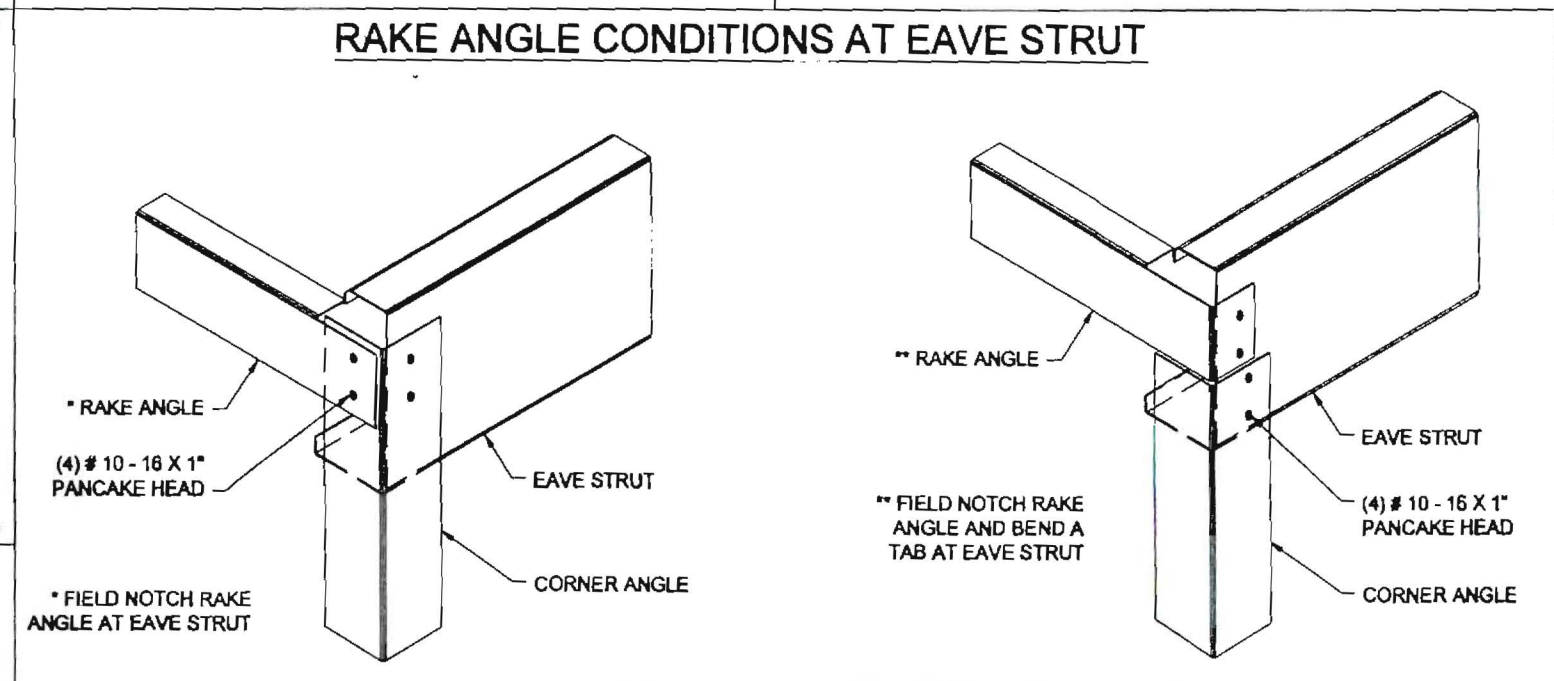
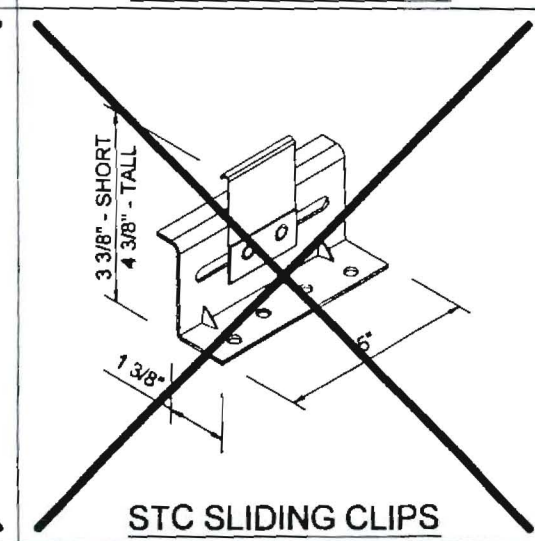
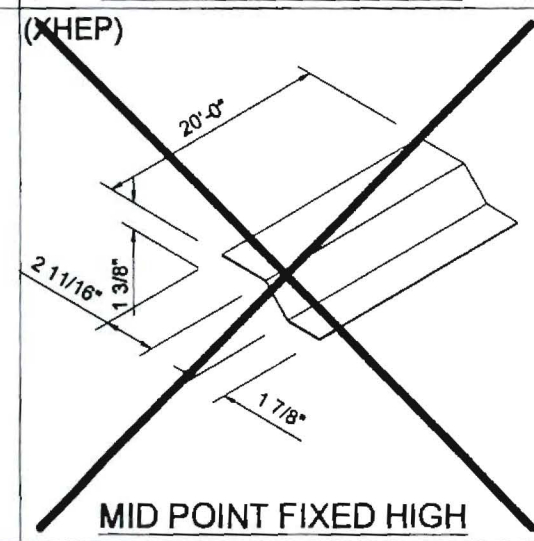
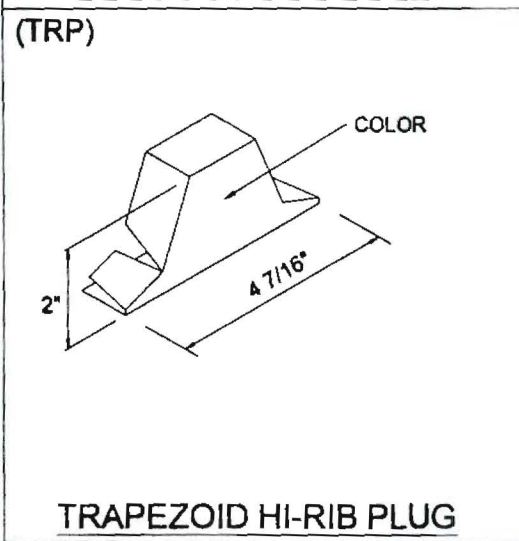


DRAWN	CHECK	ORDER NO.	S4
JSA	AL	CO95226	S6
1-DEC-09	8-DEC-09		



The above details are on update to the CHIEF MSC Erection Manual page MSC-35 and MSC-38. Follow the instructions for sequences and usage that are in the manual - adding the 2 field located 1/4 - 14 x 1 1/2" WTs as the last step.

The above details are on update to the CHIEF STC Erection Manual page STC-35 and STC-38. Follow the instructions for sequences and usage that are in the manual - adding the 2 field located 1/4 - 14 x 1 1/2" WTs as the last step.



NOTE:
THE DETAILS ON THIS PAGE OVERRIDE DETAILS IN THE STC/MSC ERECTION MANUAL.

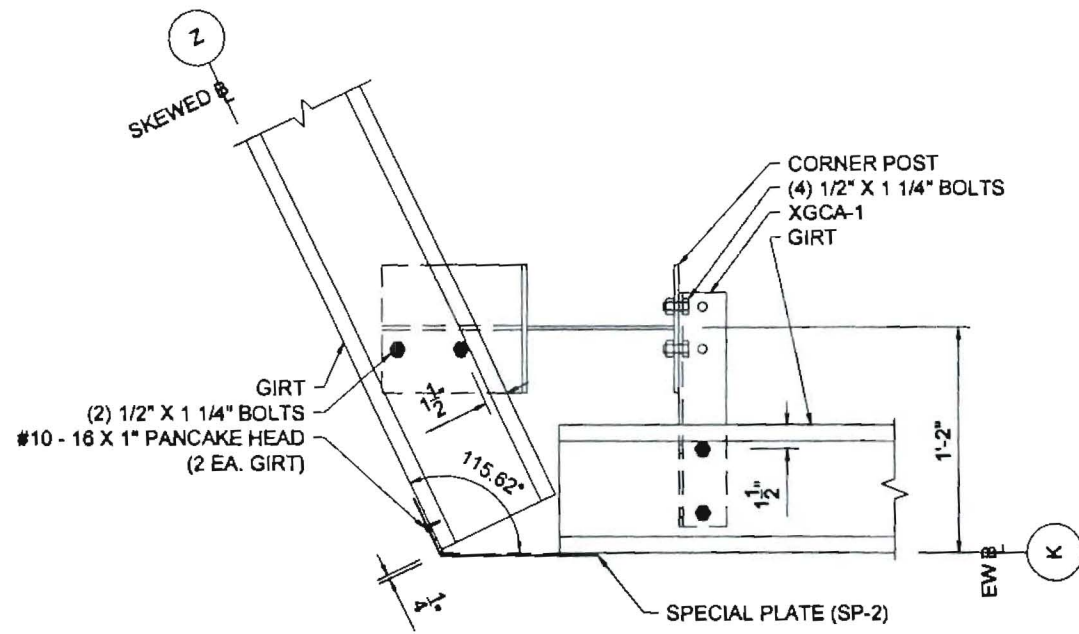
RELEASED	04-07-08
SUPERSEDES	12-18-07

REVISIONS	
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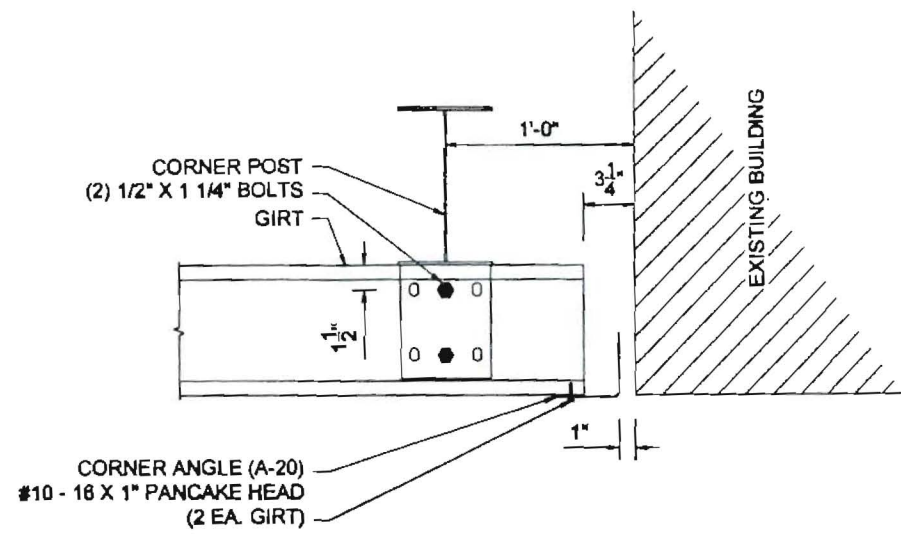
NOTWITHSTANDING THE ADJACENT SEAL, NEITHER THE ENGINEER NAMED NOR CHIEF BUILDINGS IS ACTING AS THE ENGINEER OF RECORD. THE ENGINEER NAMED AND CHIEF BUILDINGS RESPONSIBILITY IS LIMITED TO THE STRUCTURAL PERFORMANCE OF THE PRE-ENGINEERED COMPONENTS DESIGNED BY CHIEF BUILDINGS.



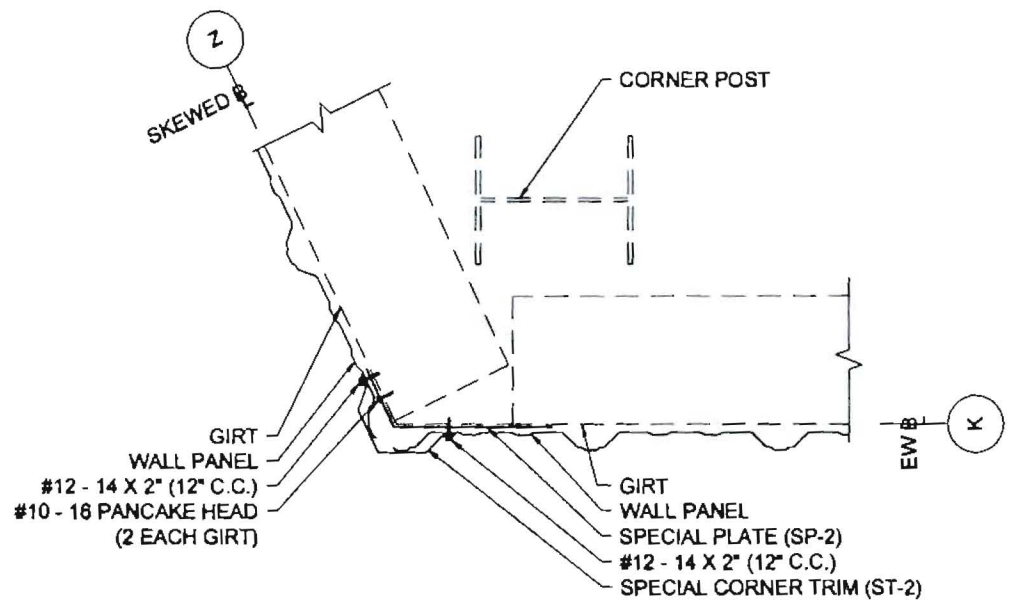
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TURNER BROTHERS, LLC. / W. B. MASON PORTLAND ME			
PORTLAND, ME			
2-BUILDING COMPLEX			
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	JSA	AL	RS4
	1-DEC-09	9-DEC-09	RS5
		CO95226	



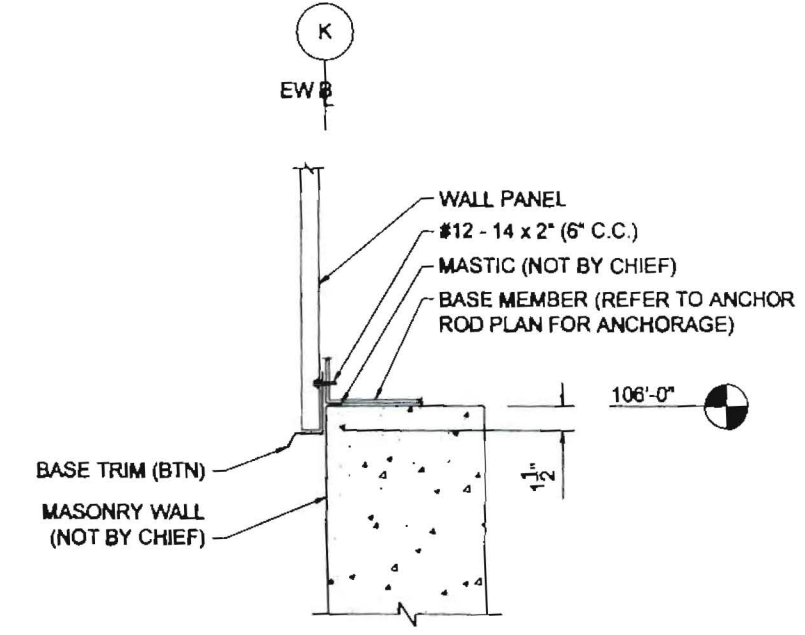
SECTION 1-1
E1



SECTION 2-2
E1



SECTION 3-3
E3



SECTION 4-4
E3

REVISIONS

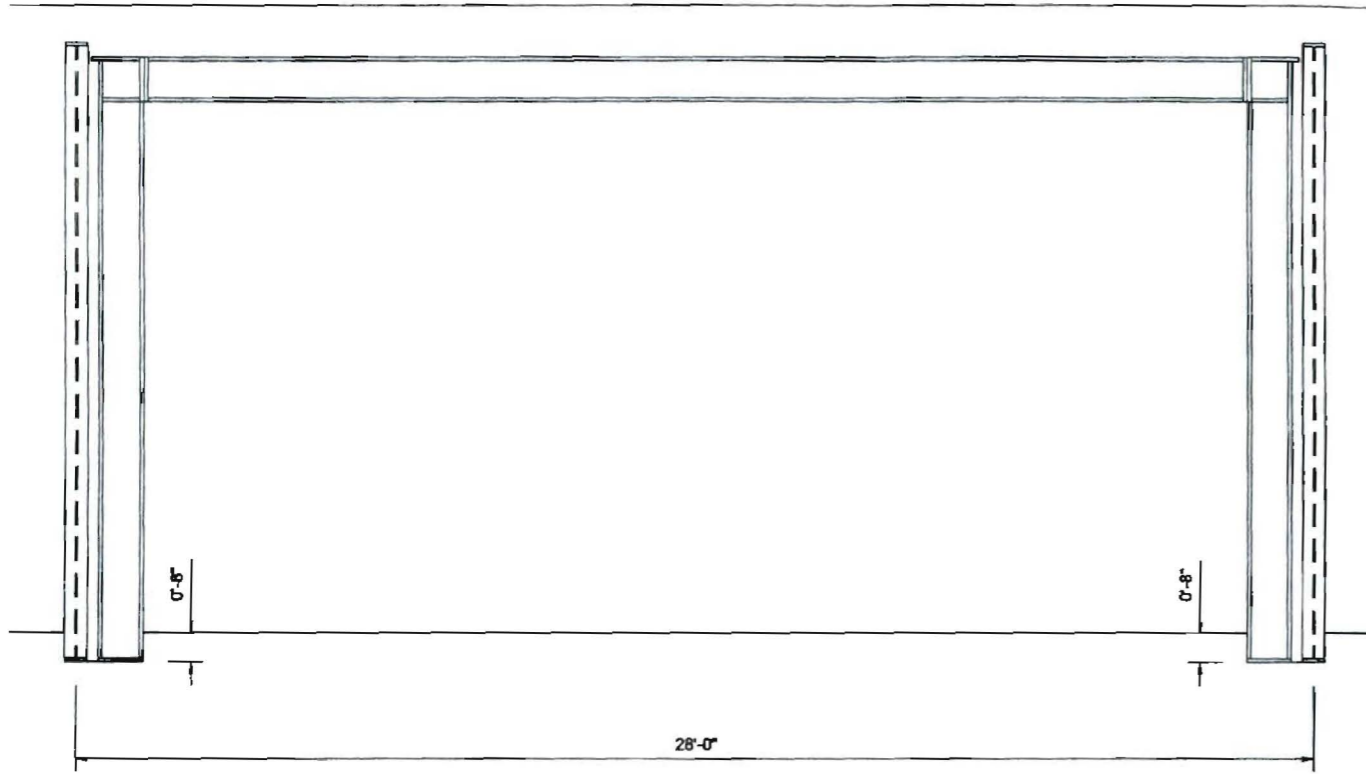
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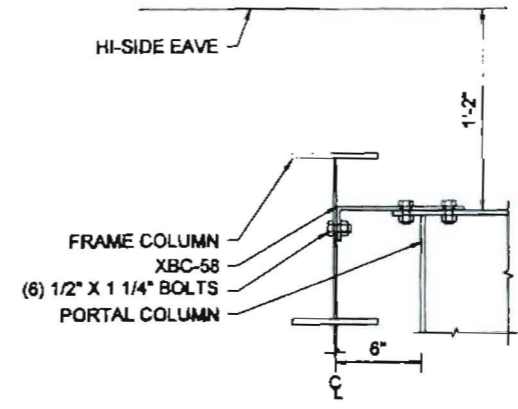


SECTIONS & DETAILS

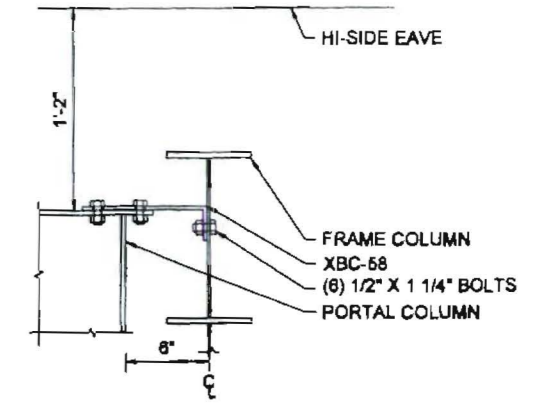
TURNER BROTHERS, LLC. / W. B. MASON PORTLAND ME			
PORTLAND, ME			
2-BUILDING COMPLEX			
CHIEF BUILDINGS	DRAWN AL/JSA	CHECK JSA / AL	ORDER NO. CO95226
	13-NOV-09	9-DEC-09	E4 E5



PORTAL FRAME ELEVATION
COL LINE 14.9



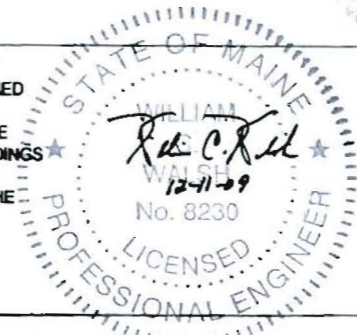
PORTAL FRAME TO MAIN
FRAME CONNECTION



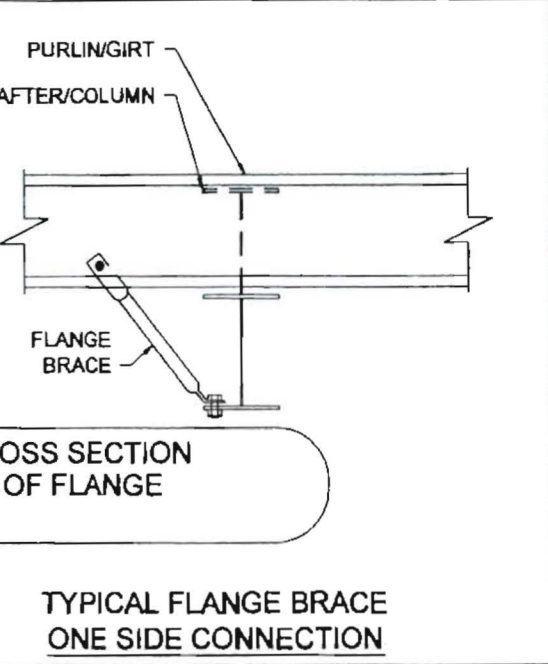
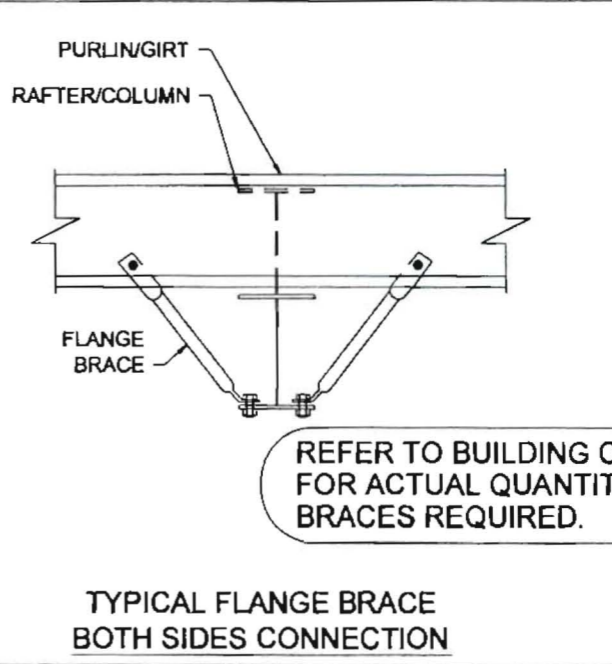
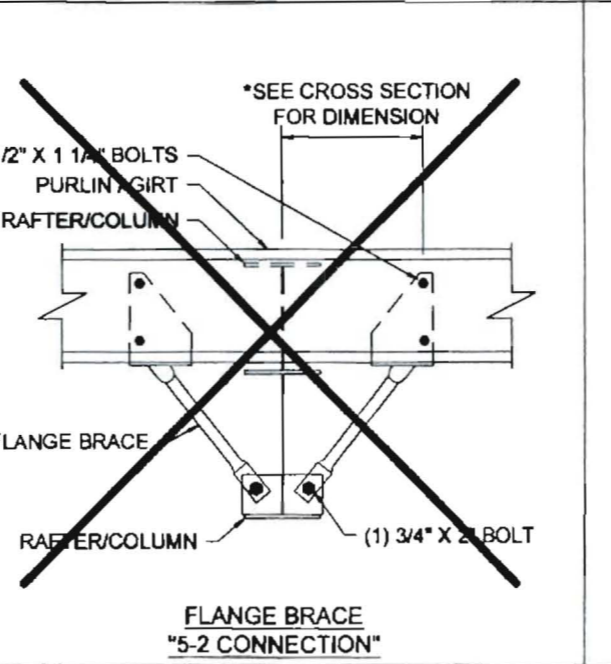
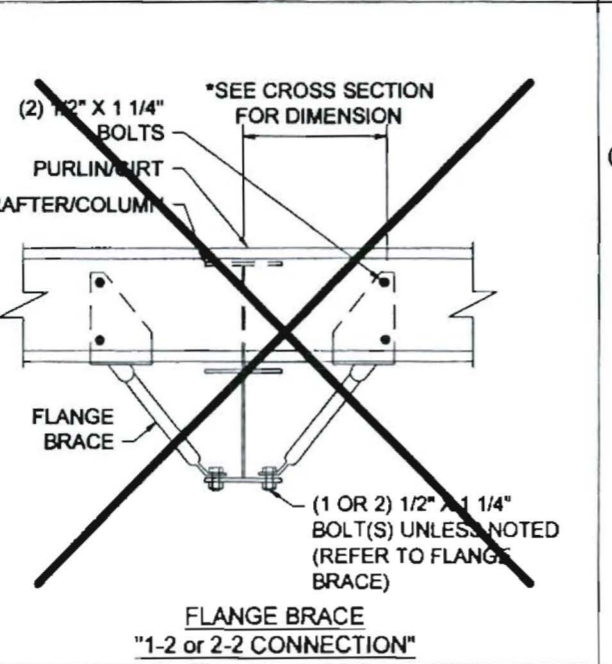
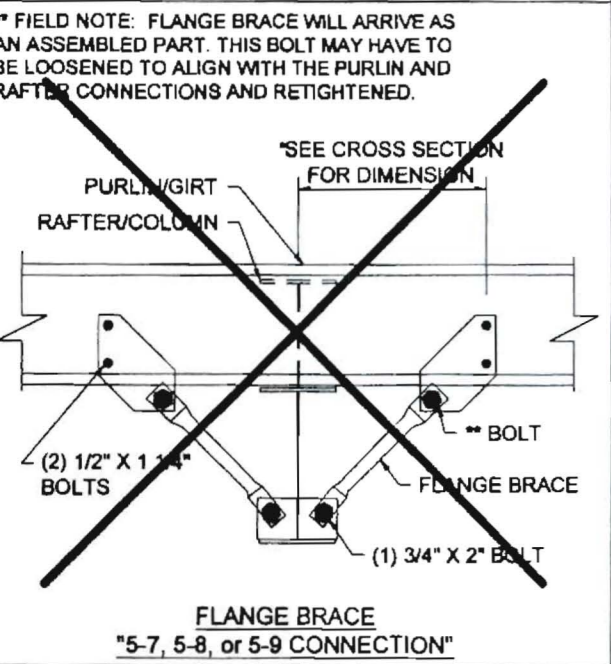
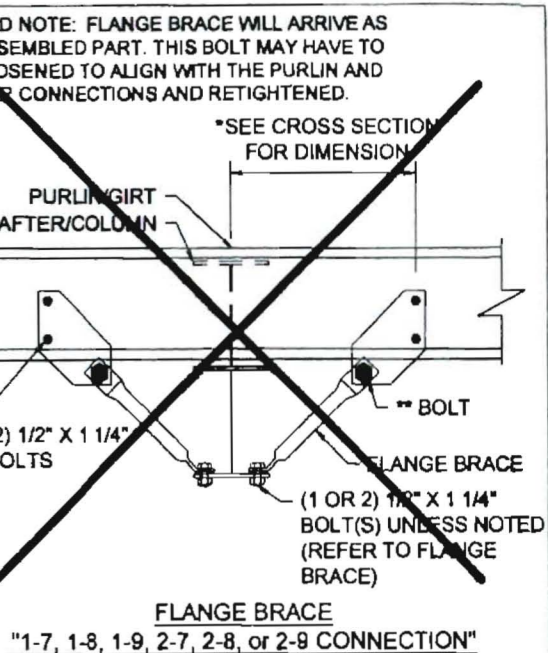
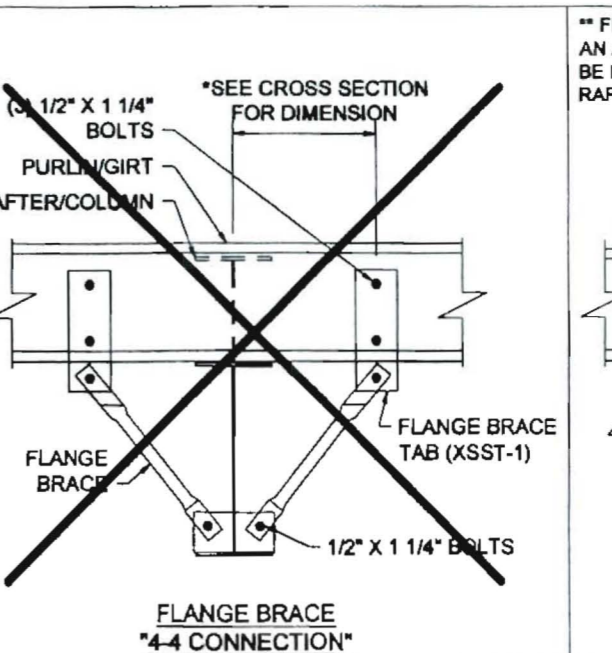
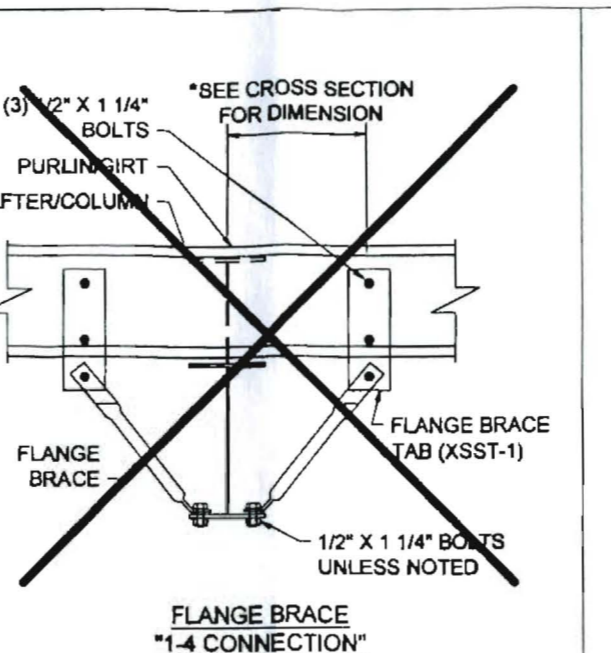
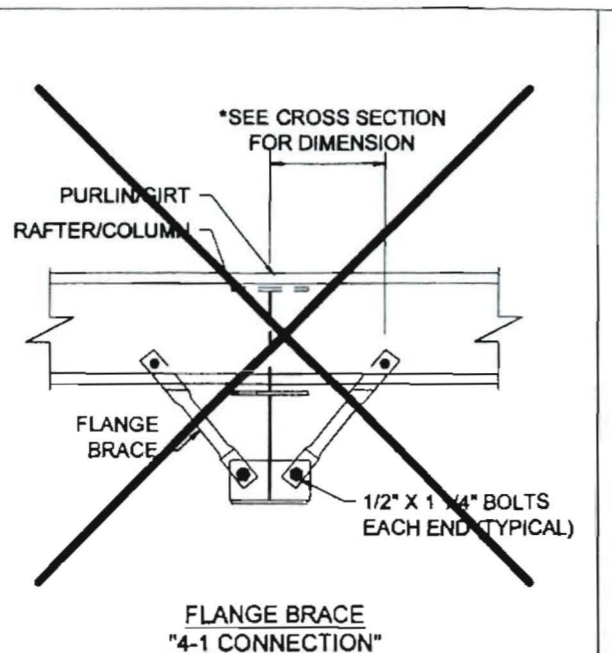
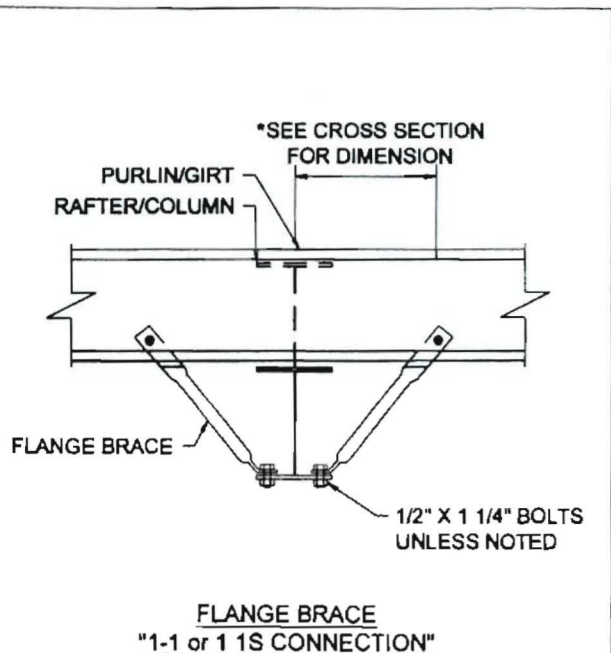
PORTAL FRAME TO MAIN
FRAME CONNECTION

REVISIONS	
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CROSS SECTIONS			
TURNER BROTHERS, LLC. / W. B. MASON PORTLAND ME			
PORTLAND, ME			
2-BUILDING COMPLEX			
CHIEF BUILDINGS <small>a Division of Chief Industries, Inc.</small> <small>P.O. BOX 2078 GRAND ISLAND, ME 05503-2078</small>	DRAWN	CHECK	ORDER NO.
	AL	JSA	CS5
	2-DEC-09	7-DEC-09	CO95226
			CS6



** FIELD NOTE: FLANGE BRACE WILL ARRIVE AS AN ASSEMBLED PART. THIS BOLT MAY HAVE TO BE LOOSENED TO ALIGN WITH THE PURLIN AND RAFTER CONNECTIONS AND RETIGHTENED.

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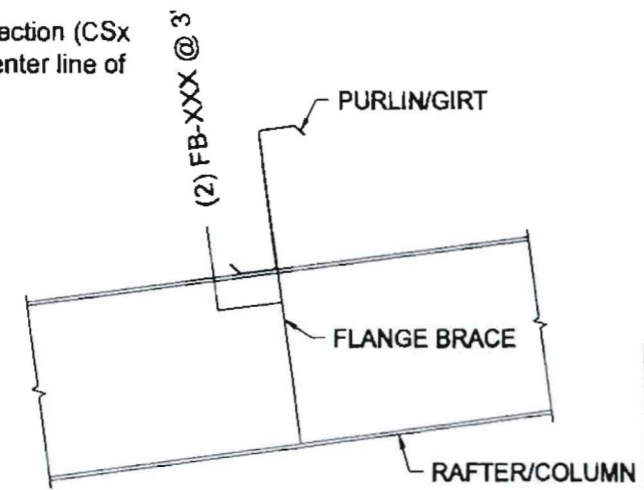
** FIELD NOTE: FLANGE BRACE WILL ARRIVE AS AN ASSEMBLED PART. THIS BOLT MAY HAVE TO BE LOOSENED TO ALIGN WITH THE PURLIN AND RAFTER CONNECTIONS AND RETIGHTENED.

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** FIELD NOTE: FLANGE BRACE WILL ARRIVE AS AN ASSEMBLED PART. THIS BOLT MAY HAVE TO BE LOOSENED TO ALIGN WITH THE PURLIN AND RAFTER CONNECTIONS AND RETIGHTENED.

1. (2) = Quantity of flange brace
2. FB-XXX = Part mark
3. 3' = nominal punch from centerline of frame

See flange brace mark on Cross Section (CSx pages) for nominal spacing from center line of frame.



*** KEY PLAN**

RELEASED	11-04-09
SUPERSEDES	

REVISIONS	
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NOTWITHSTANDING THE ADJACENT SEAL, NEITHER THE ENGINEER NAMED NOR CHIEF BUILDINGS IS ACTING AS THE ENGINEER OF RECORD. THE ENGINEER NAMED AND CHIEF BUILDINGS RESPONSIBILITY IS LIMITED TO THE STRUCTURAL PERFORMANCE OF THE PRE-ENGINEERED COMPONENTS DESIGNED BY CHIEF BUILDINGS.



- NOTE:
- SEE BUILDING CROSS SECTION FOR FLANGE BRACE PIECE MARKS.
 - FIELD BEND FLANGE BRACES AS REQUIRED TO MATCH HOLES IN PURLINS AND GIRTS.
 - SEE ROOF FRAMING PLAN FOR PURLIN LAP DIMENSION.
 - FILL ALL HOLES IN THE FLANGE BRACE WITH BOLTS.
 - FOR PURLIN TO FRAME RAFTER CONNECTION AND PURLIN LAP CONNECTION REFER TO PURLIN CONNECTION DETAILS.
 - IF FLANGE BRACE CONNECTION OCCURS WITHIN THE PURLIN LAP, INSTALL FLANGE BRACE BEFORE TIGHTENING PURLIN BOLTS.

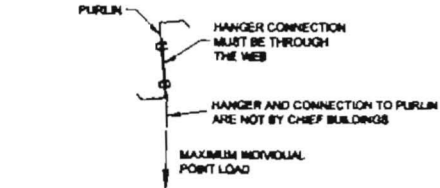
FLANGE BRACE CONNECTIONS		PROCGD3	
TURNER BROTHERS, LLC. / W. B. MASON PORTLAND ME			
PORTLAND, ME			
2-BUILDING COMPLEX			
CHIEF BUILDINGS	DRAWN	CHECK	ORDER NO.
	AL	JSA	CO95226
	24-NOV-09	9-DEC-09	CS6

Collateral Loads

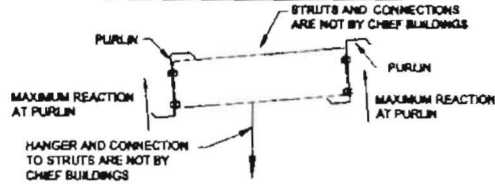
This building has been designed for a collateral load of 5 psf. The total applied loads due to ceiling panels, ducts, sprinkler distribution lines, electrical equipment, conduit, fireproofing, other piping and mechanical loads, etc., cannot exceed this collateral load. In no case shall the total uniform collateral load on an individual roof member exceed the product of 5 psf times the spacing of the supporting member. Nor shall any individual point load or summation of point loads on any one roof member exceed the product of 5 psf times the member spacing times half the member length. In addition, no individual point load on a purlin can exceed 100 lbs. All loads suspended from purlins shall have the load introduced through the web and not the flange of the purlin. Hangers cannot be supported from the edge of flanges or through holes in the flanges of the purlins. Design of hangers and their attachments are not by Chief Buildings. Chief Buildings is NOT responsible for lateral or longitudinal bracing of suspended members subjected to horizontal service, seismic, or wind loading.

Chief Buildings neither assumes nor accepts any responsibility for the design of hangers, bracing of suspended members, transverse support members, nor connections to roof purlins. It is the responsibility of the Buyer/Contractor and/or End Owner to have this design performed by a registered design professional.

HANGER AT INDIVIDUAL ZEE PURLIN



HANGER BETWEEN ZEE PURLINS

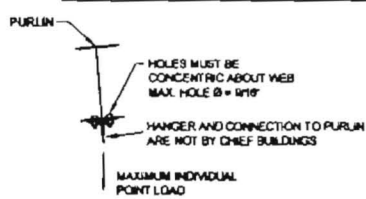


Collateral Loads

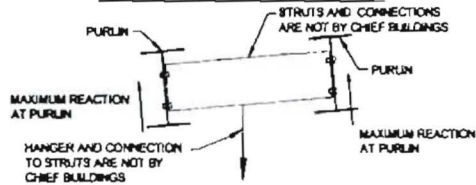
This building has been designed for a collateral load of 5 psf. The total applied loads due to ceiling panels, ducts, sprinkler distribution lines, electrical equipment, conduit, fireproofing, other piping and mechanical loads, etc., cannot exceed this collateral load. In no case shall the total uniform collateral load on an individual roof member exceed the product of 5 psf times the spacing of the supporting member. Nor shall any individual point load or summation of point loads on any one roof member exceed the product of 5 psf times the member spacing times half the member length. In addition, no individual point load on a purlin can exceed 300 lbs. All loads suspended from purlins shall have the load introduced through the web and not the flange of the purlin. Hangers cannot be supported from the edge of flanges. Maximum 9/16" diameter holes can be drilled in the flanges of the WF purlins for support clips (not by Chief Buildings.) Design of hangers and their attachments are not by Chief Buildings. Chief Buildings is NOT responsible for lateral or longitudinal bracing of suspended members subjected to horizontal service, seismic, or wind loading.

Chief Buildings neither assumes nor accepts any responsibility for the design of hangers, bracing of suspended members, transverse support members, nor connections to roof purlins. It is the responsibility of the Buyer/Contractor and/or End Owner to have this design performed by a registered design professional.

HANGER AT INDIVIDUAL ZEE PURLIN

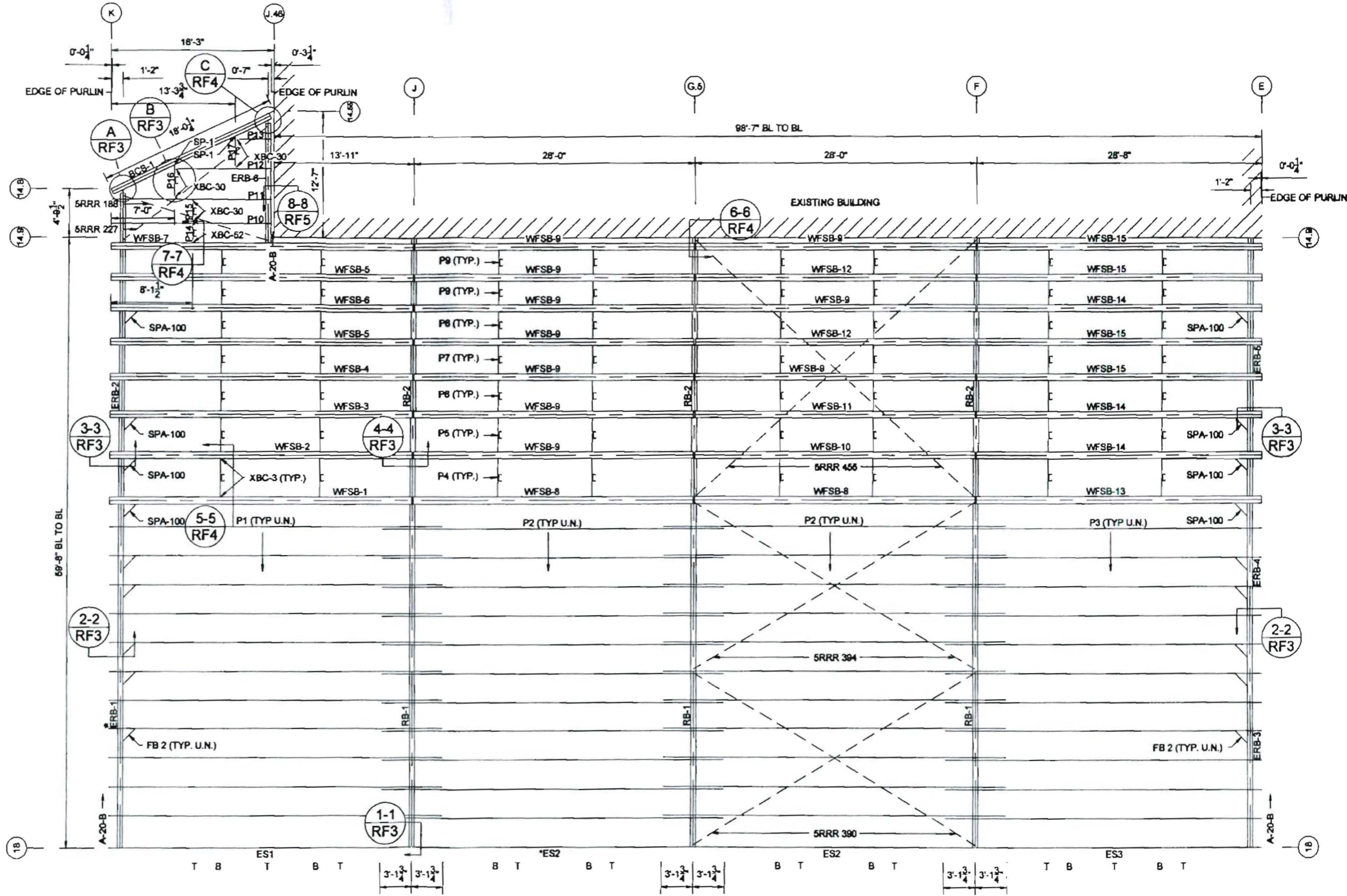


HANGER BETWEEN ZEE PURLINS



REFERENCE NOTES

- ALL PURLINS ATTACH TO FRAMING USING "STD" ATTACHMENT UNLESS NOTED. REFER TO GO MANUAL SECTION 4 FOR BOLT LOCATIONS.
- "T" = TOP SAG ANGLE
"B" = BOTTOM SAG ANGLE.

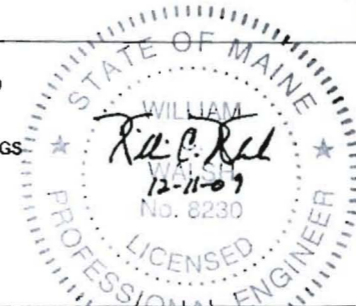


*NOTE. ES2 & ERB-1 HAVE A "CHIEF" LOGO STICKER. ERECT THE MEMBERS SO THE STICKER IS TOWARDS THE OUTSIDE OF THE BUILDING.

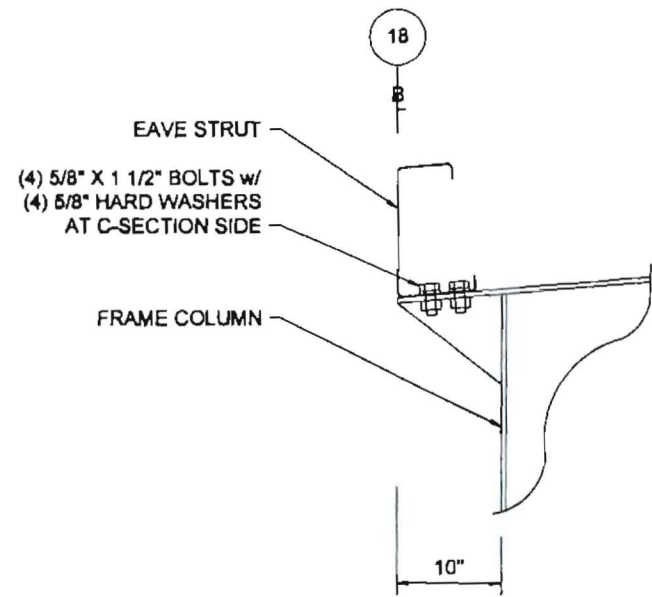
ROOF FRAMING PLAN

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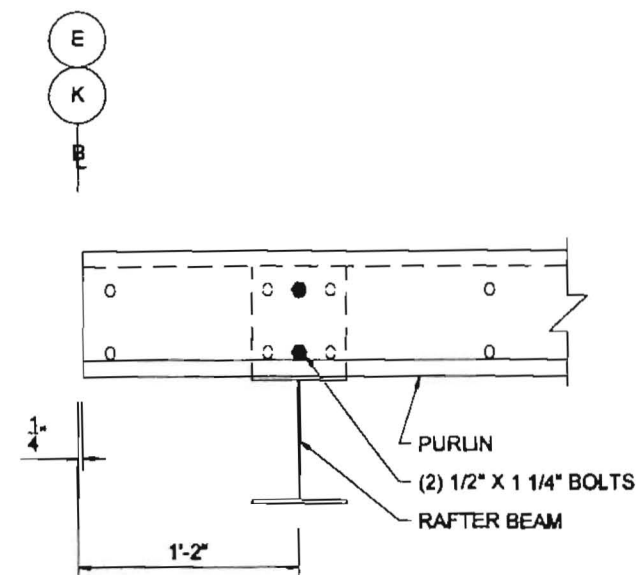
NOTWITHSTANDING THE ADJACENT SEAL, NEITHER THE ENGINEER NAMED NOR CHIEF BUILDINGS IS ACTING AS THE ENGINEER OF RECORD. THE ENGINEER NAMED AND CHIEF BUILDINGS RESPONSIBILITY IS LIMITED TO THE STRUCTURAL PERFORMANCE OF THE PRE-ENGINEERED COMPONENTS DESIGNED BY CHIEF BUILDINGS.



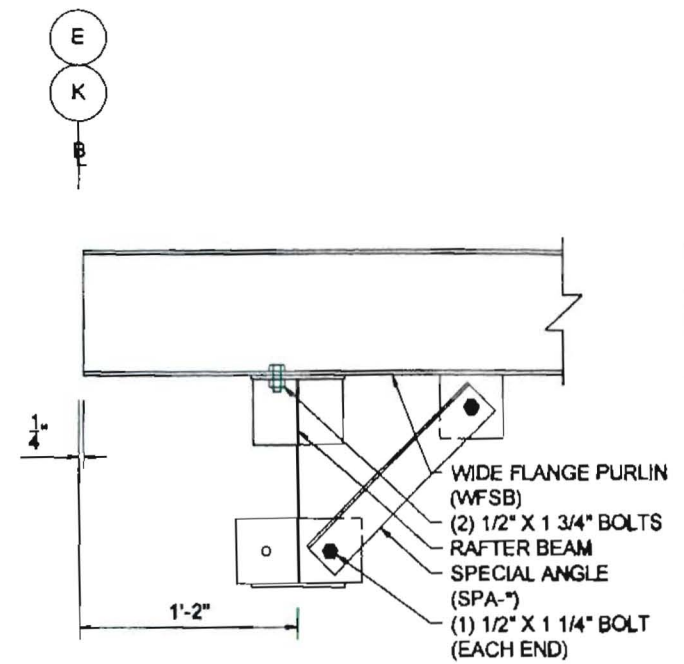
ROOF FRAMING DRAWINGS			
TURNER BROTHERS, LLC. / W. B. MASON PORTLAND ME			
PORTLAND, ME			
2-BUILDING COMPLEX			
DRAWN	CHECK	ORDER NO.	RF1
AL/BLO	JSA / AL	CO95226	RF6
18-NOV-09	9-DEC-09		



SECTION 1-1
RF1

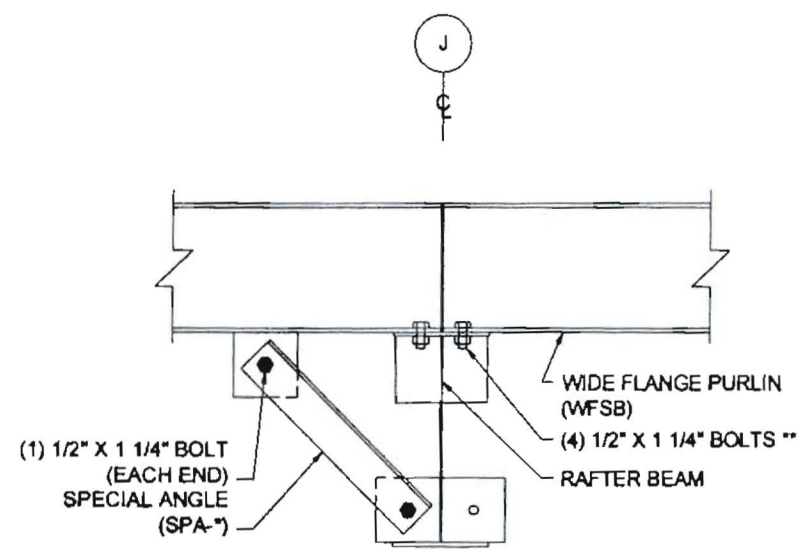


SECTION 2-2
RF1



SECTION 3-3
RF1

*NOTE: REFER TO PG. RF1 FOR
PIECE MARKS AND LOCATIONS
OF SPECIAL ANGLE (SPA).

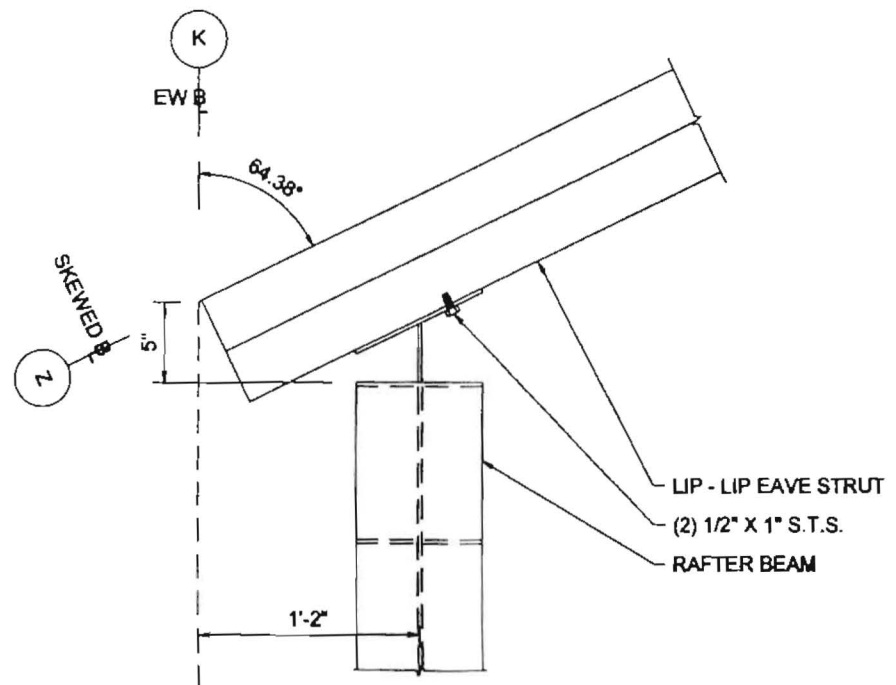


*NOTE: REFER TO PG. CS1 FOR
PIECE MARKS AND LOCATIONS
OF SPECIAL ANGLE (SPA).

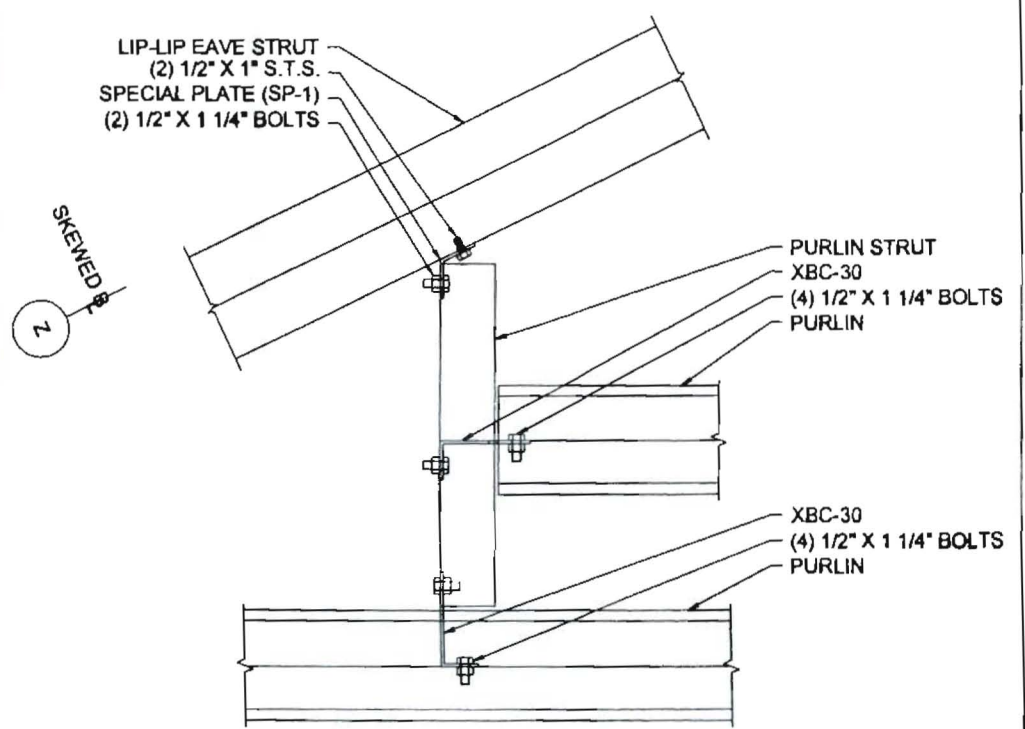
** NOTE: USE 1/2\"/>

SECTION 4-4
RF1

NOTE: TYPICAL AT LINES G.5 & F



DETAIL A
RF1



DETAIL B
RF1

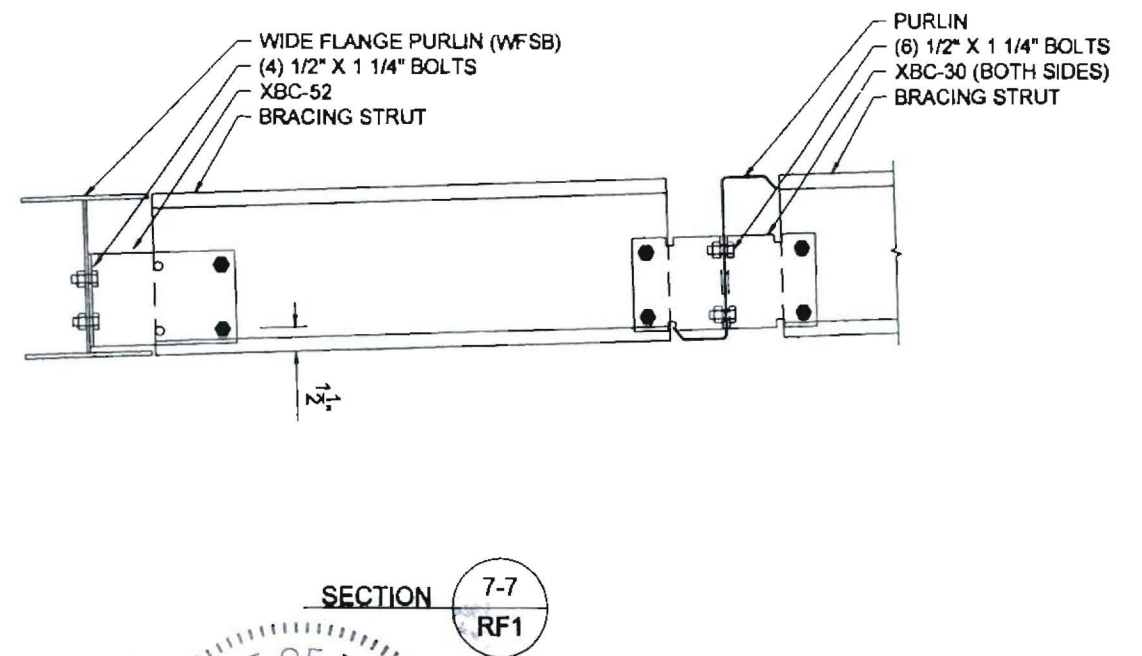
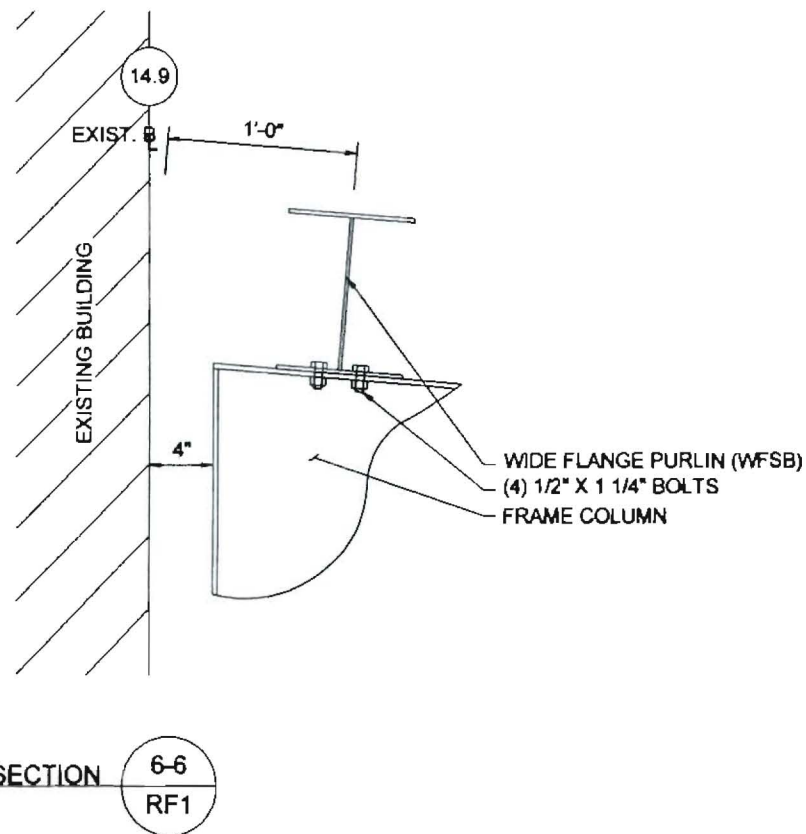
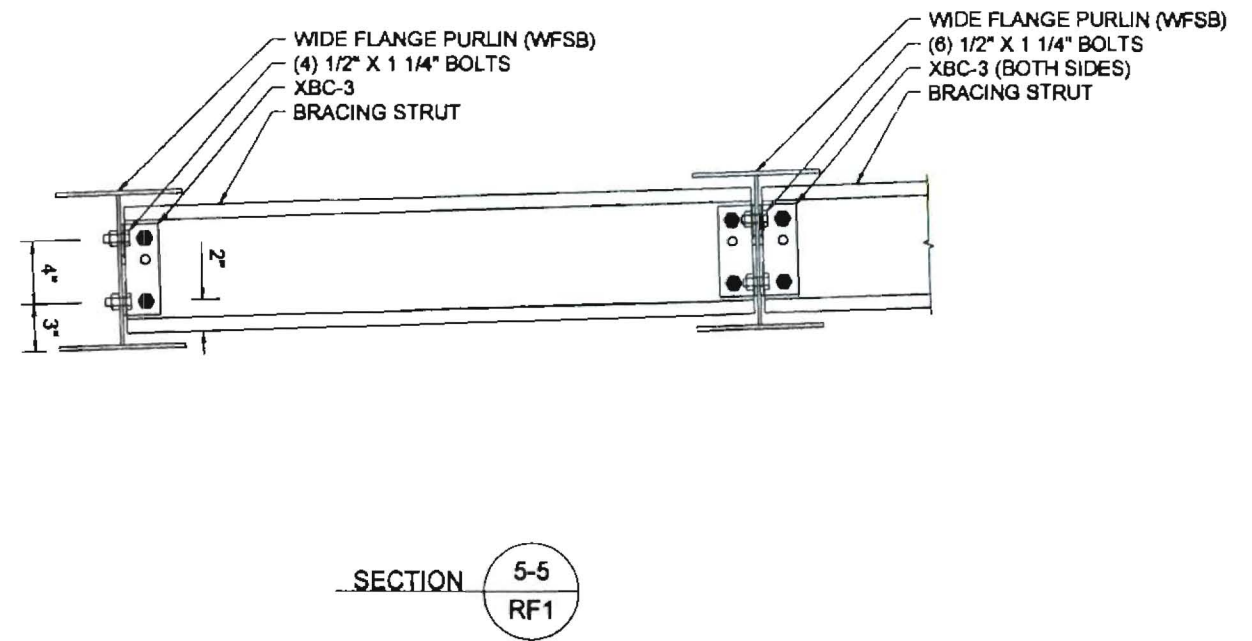
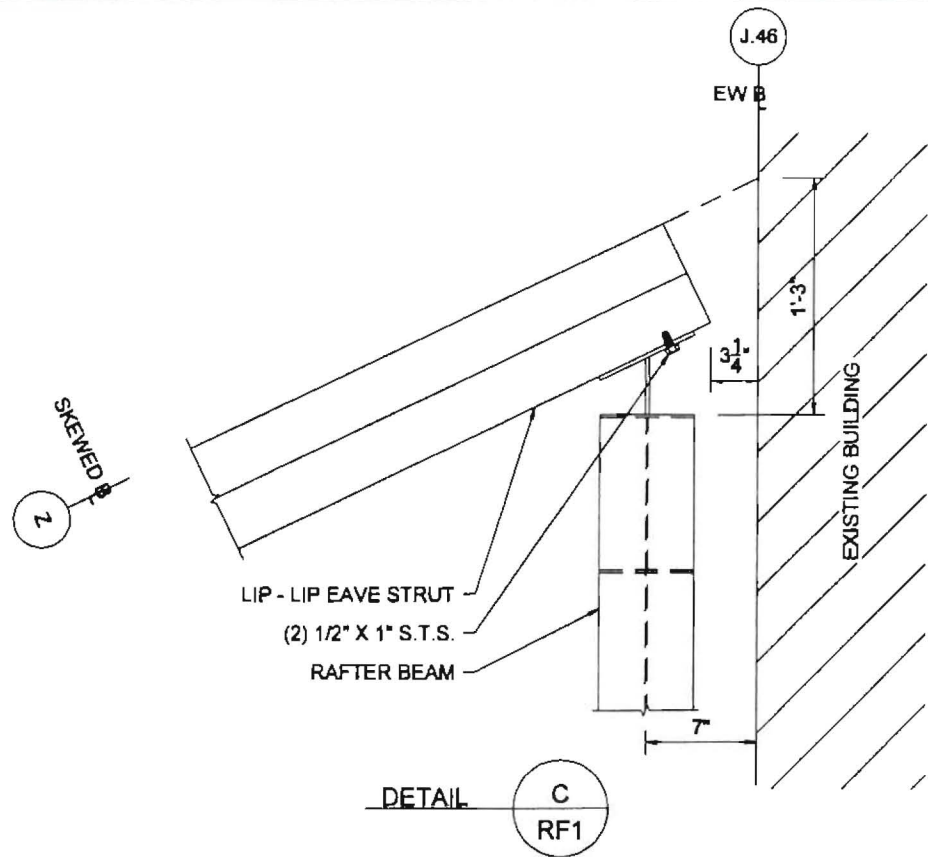
REVISIONS

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NOTWITHSTANDING THE ADJACENT SEAL, NEITHER THE ENGINEER NAMED NOR CHIEF BUILDINGS IS ACTING AS THE ENGINEER OF RECORD. THE ENGINEER NAMED AND CHIEF BUILDINGS RESPONSIBILITY IS LIMITED TO THE STRUCTURAL PERFORMANCE OF THE PRE-ENGINEERED COMPONENTS DESIGNED BY CHIEF BUILDINGS.

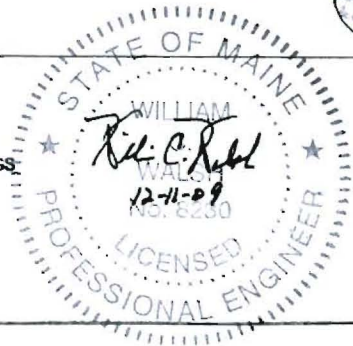


EAVE & GABLE SECTIONS			
TURNER BROTHERS, LLC. / W. B. MASON PORTLAND ME			
PORTLAND, ME			
2-BUILDING COMPLEX			
CHIEF BUILDINGS	DRAWN	CHECK	ORDER NO.
	AL/BLO	JSA / AL	RF3
	18-NOV-09	9-DEC-09	CO95226
			RF6

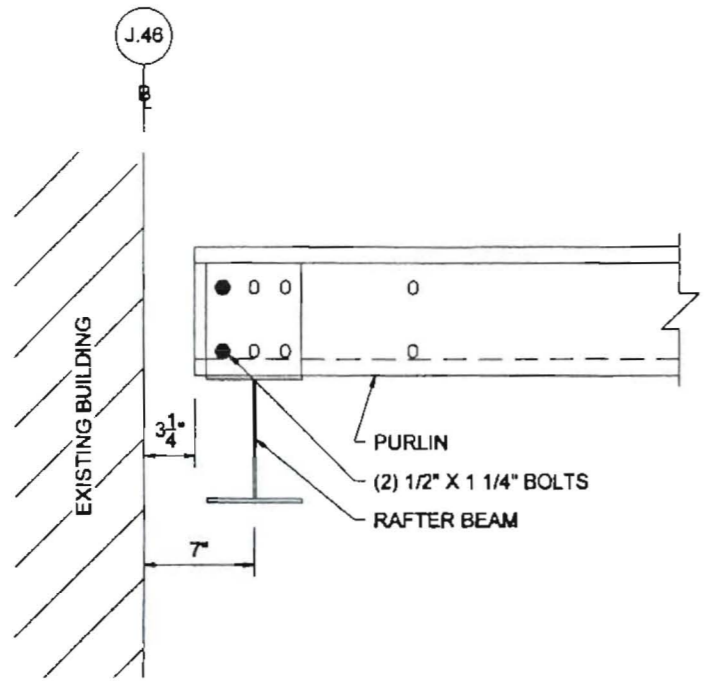


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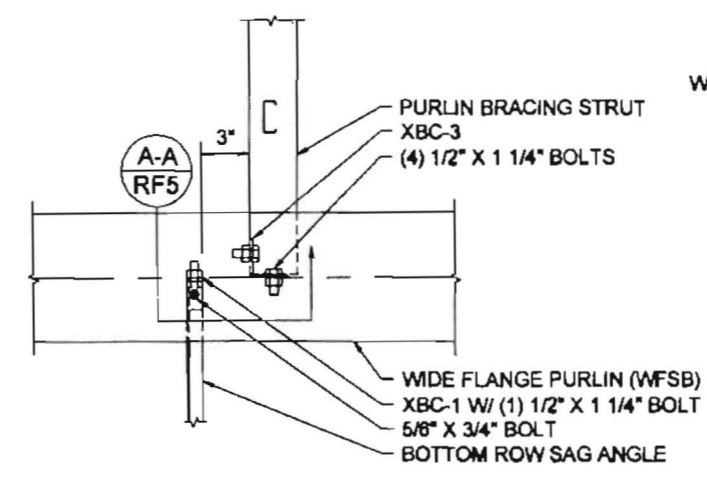
NOTWITHSTANDING THE ADJACENT SEAL, NEITHER THE ENGINEER NAMED NOR CHIEF BUILDINGS IS ACTING AS THE ENGINEER OF RECORD. THE ENGINEER NAMED AND CHIEF BUILDINGS' RESPONSIBILITY IS LIMITED TO THE STRUCTURAL PERFORMANCE OF THE PRE-ENGINEERED COMPONENTS DESIGNED BY CHIEF BUILDINGS.



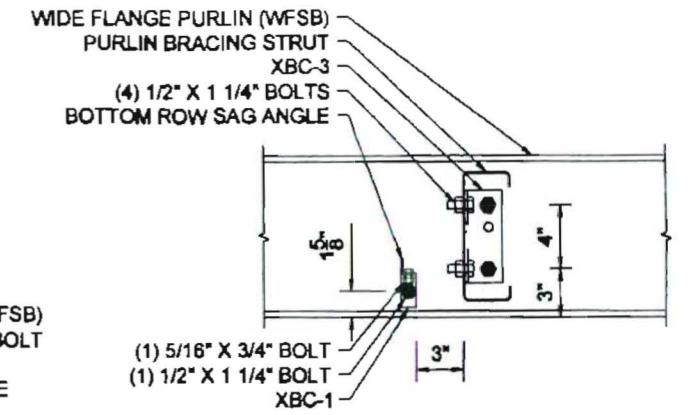
EAVE & GABLE SECTIONS			
TURNER BROTHERS, LLC. / W. B. MASON PORTLAND ME			
PORTLAND, ME			
2-BUILDING COMPLEX			
CHIEF BUILDINGS <small>a division of Chief Industries, Inc.</small> <small>P.O. BOX 2076 GRAND ISLAND, ME 04024-2076</small>	DRAWN	CHECK	ORDER NO.
	BLO	JSA / AL	C095226
18-NOV-09	9-DEC-09		RF4 RF6



SECTION 8-8
RF1



DETAIL D
RF2



SECTION A-A
RF5

REVISIONS

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NOTWITHSTANDING THE ADJACENT SEAL, NEITHER THE ENGINEER NAMED NOR CHIEF BUILDINGS IS ACTING AS THE ENGINEER OF RECORD. THE ENGINEER NAMED AND CHIEF BUILDINGS RESPONSIBILITY IS LIMITED TO THE STRUCTURAL PERFORMANCE OF THE PRE-ENGINEERED COMPONENTS DESIGNED BY CHIEF BUILDINGS.



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PORTLAND, ME			
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CHIEF BUILDINGS	DRAWN BLO	CHECK JSA / AL	ORDER NO. CO95226
	18-NOV-09	9-DEC-09	RF5 RF6