

240-A-4

2012-426

144 Hutchins Dr.

Amendment - Maintenance Facility

Attar Engineering

on Spread sheet

City of Portland
 Development Review Application
 Planning Division Transmittal form

Application Number: 2012-426 **Application Date:** 2/3/2012 12:00:00 AM

CBL: 240-A-4

Project Name: Maintenance Facility

Address: 144 Hutchins Drive

Project Description: Amendment to previously approved Site Plan

Zoning:

Other Reviews

Required:

Review Type: Level II Final Plan Review

Distribution List:

<input type="checkbox"/> Planner	Shukria Wiar	<input type="checkbox"/> Parking	John Peverada
<input type="checkbox"/> Zoning	Marge Schmuckal	<input type="checkbox"/> Design Review	Alex Jaegerman
<input checked="" type="checkbox"/> Traffic Engineer	Tom Errico	<input type="checkbox"/> Corporation Counsel	Danielle West-Chuhta
<input type="checkbox"/> Civil Engineer	David Sensus	<input type="checkbox"/> Sanitary Sewer	John Emerson
<input type="checkbox"/> Fire Department	Chris Pirone	<input type="checkbox"/> Inspections	Tammy Munson
<input type="checkbox"/> City Arborist	Jeff Tarling	<input type="checkbox"/> Historic Preservation	Deb Andrews
<input type="checkbox"/> Engineering	David Margolis-Pineo	<input type="checkbox"/> DRC Coordinator	Phil DiPierro
		<input type="checkbox"/> Outside Agency	

Comments needed by (7 days later): February 15, 2012

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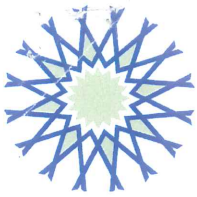
Required:

Review Type: Level II Final Plan Review

Distribution List:

<input type="checkbox"/> Planner	Shukria Wiar	<input type="checkbox"/> Parking	John Peverada
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Comments needed by (7 days later): February 15, 2012



ATTAR

ENGINEERING, INC

CIVIL • STRUCTURAL • MARINE

Shukria Wiar, Planner
City of Portland
389 Congress St.
Portland, Maine 04101

January 24, 2012
Project No.: C010-12

**RE: Hutchins Drive Maintenance Facility
Hutchins Drive, Portland, ME
Revision to Approved Plan**

Dear Ms. Wiar:

I have attached an application for a revision to an approved site plan, which includes a site plan, grading plan and building elevations. The proposed changes to the site are as follows:

1. The footprint of the main building has been revised from 64'-9 ³/₄" x 108' to 65' x 105'. The height at the eaves has also been increased to 17' and the roof pitch reduced to a 2/12 pitch. This increased the height of the building to 22'-11 ¹/₈". There will also be an additional overhead door located on the front of the building on the left side of the main entrance. We had to remove three parking spaces for a new total of 11 spaces which meets the required amount of 7spaces.
2. The footprint of the salt shed has been rotated 90 degrees to allow for better access.
3. The catch basin adjacent to Pond 20 has been removed because there is no longer any need for it. Stormwater will enter the catch basin the rear of the parking lot and be directly routed to the pond.

With these proposed changes there will be a net decrease in impervious area of 124 SF.

Thank you for your consideration. Please contact me for any additional information.

Sincerely;

Christopher L. Stairs, E.I.T.

cc: Aaron Bateman

C010-12_PORTLAND_AMEND1

PROJECT NAME: Hutchins Drive Maintenance Facility

PROPOSED DEVELOPMENT ADDRESS:

144 Hutchins Drive

PROJECT DESCRIPTION:

This application is for an amendment to an approved site plan for 144 Hutchins Drive.

Proposed changes are outlined in the cover letter.

CHART/BLOCK/LOT: 240-A-4

PRELIMINARY PLAN _____ (date)
FINAL PLAN 1/24/12 (date)

CONTACT INFORMATION:

Applicant – must be owner, Lessee or Buyer Name: Phoenix Property Services Business Name, if applicable: Address: P.O. Box 759 City/State : Saco, ME Zip Code: 04072	Applicant Contact Information Work # (207) 571-3061 Home# Cell # Fax# e-mail: abateman@phoenixmanagementcompany.com
Owner – (if different from Applicant) Name: Address: City/State : Zip Code:	Owner Contact Information Work # Home# Cell # Fax# e-mail:
Agent/ Representative Name: Attar Engineering, Inc. Kenneth A. Wood, P.E. Address: 1284 State Road City/State : Eliot, ME Zip Code: 03903	Agent/Representative Contact information Work # (207) 439-6023 Cell # e-mail: ken@attarengineering.com
Billing Information Name: Same as Agent/Representative Address: City/State : Zip Code:	Billing Information Work # Cell # Fax# e-mail:

Engineer Name: Attar Engineering, Inc. Address: Kenneth A. Wood, P.E. 1284 State Road City/State : Eliot Zip Code: 03903	Engineer Contact Information Work # (207) 439-6023 Cell # Fax# (207) 439-2128 e-mail: ken@attarengineering.com
Surveyor Name: Address: City/State : Zip Code:	Surveyor Contact Information Work # Cell # Fax# e-mail:
Architect Name: Address: City/State : Zip Code:	Architect Contact Information Work # Cell # Fax# e-mail:
Attorney Name: Address: City/State : Zip Code:	Attorney Contact Information Work # Cell # Fax# e-mail:

APPLICATION FEES:

Check all reviews that apply. (Payment may be made by Cash or Check payable to the City of Portland.)

Level II Development (check applicable reviews) <input checked="" type="checkbox"/> Less than 10,000 sq. ft. (\$400.00) <input type="checkbox"/> After-the-fact Review (\$1,000.00 plus applicable application fee)	Fees Paid (office use) _____ _____	Other Reviews (check applicable reviews) ____ Traffic Movement (\$1,000) ____ Stormwater Quality (\$250) ____ Section 14-403 Review (\$400 + \$25/lot) # of Lots ____ x \$25/lot = _____ ____ Other _____ ____ Change of Use ____ Flood Plain ____ Shoreland ____ Design Review ____ Housing Replacement ____ Historic Preservation	Fees Paid (office use) _____ _____ _____
The City invoices separately for the following: <ul style="list-style-type: none"> • Notices (\$.75 each) • Legal Ad (% of total Ad) • Planning Review (\$40.00 hour) • Legal Review (\$75.00 hour) Third party review is assessed separately.			
Plan Amendments (check applicable reviews) ____ Planning Staff Review (\$250) ____ Planning Board Review (\$500)	Fees Paid (office use) _____ _____		

EASEMENT DEED

KNOW ALL BY THESE PRESENTS, that Unum Life Insurance Company of America, a Maine corporation with a place of business at 2211 Congress Street, Portland, Maine 04102 (“Grantor”), in consideration of One Dollar (\$1.00) and other good and valuable consideration paid by Phoenix Property Services, LLC (“Grantee”), the receipt and sufficiency of which are hereby acknowledged, does hereby give, grant, bargain, sell and convey unto the said Grantee and its successors and assigns, a non-exclusive easement of access, ingress and egress across, under and through a portion of a certain lot or parcel of land situated in Portland, Cumberland County, Maine, which land has been conveyed to Grantor by _____ by deed dated _____ and recorded in the Cumberland County Registry of Deeds at book __, page __, which portion of land is more particularly depicted in Exhibit A, the Garden/Landscaping Plan prepared by Attar Engineering dated November 18, 2011 attached hereto and by this reference incorporated herein (the “Property”). The easement shall be for the following purposes:

1. Unrestricted non-exclusive right of ingress and egress over, across and through the Property for the sole purpose of grading, landscaping, and maintaining the landscaping on the land owned by Grantor which abuts the southerly property line of 144 Hutchins Drive, which property was conveyed to Grantee by a Deed dated October 20, 2011 and recorded at Book 29052, page 23 of the Cumberland County Registry of deeds; which portion is depicted on Exhibit A (referred to herein as the “Work”).
2. The rights conveyed herein shall include, but shall not be limited to the right to:
 - a. Repair and maintain grading related to the Work as determined by Grantee to be necessary or desirable for the accomplishment of the Work at such location and in

such a manner as shall be reasonably agreed to by Grantee and Grantor in accordance with Exhibit A;

- b. Ingress and egress of personnel (including, but not limited to employees, agents or contractors of Grantee or any governmental agency) and equipment;
- c. Move soils, sediment, surface water, groundwater or other materials or media throughout, on or under the Property as shall be reasonably required by Grantee;

Grantor, for itself, its successors and assigns, hereby covenants and agrees that it shall comply with the following covenants, which covenants shall run with and burden the Property:

1. Grantor shall not physically interfere with the exercise of any activities associated with the performance of the Work;
2. Grantor agrees not to permanently place, erect or expand any buildings, structures, or parking lots or other impervious surface areas or permanently place any vehicles, equipment materials or other things whatsoever within the Property in such a manner or location that would physically or materially inhibit or preclude the exercise by Grantee of the rights granted hereunder without the prior approval of the Grantee;
3. Upon the reasonable request of Grantee, Grantor shall restrict access to portions of the Property for such periods of time and to such extent as Grantee shall reasonably determine to be necessary to facilitate performance of the Work and to protect the health or safety of third persons who may be affected by the Work.

Notwithstanding anything to the contrary contained herein, Grantee shall use reasonable best efforts to exercise its rights granted herein so as to not to materially interfere with Grantor's operation of its business; and Grantor shall use reasonable best efforts to operate its business so as not to materially interfere with Grantee's performance of the Work.

TO HAVE AND TO HOLD, the aforesaid easement with all the privileges and appurtenances thereto unto the said Grantee, and its successors and assigns.

IN WITNESS WHEREOF, the undersigned, Unum Life Insurance Company of America, has caused this instrument to be executed and sealed by _____, its _____, thereunto duly authorized as of this ____ day of _____, 2011.

SIGNED, SEALED and DELIVERED
In the Presence of

UNUM LIFE INSURANCE COMPANY
OF AMERICA

By: _____
Name:
Its:

STATE OF MAINE
COUNTY OF CUMBERLAND, ss

_____, 2011

Then personally appeared the above-named _____, the _____ of Unum Life Insurance Company of America, and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said limited liability company.

Before me,

Notary Public / Attorney at Law

Print name

From: "David Senus" <dseus@woodardcurran.com>
To: "Shukria Wiar" <SHUKRIAW@portlandmaine.gov>
CC: "Philip DiPierro" <PD@portlandmaine.gov>
Date: 12/6/2011 12:22 PM
Subject: RE: 144 Hutchins Drive

Thanks Shukria. This plan meets the condition noted in the applicant's approval letter.

-Dave

-----Original Message-----

From: Shukria Wiar [mailto:SHUKRIAW@portlandmaine.gov]
Sent: Tuesday, December 06, 2011 11:59 AM
To: David Senus
Cc: Philip DiPierro
Subject: 144 Hutchins Drive

Hello David:

Attached is the retaining wall detail we had as condition for the project at 144 Hutchins Drive. Could you please take a quick look and see if it is okay. If you need the exact language of the condition, please let me know.

Thanks.

Shukria

PLAN REFERENCES:

- PROJECT NAME -144 HUTCHINS DRIVE, HUTCHINS DRIVE PORTLAND, MAINE FOR: PHOENIX PROPERTY SERVICES, GRADING AND UTILITY PLAN DATED 08-2-2011, PREPARED BY ATYAR ENGINEERING, INC, ELDTI, MAINE.
- GENERAL:
- STRUCTURAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE, 2009 EDITION.
- EXAMINE OTHER TRADE DRAWINGS FOR VERIFICATION OF LOCATION AND DIMENSIONS OF CHASES, INSERTS, OPENINGS, SLEEVES, AND OTHER PROJECT REQUIREMENTS NOT SHOWN ON THIS PLAN.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY IN WRITING. THE GENERAL CONTRACTOR SHALL PROCEED WITH THE WORK ONLY AFTER THE DISCREPANCY HAS BEEN RESOLVED TO THE SATISFACTION OF THE OWNER AND THE ENGINEER.
- DETAILS SHOWN ON ANY DRAWINGS ARE TO BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS, UNLESS OTHERWISE NOTED.
- THE SOIL BEARING CAPACITIES HAVE BEEN ASSUMED AT 1,500 PSF. IF ORGANIC SOILS ARE FOUND DURING EXCAVATION CONTACT ENGINEER IMMEDIATELY FOR CONSULTATION.
- WORK FROM GIVEN DIMENSIONS ONLY. SCALE IS INDICATED ON THE DRAWING. CONVEYED ONLY. IF THE DETAIL IS INTENDED FOR INFORMATION BE DETERMINED BY SCALING THE DRAWING, SOME ITEMS MAY NOT BE TO THE SCALE SHOWN DUE TO CHANGES.

RETAINING WALLS:

- WALL SEGMENTS ARE TO BE LONDON BOULDER CONCRETE BLOCKS.
- ALL BLOCKS SHALL BE INSTALLED USING LONDON BOULDERS DESIGN AND INSTALLATION GUIDE AND THE ATTACHED SHEETS FOR THIS WALL. THE CONTRACTOR IS TO PAY CLOSE ATTENTION TO THE COMPACTION OF THE MATERIALS BEHIND THE WALL.
- CARRY OUT CONTINUOUS CONTROL OF SURFACE AND SUBSURFACE WATER DURING CONSTRUCTION SUCH THAT WORK IS DONE IN DRY.
- BACKFILL UNDER ANY PORTION OF THE STRUCTURE SHALL BE COMPACTED IN 9" LIFTS TO 95% DENSITY REQUIREMENTS.
- MODULAR RETAINING WALLS ARE SUBJECT TO MINOR CHANGES AND VARIATIONS AND ARE NOT CONSIDERED A RIGID WALL SYSTEM. PLACEMENT OF RIGID PAVEMENT OVER / ON TOP OF MODULAR WALLS CAN LEAD TO SIGNIFICANT CRACKING UNLESS THOSE RIGID SYSTEMS ARE DESIGNED ACCORDINGLY. THE ATTACHED DESIGN IS FOR THE MODULAR WALL SYSTEM ONLY.

STRUCTURAL FILL:

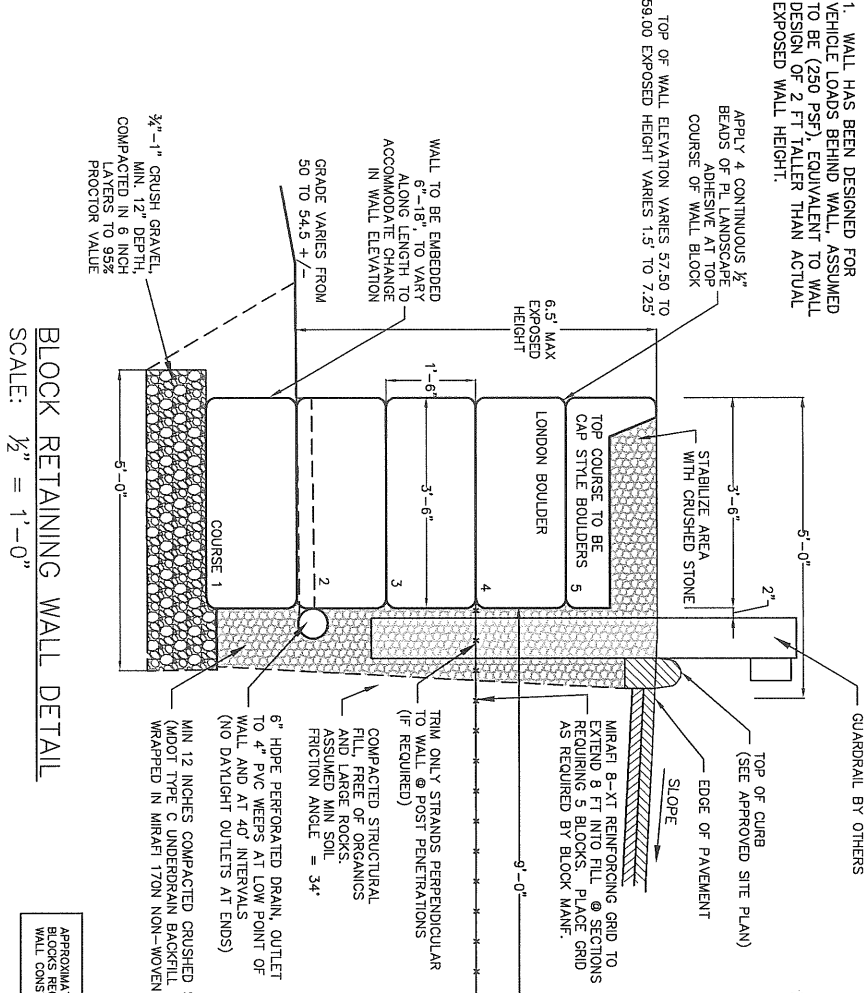
WHERE FILL BEHIND RETAINING WALL IS NOT SPECIFIED AS CRUSHED STONE, THE FOLLOWING MATERIAL SHALL BE USED:

STRUCTURAL FILL SHALL CONSIST OF A WELL GRADED MIXTURE OF SAND AND GRAVEL, FREE OF ORGANIC MATERIAL, LUMPS OF CLAY, LOAM, ICE, FROZEN SOIL AND OTHER OBJECTS. ALL MATERIAL SHALL BE COMPACTED TO MEET THE FOLLOWING REQUIREMENTS:

US STANDARD SIEVE SIZE	PERCENT BY WEIGHT PASSING SQUARE MESH SIEVE
3-INCH	100
1-1/4-INCH	25-100
No. 40	0-50
No. 200	0-7

LOADING NOTES:

- WALL HAS BEEN DESIGNED FOR VEHICLE LOADS BEHIND WALL, ASSUMED TO BE (250 PSF), EQUIVALENT TO WALL DESIGN OF 2 FT TALLER THAN ACTUAL EXPOSED WALL HEIGHT.



BLOCK RETAINING WALL DETAIL
SCALE: 1/2" = 1'-0"

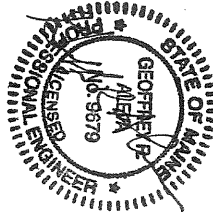
REINFORCED WALL SECTION

*GEOGRID REQUIRED FOR SECTIONS TALLER THAN 4 BLOCKS

GEOGRID SHALL BE PLACED AT A MINIMUM AT THE JUNCTION B/W COURSE 3/4

ADDITIONAL NOTES:

- THIS PLAN REPRESENTS THE DESIGN AND TYPICAL CONSTRUCTION DETAILS FOR THE PROPOSED RETAINING WALL. THIS PLAN DOES NOT SUPERSEDE ANY OTHER SITE PLAN PROVISIONS. CIVIL CONSULTANTS HAS NOT REVIEWED THE APPROVED SITE PLAN FOR ANY ERRORS OR OMISSIONS.
- OVERALL WALL LENGTH APPROXIMATELY 100 LF, WITH A SLIGHT CURVE.
- THIS WALL FOLLOWS THE GUIDELINES PROVIDED BY LONDON BOULDER FOR UNREINFORCED WALLS. FACTORS OF SAFETY MINIMUMS: 1.5 SLIDING AND 2.0 OVERTURNING.



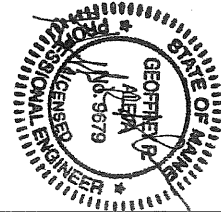
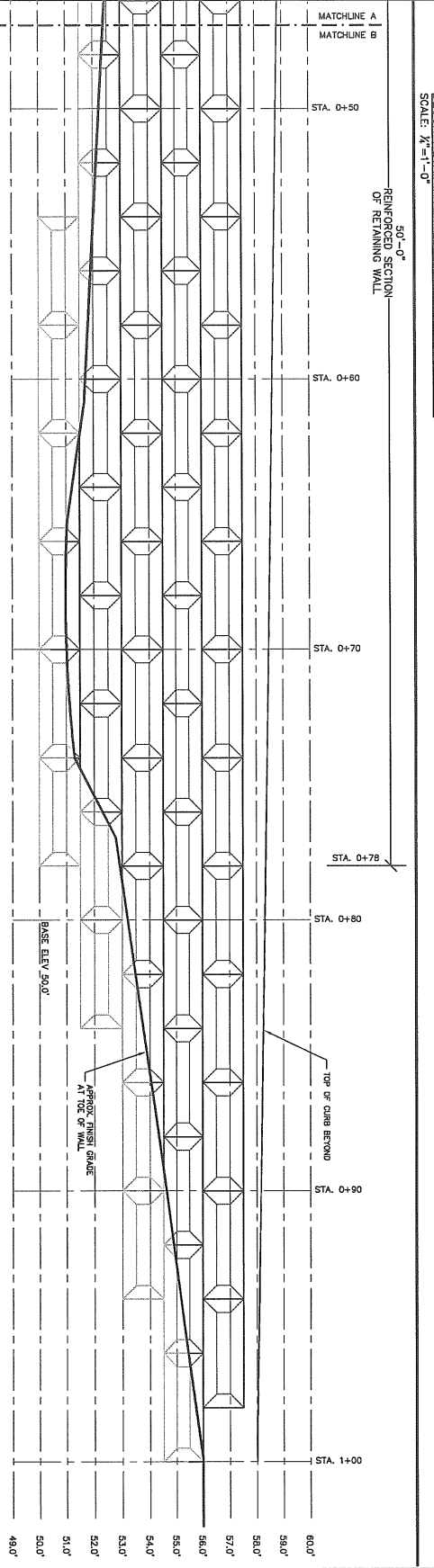
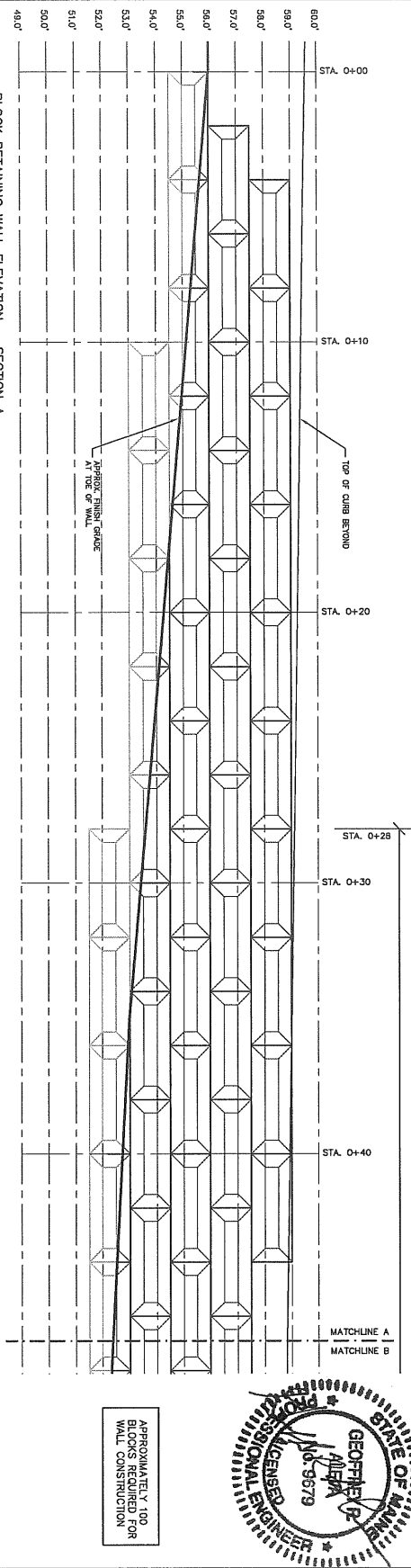
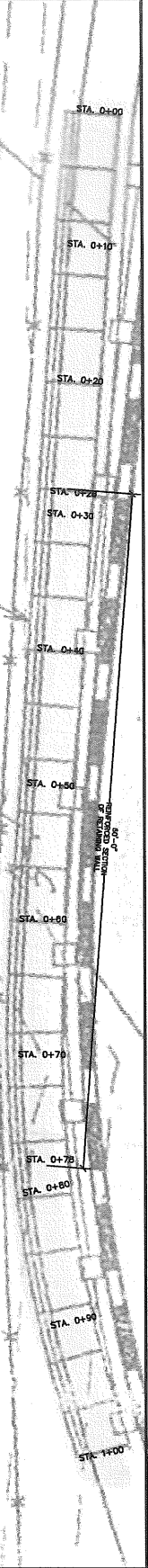
NO.	REVISIONS	DATE

RETAINING WALL DESIGN
LONDON BOULDER RETAINING WALL
144 HUTCHINS DRIVE
PORTLAND, MAINE
PREPARED FOR:
TOM GENEST

CIVIL CONSULTANTS
144 HUTCHINS DRIVE
PORTLAND, MAINE 04106
TEL: 603-882-2500
WWW.CIVILCONSULTANTS.COM

DATE: 11/27/11
DRAWN BY: [Blank]
CHECKED BY: [Blank]
APPROVED BY: [Blank]
SCALE: AS NOTED
SHEET NO.: 1 OF 2
PROJECT NO.: 11-233.00

BLOCK RETAINING WALL LAYOUT
SCALE: NOT TO SCALE (PORTION OF ATLAS SITE PLAN)



APPROXIMATELY TOP BLOCK CONSTRUCTION WALL CONSTRUCTION

BLOCK RETAINING WALL ELEVATION - SECTION B
SCALE: 1/2"=1'-0"

D:\proj\2011\1123300\1123300-5R.dwg

SHEET 2 OF 2
PROJECT # 11-233.00

DATE	12/7/11
DESIGNED BY	GA
CHECKED BY	GA
SCALE	AS NOTED
SHEET TITLE	RETAINING WALL LAYOUT
SHEET NUMBER	S2

RETAINING WALL DESIGN
LONDON BOULDER RETAINING WALL
144 HUTCHINS DRIVE
PORTLAND, MAINE
PREPARED FOR:
TOM GENEST

NO.	REVISIONS	INT.	DATE

CNI CONSULTANTS
Engineers
Surveyors
P.O. Box 180
South Portland
Maine
04086
207-281-2500
cni@cniconsultants.com

Memorandum
Department of Planning and Urban Development
Planning Division



To: Phil DiPierro- Development Review Coordinator
Assessor's Office
Capt. Chris Pirone- Fire Department
Matt Doughty- Public Services-
Marge Schmuckal- Zoning Administrator
Bill Clark- Public Services- Site Plans and CD

From: Shukria Wiar, Planner

Date: December 7, 2011

RE: Final Site Plans for 144 Hutchins Drive

CBL: 240-A-004-001

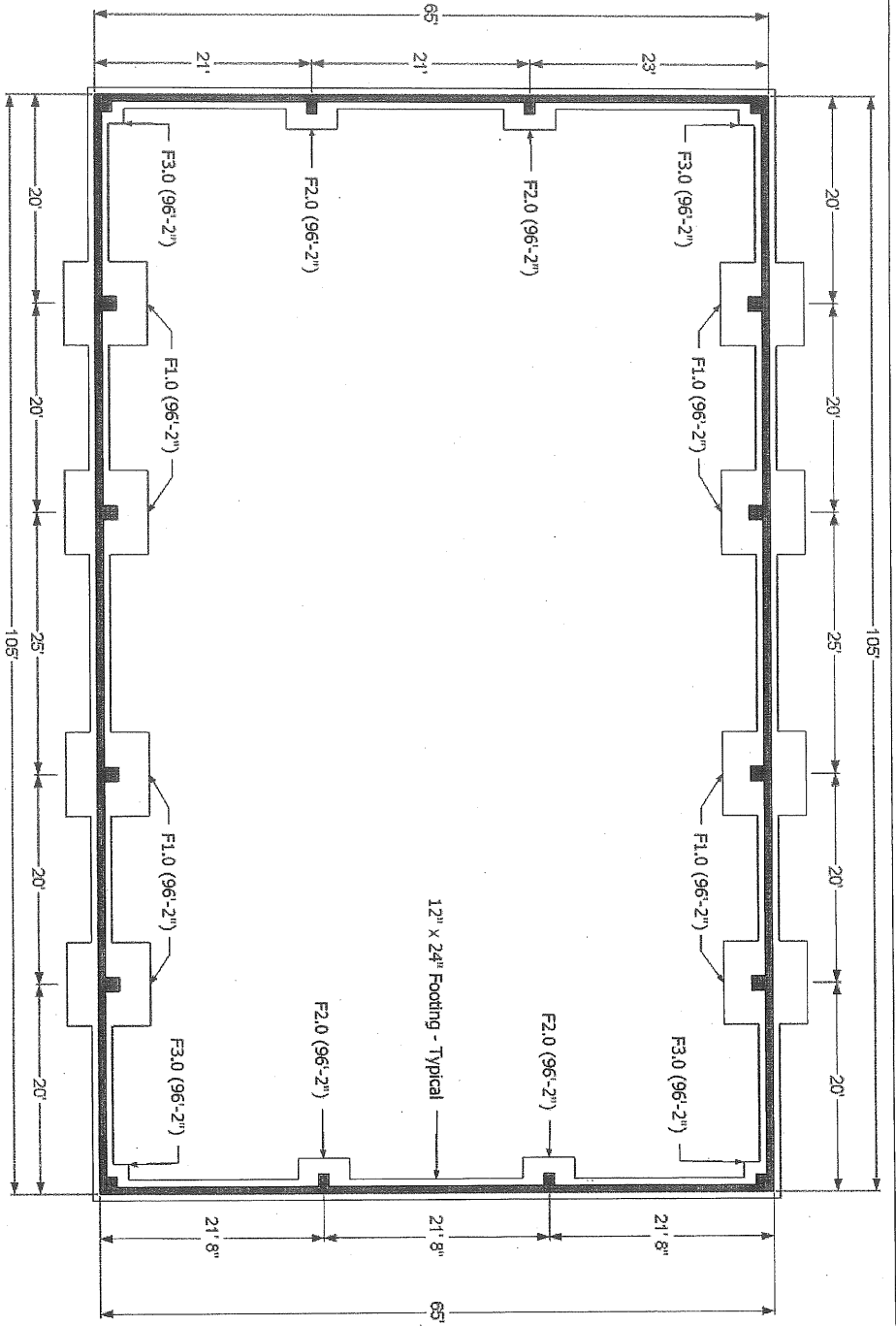
App #: 2011-286

Project Address: 144 Hutchins Drive

The attached are the final site plans for 144 Hutchins Drive, which was approved by the Planning Authority on October 17, 2011 as Level II application.

If you have any questions, please contact me.

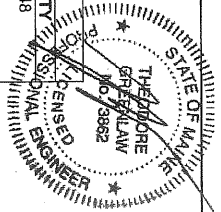
Thanks.



FOOTING SCHEDULE				
MARK	WIDTH	LENGTH	THICKNESS	REINFORCING STEEL
F1.0	8'-0"	8'-0"	1'-0"	11-#5 BARS ONE WAY 7-#5 BARS ONE WAY
F2.0	5'-0"	4'-0"	1'-0"	5-#5 BARS EACH WAY
F3.0	3'-6"	3'-6"	1'-0"	3-#5 BARS EACH WAY

ANCHOR BOLT SCHEDULE		
ANCHOR BOLT DESCRIPTION	PROJECTION	QTY
3/4" A307 18" THREADED ROD W/ ONE WELDED NUT - INCLUDE 2 EXTRA NUTS AND 1 WASHER PER ANCHOR BOLT	2 1/2"	48
1" A307 18" THREADED ROD W/ ONE WELDED NUT - INCLUDE 2 EXTRA NUTS AND 1 WASHER PER ANCHOR BOLT	2 1/2"	16

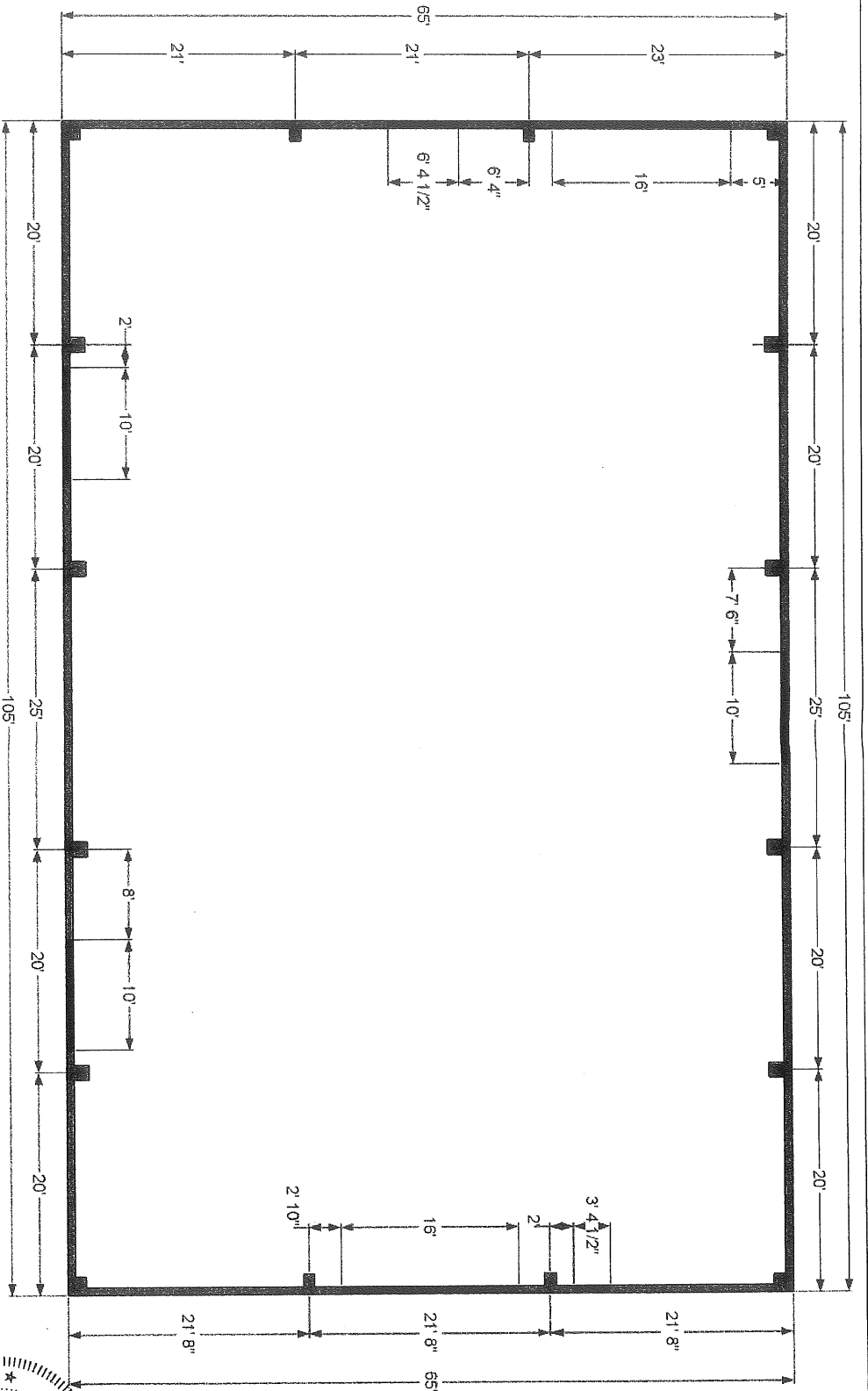
- GENERAL NOTES:**
- 1.) (0'-0") INDICATES TOP OF FOOTING ELEVATION.
 - 2.) FOUNDATION PLAN IS BASED ON A PRE-ENGINEERED BUILDING SYSTEM MANUFACTURED BY CORLE BUILDING SYSTEMS (F.O. #16839).
 - 3.) FOUNDATION DESIGN IS BASED ON A SOIL BEARING CAPACITY OF 2,500 PSF. IF ANY UNSUITABLE MATERIALS ARE ENCOUNTERED, NOTIFY STRUCTURAL FOUNDATION DESIGN ENGINEER. NO CONCRETE WILL BE PLACED IN FROZEN OR WATER FILLED TRENCHES.
 - 4.) FOOTING & PIER CONCRETE SHALL BE 3,000 PSI, 3/4" DESIGN MIX (MIN) WITH M/MWR.
 - 5.) PLACE VERTICAL CONTROL JOINTS AT EDGE OF EACH PLASTER.
 - 6.) ALL REINFORCING STEEL SHALL CONFORM TO ASTM A-615, MIN 60 KSI (DEFORMED).
 - 7.) ALL ANCHOR BOLTS TO BE SET PER BUILDING MANUFACTURERS TOLERANCES. ANCHOR BOLTS TO BE DOUBLE NUTTED TO STEEL TEMPLATES FURNISHED BY CORLE BUILDING SYSTEMS, AND SECURELY PLACED AND LEVELLED WITHIN FORMWORK PRIOR TO PLACEMENT OF CONCRETE.
 - 8.) AVOID SPRAYING OF FORM RELEASE OIL ON ANY REINFORCING STEEL.
 - 9.) VAPOR BARRIER AND INSULATION NOT SHOWN IS TO BE DETERMINED BY GENERAL CONTRACTOR.
 - 10.) ALL INSPECTIONS AND TESTING ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR OR OWNER.



OWNER: Phoenix Property Management
JOB LOCATION: Hutchins Drive, Portland, Maine
GENERAL CONTRACTOR: Portland Builders, Inc.
ENGINEER OF RECORD: Ted Greenlaw - 183 Columbia Road - Hanover, MA (781) - 826-8369

FOUNDATION PLAN AND NOTES

October 28th, 2011

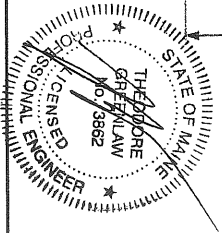


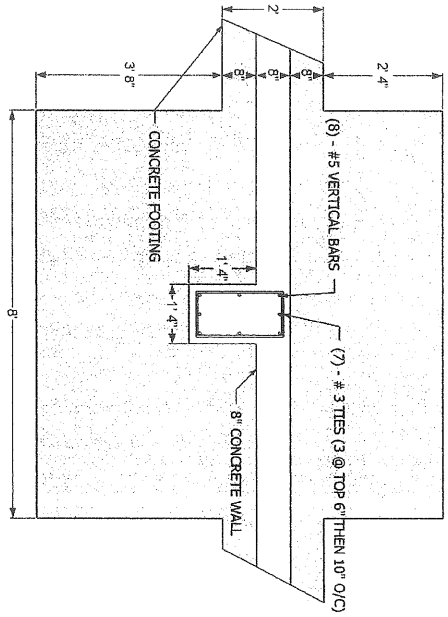
DOOR LOCATIONS
 (8" DROPS AT ALL DOOR LOCATIONS)

OWNER: Phoenix Property Management
JOB LOCATION: Hutchins Drive, Portland, Maine
GENERAL CONTRACTOR: Portland Builders, Inc.
ENGINEER OF RECORD: Ted Greenlaw - 183 Columbia Road - Hanover, MA (781) - 826-8369

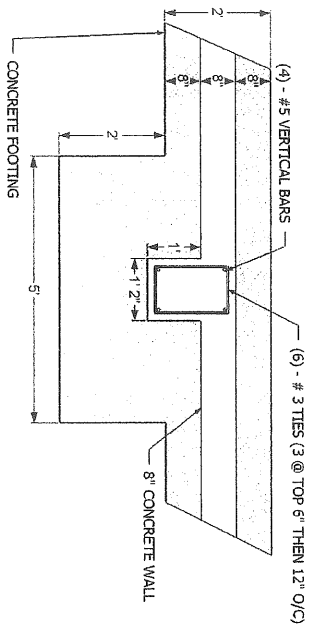
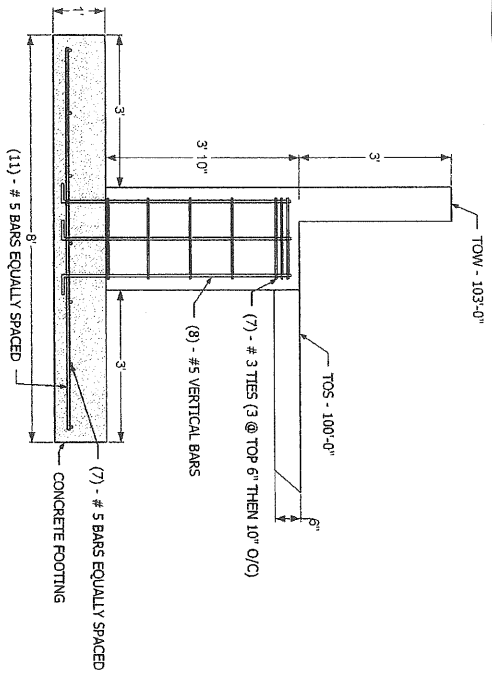
FOUNDATION PLAN AND NOTES

October 28th, 2011

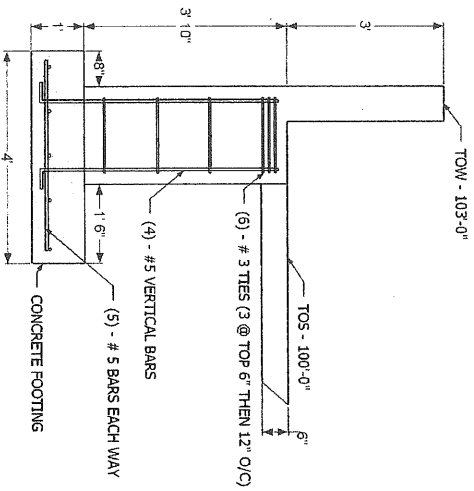




F1.0 FOOTING AND PIER DETAILS



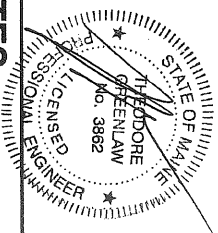
F2.0 FOOTING AND PIER DETAILS

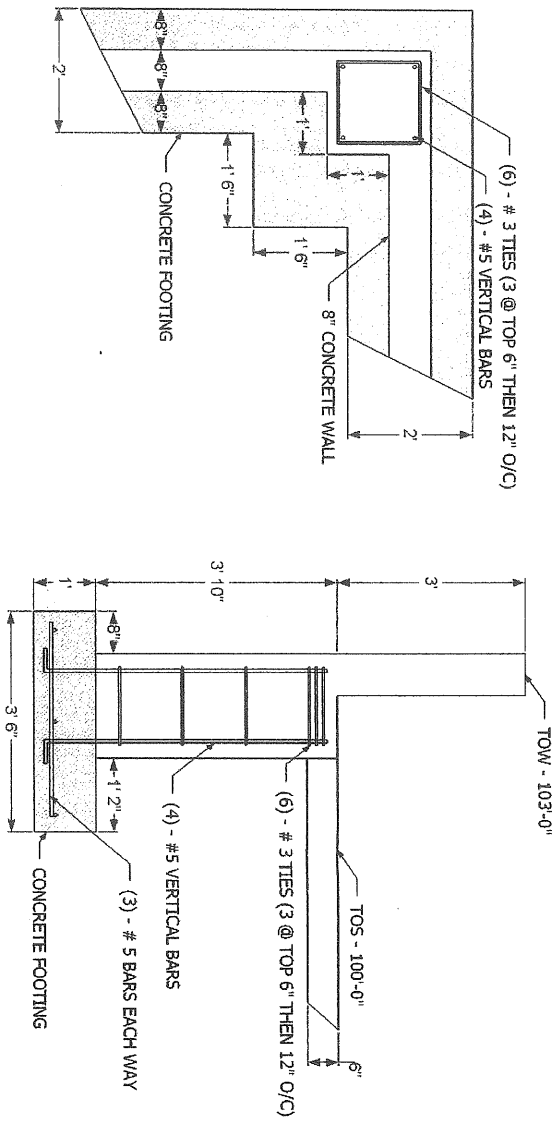


OWNER: Phoenix Property Management
 JOB LOCATION: Hutchins Drive, Portland, Maine
 GENERAL CONTRACTOR: Portland Builders, Inc.
 ENGINEER OF RECORD: Ted Greenlaw - 183 Columbia Road - Hanover, MA (781) - 826-8369

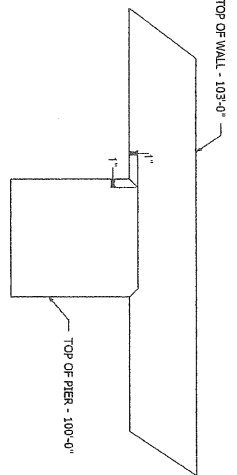
FOUNDATION PLAN AND NOTES

October 28th, 2011

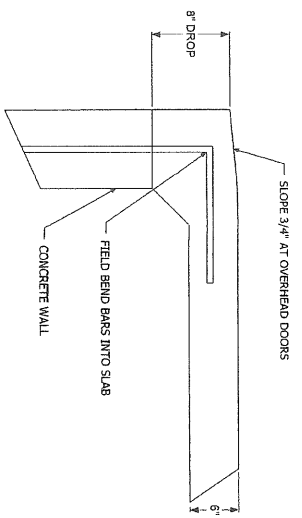




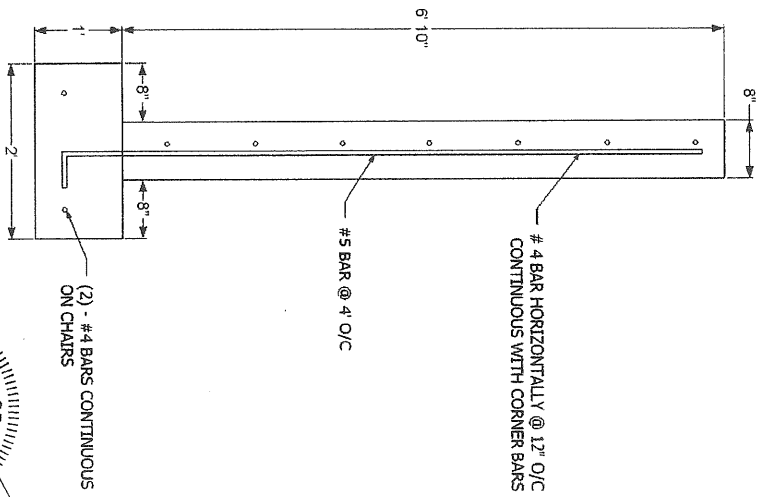
E3.0 FOOTING AND PIER DETAILS



TYPICAL RELIEF DETAIL @ PIERS



OVERHEAD DOOR DETAILS

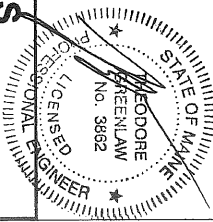


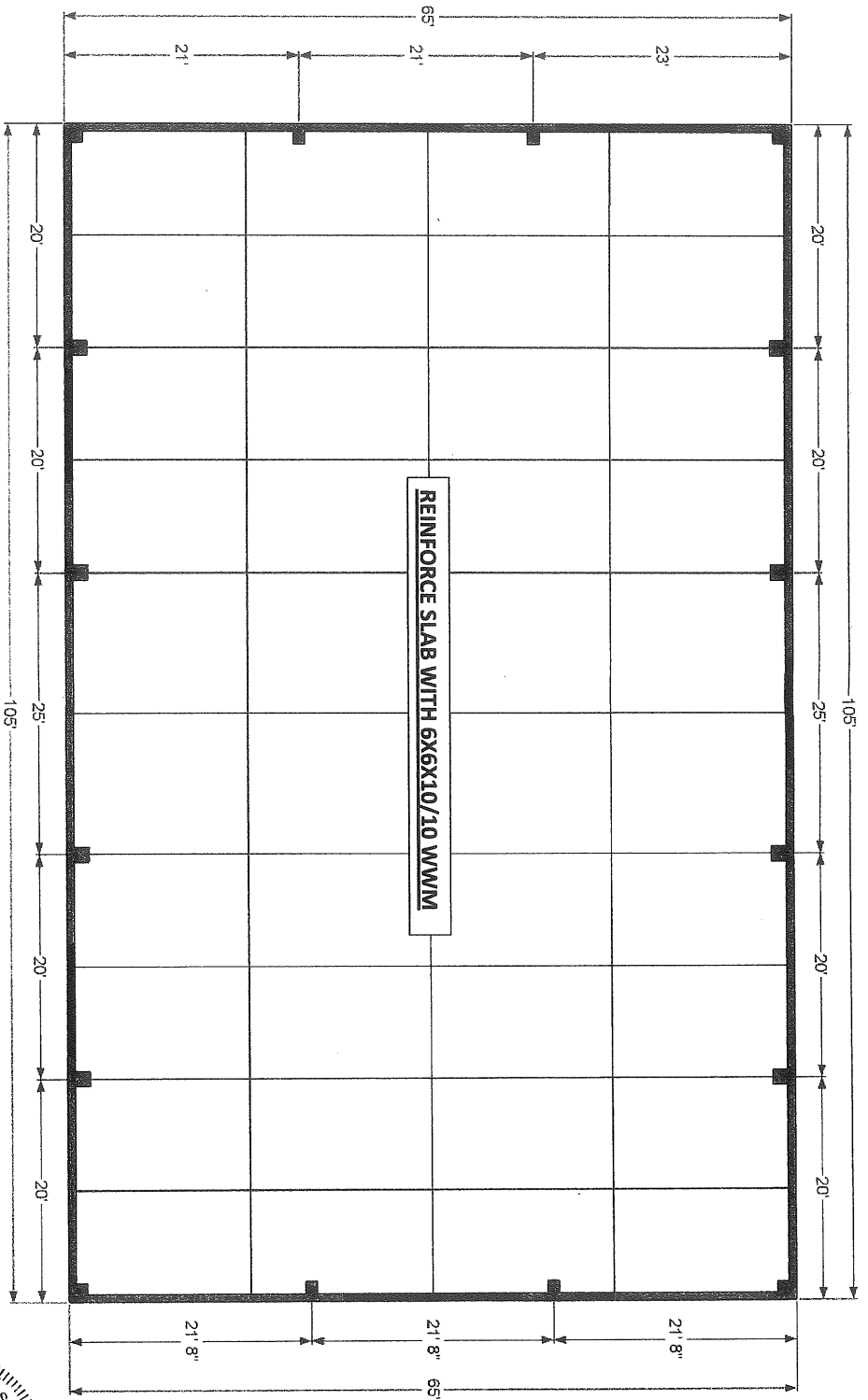
TYPICAL WALL DETAILS

OWNER: Phoenix Property Management
JOB LOCATION: Hutchins Drive, Portland, Maine
GENERAL CONTRACTOR: Portland Builders, Inc.
ENGINEER OF RECORD: Ted Greenlaw - 183 Columbia Road - Hanover, MA (781) - 826-8369

FOUNDATION PLAN AND NOTES

October 28th, 2011





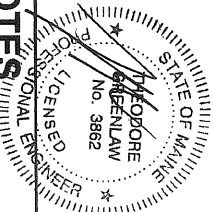
REINFORCE SLAB WITH 6X6X10/10 WWM

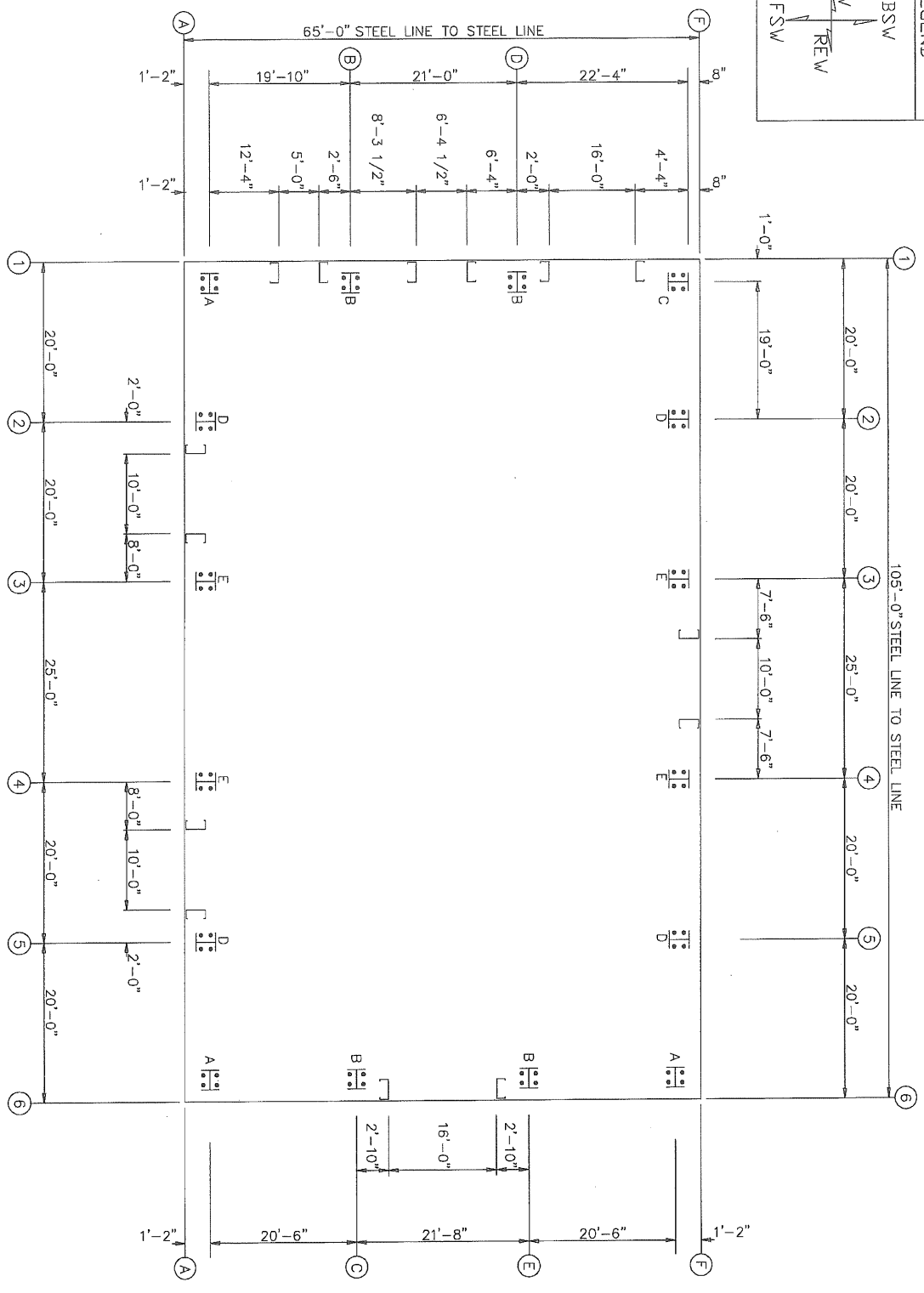
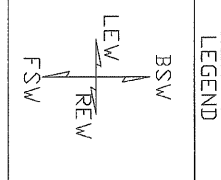
CONTROL / EXPANSION JOINTS
(locations approximate, verify w/ GC)

OWNER: Phoenix Property Management
 JOB LOCATION: Hutchins Drive, Portland, Maine
 GENERAL CONTRACTOR: Portland Builders, Inc.
 ENGINEER OF RECORD: Ted Greenlaw - 183 Columbia Road - Hanover, MA (781) - 826-8369

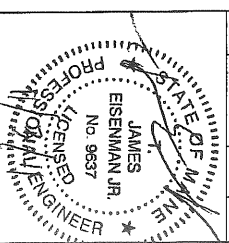
FOUNDATION PLAN AND NOTES

October 28th, 2011





ANCHOR BOLT PLAN
NOTE: All Base Plates @ 100'-0" (U.N.)



PHOENIX PROPERTY MANAGEMENT		
DRAWING STATUS		REVISION HISTORY
<input type="checkbox"/> FOR APPROVAL: THESE DRAWINGS, BEING FOR APPROVAL, ARE BY DEFINITION NOT FINAL, AND ARE FOR CONCEPTUAL REPRESENTATION ONLY. THEIR PURPOSE IS TO CONFIRM PROPER INTERPRETATION OF THE PROJECT DOCUMENTS. ONLY DRAWINGS ISSUED "FOR CONSTRUCTION" CAN BE CONSIDERED AS COMPLETE.		REV. DESCRIPTION DATE
<input type="checkbox"/> FOR PERMIT: THESE DRAWINGS, BEING FOR PERMIT, ARE BY DEFINITION NOT FINAL, ONLY DRAWINGS ISSUED "FOR CONSTRUCTION" CAN BE CONSIDERED AS COMPLETE.		
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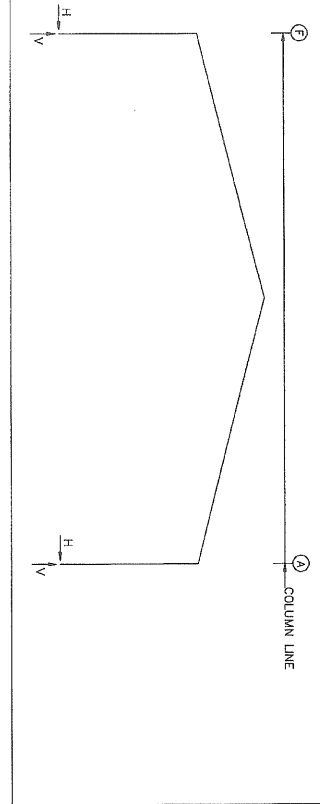
114 ROSEMONT LANE, IMLER, PA 16655 (814)276-9611

PHOENIX PROPERTY MANAGEMENT

65'-0" x 105'-0" x 17'-0"

DATE: 11/2/11	REVISION: 0
ENG: JJT	DWN: DJH APPD: JJT

FRAME LINES: 2 3 4 5



RIGID FRAME: ANCHOR BOLTS & BASE PLATES

Frame Line	Anchor Qty	Anchor Dia	Base Plate Width	Base Plate Length	Base Plate Thick	Grout (in)
2 * F	4	0.750	8.000	11.76	0.500	0.0
2 * A	4	0.750	8.000	11.76	0.500	0.0
2 * Frame lines: 2 5						

RIGID FRAME: BASIC COLUMN REACTIONS (K)

Frame Line	Column	Dead		Live		Snow		Wind U-1		Wind R-1	
		Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert
2 * F	A	1.5	3.3	2.0	3.4	16.2	30.7	-7.1	-10.4	0.2	-0.8
2 * A	A	-1.5	3.3	-2.0	3.4	-16.2	30.7	7.1	10.4	-0.2	0.8
2 * Frame lines: 3 4											

PHOENIX PROPERTY MANAGEMENT

REV.	DESCRIPTION	DATE

F.O. 16938

114 ROSEMONT LANE, IMLER, PA 16855 (814)276-9511

PHOENIX PROPERTY MANAGEMENT

65'-0" x 105'-0" x 17'-0"

DATE: 11/2/11 REVISION: 0

ENG: JJT DWN: DJH APPD: JJT

STATE OF MARYLAND

JAMES EISENMAN, JR.

No. 9637

PROFESSIONAL ENGINEER

11/15/11

PAGE 3 OF 19

ENDWALL COLUMN: BASIC COLUMN REACTIONS (K)										
Line	Col	Dead	Collet	Live	Snow	Drift	Retef	Retef	Retef	Retef
1	D	0.9	0.6	2.9	0.0	0.0	-2.8	-2.5	-2.5	-2.5
1	A	1.5	1.6	6.2	0.0	0.0	-3.8	-3.5	-3.5	-3.5
1	R	0.9	0.6	2.9	0.0	0.0	-2.8	-2.5	-2.5	-2.5
1	F	0.9	0.6	2.9	0.0	0.0	-2.8	-2.5	-2.5	-2.5
1	E	0.9	0.6	2.9	0.0	0.0	-2.8	-2.5	-2.5	-2.5
1	C	0.9	0.6	2.9	0.0	0.0	-2.8	-2.5	-2.5	-2.5

ANCHOR BOLTS & BASE PLATES										
Line	Col	Dead	Collet	Live	Snow	Drift	Retef	Retef	Retef	Retef
1	D	0.9	0.6	2.9	0.0	0.0	-2.8	-2.5	-2.5	-2.5
1	A	1.5	1.6	6.2	0.0	0.0	-3.8	-3.5	-3.5	-3.5
1	R	0.9	0.6	2.9	0.0	0.0	-2.8	-2.5	-2.5	-2.5
1	F	0.9	0.6	2.9	0.0	0.0	-2.8	-2.5	-2.5	-2.5
1	E	0.9	0.6	2.9	0.0	0.0	-2.8	-2.5	-2.5	-2.5
1	C	0.9	0.6	2.9	0.0	0.0	-2.8	-2.5	-2.5	-2.5

ANCHOR BOLT SUMMARY									
Qty	Locate	Die	Type	Retef	Retef	Retef	Retef	Retef	Retef
0	1/2"	3/4"							
16	1/2"	3/4"							
16	1/2"	3/4"							


BUILDING BRACING REACTIONS										
Line	Col	Dead	Collet	Live	Snow	Drift	Retef	Retef	Retef	Retef
1	D	0.9	0.6	2.9	0.0	0.0	-2.8	-2.5	-2.5	-2.5
1	A	1.5	1.6	6.2	0.0	0.0	-3.8	-3.5	-3.5	-3.5
1	R	0.9	0.6	2.9	0.0	0.0	-2.8	-2.5	-2.5	-2.5
1	F	0.9	0.6	2.9	0.0	0.0	-2.8	-2.5	-2.5	-2.5
1	E	0.9	0.6	2.9	0.0	0.0	-2.8	-2.5	-2.5	-2.5
1	C	0.9	0.6	2.9	0.0	0.0	-2.8	-2.5	-2.5	-2.5

Reactions in plane of wall
 4. Reactions in plane of wall
 1. Wall Col
 2. Wind Col
 3. Seismic Col
 4. Shear Col
 5. Retef Col
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 100. Retef Col

NOTES FOR REACTIONS									
1. All loading conditions are examined and only the maximum / minimum H or V and the corresponding H or V are reported.									
2. Positive reactions are shown in the sketch. Foundation loads are in opposite directions.									
3. Bracing reactions are in the plane of the brace with the H pointing away from the braced bay.									
4. Building reactions are based on the following building data:									

DESIGN CRITERIA									
Width (ft)	=	65	Seismic Importance	=	1.00				
Length (ft)	=	105	Seismic Category	=	II - Normal				
Roof Slope (deg/12)	=	3.0:12	Mapped Spectral Response Accelerations	=	0.100				
Building Code	=	IBC 09	Site Class	=	D				
Local Code (State / Prov)	=	IBC 09	Seismic Design Category	=	C				
Collet Load (psf)	=	6.30	Estimated Formula	=	0.57*H*F _v *S _w *W/R				
Roof Snow Load (psf)	=	5.00	Longitudinal Base Shear	=	0.57*W				
Frame Live Load (psf)	=	20	Transverse Base Shear	=	0.57*W				
Frame Live Load (psf)	=	20	Seismic Response Coefficients	=	0.134				
Snow - Span Lead (psf)	=	60.000	FSW	=	0.134				
Snow Impairment	=	1.0000	BSW	=	0.134				
Thermal Coefficient	=	1.00	Response Modification Factors	=	3				
Roof Slope Factor	=	N	FSW	=	3				
Wind Exposure	=	42	BSW	=	3				
Basic Wind Speed (mph)	=	100							
Occupancy Category	=	II - Normal							
Wind Exposure	=	B							
Enduse Classification	=	C							
Pressure	=	0.18							
Suction	=	-0.18							
Components & Cladding	=	17.974							
Pressure	=	-24.021							
Suction	=	-24.021							

Steel systems not specifically detailed for seismic resistance.



114 ROSEMONT LANE, MILLER, PA 16655 (814)276-9611

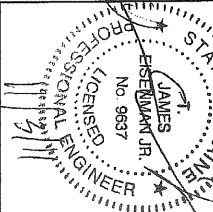
PHOENIX PROPERTY MANAGEMENT

65'-0" x 105'-0" x 17'-0"

DATE: 11/2/11 REVISION: 0

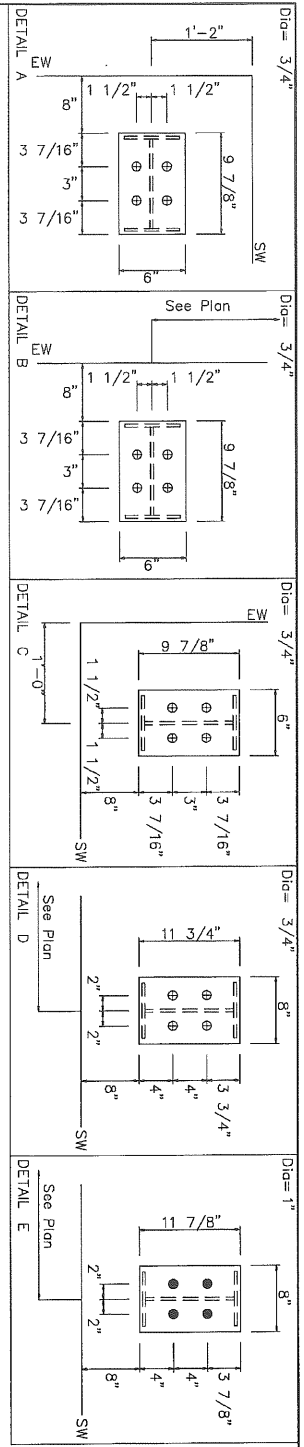
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PHOENIX PROPERTY MANAGEMENT		
DRAWING STATUS	REVISION HISTORY	DATE
FOR APPROVAL: THESE DRAWINGS, BEING FOR APPROVAL, ARE BY DEFINITION NOT FINAL, AND ARE FOR CONCEPTUAL REPRESENTATION ONLY. THEIR PURPOSE IS TO CONFIRM PROPER INTERPRETATION OF THE PROJECT DOCUMENTS. ONLY DRAWINGS ISSUED FOR CONSTRUCTION CAN BE CONSIDERED AS COMPLETE.	REV.	DESCRIPTION
FOR PERMIT: THESE DRAWINGS, BEING FOR PERMIT, ARE BY DEFINITION NOT FINAL. ONLY DRAWINGS ISSUED FOR CONSTRUCTION CAN BE CONSIDERED AS COMPLETE.		
FOR CONSTRUCTION: FINAL DRAWINGS.		



STATE OF MAINE
 JAMES E. WILLIAMS JR.
 No. 9667
 PROFESSIONAL ENGINEER

PAGE 4 OF 19

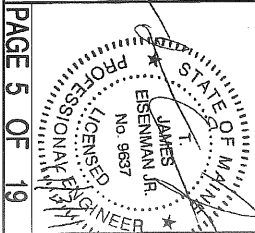


ADDITIONAL LOADING INFORMATION

Mazzone/Inha Loads:
 Dead Load _____ PSF
 Collateral Load _____ PSF
 Live Load _____ PSF

Crane Information:
 Crane Type _____
 OMAA Service Class _____
 Crane capacity = _____ Kips
 Bridge Weight = _____ Kips
 Hook/Trolley Weight = _____ Kips
 Wheel Spacing = _____ Ft.

Additional Loads:
 1. _____
 2. _____
 3. _____



DRAWING STATUS			REVISION HISTORY		
<input type="checkbox"/>	FOR APPROVAL: THESE DRAWINGS, BEING FOR APPROVAL ARE BY DEFINITION NOT FINAL, AND ARE FOR CONCEPTUAL REPRESENTATION ONLY. THEIR PURPOSE IS TO CONFIRM PROPER INTERPRETATION OF THE PROJECT DOCUMENTS. ONLY DRAWINGS ISSUED "FOR CONSTRUCTION" CAN BE CONSIDERED AS COMPLETE.	REV.	DESCRIPTION	DATE	
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<input type="checkbox"/>	FOR CONSTRUCTION: FINAL DRAWINGS.				

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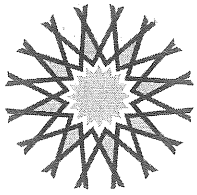
CORLE
 114 ROSEMONT LANE, IMLER, PA 16655 (814)276-9811

PHOENIX PROPERTY MANAGEMENT

65'-0" x 105'-0" x 17'-0"

DATE: 11/2/11 REVISION: 0

ENG: JJT DWN: DJH APPD: JJT



ATTAR

ENGINEERING, INC

CIVIL ♦ STRUCTURAL ♦ MARINE

Shukria Wiar, Planner
City of Portland
389 Congress St.
Portland, Maine 04101

February 24, 2012
Project No.: C010-12

**RE: Hutchins Drive Maintenance Facility
Hutchins Drive, Portland, ME
Revision to Approved Plan**

Dear Ms. Wiar:

This letter is in response to "Review Comments – Planning Authority Review" for the Hutchins Drive Maintenance Building dated February 21, 2012. Our responses are in the same format as the original document :

A. Planning:

1. The reference to the retaining wall has been changed to "BLOCK RETAINING WALL".
2. The existing tree line/limit of clearing along the property line with UNUM has been provided and labeled.
3. The final, signed copy of the easement with UNUM has been included with this submittal.

B. Stormwater Engineering:

1. Please refer to our response to (A.1.), the revised retaining wall has been previously approved by the city.
2. Additional silt fence has been provided to provide erosion and sedimentation control along the newly graded areas.
3. The landscaping plan has been included in this submittal.

C. Engineering:

1. The curbing ends approximately 20' from the shed to allow for access to the pond for maintenance. The grading (see spot elevations) is designed to route all runoff to the catch basin and not across the lawn.

Thank you for your consideration. Please contact me for any additional information.

Sincerely;

Christopher L. Stairs, E.I.T.

cc: Aaron Bateman

C010-12_PORTLAND_AMEND1

GRADING AND LANDSCAPING EASEMENT

UNUM LIFE INSURANCE COMPANY OF AMERICA, a Maine corporation with a mailing address of 2211 Congress Street, Portland, Maine 04122 (the "Grantor"), for consideration paid, grants to PHOENIX PROPERTY SERVICES, LLC, a Maine limited liability company with a mailing address P.O. Box 759, Saco, Maine 04072 (the "Grantee"), the following described rights and easement on, over, under and across a portion of the Grantor's land located on the west side of Hutchins Drive in the City of Portland, County of Cumberland, and State of Maine, which portion is shown as the twenty-five (25) foot wide and two hundred and fifty (250) foot long strip of land marked "Proposed Access Easement for Grading and Landscaping" on the plan prepared by Attar Engineering, Inc. entitled Landscape Plan, 144 Hutchins Drive made for Phoenix Property Services, dated October 19, 2011 and revised through December 1, 2011, a reduced copy of which plan is attached hereto as Schedule A and made a part hereof and hereinafter referred to as the "Easement Area".

The Easement Area comprises a portion of the Grantor's land described in a deed from Fleet Bank of Maine to the Grantor dated December 16, 1992, and recorded in the Cumberland County Registry of Deeds in Book 10466, Page 181 ("Grantor's Property"). The rights and easements granted herein shall be appurtenant to and shall run with the land of the Grantee described in a deed dated October 20, 2011, and recorded in said Registry of Deeds in Book 29052, Page 23 ("Grantee's Property").

The rights and easements granted herein are described as the nonexclusive right and easement on, over and under the Easement Area for the limited and specific purposes of:

- (1) removing the existing scrub vegetation within the Easement Area;
- (2) regrading, contouring and sloping the land to construct an approximately four (4) to five (5) foot tall grass covered berm (the "Berm") within the Egress Easement Area in the manner delineated on Schedule A;
- (3) planting, maintaining and trimming the following described trees (collectively, the "Trees") within the Easement Area in the locations set forth on Schedule A:
 - (a) six (6) Frazier Fur trees (five (5) shall be between six (6) and seven (7) feet tall and one (1) will be between nine (9) and ten (10) feet tall);
 - (b) six (6) Kane Fur trees (two (2) shall be between five (5) and six (6) feet tall and four (4) shall be between six (6) and seven (7) feet tall);
 - (c) six (6) Norway Spruce trees (all shall be between seven (7) and eight (8) feet tall); and
 - (d) six (6) Douglas Fur trees (three (3) shall be between five (5) and six (6) feet tall, two (2) shall be between six (6) and seven (7) feet tall, and one (1) shall be between eight (8) and nine (9) feet tall).
- (4) constructing, inspecting, maintaining and repairing a rip rap slope (the "Rip Rap Slope") within the Easement Area in the location set forth on Exhibit A; and

(5) entering areas immediately adjacent to the Easement Area (said immediately adjacent areas are herein referred to as "Grantor's Immediately Adjacent Property") along the northerly boundary line of Grantor's Property for the purposes of constructing, inspecting, maintaining and repairing a six (6) foot tall cedar stockade fence to be constructed on Grantee's Property near the boundary line between Grantor's Property and Grantee's Property as depicted on Exhibit A and labeled "6' High Cedar Fence";

The easement granted herein shall include the right to enter the Egress Easement Area and the Grantor's Immediately Adjacent Property with persons and equipment for the above stated construction, installation, maintenance and repair. The easement shall also include the right to dig up earth and remove vegetation and trees in, on and under the Egress Easement Area to such depth as may be deemed by the Grantee as necessary for the construction, maintenance and repair of the Berm. All construction done by Grantee shall be done in a good, workmanlike, careful and safe manner, and in a manner to minimize disruption to Grantor's use of Grantor's Property and buildings and structures thereon. Grantee shall use its best efforts to cause no damage to Grantor's Property, shall promptly repair any damage and restore Grantor's Property to its condition prior to Grantee's entry upon Grantor's Immediately Adjacent Property. If any tree planted by Grantee dies within twelve (12) months of the date of planting, Grantee shall replace the dead tree with a tree of the same species and height.

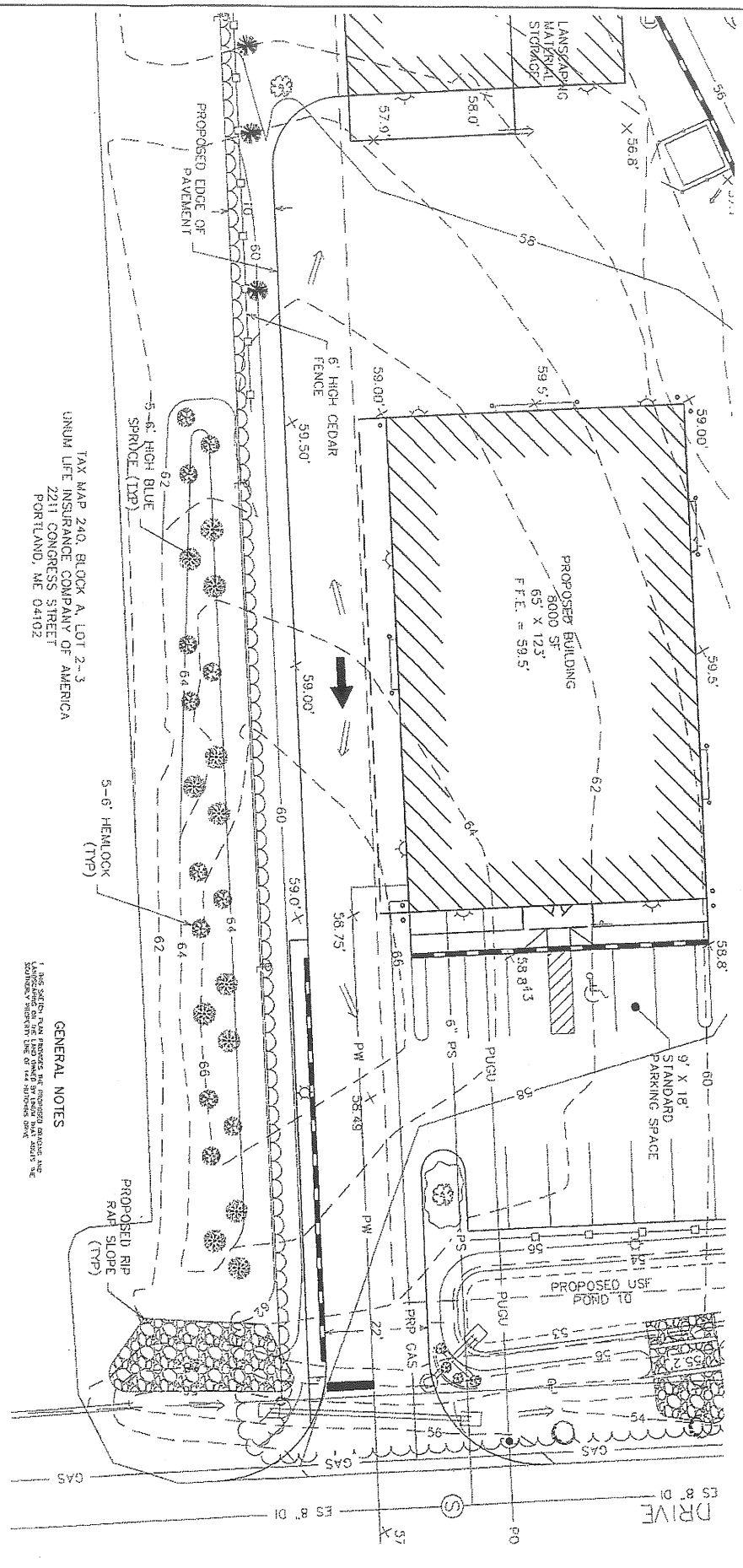
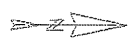
Grantee shall plant and maintain in good health the Trees and shall construct, maintain and repair the Rip Rap Slope at its sole cost and expense and at its own risk. Grantee shall pay all contractors, laborers and material suppliers in a timely fashion so as to avoid the filing of a mechanic's lien, and in the event such a lien should be filed, Grantee shall cause such lien to be discharged within 30 days.

Grantee shall be responsible for the prompt repair and removal of obstructions in the Rip Rap Slope. Grantor may, but is not obligated to, repair and remove obstructions in the Rip Rap Slope. Grantee does hereby release the Grantor from any liability or loss to persons or property arising out of the use of the Easement Area by Grantee or any other person, except to the extent caused by the gross negligence or willful conduct of the Grantor.

The Grantee, by acceptance of this Easement, agrees to and does hereby agree to indemnify, hold harmless and defend the Grantor, its successors and assigns and any lender holding a mortgage on the Grantor's Property, against any and all claims, costs, losses and expenses that may be asserted against or incurred by the Grantor arising out of the Grantee's exercise of the rights and easement granted herein.

The Grantee, by acceptance of this Easement, agrees to and does hereby agree to obtain and maintain at all times liability insurance in reasonably prudent amounts with respect to its property (including the Easement Area) and the easement rights granted herein and the obligations hereunder. The Grantee shall immediately notify the Grantor if Grantee receives a notice of cancellation or nonrenewal of such insurance coverage and shall promptly arrange for replacement coverage on substantially similar terms and conditions.

If Grantee breaches its obligations undertaken herein or the terms and conditions hereof, Grantor, after using best efforts to give Grantee reasonable prior written notice and a reasonable opportunity to cure such default, at its sole election may cure such breach or default and may

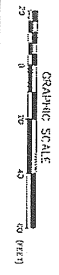


TAX MAP 240, BLOCK A, LOT 2--3
 UNUM LIFE INSURANCE COMPANY OF AMERICA
 2211 CONGRESS STREET
 PORTLAND, ME 04102

GENERAL NOTES
 1. THIS SHEET PLAN PROVIDES THE PROPOSED GRADING AND
 LANDSCAPING. THE CLIENT SHALL BE RESPONSIBLE FOR
 OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

NOT FOR CONSTRUCTION

GRADING/LANDSCAPING PLAN HUTCHINS DRIVE PORTLAND, MAINE	
PROJECT MANAGER ATTAR ENGINEERING INC. 2211 CONGRESS STREET PORTLAND, ME 04102 PHONE: 603-738-1111 FAX: 603-738-1112 WWW: ATTAR-ENGINEERING.COM	DATE: 11/27/11 SCALE: AS SHOWN SHEET: 05 OF 05
FOR: PHOENIX MANAGEMENT HUTCHINS DRIVE PORTLAND, ME 04102-5118	SHEET 05 OF 05



enforce the terms hereof, and Grantee will promptly reimburse Grantor for all damage, cost and expense incurred by Grantor arising from such breach, default or enforcement, including Grantor's reasonable attorneys' fees. Grantor's not curing or enforcing Grantee's breach or default shall not be deemed a waiver of such breach or default or of any future breach or default.

The rights and easements granted herein and the terms and conditions thereof and the obligations undertaken herein shall be binding upon and shall inure to the benefit of the parties hereto, their respective successors and assigns.

The Grantor reserves the right to use the Egress Easement Area as may be reasonably required (i) for the construction, maintenance and repair of any existing or future utility or sewer easements; and (ii) for any other purposes not inconsistent with the rights and easements granted herein.

IN WITNESS WHEREOF, UNUM LIFE INSURANCE COMPANY OF AMERICA has caused this instrument to be executed by Richard Meadows, its Assistant Vice President, Corporate Real Estate, thereunto duly authorized, as of the 8th day of December, 2011.

WITNESS:

UNUM LIFE INSURANCE COMPANY OF AMERICA

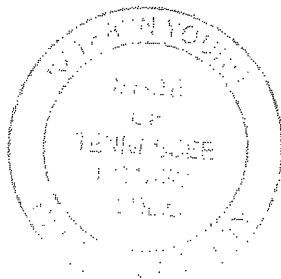
Richard C. Young III
[Signature]

[Signature]
By: Richard Meadows
Its: Assistant Vice President
Corporate Real Estate

STATE OF Tennessee
COUNTY OF Hamilton, ss.

Dec. 8, 2011

Personally appeared the above named Richard Meadows the AVP, Corporate Real Estate of UNUM LIFE INSURANCE COMPANY OF AMERICA, and acknowledged the foregoing instrument to be his/her free act deed in his/her said capacity and the free act and deed of said UNUM LIFE INSURANCE COMPANY OF AMERICA.



Before me,
Kathryn Young
Attorney at Law/Notary Public

Print name KATHRYN YOUNG
NOTARY PUBLIC
MY COMMISSION EXPIRES
NOVEMBER 20, 2013

PROJECT NAME: Hutchins Drive Maintenance Facility

PROPOSED DEVELOPMENT ADDRESS:

144 Hutchins Drive

PROJECT DESCRIPTION:

This application is for an amendment to an approved site plan for 144 Hutchins Drive.

Proposed changes are outlined in the cover letter.

CHART/BLOCK/LOT: 240-A-4

PRELIMINARY PLAN _____ (date)
FINAL PLAN 2/24/12 (date)

CONTACT INFORMATION:

<p>Applicant – must be owner, Lessee or Buyer</p> <p>Name: Phoenix Property Services</p> <p>Business Name, if applicable:</p> <p>Address: P.O. Box 759</p> <p>City/State : Saco, ME Zip Code: 04072</p>	<p>Applicant Contact Information</p> <p>Work # (207) 571-3061</p> <p>Home#</p> <p>Cell # Fax#</p> <p>e-mail: abateman@phoenixmanagementcompany.com</p>
<p>Owner – (if different from Applicant)</p> <p>Name:</p> <p>Address:</p> <p>City/State : Zip Code:</p>	<p>Owner Contact Information</p> <p>Work #</p> <p>Home#</p> <p>Cell # Fax#</p> <p>e-mail:</p>
<p>Agent/ Representative</p> <p>Name: Attar Engineering, Inc. Kenneth A. Wood, P.E.</p> <p>Address: 1284 State Road</p> <p>City/State : Eliot, ME Zip Code: 03903</p>	<p>Agent/Representative Contact information</p> <p>Work # (207) 439-6023</p> <p>Cell #</p> <p>e-mail: ken@attarengineering.com</p>
<p>Billing Information</p> <p>Name: Same as Agent/Representative</p> <p>Address:</p> <p>City/State : Zip Code:</p>	<p>Billing Information</p> <p>Work #</p> <p>Cell # Fax#</p> <p>e-mail:</p>

Engineer Name: Attar Engineering, Inc. Address: Kenneth A. Wood, P.E. 1284 State Road City/State : Eliot Zip Code: 03903	Engineer Contact Information Work # (207) 439-6023 Cell # Fax# (207) 439-2128 e-mail: ken@attarengineering.com
Surveyor Name: Address: City/State : Zip Code:	Surveyor Contact Information Work # Cell # Fax# e-mail:
Architect Name: Address: City/State : Zip Code:	Architect Contact Information Work # Cell # Fax# e-mail:
Attorney Name: Address: City/State : Zip Code:	Attorney Contact Information Work # Cell # Fax# e-mail:

APPLICATION FEES:

Check all reviews that apply. (Payment may be made by Cash or Check payable to the City of Portland.)

Level II Development (check applicable reviews) <input type="checkbox"/> Less than 10,000 sq. ft. (\$400.00) <input type="checkbox"/> After-the-fact Review (\$1,000.00 plus applicable application fee)	Fees Paid (office use) <input type="checkbox"/> <input type="checkbox"/>	Other Reviews (check applicable reviews) <input type="checkbox"/> Traffic Movement (\$1,000) <input type="checkbox"/> Stormwater Quality (\$250) <input type="checkbox"/> Section 14-403 Review (\$400 + \$25/lot) # of Lots <input type="checkbox"/> x \$25/lot = <input type="checkbox"/> <input type="checkbox"/> Other _____ <input type="checkbox"/> Change of Use <input type="checkbox"/> Flood Plain <input type="checkbox"/> Shoreland <input type="checkbox"/> Design Review <input type="checkbox"/> Housing Replacement <input type="checkbox"/> Historic Preservation	Fees Paid (office use) <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
The City invoices separately for the following: <ul style="list-style-type: none"> • Notices (\$.75 each) • Legal Ad (% of total Ad) • Planning Review (\$40.00 hour) • Legal Review (\$75.00 hour) Third party review is assessed separately.			
Plan Amendments (check applicable reviews) <input checked="" type="checkbox"/> Planning Staff Review (\$250) <input type="checkbox"/> Planning Board Review (\$500)	Fees Paid (office use) <input type="checkbox"/> <input type="checkbox"/>		

APPLICATION SUBMISSION

As of December 1, 2010, all site plans and written application materials must be uploaded to a website for review. At the time of application, instructions for uploading the plans will be provided to the applicant. One paper set of the plans, written materials and application fee must be submitted to the Planning Division Office to start the review process.

Until December 1, 2010, submissions shall include seven (7) packets with folded plans containing the following materials:


1. **Seven (7) full size site plans** that must be **folded**.
2. Seven (7) copies of all written materials or as follows, unless otherwise noted:
 - a. Application form that is completed and signed.
 - b. Cover letter stating the nature of the project.
 - c. All Written Submittals (Sec. 14-525 2. (c), including evidence of right, title and interest.
5. A stamped standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 100 feet.
6. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
7. Copy of the checklist completed for the proposal listing the material contained in the submitted application.
8. One (1) set of plans reduced to 11 x 17.

Refer to the application checklist for a detailed list of submittal requirements.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: www.portlandmaine.gov Copies of the ordinances may be purchased through the Planning Division.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for a Level II Site Plan review. It is not a permit to begin construction. An approved site plan, a Performance Guarantee, Inspection Fee, Building Permit, and associated fees will be required prior to construction. Other Federal, State or local permits may be required prior to construction, which are the responsibility of the applicant to obtain.

Signature of Applicant: 	Date: 2-24-12
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PROJECT DATA

The following information is required where applicable, in order complete the application

Total Site Area	94,090	sq. ft.
Proposed Total Disturbed Area of the Site	48,023	sq. ft.
(If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with DEP and a Stormwater Management Permit, Chapter 500, with the City of Portland)		
IMPERVIOUS SURFACE AREA		
• Proposed Total Paved Area	20,236	sq. ft.
• Existing Total Impervious Area	0	sq. ft.
• Proposed Total Impervious Area	28,981	sq. ft.
• Proposed Total Impervious Area		sq. ft.
• Proposed Impervious Net Change	28,981	sq. ft.
BUILDING AREA		
• Proposed Building Footprint	8,745	sq. ft.
• Proposed Building Footprint Net change		sq. ft.
• Existing Total Building Floor Area	0	sq. ft.
• Proposed Total Building Floor Area	8,745	sq. ft.
• Proposed Building Floor Area Net Change	8,745	sq. ft.
• New Building	Yes	(yes or no)
ZONING		
• Existing	IM (Moderate Industrial)	
• Proposed, if applicable	IM (Moderate Industrial)	
LAND USE		
• Existing		
• Proposed		
RESIDENTIAL, IF APPLICABLE		
• Proposed Number of Affordable Housing Units		
• Proposed Number of Residential Units to be Demolished		
• Existing Number of Residential Units		
• Proposed Number of Residential Units		
• Subdivision, Proposed Number of Lots		
PARKING SPACES		
• Existing Number of Parking Spaces	0	
• Proposed Number of Parking Spaces	10	
• Number of Handicapped Parking Spaces	1	
• Proposed Total Parking Spaces	11	
BICYCLE PARKING SPACES		
• Existing Number of Bicycle Parking Spaces		
• Existing Number of Bicycle Parking Spaces		
• Proposed Number of Bicycle Parking Spaces		
• Total Bicycle Parking Spaces		
ESTIMATED COST OF PROJECT		
	\$750,000	