

253-A-4

lot 4 Pinetree Ind. Parkway

Office / Garage Facility

Ryder Truck Rental

on Spreadsheet

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

Hydat Truck Rental
 Applicant
 40 Western Avenue So. Portland, ME 04105
 Mailing Address
 Commercial
 Proposed Use of Site
 5.9 / 13.120
 Acreage of Site / Ground Floor Coverage

March 2, 1988
 Date
 14 Pine Street University Parkway
 Address of Proposed Site
 53-000 253-A4
 Site Identifier(s) from Assessors Maps
 1-1
 Zoning of Proposed Site

Site Location Review (DEP) Required: () Yes (X) No
 Board of Appeals Action Required: () Yes (X) No
 Planning Board Action Required: (X) Yes () No

Proposed Number of Floors 2
 Total Floor Area 14,120

Other Comments: _____

Date Dept. Review Due: _____

PLANNING DEPARTMENT REVIEW

(Date Received)

☒ Major Development — Requires Planning Board Approval: Review Initiated

☐ Minor Development — Staff Review Below

	LOADING AREA	PARKING	CIRCULATION PATTERN	ACCESS	PEDESTRIAN WALKWAYS	SCREENING	LANDSCAPING	SPACE & BULK OF STRUCTURES	LIGHTING	CONFLICT WITH CITY PROJECTS	FINANCIAL CAPACITY	CHANGE IN SITE PLAN	
APPROVED													
APPROVED CONDITIONALLY													CONDITIONS SPECIFIED BELOW
DISAPPROVED													REASONS SPECIFIED BELOW

REASONS: _____

(Attach Separate Sheet if Necessary)

5/10/88
 SIGNATURE OF REVIEWING STAFF/DATE

Finance Department

Joe
Duane G. Kline
Director

CITY OF PORTLAND

January 12, 1990

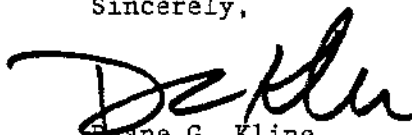
Orlando Blanco
Ryder Truck Rental, Inc.
Properties and Construction
3600 N.W., 82nd Avenue
Miami, Florida 33166

Re: Subdivision Bond #525-01-31
Pine Tree Industrial Park, Portland, Maine

Dear Mr. Blanco:

This is to inform you that I have received your maintenance bond in the amount of \$27,364.70, and therefore I have authorized the release of the above named bond in the amount of \$273,647.00. If you need any further information, please let me know.

Sincerely,


Duane G. Kline
Finance Director

DGK.jlb

cc: Joe Gray, Director of Planning and Urban Development
Paul Niehoff, Materials Engineer

CNA INSURANCE COMPANIES

P.O. Box 8286, Philadelphia, PA 19101

SUBDIVISION BOND

Bond No. 525 01 31

KNOW ALL MEN BY THESE PRESENTS that we, RYDER TRUCK RENTAL, INC., as Principal, and NATIONAL FIRE INSURANCE COMPANY OF HARTFORD, as Surety, are jointly and severally held and bound unto THE CITY OF PORTLAND, MAINE, as Obligee, in the sum of Two hundred seventy-three thousand six hundred forty-seven and 00/100 dollars (\$273,647.00) lawful money of the United States of America, for the payment of which we jointly and severally bind ourselves, our heirs, administrators, executors, successors and assigns. firmly by these presents.

SEALED WITH OUR SEALS and dated this 17th day of August, 1988.

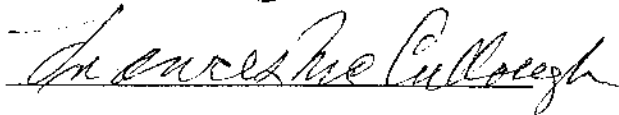
WHEREAS, THE ABOVE BOUNDEN PRINCIPAL has entered into an agreement with THE CITY OF PORTLAND, MAINE to provide certain site improvements as outlined in the Site Development Improvements Cost Schedule prepared by Ben Poirer, Sales Manager of Trades Center, Inc., pertaining to the construction of a service facility located at Lot 4, Pine Tree Industrial Park, Portland, Maine, which by reference is made a part hereof.

NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION IS SUCH that if the above bounden Principal shall well, fully and faithfully construct, install and complete said improvements then the above obligation shall be null and void; otherwise to remain in full force and effect.

Attest:


FRED RAY STUEVER
Assistant Secretary

Witness:


Laurence H. Cullough

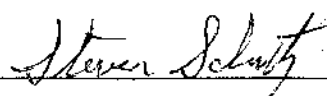
RYDER TRUCK RENTAL, INC.

BY:


CHARLES F. WILSON
VICE PRESIDENT & TREASURER

NATIONAL FIRE INSURANCE COMPANY OF HARTFORD

BY:


Steven Schultz
Attorney-in-Fact



For All the Commitments You Make

**National Fire Insurance Company
of Hartford**



For All the Commitments You Make

Office/Chicago, Illinois

POWER OF ATTORNEY APPOINTING INDIVIDUAL ATTORNEY-IN-FACT

Know All Men by these Presents, That the NATIONAL FIRE INSURANCE COMPANY OF HARTFORD, a corporation duly organized and existing under the laws of the State of Connecticut, and having its general administrative office in the City of Chicago, and State of Illinois, does hereby make, constitute and appoint E. V. Moran, Steven Schultz, Frances McCullough,
Mae Fisher, Barbara E. Davis, Individually

of Philadelphia, Pennsylvania

its true and lawful Attorney-in-Fact with full power and authority hereby conferred to sign, seal and execute in its behalf bonds, undertakings and other obligatory instruments of similar nature

- In Unlimited Amounts -

and to bind the NATIONAL FIRE INSURANCE COMPANY OF HARTFORD thereby as fully and to the same extent as if such instruments were signed by the duly authorized officers of NATIONAL FIRE INSURANCE COMPANY OF HARTFORD and all the acts of said Attorney, pursuant to the authority hereby given are hereby ratified and confirmed.

This Power of Attorney is made and executed pursuant to and by authority of the following Resolution duly adopted on February 21, 1955 by the Board of Directors of the Company.

RESOLVED: That the President, an Executive Vice President or any Vice President of the Corporation may, from time to time, appoint, by written certificates, Attorneys-in-Fact to act in behalf of the Corporation in the execution of policies of insurance, bonds, undertakings and other obligatory instruments of like nature. Such Attorneys-in-Fact, subject to the limitations set forth in their respective certificates of authority, shall have full power to bind the Corporation by their signature and execution of any such instrument and to attach the seal of the Corporation thereto. The President, an Executive Vice President, any Vice President or the Board of Directors may at any time revoke all power and authority previously given to any Attorney-in-Fact.

This Power of Attorney is signed and sealed by facsimile under and by the authority of the following Resolution adopted by the Board of Directors of the Company at a meeting duly called and held on the 14th day of May, 1964.

RESOLVED: That the signature of the President, an Executive Vice President or a Vice President and the seal of the Corporation may be affixed by facsimile on any power of attorney granted pursuant to the Resolution adopted by this Board of Directors on February 21, 1955 and the signature of a Secretary or an Assistant Secretary and the seal of the Corporation may be affixed by facsimile to any certificate of any such power, and any power or certificate bearing such facsimile signatures and seal shall be valid and binding on the Corporation. Any such power so executed and sealed and certified by certificate so executed and sealed, shall, with respect to any bond or undertaking to which it is attached, continue to be valid and binding on the Corporation.

In Witness Whereof, the NATIONAL FIRE INSURANCE COMPANY OF HARTFORD has caused these presents to be signed by its Vice President and its corporate seal to be hereto affixed this 13th day of July, 19 88.



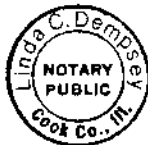
NATIONAL FIRE INSURANCE COMPANY OF HARTFORD

J. E. Purtell

Vice President.

State of Illinois, County of Cook, ss:

On this 13th day of July, 19 88, before me personally came J. E. Purtell, to me known, who, being by me duly sworn, did depose and say: that he resides in the Village of Glenview, State of Illinois; that he is a Vice-President of the NATIONAL FIRE INSURANCE COMPANY OF HARTFORD, the corporation described in and which executed the above instrument; that he knows the seal of said Corporation; that the seal affixed to the said instrument is such corporate seal; that it was so affixed pursuant to authority given by the Board of Directors of said corporation and that he signed his name thereto pursuant to like authority, and acknowledges same to be the act and deed of said corporation.



Linda C. Dempsey
Linda C. Dempsey Notary Public.

My Commission Expires November 12, 1990

CERTIFICATE

I, Robert E. Ayo, Assistant Secretary of the NATIONAL FIRE INSURANCE COMPANY OF HARTFORD, do hereby certify that the Power of Attorney herein above set forth is still in force, and further certify that the Resolutions of the Board of Directors, set forth in said Power of Attorney are still in force. In testimony whereof I have hereunto subscribed by name and affixed the seal of the said Company this 17th day of August, 19 88.



Robert E. Ayo

Assistant Secretary

CITY OF PORTLAND, MAINE
Department of Parks and Public Works

SUBDIVISION / SITE DEVELOPMENT

COST BREAKDOWN OF IMPROVEMENTS TO BE COVERED BY PERFORMANCE GUARANTEE

DATE August 03, 1988

Name of Project RYDER Truck Rental, Inc.
Address / Location Pine Tree Industrial Park - Portland, Me.
Developer Trades Center, Inc.
Form of Performance Guarantee Surety Bond
Type of Development- Subdivision XX Site Plan (Major / ~~Minor~~)

<u>ITEM</u>	<u>QUANTITY</u>	<u>UNIT COST</u>	<u>SUBTOTAL</u>	<u>COMPLETED</u>
1. STREET/SIDEWALK:				
Road	refer to attached enclosure schedule and plans			
Granite Curbing	"	"	"	"
Sidewalks	"	"	"	"
Esplanades	not applicable			
Monuments	"	"		
Street Lighting	"	"		
Other				
2. SANITARY SEWER:				
Manholes	refer to attached enclosure schedule and plans			
Piping	"	"	"	"
Connections	"	"	"	"
Other				
3. STORM DRAINAGE				
Manholes	refer to attached enclosure schedule and plans			
Catch Basins	"	"	"	"
Piping	"	"	"	"
Detention Basin				
Other				
4. SITE LIGHTING	refer to attached enclosure schedule and plans			
5. EROSION CONTROL	"	"	"	"
6. RECREATION AND OPEN SPACE AMENITIES	not applicable			
7. LANDSCAPING (Attach breakdown of plant materials, quantities, and unit costs)	refer to the attached enclosure schedule and plans			
8. MISCELLANEOUS				

TOTAL AMOUNT OF PERFORMANCE GUARANTEE \$273,647
* 1.7 % = INSPECTION FEE \$4652

Approved _____
Approved _____

rev. 9/15/87

8/9/88



TradesCenter Inc

Project: RYDER Truck Rental, Inc.
Pine Tree Industrial Park
Portland, Maine

RE: Site Development Improvements Cost Schedule

A) Site Preparation

1. Demolition, clearing and grubbing... (2.5 acres +/-).....	\$ 6,580.00	N/A
2. Earth fill..... (500 cu.yds. at \$8.00 cu.yd.).....	4,000.00	N/A
3. Site excavation removal.... (6,250 cu.yds. at \$4.50).....	28,125.00	N/A
4. 12" gravel subbase, MDOT aggregate - type 'C'... (7,500 cu. yds. at \$9.00 cu.yd.).....	67,500.00	
5. Granite curbing..... (90 linear feet).....	2,700.00	
6. Fabric membrane..... (mirafi cloth)... 92.5 acres +/-).....	10,125.00	N/A
7. Underground tanks... (waste bulk oil, grit & water/oil)....	6,100.00	N/A
8. Concrete sidewalks, dolly pads and building aprons.....	13,910.00	
	=====	
sub-total	\$139,040.00	\$84,110

B) Sanitary Sewer and other Utility Services

1. Water line..... (155 linear feet of 2" and 6").....	\$ 5,425.00
2. Sewer line..... (205 linear feet).....	4,100.00
	=====
sub-total	\$ 9,525.00

C) Storm Drainage

1. Manholes.....	\$ 2,640.00
2. Piping..... (340 linear feet).....	8,500.00
3. Erosion control.....	1,500.00
	=====
sub-total	\$ 12,640.00

D) Fencing

1. Chainlink - 40 linear feet.....	\$ 470.00
2. Gates (2) at \$530 and \$425.....	955.00
3. Cedar stockade enclosure of 10' x 10' w/ gate.....	725.00
	=====
sub-total	\$ 2,150.00

E) Paving

1. Crushed gravel..... (6" base at 10,320 s.y.).....	\$ 27,500.00
2. Binder and finish asphalt courses.... (5" @ 10,320 s.y.)...	83,965.00
3. Sealer..... (two applications).....	5,160.00
4. Striping and wheel curbs.....	5,200.00
	=====
sub-total	\$121,825.00

G) Exterior Lighting

1. Fixture, bracket and pole.....(595.00 each).....	\$ 2,975.00
2. Pole bases, conduit and wiring.....	2,880.00
3. Building mounted light fixtures.....	2,200.00
	=====
sub-total	\$ 8,055.00

H) Landscaping

1. Loam, provided and spread.....	\$ 5,000.00
2. Raking and seeding.....	1,030.00
3. Plantings.....as listed below.....	11,725.00 X 2.5 =
(03) white fir @ \$75.00 each,	sub-total
(05) red sunset maples @ \$260.00 each,	===== 29,312
(12) bradford pear @ \$260.00 each,	Total Cost \$ 17,755.00
(10) anthony waterer @ \$25.00 each,	EST PLANTING COST X 2.570
(03) spreading yews @ \$43.00 each,	41,384.50
(03) judd viburnum @ \$45.00 each,	5000.00
(73) red pines @ \$90.00 each, included in the pricing	1030.00
of plants is the bark and soil required.	29,312.00
	<u>\$ 35,342.00</u>

H) Fuel Tanks

1. Fuel tank earthwork installation.....	\$ 60,000.00
2. Fuel tanks: (02) 12,000 gallon @ \$11,600.....	23,200.00
(01) 10,000 " @ \$ 9,700.....	9,700.00
(01) 4,000 " @ \$ 6,100.....	6,100.00
(01) 2,500 " @ \$ 4,300.....	4,300.00
	=====
	\$103,300.00

N/A

Site Development Cost Summary

A) Site preparation.....	\$ 139,040.00	84,110
B) Utility line installations.....	9,525.00	
C) Storm drainage.....	12,640.00	
D) Fencing.....	2,150.00	
E) Paving.....	121,825.00	
F) Exterior lighting.....	8,055.00	
G) Landscaping.....	17,755.00	35,342
H) Fuel tanks.....	103,300.00	
	=====	

Total projected development cost of.....\$ 414,290.00

\$ 273,647.00

Prepared by: Ben Poirier
Sales Manager

cc: RYDER Truck Rental, Inc.
Portland Planning Office - Maureen O'Meara
Portland Public Works Dept. - Steve Harris
file

Ryder Truck



CITY OF PORTLAND, MAINE

389 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 775-5451

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

P. SAMUEL HOFFSES, CHIEF
INSPECTION SERVICES DIVISION

September 2, 1988

RE: #4 Pine Tree Ind. Parkway

Trade Center, Inc.
P.O. Box 683
Biddeford, Maine 04005

Dear Sir:

Your application to construct a 13,120 sq. ft. building has been reviewed and a permit is herewith issued subject to the following requirements:

Site Plan Requirements

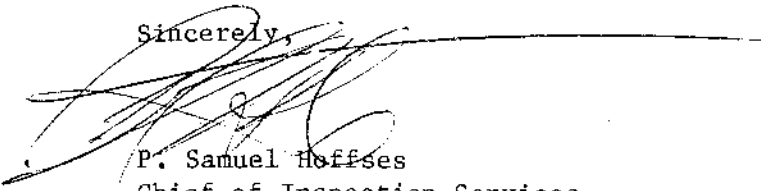
Inspections Approved W. J. Turner August 30, 1988
Public Works Approved S. K. Harris August 23, 1988
Fire Department Approved LT. James Collins August 24, 1988
Planning Approved M. O'Meara May 10, 1988

Building & Fire Code Requirements

1. Provide an additional exit from all loft areas used for occupancy. This exit shall be enclosed with one hour fire rated construction and shall terminate at the building exterior.
2. Provide an approved automatic fire alarm system throughout. A separate permit and approval will be required.
3. Handicapped accessibility & usability must be maintained throughout building.
4. No work on this building shall start until structural plans have been submitted and approved.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,


P. Samuel Hoffses
Chief of Inspection Services


/el

cc: LT. James P. Collins, Fire Prevention Bureau
S. K. Harris, Public Works
Ms. M. O'Meara, Planner

CITY OF PORTLAND, MAINE
MEMORANDUM

TO: Natalie Burns, Assistant Corporation Counsel

DATE: 8/22/88

FROM: William J. Bray, Traffic Engineer 

SUBJECT: Rand Road Crossing R.X.3.79

Attached is a letter from the Maine Central Railroad which states that the railroad signals at the subject crossing are finally operational. I thought you may want this for your files.

WJB/sc

cc: Paul Niehoff, Materials Engineer

Rick Knowland, Planner

✓ Maureen O'Meara, Planner

attachment



BOSTON & MAINE CORPORATION
DELAWARE & HUDSON RAILWAY COMPANY
MAINE CENTRAL RAILROAD COMPANY

08-09-88

Russell J. Spinney, Deputy Commissioner
Maine Department of Transportation
State House Station 16
Augusta, Maine 04333

Subject: Portland, Maine - Rand Road Crossing R.X. 3.79
Railroad Docket No. 231

Dear Mr. Spinney,

This letter is to inform you that the railroad signals at Rand Road grade crossing have been placed in service effective on Friday, August 5, 1988. With the signal system completed the railroad is in compliance with the MDOT decree, railroad docket No. 231.

Sincerely,

T. W. Cobb
Design Engineer

cc: William J. Bray, Traffic Engineer
City of Portland
55 Portland Street
Portland, Maine 04101

Elmer Alcott, Project Manager
Presumpscot Associates, Inc.
P.O. Box 882
193R Presumpscot Street
Portland, Maine 04104

John West, Signal Engineer
Guilford Transportation Industries
No. Billerica, Mass.

DeLUCA-HOFFMAN ASSOCIATES, INC.

Consulting Engineers
The Carriage House
105 Danforth Street
PORTLAND, MAINE 04101

(207) 775-1121

TO

MAUREN O'MEARA

LETTER OF TRANSMITTAL

DATE	MAY 9, 1988	JOB NO.
ATTENTION		
RE: RYDER TRUCK RENTAL		
LOT 4		
PINE TREE INDUSTRIAL PARKWAY		

WE ARE SENDING YOU ☐ Attached ☐ Under separate cover via _____ the following items:

- ☐ Shop drawings ☐ Prints ☐ Plans ☐ Samples ☐ Specifications
☐ Copy of letter ☐ Change order ☐ _____

COPIES	DATE	NO.	DESCRIPTION
2	2/29/88		SITE PLAN
2	2/29/88		LANDSCAPE PLAN

THESE ARE TRANSMITTED as checked below:

- ☐ For approval ☐ Approved as submitted ☐ Resubmit _____ copies for approval
☐ For your use ☐ Approved as noted ☐ Submit _____ copies for distribution
☒ As requested ☐ Returned for corrections ☐ Return _____ corrected prints
☐ For review and comment ☐ _____
☐ FOR BIDS DUE _____ 19 _____ ☐ PRINTS RETURNED AFTER LOAN TO US

REMARKS

1) REMOVED SIGN FROM SITE & LANDSCAPE PLAN
2) ADDED RED PINES ON BACK PROPERTY LINE

COPY TO _____

SIGNED: _____

Mike DeLuca

PLANNING REPORT #33-88

PLANNING DEPARTMENT REPORT

OFFICE/GARAGE FACILITY

SITE PLAN REVIEW

RYDER TRUCK RENTAL, INC., APPLICANT

Submitted to:

Portland Planning Board
Portland, Maine

May 10, 1988

I. Introduction

Ryder Truck Rental, Inc. is requesting review of a 13,120 sq. ft. building located in the vicinity of lot 4, Pine Tree Industrial Park. The site is 5.9 acres and zoned I-1 Industrial. There will be 1,200 sq. ft. office space and 11,920 sq. ft. of garage work space. The vicinity map, site plan and letter from the applicant are included as Attachments 1, 2, and 3.

4 notices have been mailed to area residents and property owners.

II. Summary of Findings

Zoning	I-1 Industrial
Land Area	5.9 acres
Building Footprint	13,120 sq. ft.
Total Square Footage	13,120 sq. ft.
Parking	28 9' x 19' proposed; 15 required
Number of Stories	1
Building Height	22 feet
Land Uses	Industrial adjacent to the Maine Turnpike

III. Staff Review

The proposal has been reviewed for compliance with the I-1 Industrial zone and Site Plan Ordinance of the Land Use Code. The plan has been reviewed and approved by the Building, Traffic, Fire, Public Works and Planning Departments. The comments of those departments are contained in this report.

Site Plan Review

1. PARKING AND CIRCULATION

Primary access to the site will be from Pine Tree Industrial Parkway. Twenty-eight 9' x 19' standard parking spaces are provided. In addition, 74 spaces ranging in size from 11' x 25' to 12' x 60' are also proposed. The applicant will be installing granite curbing around the radii of the entrance and along the cul-de-sac to the next curb cut to prevent deterioration of the edge of pavement.

Mr. William Bray, City Traffic Engineer, has reviewed the plan. In keeping with conditions proposed for other lots in this subdivision, Mr. Bray is requesting that no construction begin until the railroad crossing signal be installed as required by the Maine Department of Transportation(MDOT). Mr. Bray has suggested that MDOT amend their decree to allow construction, but no occupancy of any additional building in the subdivision until the signal is installed. This amendment has not yet been approved by MDOT. Mr. Bray is requesting as a potential condition of approval:

- That no Building Permit be issued until such time as the Railroad Crossing signals are operational. Mr. Bray's comments are included as Attachment 4. A letter to MDOT is included as Attachment 5.

2. BULK, LOCATION, HEIGHT AND UTILITIES

The applicant is proposing a 13,120 sq. ft., 1 story, 22 ft. high building. The dimensions are 160' x 80'. The building is predominantly a garage work area with 1,200 sq. ft. of office space. Proposed exterior materials are metal wall sheathing and a metal roof. Elevations are included as Attachment 6.

The building will be served by a 3" water main and an 8" sewer main.

3. LANDSCAPING

The lot area east of the building is part of a drainage basin and will be left in a natural state. A double staggered row of red pines are proposed between the rear parking area and the Maine Turnpike. A mixture of maples, bradford pears and white fir trees are proposed on the eastern border of the site and around the entrance. The landscape plan is included as Attachment 7.

Mr. Benjamin H. O'Reilly, Jr., has reviewed the plan. He is recommending that the double staggered row of red pines be continued to the corners of the site directly adjacent to the Maine Turnpike. A potential condition of approval is:

- That the screen located on the rear N.E. property line should extend from 40' of the S.E. property line of the City of Portland easement to the 50' N.W. jog at rear of the property line.

Mr. O'Reilly's comments are included as Attachment 8.

4. SOILS AND DRAINAGE

The geologic conditions do not pose an undue hindrance to developing the site.

Stormwater for the site will drain to the swales on the edges of the parcel and travel to the natural drainage basin located east of the building.

Mr. William Boothby, Principal Engineer, has reviewed and approved the plan. His comments are included as Attachment 9.

5. EXTERIOR LIGHTING

The plan includes 13 400-watt high pressure sodium lights mounted on the corners of the building and on poles in the parking lot. The lighting catalog cut sheet is included as Attachment 10.

6. ZONING AMENDMENT

The proposal does not include a zoning amendment.

7. FIRE SAFETY

The proposed development will not create an undue fire safety hazard by not providing adequate access to the site for emergency vehicles. The Fire Department has reviewed and approved the plan.

8. PRELIMINARY PLAN

Since the March 22, 1988 workshop, the applicant has increased the landscaping and eliminated the proposed free-standing sign adjacent to the Turnpike.

9. City Projects

The proposed development will not interfere with any known, approved and funded City project.

IV. MOTIONS FOR THE BOARD TO CONSIDER

On the basis of plans and materials submitted by the applicant and on the basis of information contained in Planning Report 33-88 relevant to standards for Site Plan Review and/or other findings as follows:

1. That the plan is in conformance with the Site Plan Ordinance of the Land Use Code.

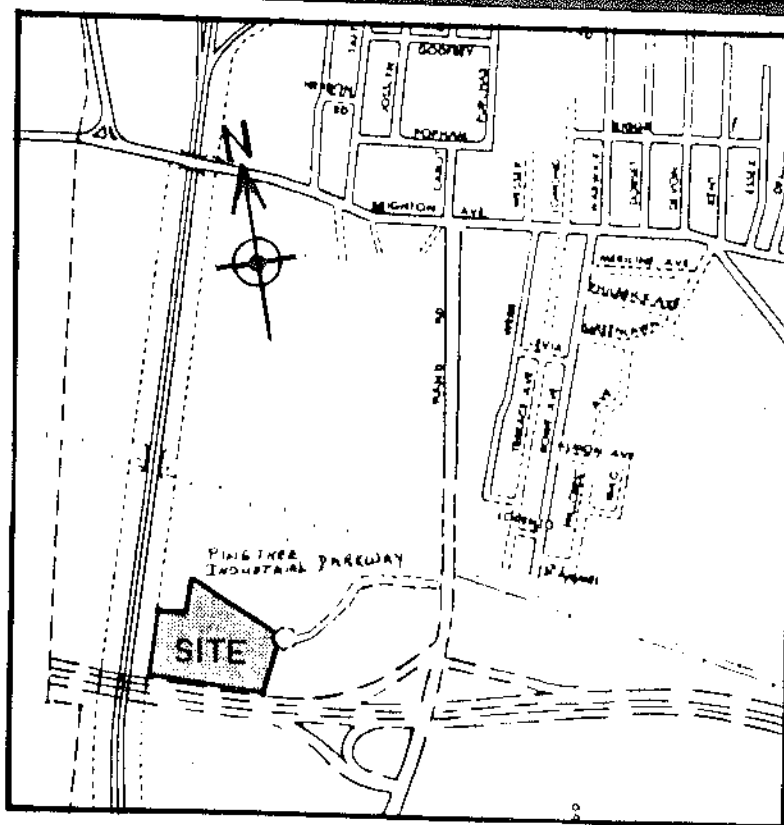
A. Potential Conditions of Approval

- i. That no Building Permit be issued until such time as the Railroad Crossing signals are operational.
- ii. That the landscape screen located on the rear N.E. property line should extend from 40' of the S.E. property line of the City of Portland easement to the 50' N.W. jog at rear of the property line.

Waivers: none requested

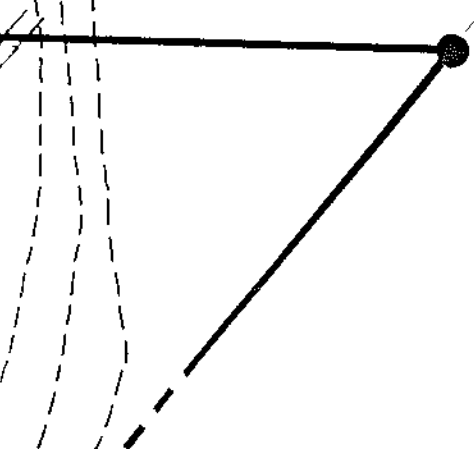
ATTACHMENTS

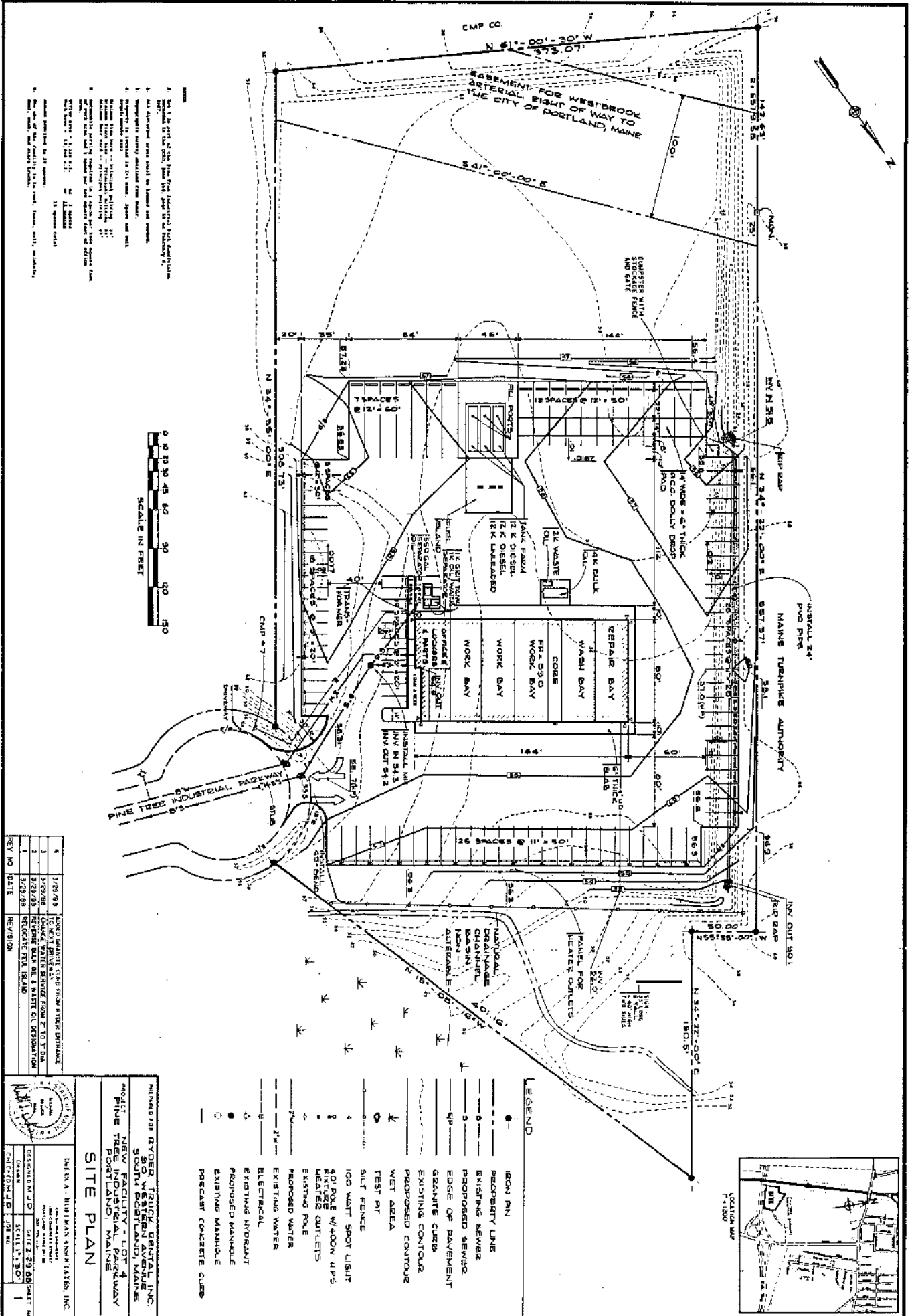
1. Vicinity Map
2. Site Plan
3. Letter from Applicant
4. Traffic Engineer's Comments
5. Letter to MDOT
6. Elevations
7. Landscape Plan
8. Superintendent of Parks and Islands' Comments
9. Planning Engineer's Comments
10. Lighting Catalog Cutsheets



LOCATION MAP
1" = 1200'

53 52





DeLUCA - HOFFMAN ASSOCIATES, INC.

CONSULTING ENGINEERS
THE VICTORIA CARRIAGE HOUSE
105 DANFORTH STREET
PORTLAND, MAINE 04101
(207) 775-1121

MICHAEL J. DELUCA, P.E.
PRESIDENT

WILLIAM G. HOFFMAN, P.E.
VICE - PRESIDENT

April 26, 1988

Ms. Maureen O'Meara, Planner
City of Portland Planning Department
389 Congress Street
Portland, Maine 04101

Subject: Ryder Truck Rental Site Plan -- Lot 4
Pine Tree Industrial Parkway

Dear Ms. O'Meara:

Enclosed please find the following for the May 10th Planning Board Meeting for the Ryder Truck Site Plan:

- 4 Sets of Plans
- 2 Drainage Reports
- 2 Catalog Cuts for the Lights
- 2 Catalog Cuts for the Signs

As a result of the workshop meeting, we have made the following revisions:

1. Double row of pine trees as a rear buffer.
2. Additional landscaping along the side line.
3. Additional granite curbing from the Ryder driveway to match the existing granite curbing at the abutting southerly driveway.

We look forward to meeting with the Planning Board. In the meantime, if you have any questions feel free to contact me.

Very truly yours,

DeLUCA-HOFFMAN ASSOCIATES, INC.



Michael J. DeLuca, P.E.
President

MJD/ab

CITY OF PORTLAND, MAINE
MEMORANDUM

Attachment 4

TO: Maureen O'Meara, Planner
FROM: William J. Bray, Traffic Engineer
SUBJECT: Ryder Truck Rental, Inc.

DATE: 5/3/88



Since I have not yet received from the Maine Department of Transportation an Amendment to the Railroad Crossing Decree, I must impose the same condition of approval as was recommended for Hale Trucking:

That no Building Permit be issued until such time as the Railroad Crossing Signals are operational.

You should be aware that MDOT has submitted a Draft Amendment, which if approved as submitted, would allow construction of the building. If the Board chooses to grant approval similar to the Hale Trucking project, they must condition their approval on the Draft Amendment, which will state that no Building Occupancy Permit (either temporary or permanent) shall be granted until such time as the railroad crossing signals are fully operational. If the Condition of Approval does not state the above in some manner, I would assume that the City would inherit a major liability, due to the way the Rand Road Railroad Decree is written.

WJB/mh
cc: Bill Boothby, Principal Engineer



CITY OF PORTLAND, MAINE

55 PORTLAND STREET
PORTLAND, MAINE 04101
(207) 775-5451

Attachment 5

PARKS & PUBLIC WORKS

GEORGE A. FLAHERTY
DIRECTOR

April 29, 1988

Mr. Michael Murphy
Transportation Service Bureau
State of Maine
Department of Transportation
Transportation Building
Augusta, Maine 04333

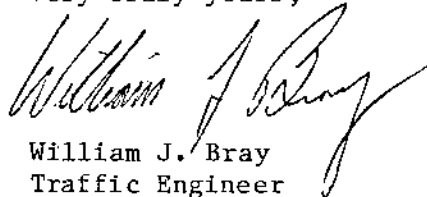
Dear Mike:

Reference is made to the Rand Road Decree Amendment that you left for my review. The proposed Draft Amendment is acceptable providing the following condition is included:

- That no "Occupany Permit" (temporary or permanent) be issued by the City until such time as the crossing signal system is operational and approved by MDOT.

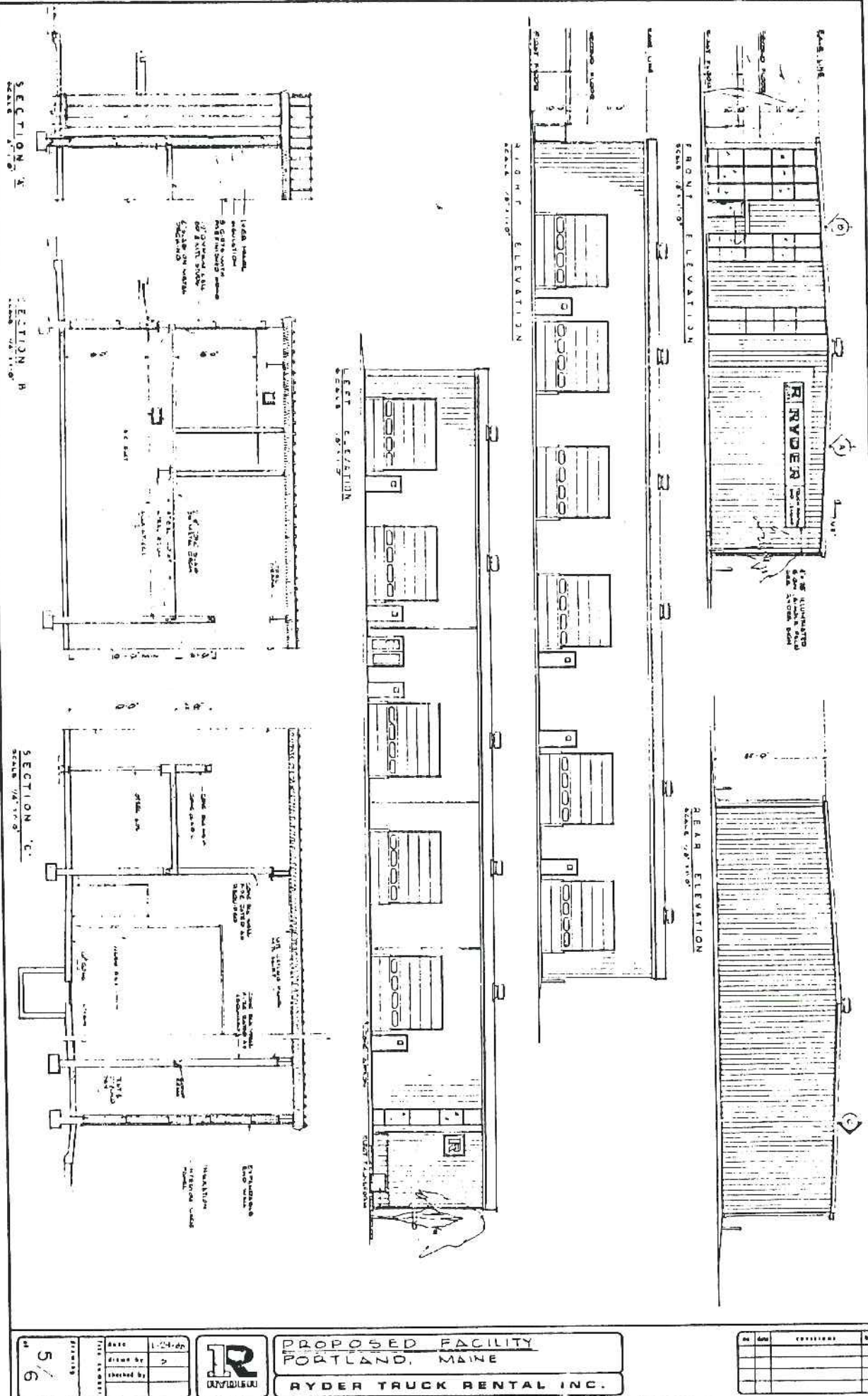
Please make the necessary change and forward a copy of the Final Decree Amendment to me.

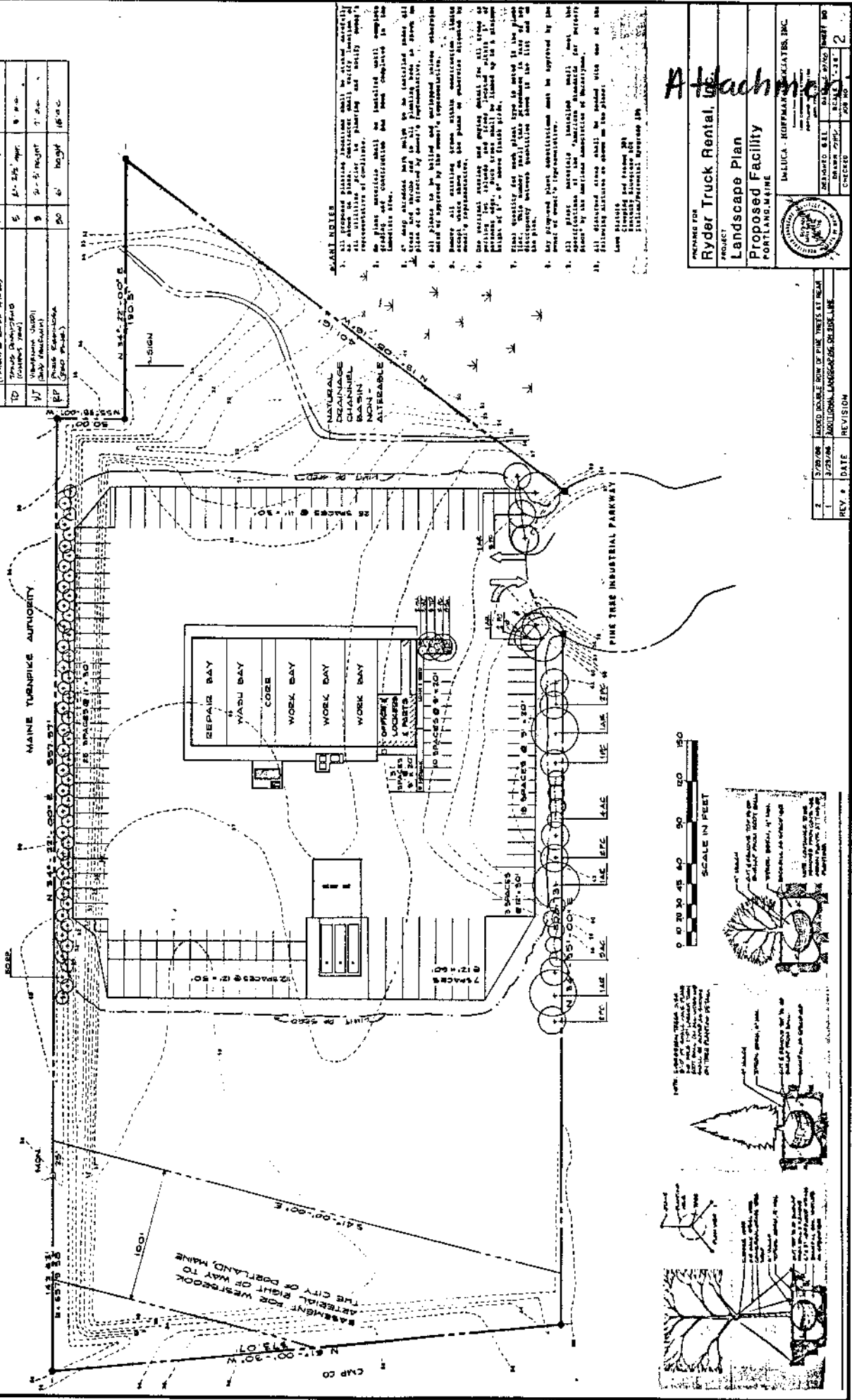
Very truly yours,


William J. Bray
Traffic Engineer

WJB/nba

pc: Sam Hoffsess, Chief, Inspection Services
David Lourie, Corporation Counsel
/ Rick Knowland, Senior Planner





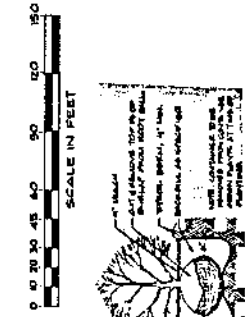
NO.	DESCRIPTION	DATE	BY	REVISION
1	PLAN	10/1/77
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EXPLANATORY NOTES

1. All proposed plantings shall be shown carefully on the plan.
2. All existing plantings shall be shown on the plan.
3. All existing structures shall be shown on the plan.
4. All existing utilities shall be shown on the plan.
5. All existing easements shall be shown on the plan.
6. All existing setbacks shall be shown on the plan.
7. All existing zoning shall be shown on the plan.
8. All existing environmental features shall be shown on the plan.
9. All existing historical features shall be shown on the plan.
10. All existing archaeological features shall be shown on the plan.
11. All existing cultural resources shall be shown on the plan.
12. All existing natural resources shall be shown on the plan.
13. All existing wetlands shall be shown on the plan.
14. All existing floodplains shall be shown on the plan.
15. All existing riparian areas shall be shown on the plan.
16. All existing wildlife habitats shall be shown on the plan.
17. All existing scenic resources shall be shown on the plan.
18. All existing historic landmarks shall be shown on the plan.
19. All existing archaeological sites shall be shown on the plan.
20. All existing cultural resources shall be shown on the plan.

Attachment 7

PROJECT FOR	Ryder Truck Rental, Inc.
PROJECT	Proposed Facility
LOCATION	Portland, Maine
DESIGNED BY	IMELCA, KUPFMAN, LUTHER, INC.
CHECKED BY	...
DATE	...
REVISION	...



CITY OF PORTLAND, MAINE
MEMORANDUM

TO: Ms. Maureen O'Meara, Planner

FROM: Benjamin H. O'Reilly, Superintendent of Parks and Islands/Acting
Arborist

DATE: May 6, 1988

SUBJECT: Ryder Truck Landscape

This memo is in reference to the Ryder Truck landscape plan, located in the Pine Tree Industrial Parkway.

1. The screen located on the rear N.E. property line should extend from 40' of the S.E. property line of the City of Portland easement to the 50' N.W. jog at rear of the property line.

CITY OF PORTLAND, MAINE
M E M O R A N D U M

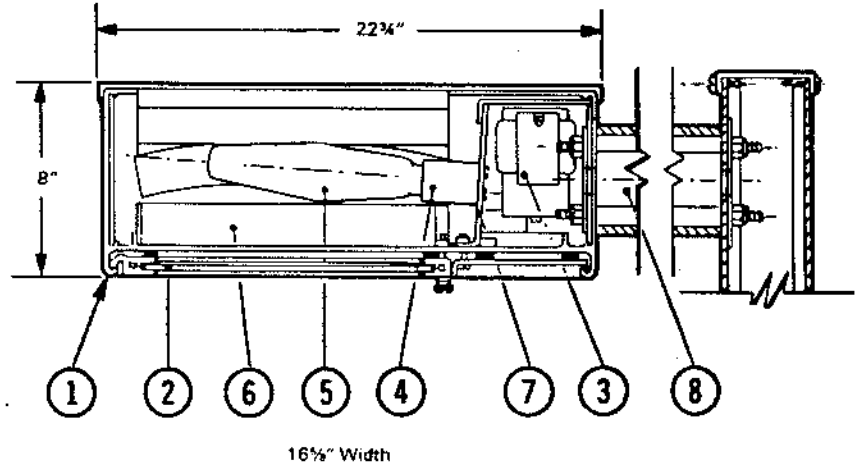
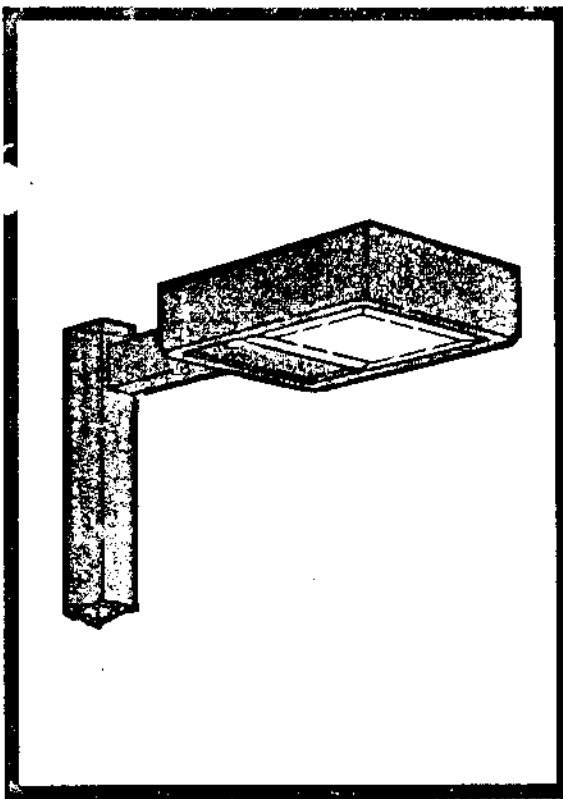
TO: Maureen O'Meara, Planner
FROM: William Boothby, Principal Engineer
DATE: May 4, 1988
SUBJECT: Ryder Truck Site Plan

I have reviewed the subject site plan and find it to be acceptable.

Drainage is directed by street flow and through a pipe system to the natural drainage area of Nasons Brook. No detention is necessary on site as detention is accomplished in the major drainage area of this subdivision.

/ksc

100 Watt — 400 Watt Mercury Vapor
175 Watt — 400 Watt Metallic Halide
100 Watt — 400 Watt High Pressure Sodium



FEATURES:

1. **FIXTURE BODY:** Extruded aluminum body with die-formed aluminum top pan, spot welded to fixture body. Minimum wall thickness is .094". Fixture body receives a degreasing, phosphatizing, etching bath, then is phenolic primed prior to electrostatic spray baked enamel. Standard colors are Aztec Bronze or Lava Black. Other colors and anodizing are available. Contact area representative or factory direct on all special finishes.
 2. **LENS:** 3/16" minimum thickness, flat, clear, tempered glass with extruded aluminum framing. Key locked at corners for a rigid assembly. Easy access to lens assembly with the use of 2 quarter turn fasteners. Exclusive high temperature silicone gaskets around entire lens assembly insures maximum protection from dust and bugs. A polycarbonate overlay lens is available for areas of high vandal attack.
 3. **BALLAST:** Mercury Vapor, CWA circuit, 100 watt thru 400 watt. Metallic Halide, CWA circuit, 175 watt thru 400 watt. High Pressure Sodium, CWA circuit, 100 watt thru 400 watt. All types offer reliable starting to -20°.
- All ballast packs are removable as a single unit with the use of quick disconnects at the lampholder connection and the primary. All popular voltages are available. See illustration on Back Page.
4. **LAMPHOLDER:** Glazed porcelain "Grip-Tite" lampholder. Screw shell is nickel plated to prevent lamp from oxidizing and freezing to lampholder base. Center contact is heat treated beryllium copper alloy.
 5. **LAMP:** Mercury Vapor, Metallic Halide or High Pressure Sodium in proper wattages, suitable for horizontal operation. (Lamps by others.)
 6. **REFLECTOR:** Pre-formed specular aluminum step type. Reflector is set to achieve IES type II or III cutoff. Reflector also available with sharp back cut off and even forward throw for wall mounted fixtures, tennis court fixtures, etc. Specify reflector type required.
 7. **HEAT BARRIER:** Insures long life of ballast.
 8. **MOUNTING BRACKET:** Extruded aluminum bracket arm with .150" minimum wall thickness, combined with 1/2" rods, provides rigidity without visible hardware. See other side for bracket illustrations and ordering information.

- **CONTROLLED AREA LIGHTING**
- **NON-GLARE LIGHT**
- **SHARP CUT-OFF**
- **CRISP STYLING**

Fixture design provides an even distribution of non-glare light within a controlled distribution area. At the perimeter of the illuminated area, light is sharply cut off similar to a wall of light against darkness, virtually eliminating polluting light or spill light.

The ARL-II series lighting fixture is ideal for illuminating medium to large exterior ground areas such as condominium and apartment complexes, airports and shopping centers.

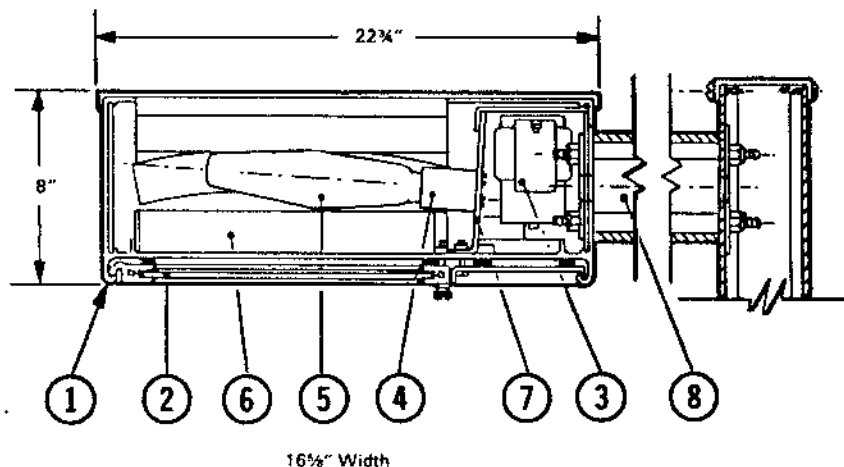
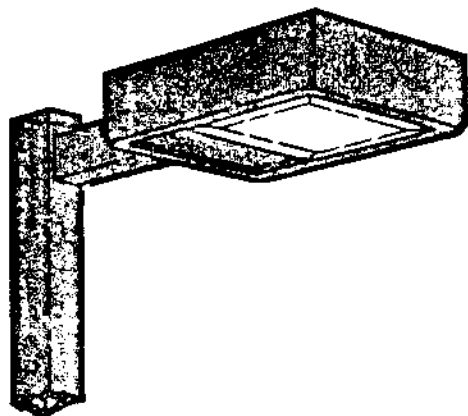
ORDERING INFORMATION

CATALOG NUMBER	BALLAST TYPE	LAMP REQUIRED
ARL-II-MV-100*	Mercury Vapor (CWA)	H38JA-100/DX
ARL-II-MV-175*	Mercury Vapor (CWA)	H39KC-175/DX
ARL-II-MV-250*	Mercury Vapor (CWA)	H37KC-250/DX
ARL-II-MV-400*	Mercury Vapor (CWA)	H33GL-400/DX
ARL-II-MH-175*	Metallic Halide (CWA)	M175/BU-HOR
ARL-II-MH-250*	Metallic Halide (CWA)	M250/BU-HOR
ARL-II-MH-400*	Metallic Halide (CWA)	M400/BU-HOR
ARL-II-HPS-100*	High Pressure Sodium (CWA)	LU-100
ARL-II-HPS-150*	High Pressure Sodium (CWA)	LU-150/55
ARL-II-HPS-250*	High Pressure Sodium (CWA)	LU-250
ARL-II-HPS-400*	High Pressure Sodium (CWA)	LU-400

*Voltage must be specified.

For photometric data see pages immediately following this sheet. If photometric data other than those shown is required, contact area representative or factory direct for availability.

100 Watt — 400 Watt Mercury Vapor
175 Watt — 400 Watt Metallic Halide
100 Watt — 400 Watt High Pressure Sodium



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 2. **LENS:** 3/16" minimum thickness, flat, clear, tempered glass with extruded aluminum framing. Key locked at corners for a rigid assembly. Easy access to lens assembly with the use of 2 quarter turn fasteners. Exclusive high temperature silicone gaskets around entire lens assembly insures maximum protection from dust and bugs. A polycarbonate overlay lens is available for areas of high vandal attack.
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- NON-GLARE LIGHT
- SHARP CUT-OFF
- CRISP STYLING

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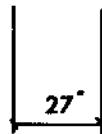
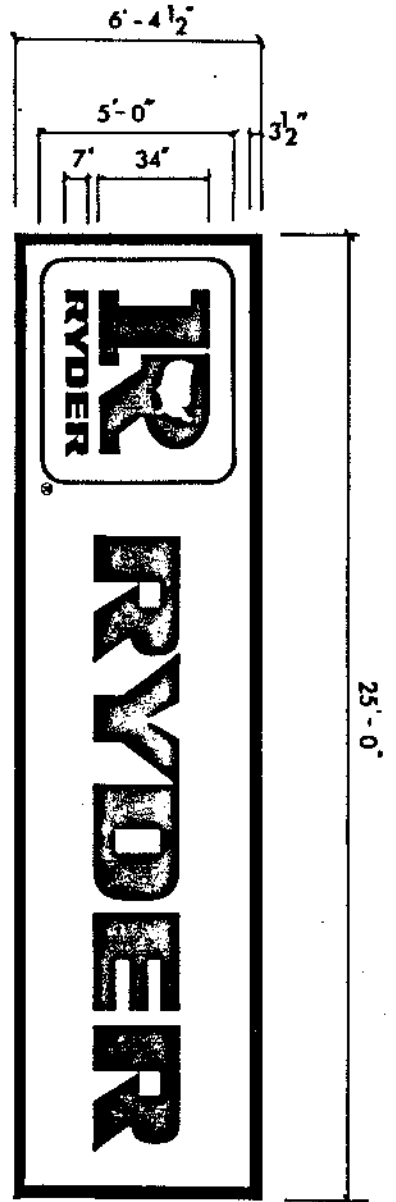
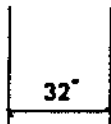
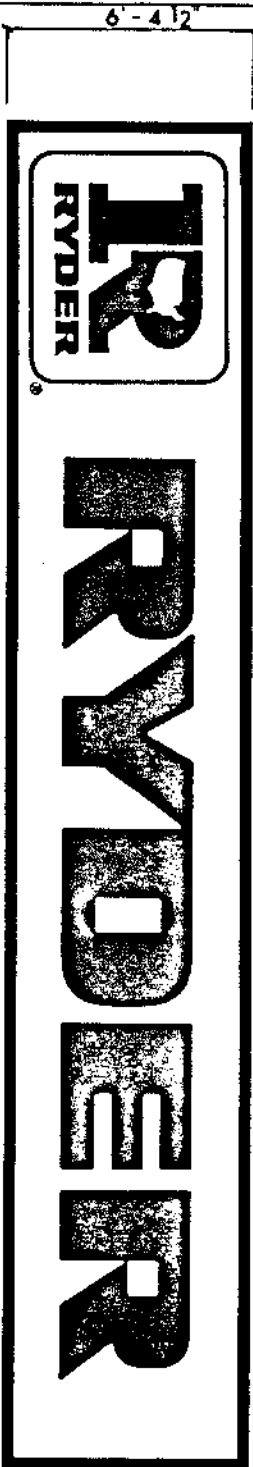
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ARL-II-MV-175*	Mercury Vapor (CWA)	H39KC-175/DX
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ARL-II-MV-400*	Mercury Vapor (CWA)	H33GL-400/DX
ARL-II-MH-175*	Metallic Halide (CWA)	M175/BU-HOR
ARL-II-MH-250*	Metallic Halide (CWA)	M250/BU-HOR
ARL-II-MH-400*	Metallic Halide (CWA)	M400/BU-HOR
ARL-II-HPS-100*	High Pressure Sodium (CWA)	LU-100
ARL-II-HPS-150*	High Pressure Sodium (CWA)	LU-150/55
ARL-II-HPS-250*	High Pressure Sodium (CWA)	LU-250
ARL-II-HPS-400*	High Pressure Sodium (CWA)	LU-400

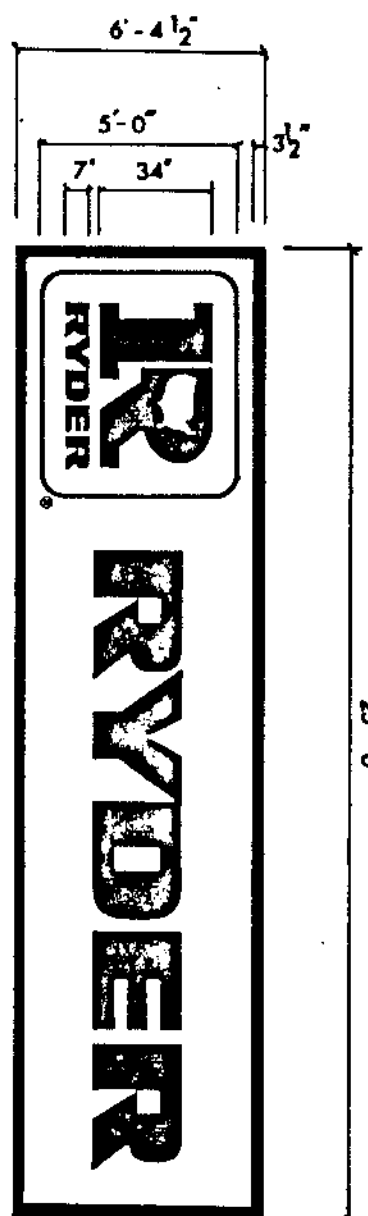
*Voltage must be specified.

For photometric data see pages immediately following this sheet. If photometric data other than those shown is required, contact area representative or factory direct for availability.

D.F. PYLON SIZES

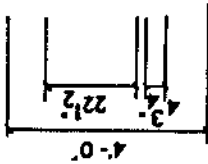


D.F. PYLON SIZES



FOR MORE INFORMATION
CALL 800-855-8585
WWW.RYDER.COM

28'-0"

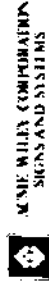


RYDER

**TRUCK RENTAL
AND LEASING**

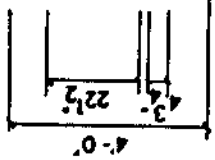


S.F. ILLUM. WALL SIGN



1400 GREENLEAF AVE. S.W. GAINESVILLE, FL 32609

28'-0"



RYDER

TRUCK RENTAL
AND LEASING



S.F. ILLUM. WALL SIGN



WIDE WHEEL CORPORATION
SKINS AND SYSTEMS
2400 CRENSHAW AVE. S.W. MIAMI BEACH, FL 33133

266

Ryder Truck Rental

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CITY OF PORTLAND, MAINE
MEMORANDUM

TO: Paul Mansen
~~John Joy~~, Data Processing

FROM: Maureen O'Meara, Planner

SUBJECT: Request for Labels

DATE: 3/9/88
Date

Please print labels from the Assessor's Charts, for the following project. The labels are needed by 3/17/88. Thank you.

PROJECT	CHARTS
327 Spring St. (1 set)	<div>61</div> <div>62</div> <div>✓ 56</div> <div>57</div> <div>5+ Pooled 1</div>
Grove St. (1 set)	<div>304</div> <div>314</div> <div>✓ 271</div> <div>278</div> <div>5 pooled</div>
Killenger (1 set)	<div>13 (G, F, E, D, I, J, L, K)</div> <div>✓ 17 (A, B, C, G)</div> <div>21 (F)</div> <div>5 pooled</div>
Ryder Truck (2 sets)	<div>252</div> <div>✓ 253</div> <div>254</div> <div>251</div> <div>5 pooled</div>
Capisic Pond (2 sets)	<div>192</div> <div>224 (B)</div> <div>223</div> <div>✓ 185 (A, B, G, H, I)</div> <div>224A (A, J, G)</div> <div>5 pooled</div>



CITY OF PORTLAND, MAINE

389 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 775-5451

EXECUTIVE DEPARTMENT

ROBERT B. GANLEY
CITY MANAGER

TO RESIDENTS AND PROPERTY OWNERS IN THE VICINITY OF
PINETREE INDUSTRIAL PARKWAY

The Portland Planning Board will hold a public hearing on Tuesday, May 10, 1988. The meeting begins at 7:30 P.M. in Room 209, City Hall, Portland, Maine.

The Board will consider a proposal by Ryder Truck Rental, Inc. for a 13,120 sq. ft. office/warehouse facility located in the vicinity of Lot 4, Pinetree Industrial Parkway. The site is 5.9 acres and zoned I-1 Industrial. The plan will be reviewed for conformance with the Site Plan Ordinance of the Land Use Code.

Should you wish to review the plans in advance, they are available in the Portland Planning Department, Room 211 of City Hall. If you are unable to attend the public meeting of the Planning Board, please send your comments in writing to Joseph E. Gray, Jr., Director of Planning and Urban Development, City Hall, Room 211, 389 Congress Street, Portland, Maine 04101.

Alexander Jaegerman
Chief Planner

/jff

ALCO PARTNERS
105 PINE TREE INDUS
PARKWAY
PORTLAND ME
254 - A-003

04107

KNOWLES ELLEN M
NEW PORTLAND ROAD
GORHAM MAINE

254 - A-009

04038

MAINE BEVERAGE CONTAIN
-ER SERVICES INC
193R PRESUMPCOT ST
PORTLAND MAINE
254 - A-002

04103

PRESUMPCOT ASSOCIATES
INC
193R PRESUMPCOT ST
PORTLAND MAINE
252 - A-007

04103

Ryder Truck Rental
photocopy before
mailing

PLANNING REPORT #33-88

PLANNING DEPARTMENT REPORT

OFFICE/GARAGE FACILITY

SITE PLAN REVIEW

RYDER TRUCK RENTAL, INC., APPLICANT

Submitted to:

Portland Planning Board
Portland, Maine

May 10, 1988

I. Introduction

Ryder Truck Rental, Inc. is requesting review of a 13,120 sq. ft. building located in the vicinity of lot 4, Pine Tree Industrial Park. The site is 5.9 acres and zoned I-1 Industrial. There will be 1,200 sq. ft. office space and 11,920 sq. ft. of garage work space. The vicinity map, site plan and letter from the applicant are included as Attachments 1, 2, and 3.

4 notices have been mailed to area residents and property owners.

II. Summary of Findings

Zoning	I-1 Industrial
Land Area	5.9 acres
Building Footprint	13,120 sq. ft.
Total Square Footage	13,120 sq. ft.
Parking	28 9' x 19' proposed; 15 required
Number of Stories	1
Building Height	22 feet
Land Uses	Industrial adjacent to the Maine Turnpike

III. Staff Review

The proposal has been reviewed for compliance with the I-1 Industrial zone and Site Plan Ordinance of the Land Use Code. The plan has been reviewed and approved by the Building, Traffic, Fire, Public Works and Planning Departments. The comments of those departments are contained in this report.

Site Plan Review

1. PARKING AND CIRCULATION

Primary access to the site will be from Pine Tree Industrial Parkway. Twenty-eight 9' x 19' standard parking spaces are provided. In addition, 74 spaces ranging in size from 11' x 25' to 12' x 60' are also proposed. The applicant will be installing granite curbing around the radii of the entrance and along the cul-de-sac to the next curb cut to prevent deterioration of the edge of pavement.

Mr. William Bray, City Traffic Engineer, has reviewed the plan. In keeping with conditions proposed for other lots in this subdivision, Mr. Bray is requesting that no construction begin until the railroad crossing signal be installed as required by the Maine Department of Transportation(MDOT). Mr. Bray has suggested that MDOT amend their decree to allow construction, but no occupancy of any additional building in the subdivision until the signal is installed. This amendment has not yet been approved by MDOT. Mr. Bray is requesting as a potential condition of approval:

- That no Building Permit be issued until such time as the Railroad Crossing signals are operational. Mr. Bray's comments are included as Attachment 4. A letter to MDOT is included as Attachment 5.

2. BULK, LOCATION, HEIGHT AND UTILITIES

The applicant is proposing a 13,120 sq. ft., 1 story, 22 ft. high building. The dimensions are 160' x 80'. The building is predominantly a garage work area with 1,200 sq. ft. of office space. Proposed exterior materials are metal wall sheathing and a metal roof. Elevations are included as Attachment 6.

The building will be served by a 3" water main and an 8" sewer main.

3. LANDSCAPING

The lot area east of the building is part of a drainage basin and will be left in a natural state. A double staggered row of red pines are proposed between the rear parking area and the Maine Turnpike. A mixture of maples, bradford pears and white fir trees are proposed on the eastern border of the site and around the entrance. The landscape plan is included as Attachment 7.

Mr. Benjamin H. O'Reilly, Jr., has reviewed the plan. He is recommending that the double staggered row of red pines be continued to the corners of the site directly adjacent to the Maine Turnpike. A potential condition of approval is:

- That the screen located on the rear N.E. property line should extend from 40' of the S.E. property line of the City of Portland easement to the 50' N.W. jog at rear of the property line.

Mr. O'Reilly's comments are included as Attachment 8.

4. SOILS AND DRAINAGE

The geologic conditions do not pose an undue hindrance to developing the site.

Stormwater for the site will drain to the swales on the edges of the parcel and travel to the natural drainage basin located east of the building.

Mr. William Boothby, Principal Engineer, has reviewed and approved the plan. His comments are included as Attachment 9.

Ryder

Pine Tree Industrial Parkway lot 4
site 5.9 acres, I-1
13,120 sq. ft garage work facility

Traffic

28 9x19

15 reg.

74 other

granite curbing on radius

* Condition on RR signal

Bulk

13,120 sq. ft. 1 story, 22' high

1,200 office space

metal wall sheathing

Landscaping

double staggered row

trees + shrubs on border + entry

* Condition partially met

to 50' jog

not proposing to 40' of easement

Drainage

Swales to natural drainage basin

Lighting

13 400-watt hps on corners

Plan

- more landscaping
no sign

2 Conditions

5. EXTERIOR LIGHTING

The plan includes 13 400-watt high pressure sodium lights mounted on the corners of the building and on poles in the parking lot. The lighting catalog cut sheet is included as Attachment 10.

6. ZONING AMENDMENT

The proposal does not include a zoning amendment.

7. FIRE SAFETY

The proposed development will not create an undue fire safety hazard by not providing adequate access to the site for emergency vehicles. The Fire Department has reviewed and approved the plan.

8. PRELIMINARY PLAN

Since the March 22, 1988 workshop, the applicant has increased the landscaping and eliminated the proposed free-standing sign adjacent to the Turnpike.

9. City Projects

The proposed development will not interfere with any known, approved and funded City project.

IV. MOTIONS FOR THE BOARD TO CONSIDER

On the basis of plans and materials submitted by the applicant and on the basis of information contained in Planning Report 33-88 relevant to standards for Site Plan Review and/or other findings as follows:

1. That the plan is in conformance with the Site Plan Ordinance of the Land Use Code.

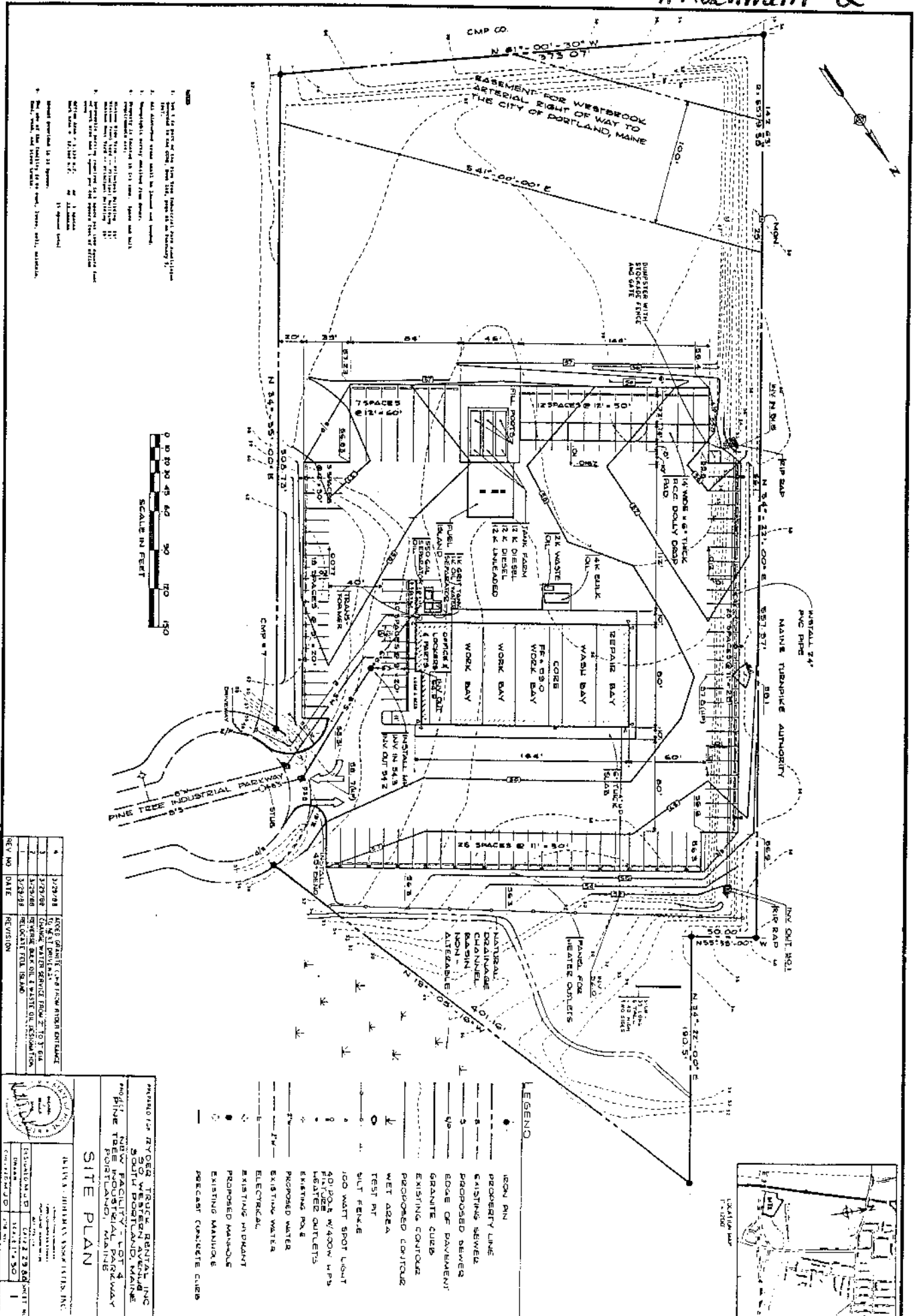
A. Potential Conditions of Approval

- Vestal moves*
Barker seconds
60
approved.
- i. That no Building Permit be issued until such time as ^{on 4/1} the Railroad Crossing signals are operational ^{or that} ~~revises its condition~~ ^{amends its requirements} ~~on the signal~~ ^{be operational}
 - ii. That the landscape screen located on the rear N.E. ^{property line} should extend ~~from~~ ^{to} 40' of the S.E. property line of the City of Portland easement, ~~to the~~ ^{to the} ~~50' N.W. jog at rear of the property line.~~

Waivers: none requested

ATTACHMENTS

1. Vicinity Map
2. Site Plan
3. Letter from Applicant
4. Traffic Engineer's Comments
5. Letter to MDOT
6. Elevations
7. Landscape Plan
8. Superintendent of Parks and Islands' Comments
9. Planning Engineer's Comments
10. Lighting Catalog Cutsheets



DeLUCA - HOFFMAN ASSOCIATES, INC.

CONSULTING ENGINEERS
THE VICTORIA CARRIAGE HOUSE
105 DANFORTH STREET
PORTLAND, MAINE 04101
(207) 775-1121

MICHAEL J. DELUCA, P.E.
PRESIDENT

WILLIAM G. HOFFMAN, P.E.
VICE - PRESIDENT

April 26, 1988

Ms. Maureen O'Meara, Planner
City of Portland Planning Department
389 Congress Street
Portland, Maine 04101

Subject: Ryder Truck Rental Site Plan -- Lot 4
Pine Tree Industrial Parkway

Dear Ms. O'Meara:

Enclosed please find the following for the May 10th Planning
Board Meeting for the Ryder Truck Site Plan:

- 4 Sets of Plans
- 2 Drainage Reports
- 2 Catalog Cuts for the Lights
- 2 Catalog Cuts for the Signs


As a result of the workshop meeting, we have made the following
revisions:

1. Double row of pine trees as a rear buffer.
2. Additional landscaping along the side line.
3. Additional granite curbing from the Ryder driveway to
match the existing granite curbing at the abutting
southerly driveway.

We look forward to meeting with the Planning Board. In the
meantime, if you have any questions feel free to contact me.

Very truly yours,

DeLUCA-HOFFMAN ASSOCIATES, INC.



Michael J. DeLuca, P.E.
President

MJD/ab

CITY OF PORTLAND, MAINE
MEMORANDUM

Attachment 4

TO: Maureen O'Meara, Planner
FROM: William J. Bray, Traffic Engineer
SUBJECT: Ryder Truck Rental, Inc.

DATE: 5/3/88



Since I have not yet received from the Maine Department of Transportation an Amendment to the Railroad Crossing Decree, I must impose the same condition of approval as was recommended for Hale Trucking:

That no Building Permit be issued until such time as the Railroad Crossing Signals are operational.

You should be aware that MDOT has submitted a Draft Amendment, which if approved as submitted, would allow construction of the building. If the Board chooses to grant approval similar to the Hale Trucking project, they must condition their approval on the Draft Amendment, which will state that no Building Occupancy Permit (either temporary or permanent) shall be granted until such time as the railroad crossing signals are fully operational. If the Condition of Approval does not state the above in some manner, I would assume that the City would inherit a major liability, due to the way the Rand Road Railroad Decree is written.

WJB/mh
cc: Bill Boothby, Principal Engineer



CITY OF PORTLAND, MAINE

55 PORTLAND STREET
PORTLAND, MAINE 04101
(207) 775-5451

Attachment 5

PARKS & PUBLIC WORKS

GEORGE A. FLAHERTY
DIRECTOR

April 29, 1988

Mr. Michael Murphy
Transportation Service Bureau
State of Maine
Department of Transportation
Transportation Building
Augusta, Maine 04333

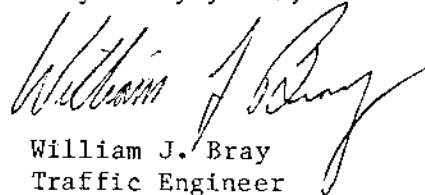
Dear Mike:

Reference is made to the Rand Road Decree Amendment that you left for my review. The proposed Draft Amendment is acceptable providing the following condition is included:

- That no "Occupy Permit" (temporary or permanent) be issued by the City until such time as the crossing signal system is operational and approved by MDOT.

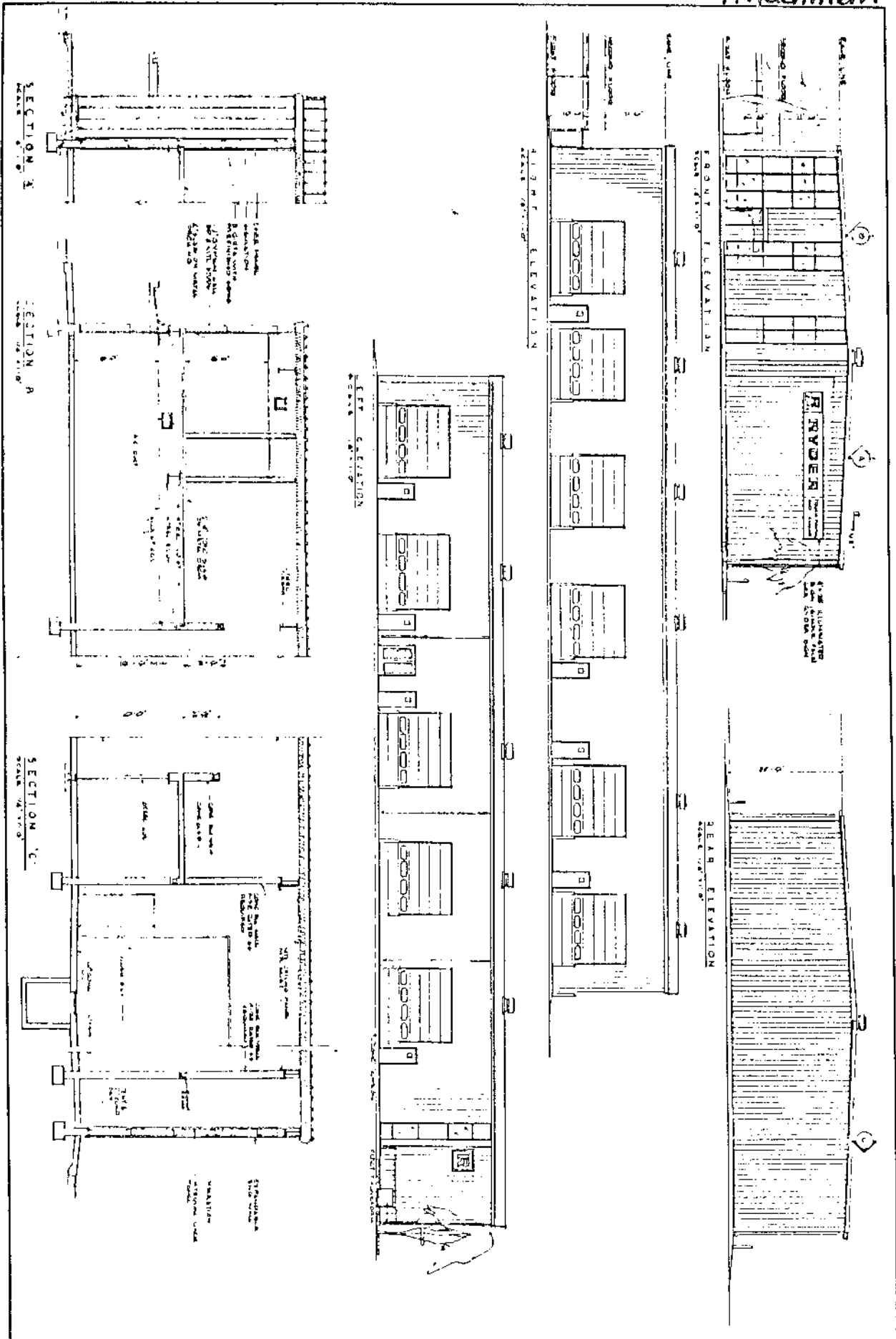
Please make the necessary change and forward a copy of the Final Decree Amendment to me.

Very truly yours,


William J. Bray
Traffic Engineer

WJB/nba

pc: Sam Hoffsess, Chief, Inspection Services
David Lourie, Corporation Counsel
/ Rick Knowland, Senior Planner



CITY OF PORTLAND, MAINE
MEMORANDUM

TO: Ms. Maureen O'Meara, Planner

FROM: Benjamin H. O'Reilly, Superintendent of Parks and Islands/Acting
Arborist

DATE: May 6, 1988

SUBJECT: Ryder Truck Landscape

This memo is in reference to the Ryder Truck landscape plan, located in the Pine Tree Industrial Parkway.

1. The screen located on the rear N.E. property line should extend from 40' of the S.E. property line of the City of Portland easement to the 50' N.W. jog at rear of the property line.

CITY OF PORTLAND, MAINE
M E M O R A N D U M

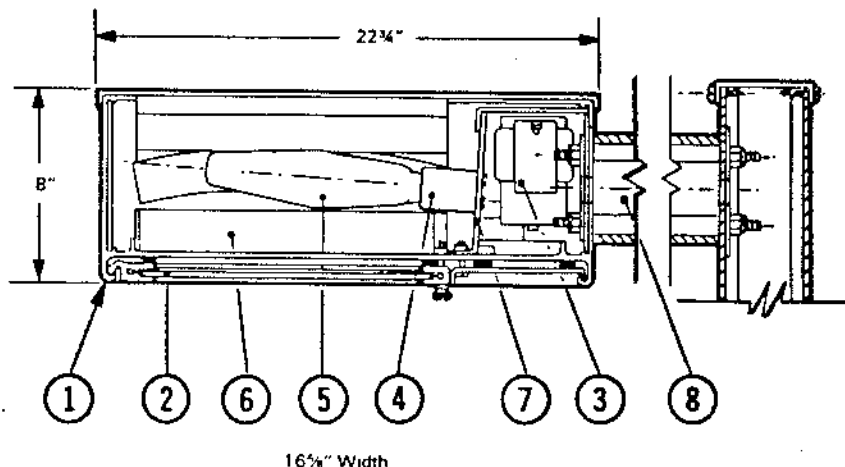
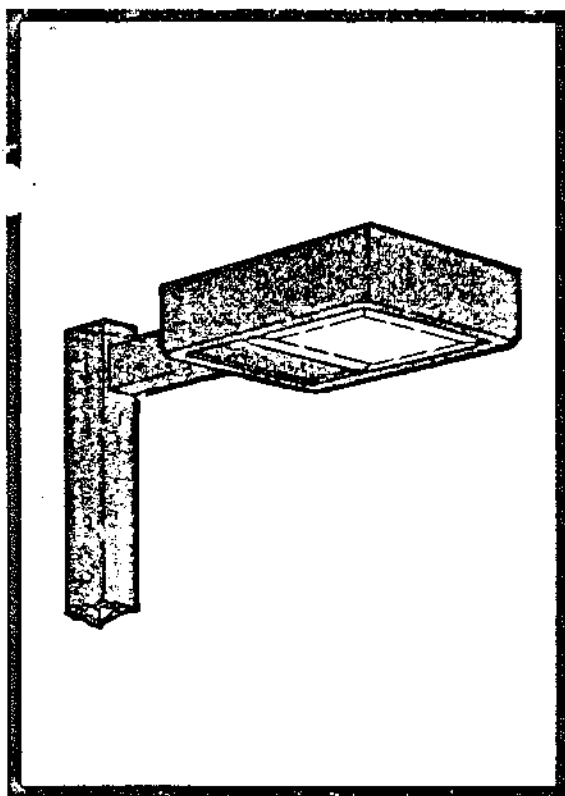
TO: Maureen O'Meara, Planner
FROM: William Boothby, Principal Engineer
DATE: May 4, 1988
SUBJECT: Ryder Truck Site Plan

I have reviewed the subject site plan and find it to be acceptable.

Drainage is directed by sheet flow and through a pipe system to the natural drainage area of Nasons Brook. No detention is necessary on site as detention is accomplished in the major drainage area of this subdivision.

/ksc

100 Watt — 400 Watt Mercury Vapor
175 Watt — 400 Watt Metallic Halide
100 Watt — 400 Watt High Pressure Sodium



FEATURES:

1. **FIXTURE BODY:** Extruded aluminum body with die-formed aluminum top pan, spot welded to fixture body. Minimum wall thickness is .094". Fixture body receives a degreasing, phosphatizing, etching bath, then is phenolic primed prior to electrostatic spray baked enamel. Standard colors are Aztec Bronze or Lava Black. Other colors and anodizing are available. Contact area representative or factory direct on all special finishes.
2. **LENS:** 3/16" minimum thickness, flat, clear, tempered glass with extruded aluminum framing. Key locked at corners for a rigid assembly. Easy access to lens assembly with the use of 2 quarter turn fasteners. Exclusive high temperature silicone gaskets around entire lens assembly insures maximum protection from dust and bugs. A polycarbonate overlay lens is available for areas of high vandal attack.
3. **BALLAST:** Mercury Vapor, CWA circuit, 100 watt thru 400 watt. Metallic Halide, CWA circuit, 175 watt thru 400 watt. High Pressure Sodium, CWA circuit, 100 watt thru 400 watt. All types offer reliable starting to -20°.

All ballast packs are removable as a single unit with the use of quick disconnects at the lampholder connection and the primary. All popular voltages are available. See illustration on Back Page.

4. **LAMPHOLDER:** Glazed porcelain "Grip-Tite" lampholder. Screw shell is nickel plated to prevent lamp from oxidizing and freezing to lampholder base. Center contact is heat treated beryllium copper alloy.
5. **LAMP:** Mercury Vapor, Metallic Halide or High Pressure Sodium in proper wattages, suitable for horizontal operation (Lamps by others).
6. **REFLECTOR:** Pre-formed specular aluminum step type. Reflector is set to achieve IES type II or III cutoff. Reflector also available with sharp back cut off and even forward throw for wall mounted fixtures, tennis court fixtures, etc. Specify reflector type required.
7. **HEAT BARRIER:** Insures long life of ballast.
8. **MOUNTING BRACKET:** Extruded aluminum bracket arm with .150" minimum wall thickness, combined with 1/2" rods, provides rigidity without visible hardware. See other side for bracket illustrations and ordering information.

- CONTROLLED AREA LIGHTING
- NON-GLARE LIGHT
- SHARP CUT-OFF
- CRISP STYLING

Fixture design provides an even distribution of non-glare light within a controlled distribution area. At the perimeter of the illuminated area, light is sharply cut off similar to a wall of light against darkness, virtually eliminating polluting light or spill light.

The ARL-II series lighting fixture is ideal for illuminating medium to large exterior ground areas such as condominium and apartment complexes, airports and shopping centers.

ORDERING INFORMATION

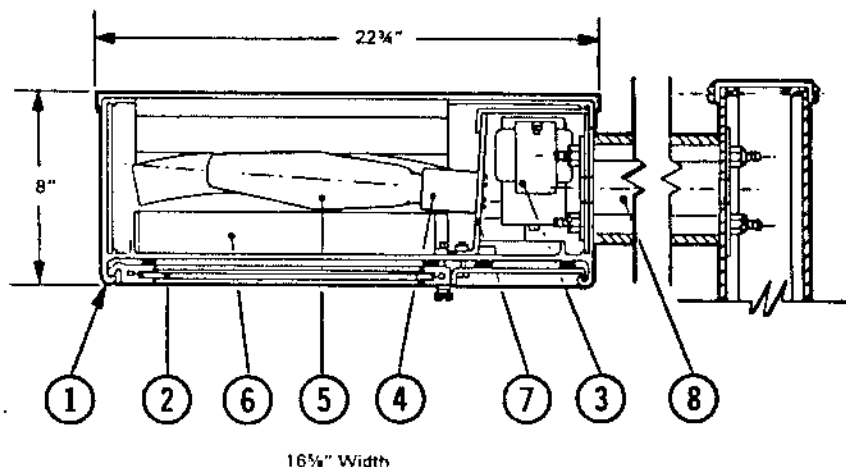
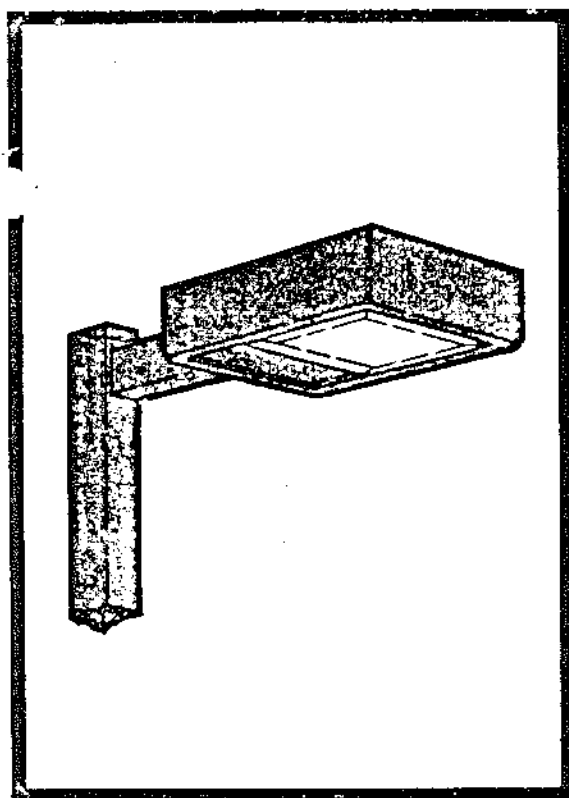
CATALOG NUMBER	BALLAST TYPE	LAMP REQUIRED
ARL-II-MV-100*	Mercury Vapor (CWA)	H38JA-100/DX
ARL-II-MV-175*	Mercury Vapor (CWA)	H39KC-175/DX
ARL-II-MV-250*	Mercury Vapor (CWA)	H37KC-250/DX
ARL-II-MV-400*	Mercury Vapor (CWA)	H33GL-400/DX
ARL-II-MH-175*	Metallic Halide (CWA)	M175/BU-HOR
ARL-II-MH-250*	Metallic Halide (CWA)	M250/BU-HOR
ARL-II-MH-400*	Metallic Halide (CWA)	M400/BU-HOR
ARL-II-HPS-100*	High Pressure Sodium (CWA)	LU-100
ARL-II-HPS-150*	High Pressure Sodium (CWA)	LU-150/55
ARL-II-HPS-250*	High Pressure Sodium (CWA)	LU-250
ARL-II-HPS-400*	High Pressure Sodium (CWA)	LU-400

*Voltage must be specified.

For photometric data see pages immediately following this sheet. If photometric data other than those shown is required, contact area representative or factory direct for availability.

arl-II

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ARL-II-MV-400*	Mercury Vapor (CWA)	H33GL-400/DX
ARL-II-MH-175*	Metallic Halide (CWA)	M175/BU-HOR
ARL-II-MH-250*	Metallic Halide (CWA)	M250/BU-HOR
ARL-II-MH-400*	Metallic Halide (CWA)	M400/BU-HOR
ARL-II-HPS-100*	High Pressure Sodium (CWA)	LU-100
ARL-II-HPS-150*	High Pressure Sodium (CWA)	LU-150/55
ARL-II-HPS-250*	High Pressure Sodium (CWA)	LU-250
ARL-II-HPS-400*	High Pressure Sodium (CWA)	LU-400

*Voltage must be specified.

For photometric data see pages immediately following this sheet. If photometric data other than those shown is required, contact area representative or factory direct for availability.

CITY OF PORTLAND, MAINE

PLANNING BOARD

May 11, 1988

Ryder Truck Rental, Inc.
90 Western Avenue
South Portland, Maine 04106

Jack D. Humeniuk, Chairman
Barbara A. Vestal, Vice Chairman
John L. Barker
Joseph R. DeCoursey
Michael J. Fenton
Jadine R. O'Brien
Kenneth M. Cole, III

Re: Lot 4, Pinetree Industrial Park

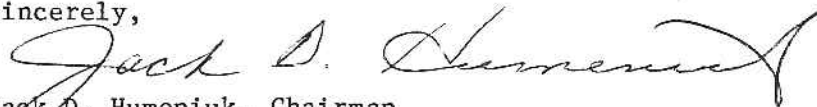
Dear Sir:

On May 10, 1988 the Portland Planning Board voted 6-0 unanimously to approve the site plan for the Ryder Truck Rental Office/Garage. The approval was granted for the project with the following conditions:

1. That no building permit be issued until such time as the railroad crossing signals are operational or until such time as M.D.O.T. amends its condition until the signal is operational.
2. That the landscape screen located on the rear N.E. property line should extend to 40' of the S.E. property line of the City of Portland easement.

The approval is based on the submitted site plan and the findings related to site plan review standards as contained in Planning Report #33-88 which is attached. A performance guarantee covering the site improvements as well as an inspection fee payment of 1.7% of the guarantee amount must be submitted to and approved by the Planning Division and Public Works prior to the release of the building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval. The site plan approval will be deemed to have expired unless work in the development has commenced within six (6) months of the approval or within a time period agreed upon in writing by the City and the applicant. If there are any questions, please contact the Planning staff.

Sincerely,


Jack D. Humeniuk, Chairman
Portland Planning Board

MO/ksc

cc: Joseph E. Gray, Jr., Director of Planning and Urban Development
Alexander Jaegerman, Chief Planner
Maureen O'Meara, Planner
P. Samuel Hoffses, Chief of Inspection Services
Warren J. Turner, Zoning Administrator
George Flaherty, Director of Parks and Public Works
Thomas Eaton, City Engineer
William Boothby, Principal Engineer
William Bray, City Traffic Engineer
Carmela Barton, City Arborist
Natalie Burns, Associate Corporation Counsel
Approval Letter File
Michael Deluca, Deluca-Hoffman Associates



EXECUTIVE DEPARTMENT

CITY OF PORTLAND, MAINE

389 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 775-5451

ROBERT B. GANLEY
CITY MANAGER

TO RESIDENTS AND PROPERTY OWNERS IN THE VICINITY OF
PINETREE INDUSTRIAL PARKWAY

The Portland Planning Board will hold a public hearing on Tuesday, May 10, 1988. The meeting begins at 7:30 P.M. in Room 209, City Hall, Portland, Maine.

The Board will consider a proposal by Ryder Truck Rental, Inc. for a 13,120 sq. ft. office/warehouse facility located in the vicinity of Lot 4, Pinetree Industrial Parkway. The site is 5.9 acres and zoned I-1 Industrial. The plan will be reviewed for conformance with the Site Plan Ordinance of the Land Use Code.

Should you wish to review the plans in advance, they are available in the Portland Planning Department, Room 211 of City Hall. If you are unable to attend the public meeting of the Planning Board, please send your comments in writing to Joseph E. Gray, Jr., Director of Planning and Urban Development, City Hall, Room 211, 389 Congress Street, Portland, Maine 04101.

Alexander Jaegerman
Chief Planner

/jef

CITY OF PORTLAND, MAINE
M E M O R A N D U M

TO: Chairman and Members of the Portland Planning Board

FROM: Maureen O'Meara, Planner

DATE: March 22, 1988

SUBJECT: Ryder Truck Rental Site Plan

Ryder Truck Rental, Inc. is requesting workshop review of a 13,120 sq. ft. office/warehouse facility located at the end of the cul-de-sac of Pinetree Industrial Parkway. The site is 5.9 acres and zoned I-1 Industrial. The vicinity map and site plan are included as Attachments 1 and 2.

Access to the site will be from Pinetree Industrial Parkway. Granite curbing is proposed around the radii of the entrance. In addition, the City Traffic Engineer is recommending that granite curbing be extended from the left side of the entrance around the cul-de-sac to the next curb cut, in order to prevent the immediate deterioration of the edge of pavement once the cul-de-sac is opened up. Fifteen parking spaces are required and (31) are provided. In addition, 71 parking spaces for various sized trucks and trailers are also proposed. One handicapped parking space is located in front of the office. A right-of-way easement to the City of Portland for the Westbrook Arterial exists on the eastern side of the site which the proposed plan does not impact. Similar to the Hale Trailer Site Plan, before this project can be built, the railroad signal required by the Maine Department of Transportation must be installed.

The facility is located between the cul-de-sac and the Maine Turnpike and provides 12,000 sq. ft. of work area and 1,200 sq. ft. of office space. The building measures approximately 160' x 30' and is 22 ft. high. Proposed exterior materials are metal wall sheathing. Elevations are included as Attachment 3. Lighting proposed includes 5 400-watt fixtures on 40' poles, 2 placed in the front parking area and 3 placed along the back next to the Turnpike. Eight 100 watt spot lights will be mounted on the corners of the building. A 40' high sign measuring 35' long by 6' wide will also be lighted and located adjacent to the Turnpike.

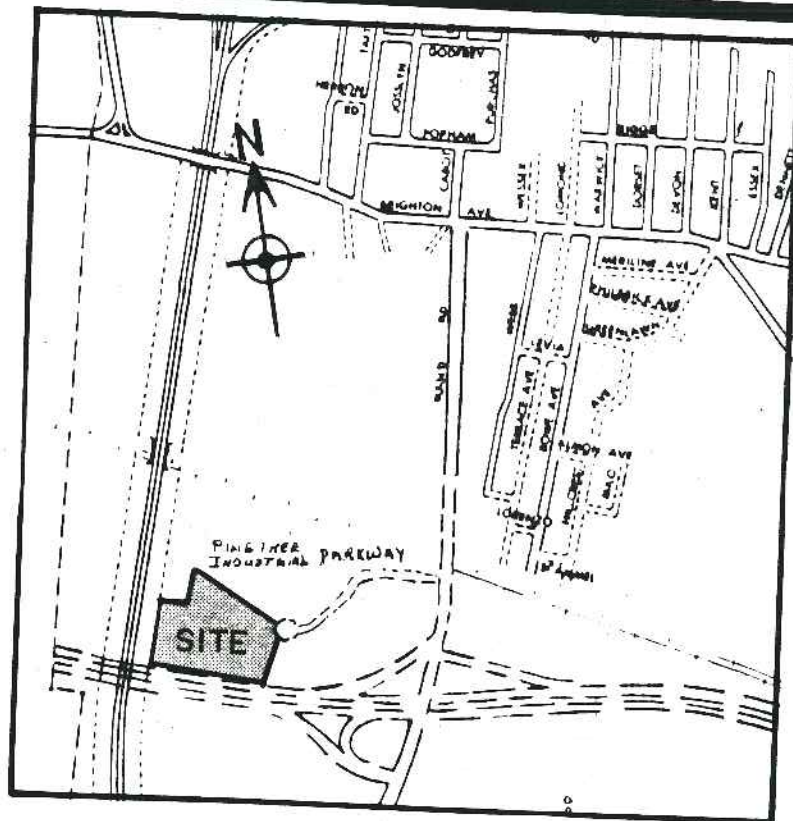
Ryder Truck Rental
March 22, 1988
page 2

Proposed landscaping includes plantings in the site entrance area and along a 10' buffer area between the back parking area and the Turnpike. The City Arborist is recommending that the width of the buffer area be increased and that the buffer consist of a double staggered row of evergreens planted 15' o.c. This buffer should continue approximately to the right-of-way. It is important that the character of development along the turnpike be heavily landscaped to promote a possible visual image of the city as travelers pass by. A buffer should also be planted along the southern border of the site adjacent to the parking area. The landscaping plan is included as Attachment 4.

Issues raised in reviewing the plan include (1) installation of granite curbing, (2) installation of the railroad crossing signal, (3) the appropriateness of the lighting plan, and (4) the need for additional landscaping.

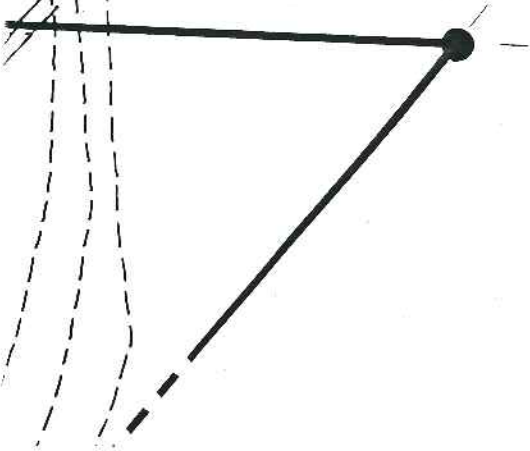
Attachments

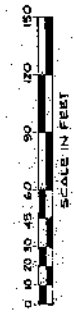
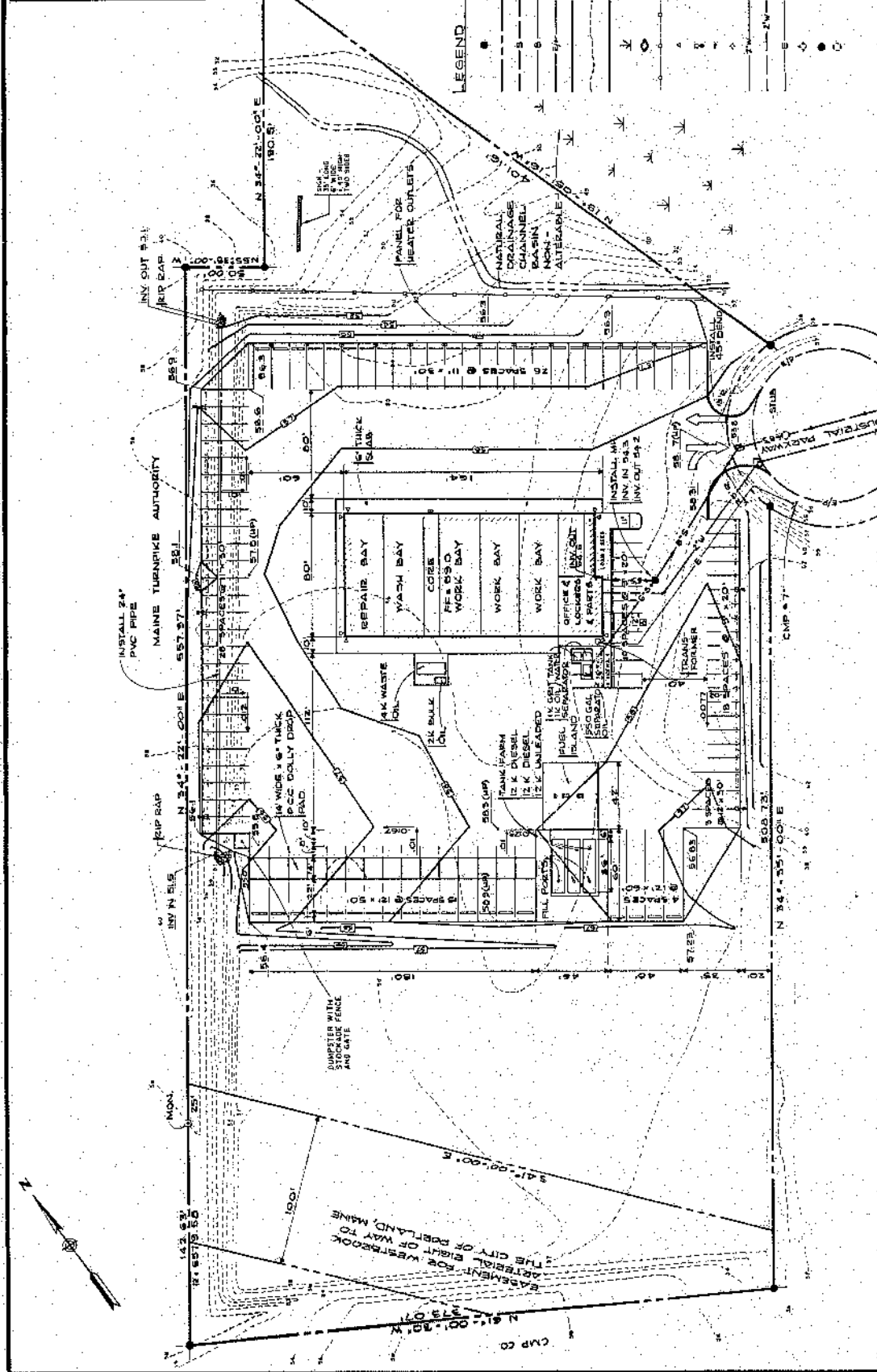
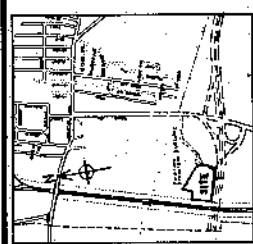
1. Vicinity Map
2. Site Plan
3. Elevations
4. Landscaping Plan



LOCATION MAP
1" = 1200'

4 53 52





LEGEND

- IRON PIN
- PROPERTY LINE
- EXISTING SEWER
- PROPOSED SEWER
- EDGE OF PAVEMENT
- GRAVITY CURB
- EXISTING CONTOUR
- PROPOSED CONTOUR
- WET AREA
- TEST PIT
- SILT FENCE
- 100 WATT SPOT LIGHT
- 40' POLE W/ 400W. H.P.S.
- HEATER OUTLETS
- EXISTING POLE
- PROPOSED WATER
- EXISTING WATER
- ELECTRICAL
- EXISTING HYDRANT
- PROPOSED MANHOLE
- EXISTING MANHOLE

SITE PLAN

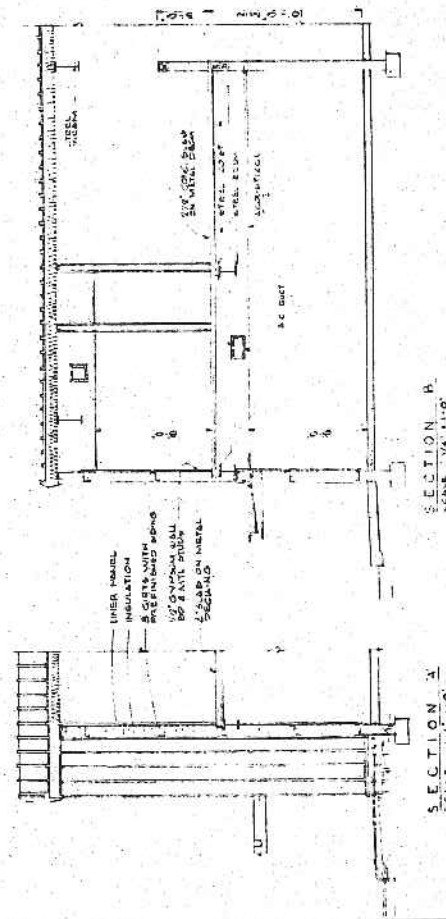
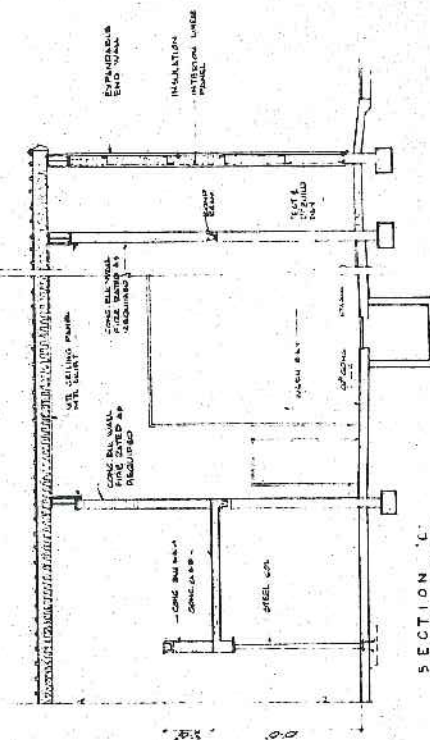
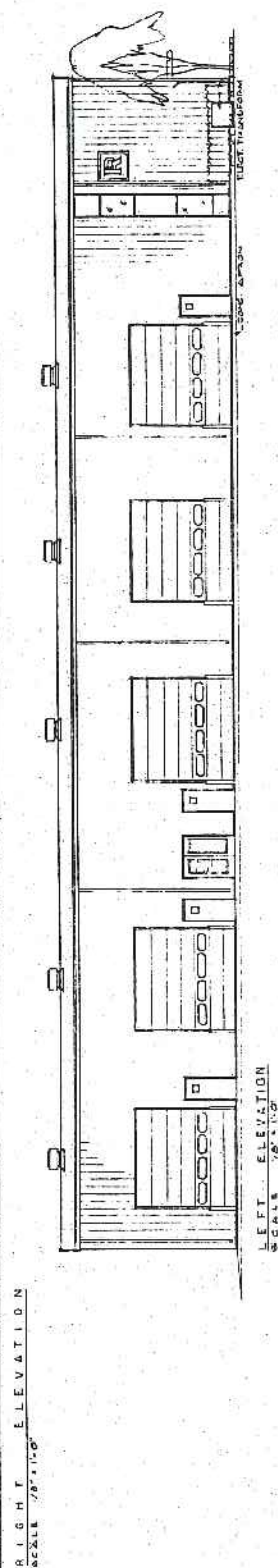
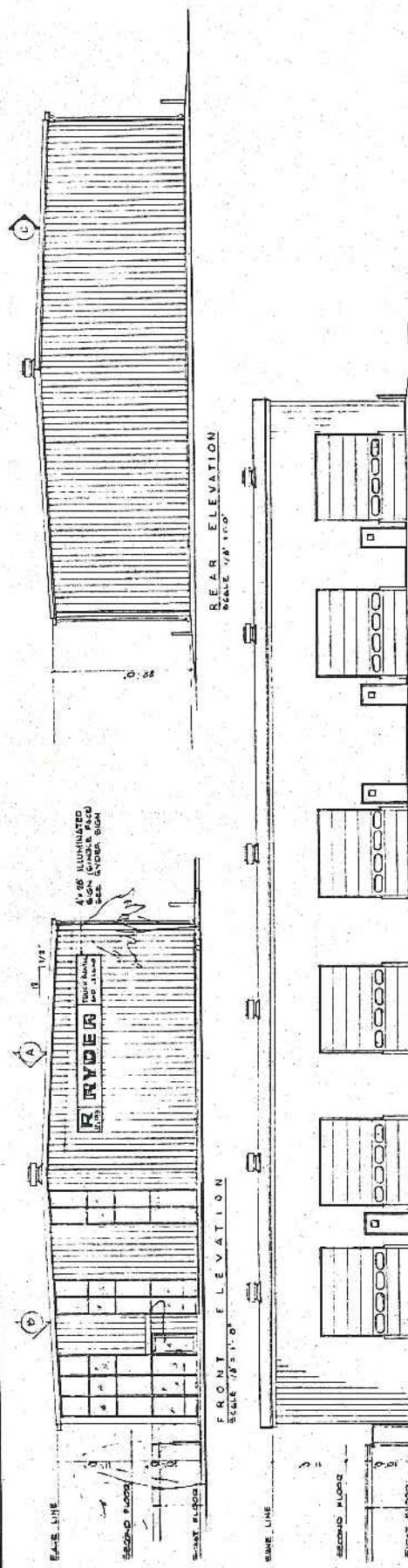
PREPARED FOR HYDER TRUCK RENTAL INC.
50 WESTERN AVENUE
SOUTH PORTLAND, MAINE
04106
PROJECT: NEW TRUCK RENTAL LOT
PINE TREE INDUSTRIAL PARKWAY
PORTLAND, MAINE



DATE: 11-17-90
DRAWN: J.M.D.
CHECKED: J.M.D.
SCALE: AS SHOWN

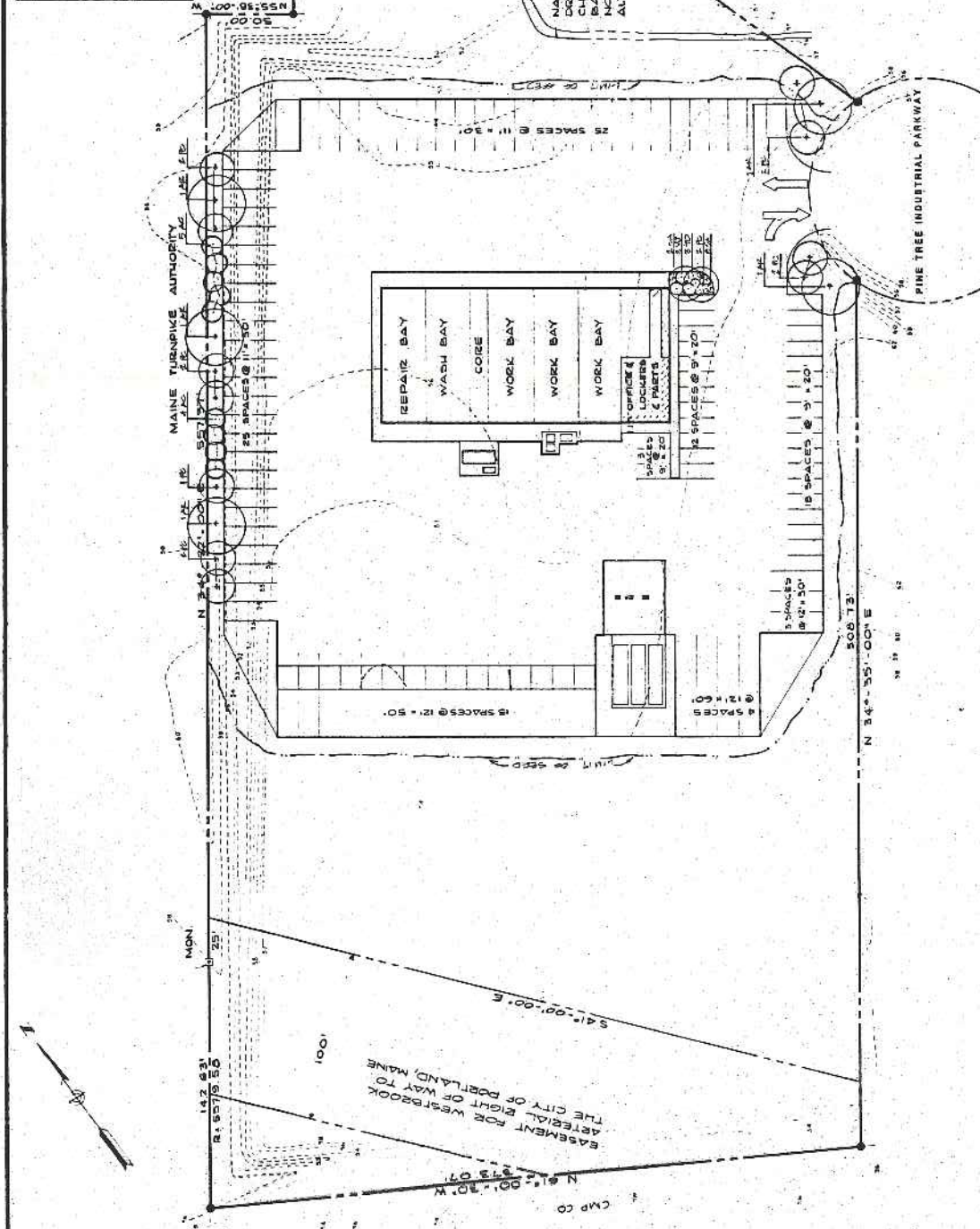
1. This is a site plan of the Pine Tree Industrial Park, Portland, Maine.
2. All dimensions are given in feet, unless otherwise noted.
3. Topographic survey obtained from owner.
4. Property is subject to 10' easement for water, gas and sewer.
5. Existing site plan - Portland, Maine, 1987.
6. Existing site plan - Portland, Maine, 1987.
7. All dimensions are given in feet, unless otherwise noted.
8. All dimensions are given in feet, unless otherwise noted.
9. All dimensions are given in feet, unless otherwise noted.
10. All dimensions are given in feet, unless otherwise noted.

Attachment 3



Attachment

PLANT LIST	PLANT NAME	QTY	SIZE	NOTES
1	AMERICAN BIRCH	9	4" - 6" DBH	12' HGT.
2	AMERICAN BIRCH	5	4" - 6" DBH	12' HGT.
3	AMERICAN BIRCH	5	4" - 6" DBH	12' HGT.
4	AMERICAN BIRCH	5	4" - 6" DBH	12' HGT.
5	AMERICAN BIRCH	5	4" - 6" DBH	12' HGT.
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67	AMERICAN BIRCH	5	4" - 6" DBH	12' HGT.
68	AMERICAN BIRCH	5	4" - 6" DBH	12' HGT.
69	AMERICAN BIRCH	5	4" - 6" DBH	12' HGT.
70	AMERICAN BIRCH	5	4" - 6" DBH	12' HGT.
71	AMERICAN BIRCH	5	4" - 6" DBH	12' HGT.
72	AMERICAN BIRCH	5	4" - 6" DBH	12' HGT.
73	AMERICAN BIRCH	5	4" - 6" DBH	12' HGT.
74	AMERICAN BIRCH	5	4" - 6" DBH	12' HGT.
75	AMERICAN BIRCH	5	4" - 6" DBH	12' HGT.
76	AMERICAN BIRCH	5	4" - 6" DBH	12' HGT.
77	AMERICAN BIRCH	5	4" - 6" DBH	12' HGT.
78	AMERICAN BIRCH	5	4" - 6" DBH	12' HGT.
79	AMERICAN BIRCH	5	4" - 6" DBH	12' HGT.
80	AMERICAN BIRCH	5	4" - 6" DBH	12' HGT.
81	AMERICAN BIRCH	5	4" - 6" DBH	12' HGT.
82	AMERICAN BIRCH	5	4" - 6" DBH	12' HGT.
83	AMERICAN BIRCH	5	4" - 6" DBH	12' HGT.
84	AMERICAN BIRCH	5	4" - 6" DBH	12' HGT.
85	AMERICAN BIRCH	5	4" - 6" DBH	12' HGT.
86	AMERICAN BIRCH	5	4" - 6" DBH	12' HGT.
87	AMERICAN BIRCH	5	4" - 6" DBH	12' HGT.
88	AMERICAN BIRCH	5	4" - 6" DBH	12' HGT.
89	AMERICAN BIRCH	5	4" - 6" DBH	12' HGT.
90	AMERICAN BIRCH	5	4" - 6" DBH	12' HGT.
91	AMERICAN BIRCH	5	4" - 6" DBH	12' HGT.
92	AMERICAN BIRCH	5	4" - 6" DBH	12' HGT.
93	AMERICAN BIRCH	5	4" - 6" DBH	12' HGT.
94	AMERICAN BIRCH	5	4" - 6" DBH	12' HGT.
95	AMERICAN BIRCH	5	4" - 6" DBH	12' HGT.
96	AMERICAN BIRCH	5	4" - 6" DBH	12' HGT.
97	AMERICAN BIRCH	5	4" - 6" DBH	12' HGT.
98	AMERICAN BIRCH	5	4" - 6" DBH	12' HGT.
99	AMERICAN BIRCH	5	4" - 6" DBH	12' HGT.
100	AMERICAN BIRCH	5	4" - 6" DBH	12' HGT.



PLANT NOTES

1. All proposed planting locations shall be marked carefully as shown on plan. Contractor shall verify location of existing trees, shrubs, and other vegetation before any construction begins.
2. No plant materials shall be installed until complete grading and construction has been completed in the immediate area.
3. All deep shaded areas shall be located under all existing trees and shrubs. All plant materials shall be shown on plan of a directed by owner's representative.
4. All plants to be installed and balled and burlapped unless otherwise noted.
5. Remove all existing trees within construction limits except where shown on plan of a directed by owner's representative.
6. All existing trees and shrubs shall be protected by a minimum of 6" of mulch and a wire mesh barrier.
7. Final quantity for each item shall be determined by the discrepancy between quantities shown on the list and on the plan.
8. Any proposed plant materials must be approved by the owner or owner's representative.
9. All plant materials shall be installed within 14 days of completion of construction.
10. All disturbed areas shall be seeded with one of the following mixtures as shown on the plan:

PREPARED FOR
Ryder Truck Rental, Inc.

PROJECT
**Landscape Plan
Proposed Facility
PORTLAND, MAINE**

DESIGNED BY
DELUCA - HOFFMAN ASSOCIATES INC.

DATE
12/1/00

SCALE
1" = 30'

SHEET NO.
6

Dick Carson - Ryder

Art Roslan - oversee. Not projects

will be submitting catalog cut lights
argue to granite curbing

Fenton - ? on signage

Barker - w/ 71 truck capacity, sensitive to Turnpike abutting
residential nearby
request substantial buffering, esp. Turnpike

De C - in addition to S. Portland sites
campers? no, only trucks

Hum - waiver of granite curbing?
wants Bill to enforce

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

Applicant
 Mailing Address
 Proposed Use of Site
 Acreage of Site / Ground Floor Coverage

Date
 Address of Proposed Site
 Site Identifier(s) from Assessors Maps
 Zoning of Proposed Site

Site Location Review (DEP) Required: () Yes () No
 Board of Appeals Action Required: () Yes () No
 Planning Board Action Required: () Yes () No

Proposed Number of Floors
 Total Floor Area

Other Comments:
 Date Dept. Review Due:

FIRE DEPARTMENT REVIEW

3/3/88
 (Date Received)

	ACCESS TO SITE	ACCESS TO STRUCTURES	SUFFICIENT VEHICLE TURNING ROOM	SAFETY HAZARDS	HYDRANTS	SIAMESE CONNECTIONS	SUFFICIENCY OF WATER SUPPLY	OTHER	
APPROVED									
APPROVED CONDITIONALLY									CONDITIONS SPECIFIED BELOW
DISAPPROVED									REASONS SPECIFIED BELOW

REASONS:

(Attach Separate Sheet if Necessary)

John R. Dobkowski
 SIGNATURE OF REVIEWING STAFF/DATE

FIRE DEPARTMENT COPY

HYDROLOGIC AND HYDRAULIC REPORT
LOT 4 - PINE TREE INDUSTRIAL PARK
PINE TREE INDUSTRIAL PARKWAY
PORTLAND, MAINE

Prepared for
Ryder Truck Rental, Inc.
90 Western Avenue
South Portland, Maine

Prepared by
DeLuca-Hoffman Associates, Inc.
105 Danforth Street
Portland, Maine 04101
(207) 775-1121

March 1, 1988



INTRODUCTION

Ryder Truck Rental, Inc. is planning to construct a 13,120 square foot building with associated paved parking on Lot 4 of the Pine Tree Industrial Park Subdivision. The subdivision is an approved subdivision and the plat was recorded in the CCRD, Book 160, page 55 on February 5, 1987. Lot 4 is located on the Cul-de-Sac of Pine Tree Industrial Parkway and abuts the Maine Turnpike on the north side. In order to prepare the site plan and assess drainage conditions, Ryder Truck Rental, Inc. retained DeLuca-Hoffman Associates, Inc.

EXISTING CONDITIONS

At one time there was a natural drainage channel that traversed the lot. In August of 1987, White Brothers, under the direction of the Owner, regraded the lot and redirected surface water to the perimeter of the lot. The surface water is now conveyed in a ditch to the natural drainage channel, the same area as prior to regrading. As part of the subdivision, common detention areas were constructed to serve the subdivision. The basins and outlet pipes were sized to limit postdevelopment flows to predevelopment levels.

Preliminary borings obtained from the Maine Department of Transportation and assessed by S.W. Cole, Inc. show 9 to 11 feet of medium soft compressible clay over glacial till and rock. Rock appears to be at a depth of about 70 feet.

Predevelopment Runoff

Predevelopment runoff from the site is calculated using the rational formula. The formula is $Q = cia$, where

$$\begin{aligned}c &= .4 \text{ (lightly vegetated clay soil)} \\i_2 &= 3.95 \text{ (5 minutes } T_c) \\i_{25} &= 6.20 \text{ (5 minutes } T_c) \\a &= 5.9 \text{ acres}\end{aligned}$$

$$Q_2 = (.4)(3.95)(5.9) = 9.32 \text{ CFS}$$

$$Q_{25} = (.4)(6.20)(5.9) = 14.63 \text{ CFS}$$

Postdevelopment Runoff

The postdevelopment runoff must consider the improvements to the site and their effect on rainfall runoff. For postdevelopment, there are the following surface conditions:

1. Impervious Surfaces

Pavement	109,880
Roofs	<u>13,120 s.f.</u>

123,000 s.f. = 2.82 a, c = .9

2. Lawn	6,800
	<u>11,200 s.f.</u>

18,000 s.f. = .44 a, c = .3

3. Lightly Vegetated Clay Soil

116,000 s.f. = 2.66 a, c = .4

Total 5.9 a

The Composite C is calculated as follows:

2.82/5.9 x .9	= .43
.44/5.9 x .3	= .02
2.66/5.9 x .4	= <u>.18</u>

.63 C

Postdevelopment flows are as follows:

$$Q_2 = (.63)(3.95)(5.9) = 14.68 \text{ CFS}$$

$$Q_{25} = (.63)(6.2)(5.9) = 23.04 \text{ CFS}$$

The increase in postdevelopment runoff will be controlled with the common detention basin and outlet pipes that were sized for full postdevelopment conditions (see Hydrology Study, Industrial Subdivision, Presumpscot Associates, Portland, Maine, by Dearborn/Whited, Portland, Maine). There is no need for on site stormwater detention.

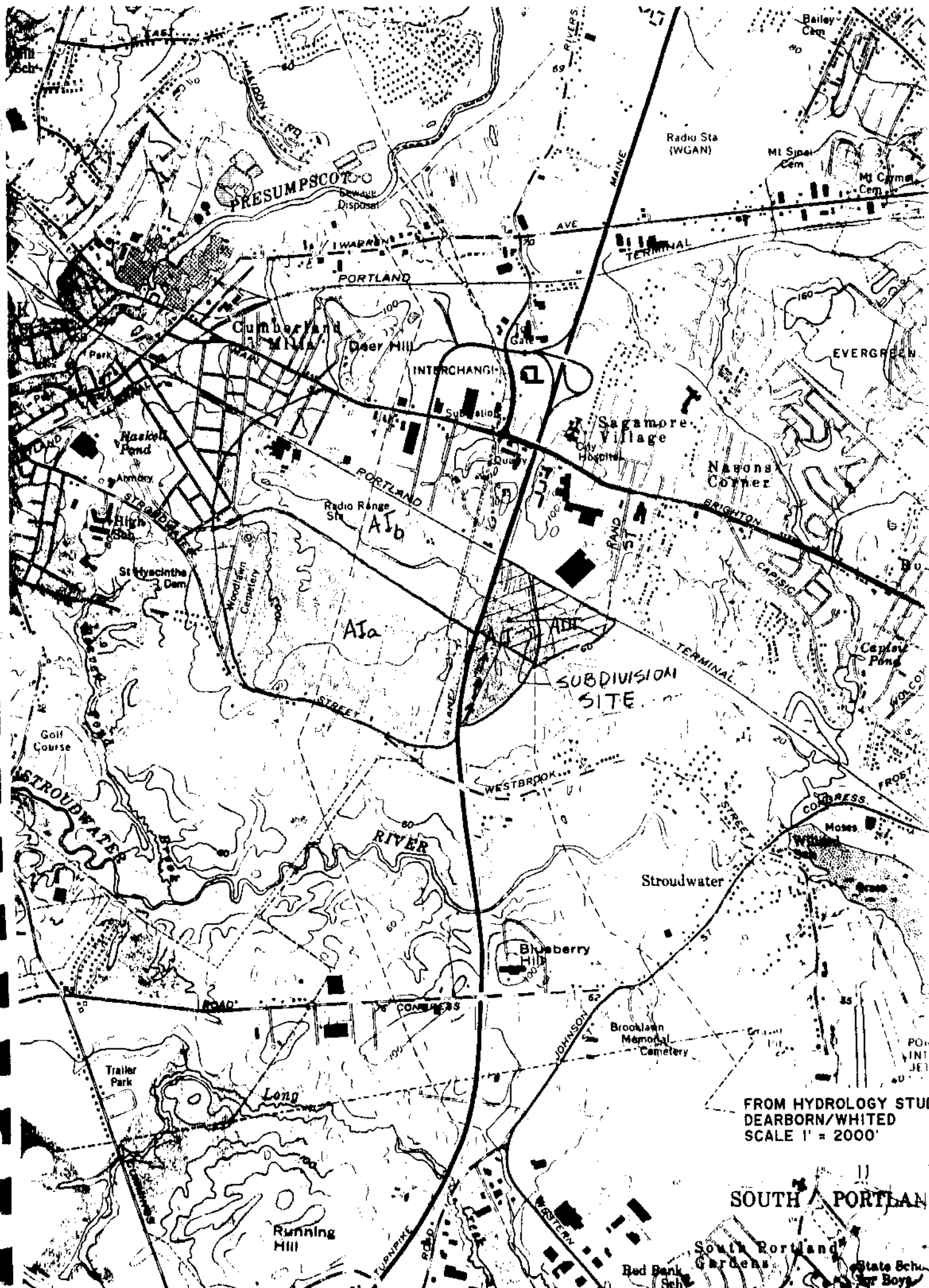
INTERNAL CULVERTS

The internal culvert on the north side of the lot was sized by reviewing the Dearborn/Whited report and determining the portion of the drainage area tributary to the lot.

The area tributary to the lot is a portion of drainage area A II. It is approximately 24 acres. Cover conditions and time of concentration were determined from information in the report. The cover conditions were estimated to be 2 acres of paving, 20 acres of forest, and 2 acres of lawns. The time of concentration is 1.47 hours. It was determined by using Mannings Kinematic Solution for Sheet Flow, and Shallow Concentrated Flow after 300 feet of overland flow.

The method of analysis is the new version of the Soil Conservation Service TR-55 Manual for a type III storm, antecedent moisture condition 2. The results are contained in the Appendix and show the peak runoff to be 13.43 CFS during a 25 year storm. A 24" PVC storm drain with a .0035 slope will convey 19 CFS and is adequate.

APPENDIX



FROM HYDROLOGY STUDY
DEARBORN/WHITED
SCALE 1" = 2000'

SOUTH PORTLAND

HYDROLOGIC EVALUATION OF THE BYDER PROPERTY

PREDEVELOPMENT CONDITIONS:

DESCRIPTION	B SOILS		CN * AREAS		C SOILS		CN * AREAS		D SOILS		CN * AREAS		RATIONAL	
	CM VALUE	AREA (acres)	CM VALUE	RATIONAL COEF. C+A	CM VALUE	RATIONAL COEF. C+A	CM VALUE	RATIONAL COEF. C+A	CM VALUE	RATIONAL COEF. C+A	CM VALUE	RATIONAL COEF. C+A	COEF.	C+A
PAVED AREA	98.00	2.0000	196.00	0.90	1.80	98.00	0.00	0.00	98.00	0.00	0.00	0.00	0.90	0.00
ROOFTOPS	98.00	0.0000	0.00	0.95	0.00	98.00	0.00	0.00	98.00	0.00	0.00	0.00	0.95	0.00
GRAVEL AREAS	85.00	0.0000	0.00	0.70	0.00	89.00	0.00	0.00	91.00	0.00	0.00	0.00	0.70	0.00
FOREST	55.00	20.0000	1100.00	0.15	3.00	70.00	0.00	0.00	77.00	0.00	0.00	0.00	0.15	0.00
FIELDS	58.00	0.0000	0.00	0.15	0.00	71.00	0.00	0.00	78.00	0.00	0.00	0.00	0.15	0.00
LAWNS	61.00	2.0000	122.00	0.15	0.30	74.00	0.00	0.01	80.00	0.00	0.00	0.00	0.15	0.00
Subtotal	59.08	24.0000	1418.00	0.21	5.10	10098.00	0.00	0.01	80.00	0.00	0.00	0.00	0.15	0.00
Total	area: 24.0000	CM Value: 59.08	Rational C: 59.08											

POSTDEVELOPMENT CONDITIONS

DESCRIPTION	B SOILS		CN * AREAS		C SOILS		CN * AREAS		D SOILS		CN * AREAS		RATIONAL	
	CM VALUE	AREA (acres)	CM VALUE	RATIONAL COEF. C+A	CM VALUE	RATIONAL COEF. C+A	CM VALUE	RATIONAL COEF. C+A	CM VALUE	RATIONAL COEF. C+A	CM VALUE	RATIONAL COEF. C+A	COEF.	C+A
PAVED AREA	98.00	2.0000	196.00	0.90	1.80	98.00	0.00	0.00	98.00	0.00	0.00	0.00	0.90	0.00
ROOFTOPS	98.00	0.0000	0.00	0.95	0.00	98.00	0.00	0.00	98.00	0.00	0.00	0.00	0.95	0.00
GRAVEL AREAS	85.00	0.0000	0.00	0.70	0.00	89.00	0.00	0.00	91.00	0.00	0.00	0.00	0.70	0.00
FOREST	55.00	20.0000	1100.00	0.15	3.00	70.00	0.00	0.00	77.00	0.00	0.00	0.00	0.15	0.00
FIELDS	58.00	0.0000	0.00	0.15	0.00	71.00	0.00	0.00	78.00	0.00	0.00	0.00	0.15	0.00
LAWNS	61.00	2.0000	122.00	0.15	0.30	74.00	0.00	0.00	80.00	0.00	0.00	0.00	0.15	0.00
Subtotal	59.08	24.0000	1418.00	0.21	5.10	70.00	0.00	0.00	80.00	0.00	0.00	0.00	0.15	0.00
Total	area: 24.0000	CM Value: 59.08	Rational C: 59.08											

RUNOFF COMPUTATION

POSTDEV. POSTDEV.

STORM FREQUENCY	2.00	25.00
CM VALUE	59.08	59.08

S VALUE 6.93 6.93

RAINFALL 2.60 5.40

RUNOFF 0.18 1.47

INITIAL ABSTRACTION: 1.39 1.39

Ia/P 0.53 0.26

Am*Q 0.01 0.06

Computation of Time of Concentration
Using SCS Methods for Subarea A II

Sheet flow Component	Pre-	Post
Mannings N	0.40	0.40
Length of travel (300 feet max.)	300.00	300.00
2 yr. 24 hour rainfall	2.60	2.60
Upstream elevation	110.00	110.00
Downstream elevation	107.00	107.00
Time of travel	75.70	75.70

Shallow flow component 1

Coefficient	16.135	16.135
16.1345 for unpaved	(enter +g(enter +gl)	
20.3282 for paved	(enter +h(enter +hl)	
Length of travel (ft.)	1200.00	1200.00
Upstream elevation	107.00	107.00
(don't enter)		
Downstream elevation	95.00	95.00
Velocity (ft./sec)	1.61	1.61
Time of travel (minutes)	12.40	12.40

Shallow flow component 2

Coefficient	16.135	16.135
16.1345 for unpaved	(enter +g(enter +gl)	
20.3282 for paved	(enter +h(enter +hl)	
Length of travel (ft.)	1.00	0.01
Upstream elevation	95.00	95.00
(don't enter)		
Downstream elevation	71.00	71.00
Velocity (ft./sec)	79.04	790.43
Time of travel (minutes)	0.00	0.00

Shallow flow component 3

Coefficient	16.135	16.135
16.1345 for unpaved	(enter +g(enter +gl)	
20.3282 for paved	(enter +h(enter +hl)	
Length of travel (ft.)	1.00	1.00
Upstream elevation	71.00	71.00
(don't enter)		
Downstream elevation	70.00	70.00
Velocity (ft./sec)	16.13	16.13
Time of travel (minutes)	0.00	0.00

Pipe flow Component 1:

Length of Pipe	1.00	1.00
Invert in:	0.10	31.95
Invert out:	0.00	25.00
Slope (computed by PC)	0.10000	6.95000
Diameter	18.00	18.00
Mannings n	0.010	0.010
Area of pipe	1.77	1.77
Velocity	24.44	203.72
Flow (cfs)	43.18	360.00
Time of travel:	0.00	0.00

Pipe flow Component 2:

Length of Pipe	1.00	1.00
Invert in:	137.00	25.00
Invert out:	136.80	20.00
Slope (computed by PC)	0.20000	5.00000
Diameter (inches)	24.00	24.00
Mannings n	0.013	0.010
Area of pipe (sq. ft.)	3.14	3.14
Velocity (ft./sec.)	32.20	209.32
Flow (cfs)	101.17	657.61
Time of travel (minutes):	0.00	0.00

Total Time of Conc. 88.10 88.10

RYDAII

SCS Interpolation chart

This chart is to interpolate SCS published
tabular discharge values for Ia/P and tc
This chart is not set to interpolate Tt values

hydrograph for subarea A II; postdevelopment
25 yr. storm

Ia/P for waters 0.26 Watershed runoff(inche 1.47

Tc for watershe 1.47 Watershed size (acres) 24.00

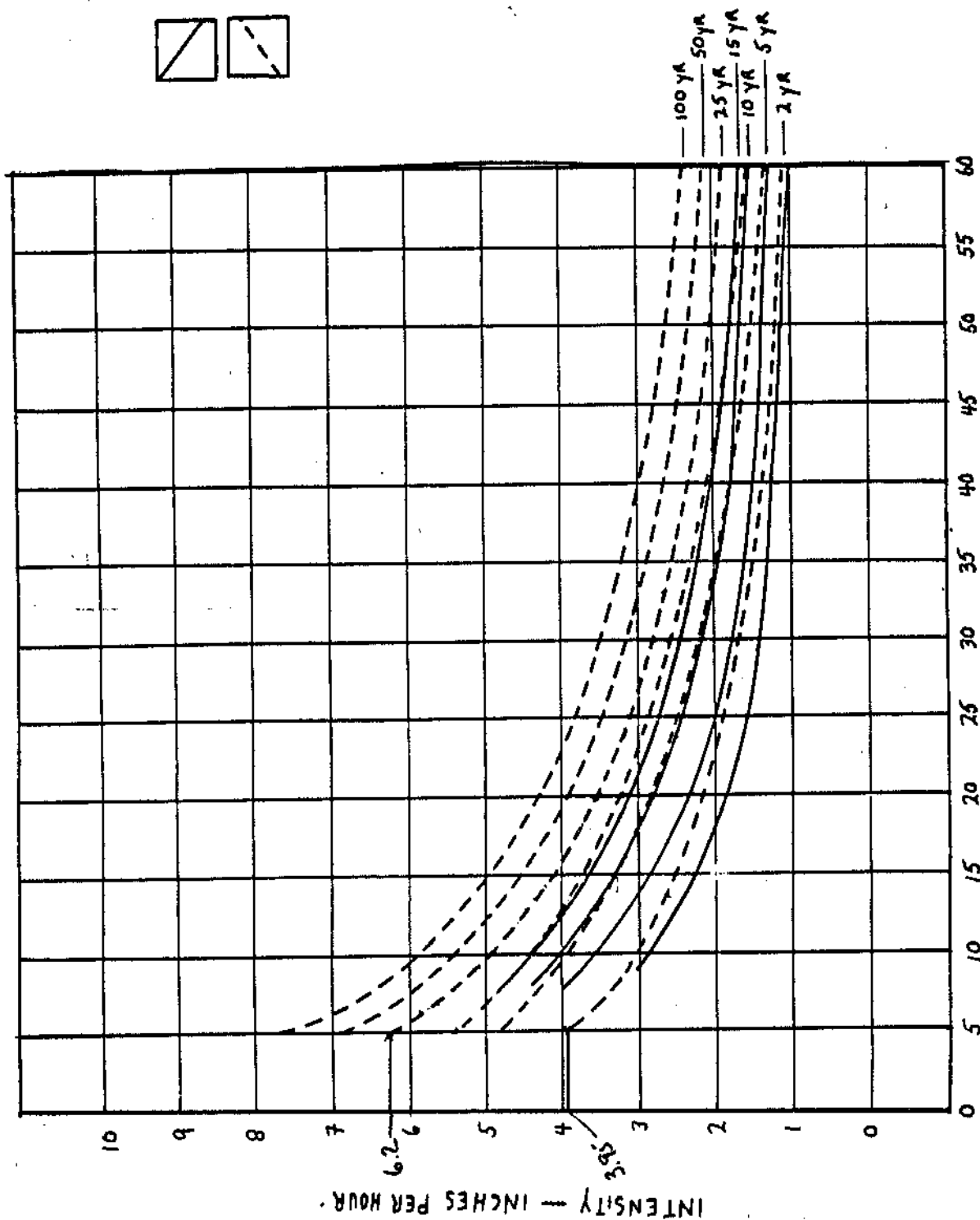
Tt for watershe 0.00

Tabular discharges (csm/inch)

B	C	D	E	F	G	H	I	J	K
Ia/P	0.10	0.30	0.26	Ia/P	0.10	0.30	0.26	INTERP.	Watershed
Tc	1.25	1.25	1.25	Tc	1.50	1.50	1.50	FOR	Flows
	From	From	by		From	From	by	Tc	(cfs)
Time:	SCS	SCS	Interp.	Time:	SCS	SCS	Interp.		
11.0	13.00	0.00	2.60	11.0	12.00	0.00	2.40	2.42	0.13
11.3	17.00	0.00	3.40	11.3	15.00	0.00	3.00	3.05	0.17
11.6	22.00	0.00	4.40	11.6	19.00	0.00	3.80	3.87	0.21
11.9	28.00	0.00	5.60	11.9	25.00	0.00	5.00	5.07	0.28
12.0	32.00	0.00	6.40	12.0	27.00	0.00	5.40	5.52	0.30
12.1	37.00	1.00	8.20	12.1	31.00	1.00	7.00	7.14	0.39
12.2	44.00	2.00	10.40	12.2	37.00	5.00	11.40	11.28	0.62
12.3	56.00	7.00	16.80	12.3	45.00	13.00	19.40	19.09	1.05
12.4	75.00	18.00	29.40	12.4	57.00	30.00	35.40	34.68	1.91
12.5	100.00	35.00	48.00	12.5	75.00	57.00	60.60	59.09	3.26
12.6	133.00	61.00	75.40	12.6	97.00	95.00	95.40	93.00	5.13
12.7	170.00	94.00	109.20	12.7	122.00	141.00	137.20	133.84	7.38
12.8	206.00	130.00	145.20	12.8	151.00	186.00	179.00	174.94	9.64
13.0	255.00	192.00	204.60	13.0	203.00	243.00	235.00	231.35	12.75
13.2	264.00	222.00	230.40	13.2	231.00	249.00	245.40	243.60	13.43
13.4	236.00	218.00	221.60	13.4	238.00	213.00	218.00	218.43	12.04
13.6	194.00	191.00	191.60	13.6	213.00	174.00	181.80	182.98	10.09
13.8	155.00	161.00	159.80	13.8	182.00	142.00	150.00	151.18	8.33
14.0	125.00	136.00	133.80	14.0	150.00	119.00	125.20	126.23	6.96
14.3	95.00	110.00	107.00	14.3	115.00	97.00	100.60	101.37	5.59
14.6	75.00	93.00	89.40	14.6	91.00	83.00	84.60	85.18	4.70
15.0	59.00	77.00	73.40	15.0	70.00	70.00	70.00	70.41	3.88
15.5	47.00	65.00	61.40	15.5	54.00	60.00	58.80	59.11	3.26
16.0	39.00	56.00	52.60	16.0	44.00	53.00	51.20	51.37	2.83
16.5	33.00	48.00	45.00	16.5	37.00	46.00	44.20	44.30	2.44
17.0	28.00	41.00	38.40	17.0	30.00	39.00	37.20	37.34	2.06
17.5	24.00	36.00	33.60	17.5	26.00	35.00	33.20	33.25	1.83
18.0	22.00	32.00	30.00	18.0	23.00	31.00	29.40	29.47	1.62
19.0	17.00	26.00	24.20	19.0	18.00	25.00	23.60	23.67	1.30
20.0	14.00	22.00	20.40	20.0	15.00	22.00	20.60	20.58	1.13
22.0	12.00	19.00	17.60	22.0	12.00	18.00	16.80	16.90	0.93
26.0	1.00	1.00	1.00	26.0	1.00	0.00	0.20	0.30	0.02

THE MAXIMUM DISCHARGE IS 13.43

REGIONAL RAINFALL INTENSITY-DURATION CURVES



DURATION — MINUTES

FIGURE 5

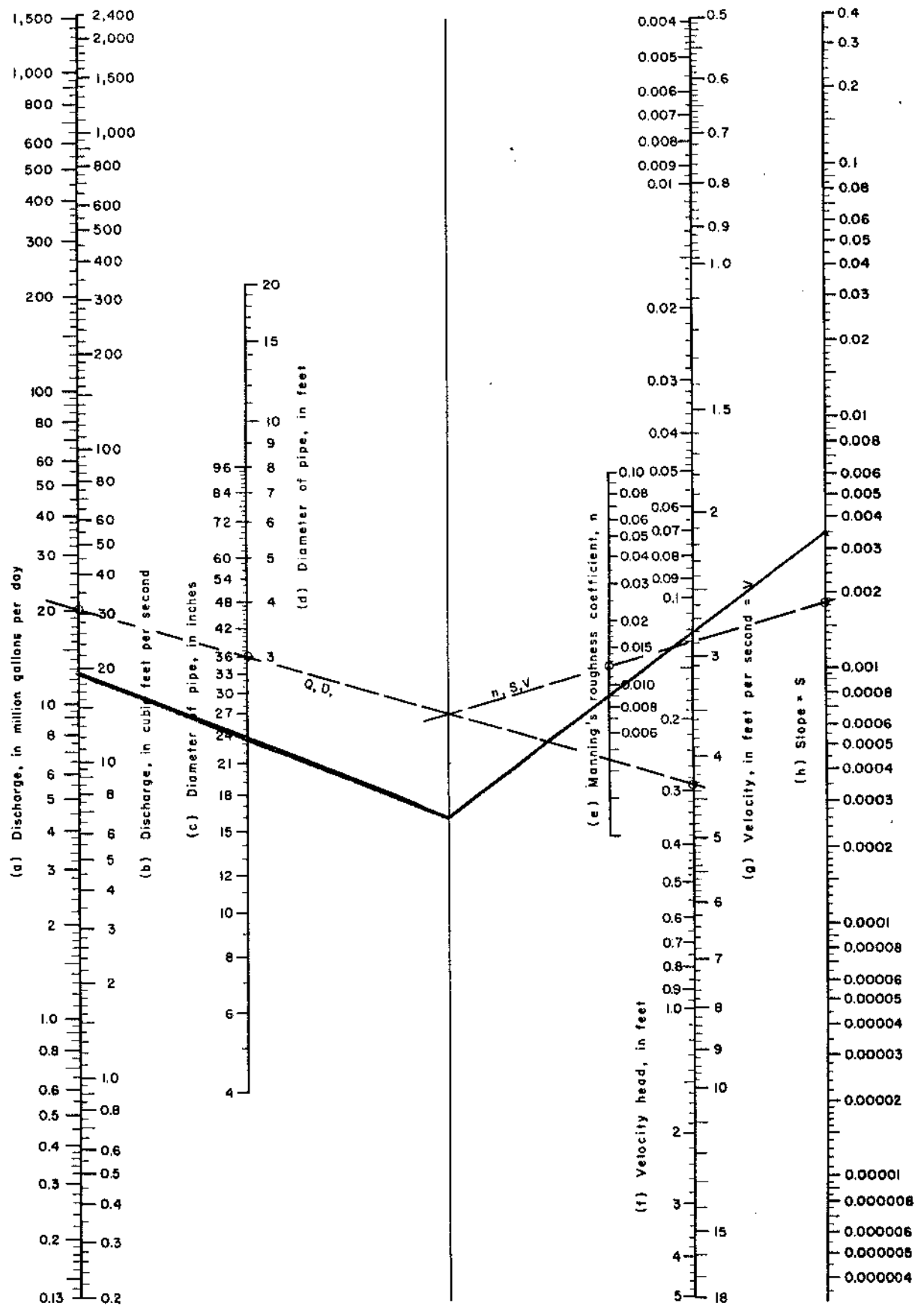


Fig. 1. Nomograph for flow in round pipe—Manning's formula