

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 070243

PERMIT ISSUED

MAR 19 2007

This is to certify that Spinnaker Holdings, LLC/Laurey Construction Corp /Denis Lauryhas permission to Dental office - Interior renovations - tenAT 2401 Congress St

CITY OF PORTLAND 239A A004002

CITY OF PORTLAND

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission proceeds before this building or part thereof is started or service closed-in 24 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Cora Clark

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Jeanne Bonke 3/16/07
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0243	Issue Date:	CBL: 239A A004002
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Location of Construction: 2401 Congress St	Owner Name: Spinnaker Holdings, LLC	Owner Address: 6 Cottonwood Lane	Phone:
Business Name:	Contractor Name: Landry Construction Corp /Denis La	Contractor Address: P.O. Box 1039 Lewiston	Phone: 2078382792
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: IM

Past Use: Commercial - Office (business) <i>- unit on right.</i>	Proposed Use: Commercial - Dental Office - Interior renovations - tenant fit-up	Permit Fee: \$2,270.00	Cost of Work: \$225,000.00	CEO District: 3
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FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>B</i> Type: <i>2B</i> <i>IBC-2003</i>
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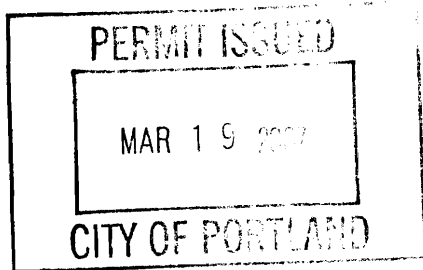
Proposed Project Description: Dental office - Interior renovations - tenant fit-up	Signature: <i>Greg Cues</i>	Signature: <i>AMB 3/16/07</i>
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PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
Signature: _____ Date: _____

Permit Taken By: Idobson	Date Applied For: 03/08/2007	Zoning Approval
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/cond. has</i> Date: <i>3/12/07</i> <i>AKM</i>	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<p>Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>AKM</i> Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

[Signature] 3/19/07
Signature of Applicant/Designee Date
[Signature] 3-19-07
Signature of Inspections Official Date

CBL: 39 AA004 Building Permit #: 07-0243

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0243	Date Applied For: 03/08/2007	CBL: 239A A004002
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Location of Construction: 2401 Congress St	Owner Name: Spinnaker Holdings, LLC	Owner Address: 6 Cottonwood Lane	Phone:
Business Name:	Contractor Name: Landry Construction Corp /Denis La	Contractor Address: P.O. Box 1039 Lewiston	Phone: (207) 838-2792
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commercial - Dental Office - Interior renovations - tenant fit-up	Proposed Project Description: Dental office - Interior renovations - tenant fit-up
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 03/12/2007
Note: Business office to professional office is not a change of use so does not need to show parking.			Ok to Issue: <input checked="" type="checkbox"/>
1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			
2) Separate permits shall be required for any new signage.			
Dept: Building	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 03/16/2007
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.			
Dept: Fire	Status: Approved with Conditions	Reviewer: Cptn Greg Cass	Approval Date: 03/12/2007
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Application requires State Fire Marshal approval.			

Comments: 3/16/2007-jmb: Met w/ Dennis L. For a pre-lim review on 3/8.
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General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.


Location/Address of Construction: <u>2401 CONGRESS ST. PORTLAND, ME.</u>		
Total Square Footage of Proposed Structure <u>2,530 SQ. FT.</u> <u>TENANT FIT-UP</u>		Square Footage of Lot <u>75,200 SQ. FT.</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>239A - A - 4</u>	Owner: <u>2401 CONGRESS STREET ASSOCIATES</u> <u>part of Spinaker Holdings LLC</u>	Telephone: <u>773-2111</u>
Lessee/Buyer's Name (If Applicable) <u>ALEX MAZURENKO</u> <u>75 JOHN ROBERT ROAD</u> <u>SOUTH PORTLAND, ME</u>	Applicant name, address & telephone: <u>DENIS LANDRY</u> <u>LANDRY CONSTRUCTION CORP</u> <u>P.O. BOX 1039</u> <u>LEWISTON, ME. 04243-1039</u>	Cost Of Work: \$ <u>225,000.-</u> Fee: \$ <u>2,270.-</u> C of O Fee: \$ _____
Current Specific use: _____ If vacant, what was the previous use? <u>VACANT Commercial Office</u> <u>BUSINESS OCCUPANCY - Ford Motor Co. drive - N/Side</u> Proposed Specific use: <u>SAME - DENTAL OFFICE</u>	Project description: <u>TENANT FIT-UP</u>	
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>DENIS LANDRY</u>	Mailing address: _____ Phone: <u>838-2792</u>	

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
MAR - 8 2007
RECEIVED

Please submit all of the information outlined in the Commercial Application Checklist.
Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 

Date: 3/7/07

This is not a permit; you may not commence ANY work until the permit is issued.



Commercial Interior & ~~Change of Use~~ Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

One (1) complete set of construction drawings must include:

Note: Construction documents for costs in excess of \$50,000.00 must be prepared by a Design Professional and bear their seal.

- Cross sections w/framing details *N/A*
- Detail of any new walls or permanent partitions
- Floor plans and elevations
- Window and door schedules
- Complete electrical and plumbing layout.
- Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment or other types of work that may require special review
- Insulation R-factors of walls, ceilings, floors & U-factors of windows as per the IECC 2003
- Proof of ownership is required if it is inconsistent with the assessors records.
- Reduced plans or electronic files in PDF format are required if originals are larger than 11" x 17".

Separate permits are required for internal and external plumbing, HVAC & electrical installations.

For additions less than 500 sq. ft. or that does not affect parking or traffic, a site plan exemption should be filed including:

- The shape and dimension of the lot, footprint of the proposed structure and the distance from the actual property lines.
- Location and dimensions of parking areas and driveways, street spaces and building frontage

A Minor Site Plan Review is required for any change of use between 5,000 and 10,000 sq. ft. (cumulatively within a 3-year period)

Fire Department requirements.

The following shall be submitted on a separate sheet:

- Name, address and phone number of applicant **and** the project architect.
- Proposed use of structure (NFPA and IBC classification)
- Square footage of proposed structure (total and per story)
- Existing and proposed fire protection of structure.
- Separate plans shall be submitted for
 - a) Suppression system
 - b) Detection System (separate permit is required)
- A separate Life Safety Plan must include:
 - a) Fire resistance ratings of all means of egress
 - ~~b~~) Travel distance from most remote point to exit discharge
 - ~~c~~) Location of any required fire extinguishers
 - ~~d~~) Location of emergency lighting
 - ~~e~~) Location of exit signs
 - ~~f~~) NFPA 101 code summary
- Elevators shall be sized to fit an 80" x 24" stretcher. *N/A*

For questions on Fire Department requirements call the Fire Prevention Officer at (207) 874-8405.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

198 Main Street, Suite-C
Lewiston, Maine 04240
207-344-6611
DLLAIA@AOL.COM

DLL Associates /Architects

February 26, 2007

RE: General Building Permit Application

Project: Dental Office, Tenant Fit-up
2401 Congress Street
Portland, Maine
Dr. Alex Mazurenco

Applicant: Landry Construction Corporation
P.O. Box 1039
Lewiston, Maine 04243-1039
Denis Landry
838-2792

Architect: DLL Associates/Architects, LLC
198 Main Street, Suite-C
Lewiston, Maine 04240
Denis L. Lemieux, AIA
344-6611

Proposed Use: Adaptive re-use of existing business occupancy.
Business Classification – Dental Office

Areas:	Existing total footprint:	9,900 sq.ft.
	Proposed fit-up area:	2,530 sq.ft.
	Future rental area:	1,324 sq.ft.
	Current tenant area:	6,046 sq.ft.

Construction Type Classification
Type II B unprotected noncombustible
Type II (000)

Focus on quality design and Architectural Integrity.



Accessibility Building Code Certificate

Designer: PLL ASSOCIATES / ARCHITECTS

Address of Project: 2401 CONGRESS STREET

Nature of Project: ADAPTIVE RE-USE OF EXISTING OFFICE
BUILDING INTO A DENTAL OFFICE

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

Signature: Denis P. Lemieux

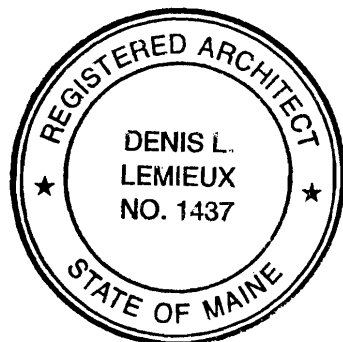
Title: PRESIDENT

Firm: PLL ASSOCIATES / ARCHITECTS

Address: 198 MAIN STREET, SUITE - C
LEWISTON, MAINE 04240

Phone: 207 - 344 - 6611

(SEAL)



For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design

Date: MARCH 2007

From: DENIS L. LEMIEUX, A.I.A.

These plans and / or specifications covering construction work on:

DR. MAZURENKO DENTAL OFFICE, 2401 CONGRESS STREET,
PORTLAND, MAINE PROJ. NO. 0713

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.

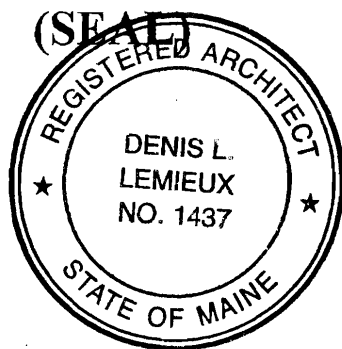
Signature: Denis P. Lemieux

Title: ARCHITECT

Firm: DL ASSOCIATES / ARCHITECTS

Address: 198 MAIN STREET, SUITE-C
LEWISTON, MAINE 04240

Phone: 207-344-6611



For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design Application

From Designer:

DLL ASSOCIATES/ARCHITECTS - DENIS L. LEMIEUX

Date:

MARCH 2007

Job Name:

DR. MAZURKOWSKI DENTAL OFFICE

Address of Construction:

2401 CONGRESS STREET

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2003 Use Group Classification (s) BUSINESS

Type of Construction IFB (EXISTING)

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC No

Is the Structure mixed use? No If yes, separated or non separated or non separated (section 302.3) _____

Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) N/A

Structural Design Calculations N/A

EXISTING Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

Wind loads (1603.1.4, 1609)

_____ Design option utilized (1609.1.1, 1609.6)

_____ Basic wind speed (1809.3)

_____ Building category and wind importance Factor, w
table 1604.5, 1609.5)

_____ Wind exposure category (1609.4)

_____ Internal pressure coefficient (ASCE 7)

_____ Component and cladding pressures (1609.1.1, 1609.6.2.2)

_____ Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

_____ Design option utilized (1614.1)

_____ Seismic use group ("Category")

_____ Spectral response coefficients, SDs & SD1 (1615.1)

_____ Site class (1615.1.5)

_____ Live load reduction

_____ Roof live loads (1603.1.2, 1607.11)

_____ Roof snow loads (1603.7.3, 1608)

_____ Ground snow load, P_g (1608.2)

_____ If $P_g > 10$ psf, flat-roof snow load S_f

_____ If $P_g > 10$ psf, snow exposure factor, C_e

_____ If $P_g > 10$ psf, snow load importance factor, I_s

_____ Roof thermal factor, C_t (1608.4)

_____ Sloped roof snowload, S_p (1608.4)

_____ Seismic design category (1616.3)

_____ Basic seismic force resisting system (1617.6.2)

_____ Response modification coefficient, R , and
deflection amplification factor C_d (1617.6.2)

_____ Analysis procedure (1616.6, 1617.5)

_____ Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

_____ Flood Hazard area (1612.3)

_____ Elevation of structure

Other loads

_____ Concentrated loads (1607.4)

_____ Partition loads (1607.5)

_____ Misc. loads (Table 1607.8, 1607.6.1, 1607.7,
1607.12, 1607.13, 1610, 1611, 2404)



Demolitions and Asbestos

1) **Overview**

In Maine, building demolitions happen on a regular basis. Many of the demolitions occur in older buildings that are likely to contain some asbestos products, particularly in or on heating (HVAC), wall, floor, and ceiling systems. These demolition projects may be happening without the proper protection of employees, the general public, and the environment. It is important to remember that state and federal laws require that owners have buildings inspected and have any asbestos products properly removed prior to demolition. The Maine DEP is forwarding this information to municipal officials in an effort to increase awareness of and compliance with applicable rules, resulting in less asbestos exposure to the general public, demolition site personnel, and environment.

2) **What Can Municipalities Do To Help?**

Municipalities can greatly assist the people of Maine and the Department by joining with the DEP and the US EPA to ensure that asbestos is properly managed during demolitions. *Specifically, municipalities can hand out appropriate information, issue demolition permits only to persons, who can demonstrate that they will properly handle the asbestos, and mail or fax the building demolition (BDF) report form to the Department.* The following check-off list can be used.

- A) _____ Provided "Asbestos Fact Sheet" to Applicant
- B) _____ Had applicant fill out "Building Demolition Form" (BDF)
- C) _____ Did not issue Demolition Permit to Applicant not answering "Yes" to three questions on BDF Form (OPTIONAL BUT SUGGESTED)
- D) _____ Municipality faxed (or Mailed) BDF Form to DEP at 287-7826

3) **What Are The Rules?**

Simply stated state and federal asbestos rules and regulations require that buildings be inspected for asbestos products and have them removed prior to demolition. The inspection and removal operations must be performed by DEP-licensed companies under regulated and controlled conditions.

4) **Using The Building Demolition Report Form**

The purpose of this form is to ensure that an applicant has the correct information to properly remove asbestos from a building prior to demolition. The form has two parts which need to be filled out by the applicant. The first section of the Form, Per-Demolition Building Inspection.

Maine Department of Environmental Protection

What is asbestos?

Asbestos is a general term for several kinds of natural mineral fibers that have been used to strengthen and fireproof materials for nearly 4,000 years. The fibers are recovered from asbestos ore mined primarily in Canada, Russia, and South Africa. In addition to being good insulators, asbestos fibers are strong, flexible, fireproof, and very resistant to chemical attack.

What products contain asbestos?

Asbestos is found in a wide a variety of products. It has been used to manufacture nearly 3,500 products such as pipe insulation, boiler covering, sprayed-on acoustical plaster, vinyl floor products, rigid siding, cement pipe, gaskets, paints, paper, textiles, and friction materials like disc brakes. Buildings constructed before 1980 are very likely to contain some asbestos products.

Is asbestos a health or environmental problem?

The presence of asbestos in such a wide variety of consumer products means that most Americans have been exposed, over time, to this mineral to one degree or another.

For the vast majority of Americans who have never worked with asbestos, the exposure received in their lifetime should have no significant health effects. However, for those exposed to large amounts of asbestos for significant periods of time, there may be serious health consequences.

Prolonged high exposure to asbestos fibers has been shown to cause asbestosis (lung scarring), lung cancer, mesothelioma, and several internal cancers such as cancers of the stomach and larynx. People who have been exposed to asbestos who also smoke have a much greater chance of disease than nonsmokers.

Is all asbestos potentially dangerous?

Asbestos products are potentially dangerous if they release asbestos fibers to the air where the fibers can enter the body through the lungs.

Friable asbestos, such as pipe and boiler covering and spray-on insulation, is the asbestos of primary concern. It easily releases asbestos fibers into the air when crushed, handled or disturbed. Asbestos that is in good condition or in a form that does not easily release fibers is much less of a hazard. This means that well-maintained asbestos or asbestos tightly bound into materials like vinyl or cement is much less likely to release asbestos fibers.

What are the laws regarding asbestos?

In Maine, the asbestos regulations apply to any work that impacts greater than 3 square feet or 3 linear feet of asbestos. The Maine "Asbestos Management Regulations" require that the Department be notified prior to removal or repair of asbestos, that companies performing inspection, monitoring, design, training, asbestos analysis or abatement be licensed with the Department, and that certain work practices be followed to protect employees and the public. Also, individuals working for the licensed companies must be trained and certified with the Department.

Engineering controls, such as polyethylene "containments", negative pressure ventilation, and wet methods, are basic requirements in the asbestos regulations of both the Maine DEP and the U.S. Occupational Safety and Health Administration (OSHA). Engineering controls minimize the potential for asbestos fiber release in and out of the asbestos work area. The importance of utilizing proper engineering controls on an asbestos project can not be overemphasized.

Maximum allowable employee exposures are regulated by OSHA and personal protective equipment (suits, respirators, etc.) and hygiene standards are prescribed. Protective equipment is to be used only in conjunction with engineering controls and not as a "stand-alone" defense against inhalation of asbestos fibers.

Who regulates asbestos?

Several state and federal agencies regulate asbestos in Maine including:

- Maine Department of Environmental Protection (DEP): Primary asbestos contact in Maine. Responsibilities include regulating licensing, notification, training, storage, transportation, disposal and work practices for removal, inspection, design, monitoring, and analysis of asbestos. Telephone number: 287-2651.

- Federal Environmental Protection Agency (EPA). Regulations include the Asbestos-Containing Materials in Schools Rule (AHERA - 40 CFR Part 763), the National Emissions Standards for Hazardous Air Pollutants (NESHAP - 40 CFR Part 61), and the Worker Protection Rule (Subpart G to 40 CFR Part 763). The Maine DEP is delegated to implement the AHERA and NESHAP rules in Maine. EPA telephone numbers are available from the DEP.

- Federal OSHA: responsibilities include regulating employee exposure to asbestos in the workplace through the asbestos construction and industry standards (29 CFR Parts 1926 and 1910). Telephone number: (207) 780-3178.

Asbestos Inspections Required Prior to Demolitions and Renovations

In Maine, improper demolition activities may be the greatest single source of asbestos exposure to the general public and to trades people working on the project. Prior to demolition or renovation of a building, the owner must ensure that the work will not disturb more than 3 square feet or 3 linear feet of asbestos-containing material (ACM). Owners of buildings, other than residential buildings with less than 5 units, must have a DEP-licensed Asbestos Consultant inspect the building (or area) for asbestos. Residential buildings with 2-5 units can be surveyed for likely asbestos-containing materials by knowledgeable non-licensed people (e.g. building inspectors and CEO's who have asbestos-awareness training); any materials likely to contain asbestos must be tested by a DEP-certified inspector or assumed to be ACM.

If ACM is identified in a building that will be demolished, or any building materials are assumed to be ACM, these materials must be removed by a DEP-licensed Asbestos Abatement Contractor before the demolition. Similarly, if any ACM is identified or assumed in areas of a building that will undergo renovation, the ACM must be removed by a DEP-licensed Asbestos Abatement Contractor before the renovation occurs. Intact asbestos-containing flooring and roofing may be left in place during demolition of a building if the demolition is performed by a DEP-licensed Asbestos Abatement Contractor using large equipment in accordance with the Maine "Asbestos Management Regulations".

Demolition Notification

State and federal regulations require that building owners notify the DEP at least 5 working days prior to demolition of a building (other than single-family residences). This notification is required **even if no asbestos is identified in the building**. Forms are available from DEP and your local code enforcement office.

Please note: OSHA regulates asbestos anytime an employer/employee relationship exists. OSHA worker protection rules exist and must be followed for abatement activities. Contact the local OSHA office with questions.

What if I have additional questions about asbestos?

The DEP regulates most asbestos activities in Maine and acts as an asbestos information clearinghouse. For more information about asbestos, contact the Asbestos Hazard Prevention Program in the Bureau of Remediation & Waste Management at 207/287-2651 or visit the web site at www.maine.gov/dep/rwm/asbestos/index.htm

Written correspondence should be sent to:
Lead & Asbestos Hazard Prevention Program
Maine Department of Environmental Protection
17 State House Station
Augusta, ME 04333-0017



Maine Department of Environmental Protection
Lead & Asbestos Hazard Prevention Program

17 State House Station, Augusta, Me 04333-0017

Tel: (207) 287-2651 Fax: (207) 287-7826



Building Demolition Notification Form (BDNF)

Important Notice: Maine law requires the filing of this "Building Demolition Notification Form" prior to demolition of any building except a single-family home

1) Building owners are required to provide this notification of the demolition of a building to the DEP at least 5 working days prior to the demolition. This notification is not required before the demolition of a single-family residence or related structure (e.g., garage, shed, barn). It is also not required if previous notification of the demolition has been provided to the DEP as part of an asbestos abatement project notification. *Demolition* means the tearing down or intentional burning of a building or part of a building.

2) Prior to demolition, building owners must determine if there is any asbestos-containing material(s) (ACM) in the building. An "asbestos inspection" by a DEP-licensed Asbestos Consultant is required for all buildings except single-family homes and residential buildings with 2-4 units built after 1980. In lieu of an asbestos inspection, pre-1981 residential buildings with 2-4 units can be surveyed to identify possible ACM by someone knowledgeable about ACM, such as a code enforcement officer or building inspector. If materials that may contain asbestos are found, then you can either assume they are ACM or hire a DEP-licensed Asbestos Consultant to test the materials.

3) Whenever more than 3 square feet or 3 linear feet of ACM is identified, the ACM must be abated in accordance with the *Maine Asbestos Management Regulations* by a DEP-licensed Asbestos Abatement Contractor. This includes materials presumed to be ACM. Check www.state.me.us/dep/rwrn/asbestos/index.htm for a listing of asbestos contractors.

Prior to issuing a local demolition permit, the DEP requests that municipalities have applicants for municipal demolition permits complete this form and fax it to the DEP at 207-287-7826. Municipalities should not issue local demolition permits if the required asbestos inspection or survey has not been performed and identified ACM removed.

Were asbestos-containing materials found? yes no no inspection or survey required (post-1980 2-4 unit)

<i>property address:</i>	<i>building description:</i> <input type="checkbox"/> <i>pre-1981 residential with 2-4 units</i> <input type="checkbox"/> <i>post-1980 residential with 2-4 units</i> <input type="checkbox"/> <i>other:</i>
<i>asbestos survey performed by: (name & address)</i>	<i>asbestos inspection performed by: (name of licensed Asbestos Consultant)</i>
<i>telephone:</i>	<i>telephone:</i>
<i>property owner: (name & address)</i>	<i>demolition contractor: (name & address)</i>
<i>telephone:</i>	<i>telephone:</i>
<i>demolition start date:</i>	<i>demolition end date:</i>

Notification Submitted by: (please print)

Date Submitted

Help save Maine fisheries – Remove and recycle mercury thermostats and fluorescent lamps from your building prior to demolition!

Code Study
Classification / Fire Protection / Egress

Mazurenko Dental Office
2401 Congress Street
Portland, Maine 04102

Project No. 0713

February 2007

Scope:

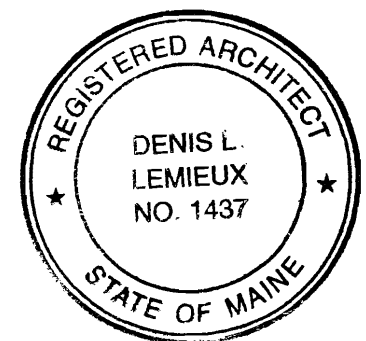
The proposed project is an adaptive re-use of an existing office building into a dental office complex. The proposed project is not sprinkled.

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Appendix

A Life Safety Plan



Code Study IBC Building, NFPA Life Safety			NA = Not Applicable NR = No Requirement
Project: Dr. Mazurenko Dental Office Location: 2401 Congress Street, Portland, Maine	Scope: Adaptive re-use of existing office building. Conversion to dental office.		Date: February 2007 Project No. 0713
ITEM	IBC 2003	NFPA 101- 2003	CONCLUSION
Use Group Classification	304.0 Use Group - B Professional services, office use.	39.1.4 See Section 6.1.11 Business see Chapter 39: Defend in place will not be the case – will evacuate premises	Use Group – B Business Occupancy
Classification of Hazard		39.1.5.1 Ordinary Hazard	Ordinary Hazard
Specific Use Areas	313.1.4.1 Portions of building indicated in table as specific use areas shall be separated from other areas or protected in accordance *Boiler and furnace room – one hour or Automatic sprinkler system *Storage rooms more than 100 sq.ft. one hour construction	8-3.2.3.3 Boiler and furnace room shall be separated by one-hour construction or spaces shall be protected by an approved extinguishing system. *Except: Rooms enclosing air-handling equipment. 8-4.4.2 Storage room enclosures - smoke barrier having a one-hour rating and protected by sprinkler system. 39.3.2 Protection from hazards see Section 8.7	N/A
Construction Classification Type of Construction	See Table 601: Type II B Unprotected Non-combustible..	39.1.6 No requirements	Type IIB (IBC) Type II(000) (NFPA)

Height and Area Limitations	Table 503 for Use Group B 4 Stories, 55 feet, 23,000 sq.ft.		Actual 1 Story, 18 feet, 9,900 sq.ft.
Area Modifications:			Not required; actual is less than allowable.
Multiple / Mixed Occupancies	302.3.1 Where the building is occupied for two or more uses not included in the same occupancy, the building shall comply with either nonseparated uses or separated uses.	39.1.2 Multiple Occupancy 6.1.14.3.2 The means of egress facilities, type of construction, protection, and other safeguards in the building shall comply with the most restrictive fire and life safety requirements of the occupancies involved.	Entire building has only one use – Business.Occupancy
Interior Finish	Vertical exits and exit passageways; Class B Exit access corridors and other exit ways; Class C Rooms and enclosed spaces; Class C	39.3.3 In accordance with Sec. 10.2. shall be Class A or B in exits and in enclosed corridors furnishing access to exits; and Class A, B, or C in office areas	Class A: flame spread 0-25 Class B: flame spread 26-75 Class C: flame spread 76-200 (Smoke development 0-450)
Interior Floor Finish	*Class II in vertical exits, passageways, and corridors except per DOC FF-1 in buildings with sprinkler system all other areas DOC FF-1	39.3.3.3 No requirements	Class I: 0.45 watts/cm ² Class II: 0.22 watts/cm ²
Occupant Load	Table 1004.1.2 Business occupancy 100 sq.ft. per occupant	39.1.7 See Table 7.3.1.2 Business occupancy 100 sq.ft. per occupant	Business occupancy 100 sq.ft. per occupant
Egress Capacity / Width	Table 1005.1 Without Sprinkler System: Stairways 0.3 and other components 0.2 inches per occupant served.	39.2.3.2 The clear width of any corridor serving an occupant load of 50 or more shall not be less than 44"	Stairways 0.3 inches per occ. Other components 0.2 inches Min. 44" corridor width
Building with one exit	Table 1008.2.Type B Occupancy, one story, with maximum 50 occupants and 75 foot travel distance.	39.2.4.2 (2) A single exit permitted for an area with a total occupant load of fewer than 100, provided that the exits discharges directly outside at the level of exit discharge, the total distance of travel shall not exceed 100 feet.	Single exit permitted.

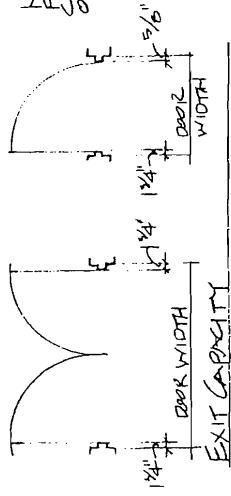
Door Encroachment	1005.2 Doors opening into the path of egress travel shall not reduce the required width to less than one-half during the course of the swing. When fully open, the door shall not project more than 7 inches into the required width.	5-2.1.4.3 Door swing shall leave unobstructed at least 2 requires width of passageway. *Door not to project more than 7" into required width of passageway.	Doors opening into the path of egress travel shall not reduce the required width to less than one-half during the course of the swing. When fully open, the door shall not project more than 7 inches into the required width.
Means of Egress Illumination	1006.1 The means of egress, including the exit discharge, shall be illuminated at all times the building space served by the means of egress is occupied. Means of egress illumination level shall not be less than 1 foot-candle at the floor level.	39.2.8 Means of egress shall be illuminated in accordance with Section 7.8 39.2.9 Emergency lighting shall be provided with Section 7.9	Emergency lighting required.
Accessible Means of Egress			Accessibility is provided from the parking area to and from the building. Single story building.
Door Swing	1008.1.2 Door shall swing in the direction of egress travel where serving an occupant load of 50 or more.	5-2.1.4.1 Swing in the direction of exit travel when serving 50 or more occupants.	N/A.
Door Width & Height	*Min. 32" clear width *Max. 48" clear width *Min. 6'-8" clear height	5-2.1.2.2 Minimum width not less than 32"	Use 36" minimum clear & 6'8" min. clear height.
Door Hardware	Required egress doors readily opened from egress side without use of key.	5-2.1.5.1 Readily open from the egress side without key.	Egress doors readily open from the egress side without key.
Exit Signs	1011.1 Required when more than one exit is needed *Excp 2: Main exterior doors which are obvious *Any point in exit access to be more than 100' from signs	39.2.10 Marking of means of egress shall be in accordance with Section 7.10	Required (See Life Safety Plan Appendix -A)

Tactical Exit Sign	1011.3 A tactile sign stating EXIT an complying with ICC A117.1 shall be provided adjacent to each door to an egress stairway, an exit passageway and the exit discharge		A tactile sign stating EXIT an complying with ICC A117.1 shall be provided adjacent to each door to an egress stairway, an exit passageway and the exit discharge
Exit Access Exit Through Intervening Spaces	1013.2 Egress from a room or space shall not pass through adjoining or intervening rooms or areas, except where such adjoining rooms or areas are accessory to the area served; are not a high-hazard occupancy and provide a discernible path of egress travel to an exit. Egress shall not pass through kitchens, storage rooms, closets or spaces used for similar purposes. An exit access shall not pass through a room that can be locked to prevent egress..	7.5.2.1 Access to an exit shall not be through kitchens, storerooms other than as provided in Chapter 36 and 37, restrooms, workrooms, closets, bedrooms or similar spaces subject to locking.	
Exit Access Multiple Tenants	1013.2 Where more than one tenant occupies any one floor of a building or structure, each tenant space, dwelling unit and sleeping unit shall be provided with access to the required exits without passing through adjacent tenant spaces, dwelling units and sleeping units.		Where more than one tenant occupies any one floor of a building or structure, each tenant space, dwelling unit and sleeping unit shall be provided with access to the required exits without passing through adjacent tenant spaces, dwelling units and sleeping units.
Common Path of Travel	1013.3 Common path of travel shall not exceed 75 feet.	39.2.5.3.3 Common path of travel shall not exceed 75 feet.	Common path of travel shall not exceed 75 feet.
Exit Access Travel Distance	Table 1015.1 Without sprinkler system 200 feet	39.2.6.2 Travel distance to exit shall not exceed 200 feet.	Travel distance to exit shall not exceed 200 feet.

Corridors	Table 1016.1 Without sprinkler system, 1 hour rated, with occupant load serving 30 or more.	39.3.6 No requirements	N/A Building with one exit
Corridor Width	1016.2 Not less than 44 inches	39.2.3.2 The clear width of any corridor serving an occupant load of 50 or more shall be not less than 44 inches.	Not less than 44 inches
Dead Ends	1016.3 Not more than 20 feet.	39.2.5.2 Shall not exceed 50 feet.	
Accessibility	1101 Scoping for accessible route, entrance, parking and toilet facilities has been met.		Accessible route, entrance, parking and toilet facilities have been met.
General Limitations - Means of Egress Identifications of Hazardous Rooms and Exits	Doors leading to dangerous areas shall be equipped with knurled hardware. At exterior doors not required for physically challenged, a maximum step down of 8" shall be permitted.	5-2.1.3.3 Exception. In existing building where door discharges to the outside the door is permitted to be one step lower than the inside, but not more than 8" lower.	Doors leading to dangerous areas shall be equipped with knurled hardware. At exterior doors not required for physically challenged, a maximum step down of 8" shall be permitted.
Fire Alarm	907.2.2 Group B required if occupant load 500 or more	39.3.4 Required in two-story business occupancy. (See Section 9.6)	See Life Safety Plan
Fire Alarm Notification	Visible & audible alarm notification	Sound general alarm of presignal at constantly attended location *Voice announcement encouraged *Audible & visible required	Visible & audible alarm notification

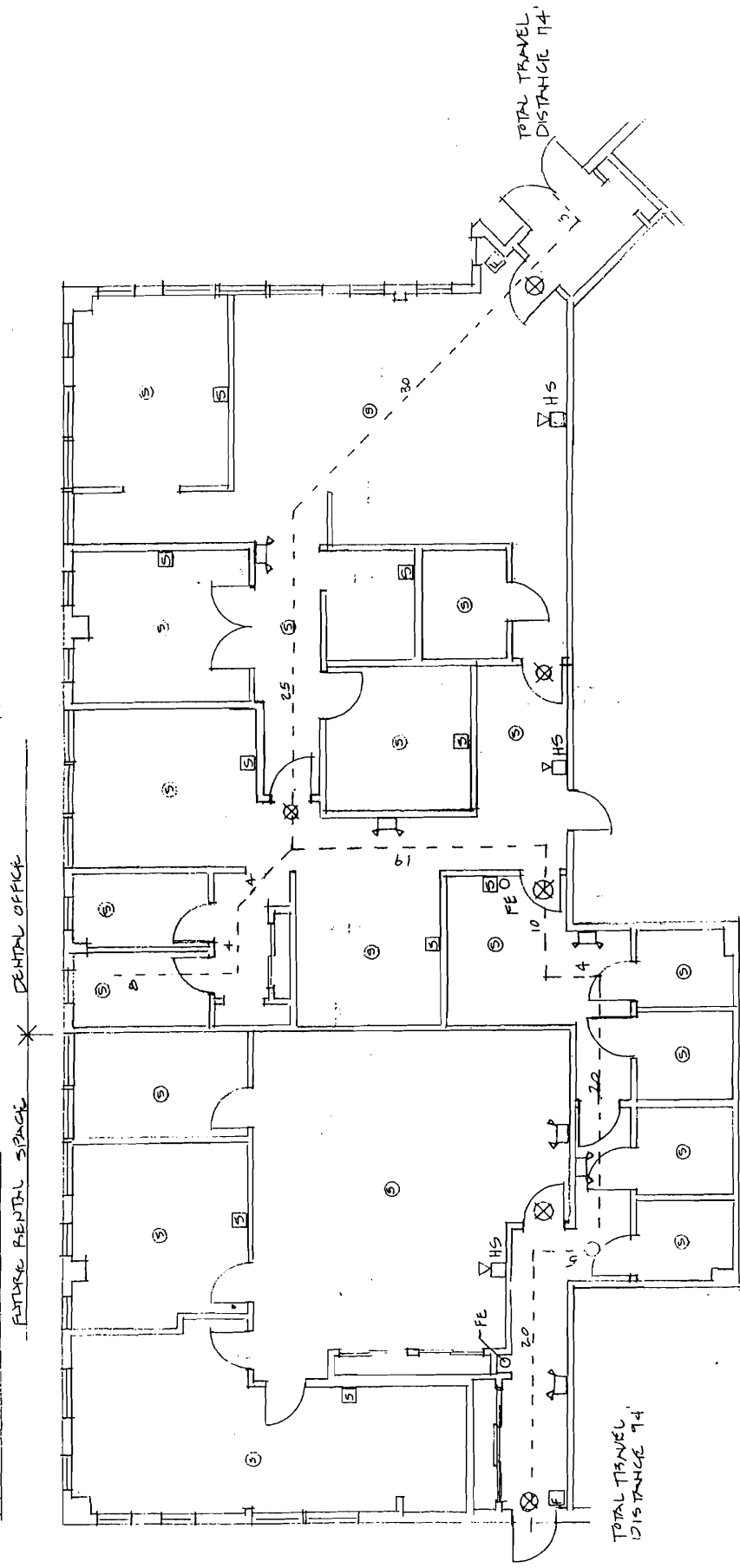
Fire Extinguishers	906.1 Provide in accordance with International Fire Codes *Provide in kitchen with commercial hood *In area where fuel is stored, boiler room and basement	39.3.5 Required in business occupancy in accordance with 9.7.4.1 (NFPA 10)	Required in business occupancy in accordance with 9.7.4.1 (NFPA 10) See Life Safety Plan
Habitable Spaces – Minimum Room Width	1208.1 Habitable spaces, other than a kitchen, shall not be less than 7 feet in any plan dimension.		
Habitable Spaces – Minimum Ceiling Height	1208.2 Occupiable spaces, habitable spaces and corridors shall have a ceiling height of not less than 7'-6". Bathrooms, toilet rooms, kitchens, storage rooms and laundry rooms shall be permitted to have a ceiling height of not less than 7'.		

NOTE: DOOR WIDTH REDUCED FOR DOOR BY SUBTRACTING CLEAR WIDTH STOPS AND/OR DOOR THICKNESS AND:
 $3'-0" \times 7'-0" = 55.625"$
 $6'-0" \times 7'-0" = 68.5"$



LEGEND

⊗	EXIT SIGN
Ⓢ	STROBE
⊠	HORN/STROBE
⬇	EMERGENCY LIGHT
⌘	PULL STATION
FE	FIRE EXTINGUISHER

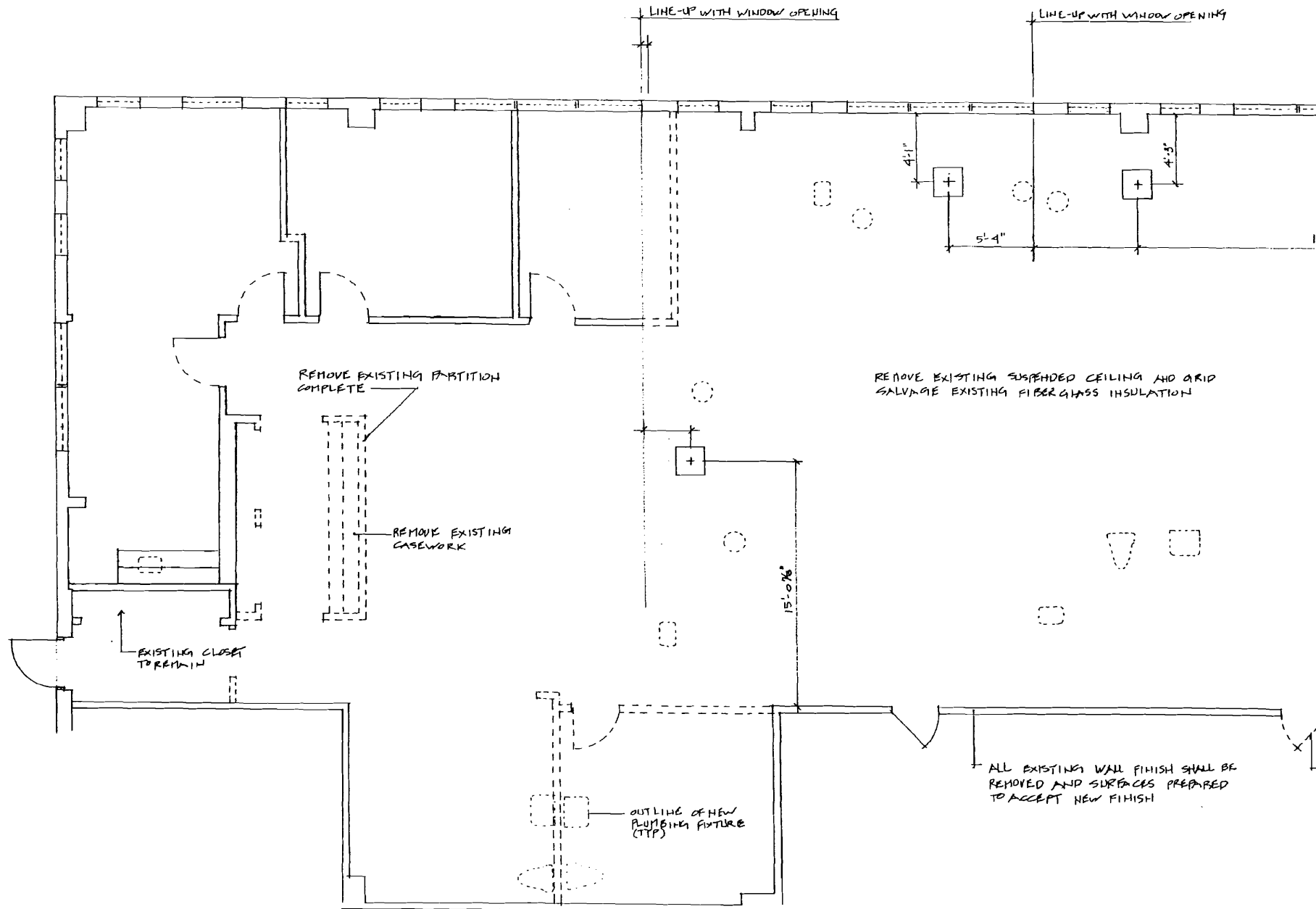


DR. ALEX MAZURENKO
 DENTAL OFFICE
 2401 CONGRESS STREET
 PORTLAND, MAINE
 PROJ. NO. 0113

LIFE SAFETY PLAN
 $1/8" = 1'-0"$

General Notes

1. Remove existing door and frame. Frame-up opening to match existing.
2. Remove existing suspended ceiling and grid. Salvage existing tile to repair proposed future rental space. Salvage existing fiberglass insulation. Re-install fiberglass insulation with new scheduled suspended acoustical tile ceiling.
3. Existing suspended ceiling in proposed future rental space is scheduled to remain. Replace stained tile with salvaged tiles, and clean / or repair existing metal grid as required.
4. All existing wall finishes to be removed and surfaces prepared to accept the new wall finished specified. See Room Finish Schedule.
5. Provide slab cuts as required for new plumbing fixtures. Prepare existing concrete slab to receive new finishes. Provide moisture test prior to installation of finish flooring.
6. Remove existing window glazing, clean existing aluminum frames and prepare frames to receive new insulated solar reflected glazing.

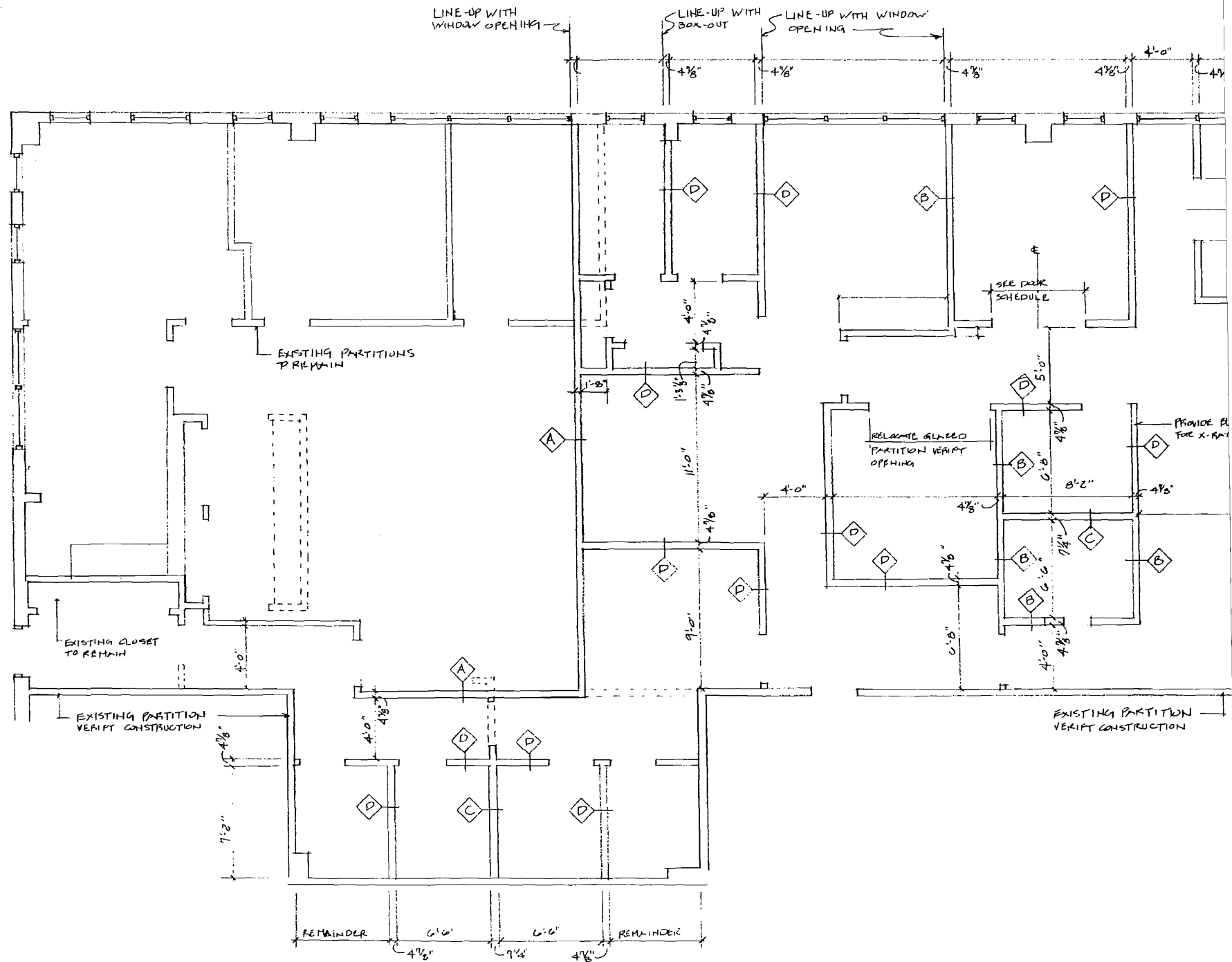


REMOVAL PLAN

1/4" = 1'-0"

General Notes

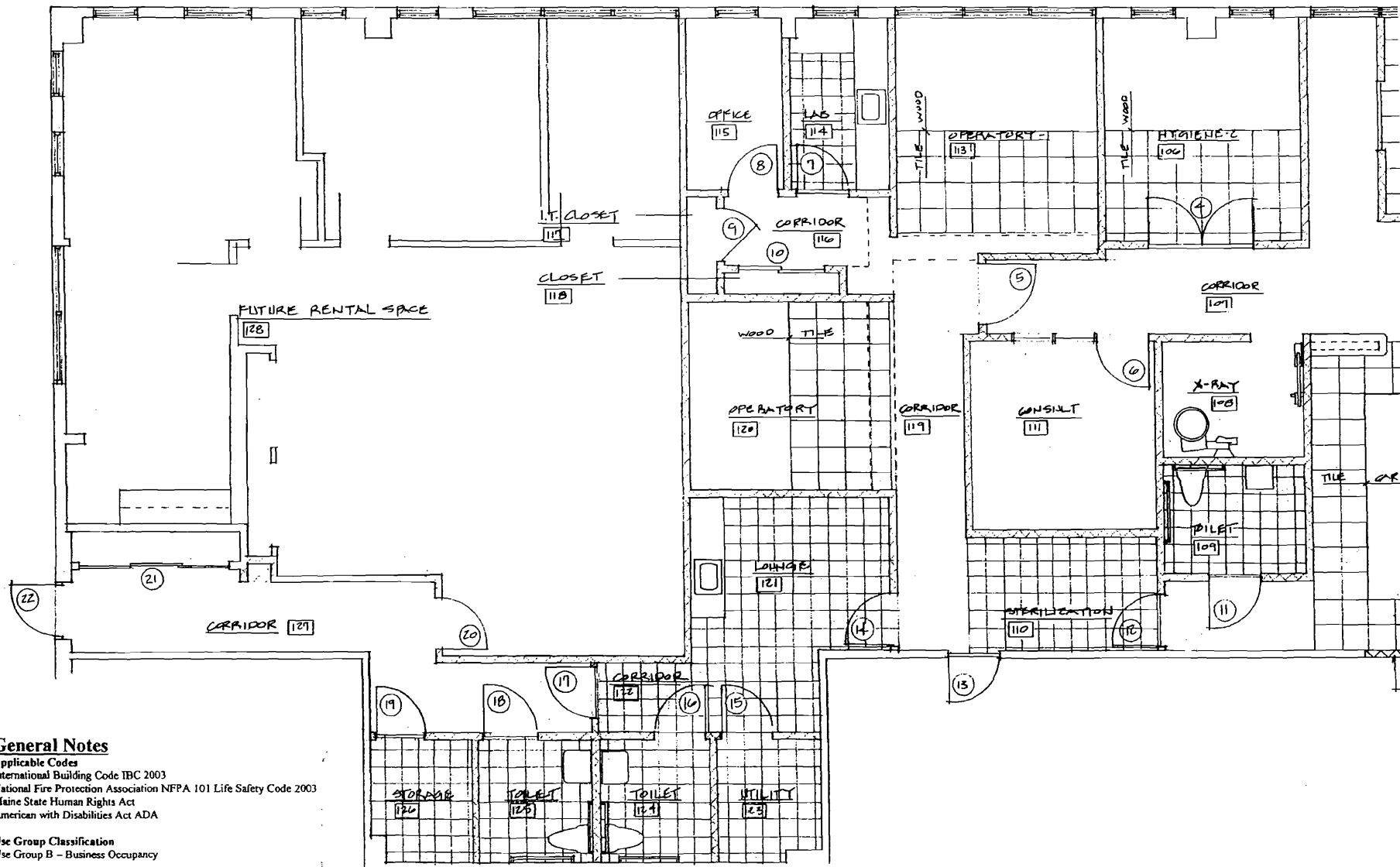
1. Dimensions are to finished floor, wall, and ceiling.
2. Field verify existing conditions and notify the Architect for any discrepancies.
3. Verify Owner supplied dental equipment with manufacturer, and installer Patterson Dental Supply, Inc. (PDS)
4. Rough and finish for dental equipment is to be according to templates furnished by manufacturers of dental equipment being installed. A representative of PSD will position said templates in their proper locations, at which time all specifications will be explained to the contractor. All specified sizes of pipes, tubing's, etc. must be rigidly followed as well as proper heights marked. Any infractions on sizes or heights of pipes, tubing or fittings will have to be corrected before the equipment can be installed and such extra expense will be the responsibility of the contractor.
5. A final check of all roughing must be made by PDS representative before partitions are closed and/or the pouring of concrete floors.
6. Install main water, air (and gas, where necessary) shutoffs for each operatory, lab or sterilization areas.
7. The PDS representative shall give instruction to Landry Construction Corporation (LCC) only. All communications and coordination with tradesmen shall be the responsibility of LCC.
8. PDS technicians will assemble and connect to mechanical services, such as electrical, cold water, gas, air, vacuum, whichever are required for operation of the items provided.



PARTITION LAYOUT PLAN
1/4" = 1'-0"

General Notes

- Dimensions are to finished floor, wall, and ceiling.
- Field verify existing conditions and notify the Architect for any discrepancies.
- Verify Owner supplied dental equipment with manufacturer, and installer Patterson Dental Supply, Inc. (PDS)
- Rough and finish for dental equipment is to be according to templates furnished by manufacturers of dental equipment being installed. A representative of PSD will position said templates in their proper locations, at which time all specifications will be explained to the contractor. All specified sizes of pipes, tubing's, etc. must be rigidly followed as well as proper heights marked. Any infractions on sizes or heights of pipes, tubing or fittings will have to be corrected before the equipment can be installed and such extra expense will be the responsibility of the contractor.
- A final check of all roughing must be made by PDS representative before partitions are closed and /or the pouring of concrete floors.
- Install main water, air (and gas, where necessary) shutoffs for each operatory, lab or sterilization areas.
- The PDS representative shall give instruction to Laundry Construction Corporation (LCC) only. All communications and coordination with tradesmen shall be the responsibility of LCC.
- PDS technicians will assemble and connect to mechanical services, such as electrical, cold water, gas, air, vacuum, whichever are required for operation of the items provided.



General Notes

Applicable Codes
 International Building Code IBC 2003
 National Fire Protection Association NFPA 101 Life Safety Code 2003
 Maine State Human Rights Act
 American with Disabilities Act ADA

Use Group Classification
 Use Group B - Business Occupancy

Construction Type Classification
 Type II B unprotected noncombustible
 Type II (000)

Required separation between occupancies
 2 Hour rating

Fire Suppression System
 The building is not sprinkled

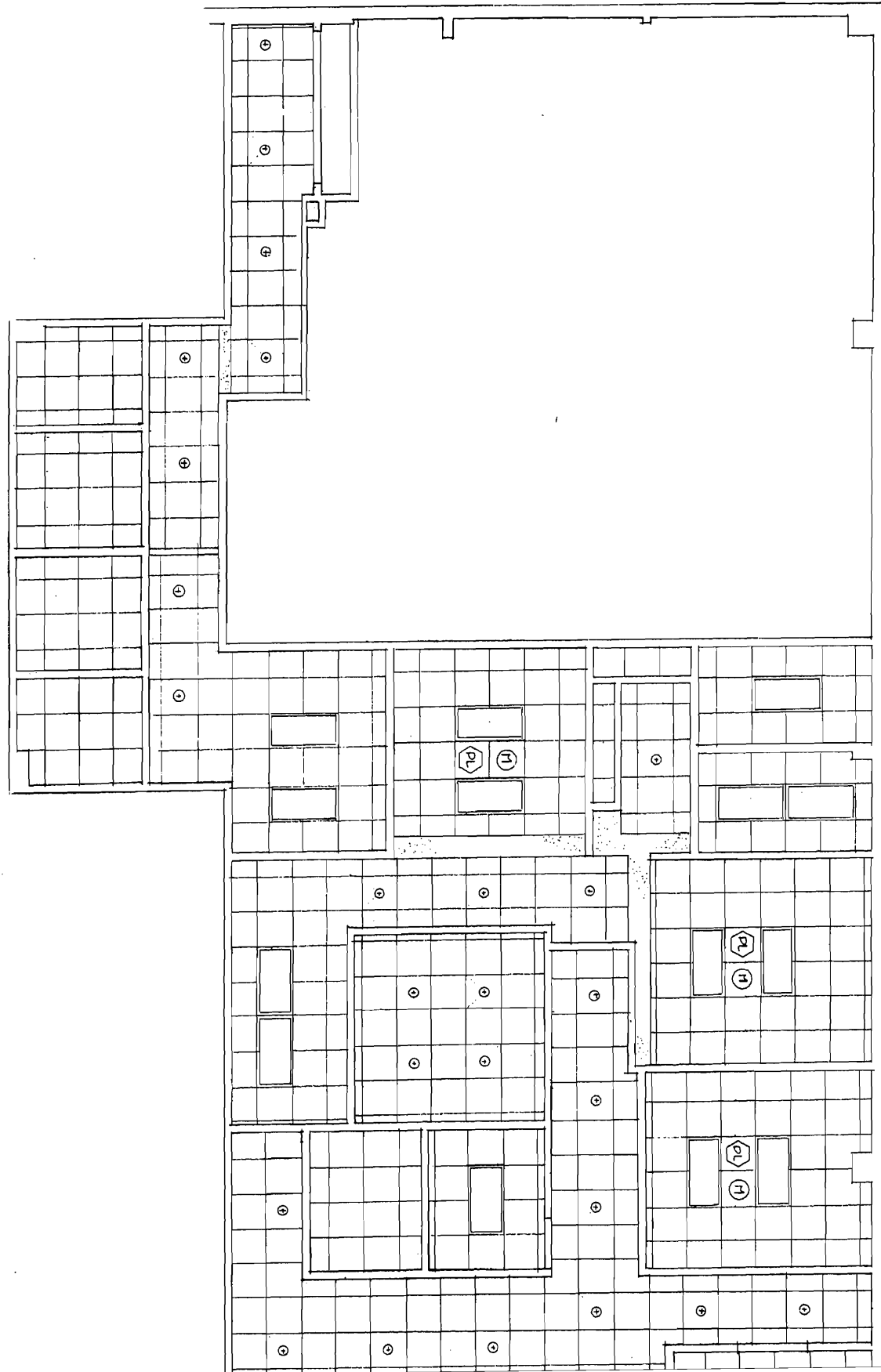
Building Height and Area
 Allowable Height 55' 4 stories
 Actual Height 18' 1 story
 Allowable Area 23,000 sq. ft.
 Actual Area 9,900 sq. ft.
 Dental Office Area = 2,530 sq. ft.

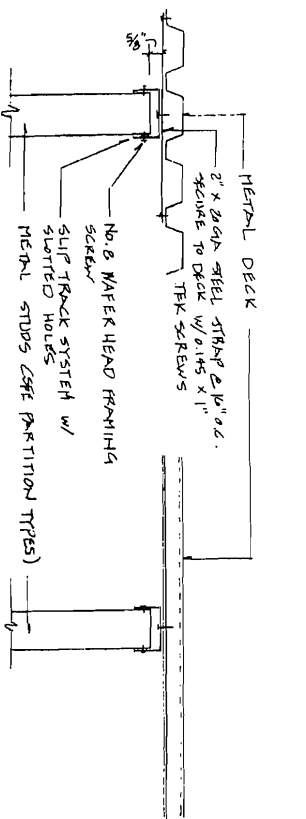
Occupant Load
 2,530 sq. ft. /100 sq. ft. per person = 25

Number of Egress Required
 Two

FLOOR PLAN
 1/4" = 1'-0"

REFLECTED CEILING PLAN
1/4" = 1'-0"

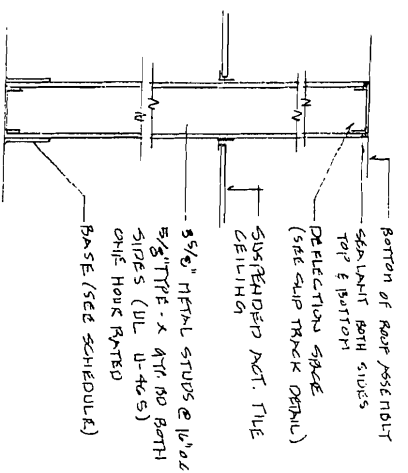




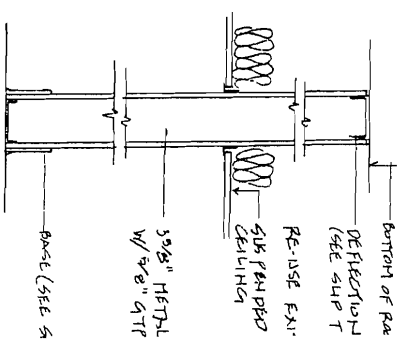
HEAD PARALLEL TO FLUTE

SLIP TRACK DETAIL
1 1/2" x 1" x 2"

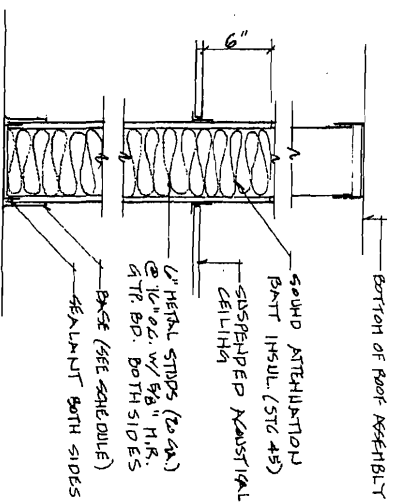
HEAD PERPENDICULAR TO FLUTE



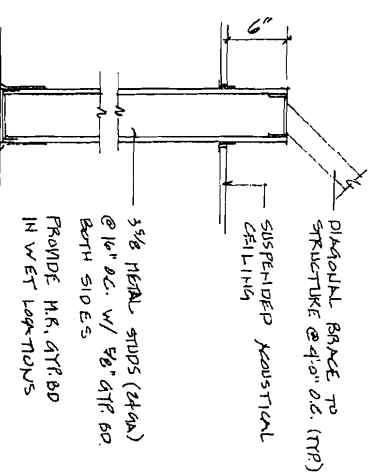
PARTITION IH



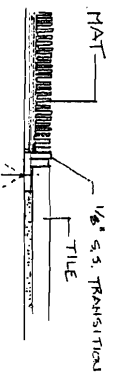
TENANT SEPARATION



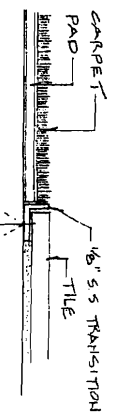
PARTITION C



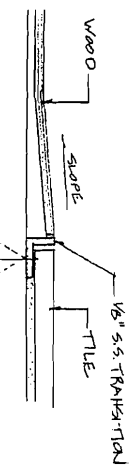
PARTITION D



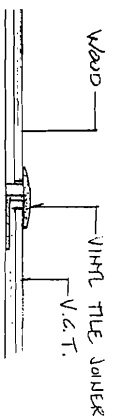
ENTRY MAT TO TILE



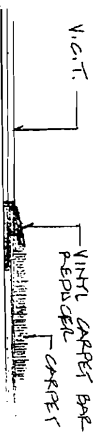
CARPET TO TILE



WOOD TO TILE



WOOD TO V.C.T.

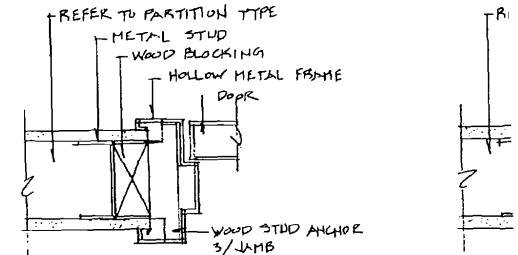


V.C.T. TO CARPET

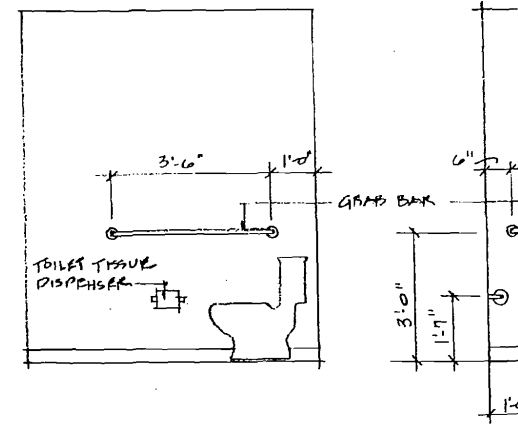
FLOOR TRANSITION DETAILS

DOOR & FRAME SCHEDULE

MARK	DOOR			FRAME			HARDWARE			REMARKS		
	SIZE			MATERIAL	GLAZING	MATERIAL	DETAIL				FIRE SET NO.	FUNCTION
	WT	HGT	THK				HEAD	JAMB	SILL			
1	6'-0"	7'-0"	1 3/4"	ALUM	SEE NOTE 1	EXIST. ALUM						CLEAN DOOR & FRAME
2	3'-0"	7'-0"	1 3/4"	WD-1		H.M.	1	1	1			PASSAGE
3	3'-0"	7'-0"	1 3/4"	WD-2	CLEAR TEMP.	H.M.	1	1	1			PASSAGE
4	6'-0"	7'-0"	1 3/4"	WD-3	FROSTED TEMP.	H.M.	2	2	2			TRIM FRAME W/ WOOD
5	3'-0"	7'-0"	1 3/4"	WD-2	CLEAR TEMP.	H.M.	1	2	2			PASSAGE
6	3'-0"	7'-0"	1 3/4"									RELOCATE EXISTING
7	3'-0"	7'-0"	1 3/4"	WD-1		H.M.	1	1	1			PASSAGE
8	3'-0"	7'-0"	1 3/4"	WD-1		H.M.	1	1	1			PASSAGE
9	3'-0"	7'-0"	1 3/4"	WD-1		H.M.	1	1	1			PASSAGE
10	5'-0"	7'-0"	1 3/4"	WD-1		H.M.	2					BI-PARTING
11	3'-0"	7'-0"	1 3/4"	WD-1		H.M.	1	1	1			PRIVACY ROBE HOOK
12	3'-0"	7'-0"	1 3/4"	WD-3	FROSTED TEMP.	H.M.	1	1	1			PASSAGE
13	3'-0"	7'-0"	1 3/4"	WD-1		EXISTING						LOCK SET
14	3'-0"	7'-0"	1 3/4"	WD-1		H.M.	1	1	1			PASSAGE
15	3'-0"	7'-0"	1 3/4"	WD-1		H.M.	1	1	1			PRIVACY ROBE HOOK
16	3'-0"	7'-0"	1 3/4"	WD-1		H.M.	1	1	1			PASSAGE
17	3'-0"	7'-0"	1 3/4"	WD-1		H.M.	1	1	1	3/4 HR		LOCKSET
18	3'-0"	7'-0"	1 3/4"	WD-1		H.M.	1	1	1	3/4 HR		STORAGE
19	5'-0"	7'-0"	1 3/4"	WD-1		H.M.	1	1	1	3/4 HR		PRIVACY ROBE HOOK
20	3'-0"	7'-0"	1 3/4"	WD-4		H.M.	1	1	1	3/4 HR		LOCKSET
21						EXISTING						REFINISH DOORS & PAINT FRAME
22	3'-0"	7'-0"	1 3/4"	ALUM		EXISTING						CLEAN DOOR & FRAME



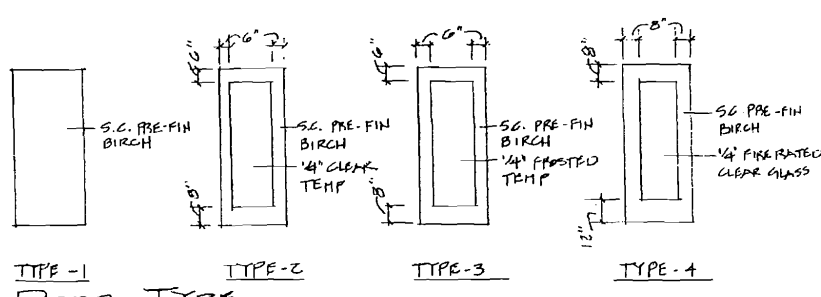
HEAD/JAMB DETAIL ①



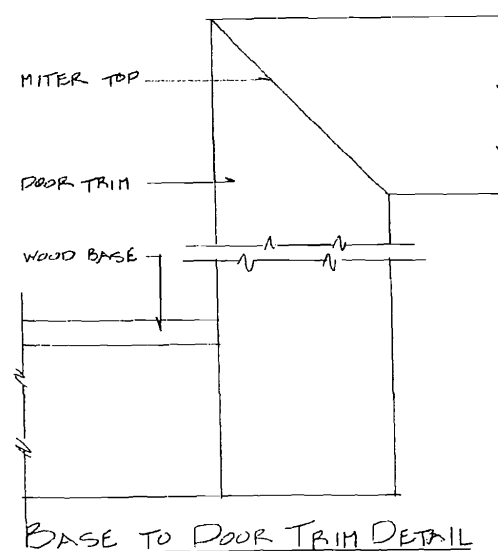
TYPICAL TOILET ROOM ELEVATIONS
1/2" = 1'-0"

General Notes

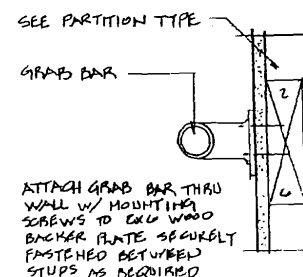
1. Replace existing glazing with solar reflected glass to match new window glazing.
2. All doors to be 1 3/4" thick and 7'-0" high unless otherwise noted.
3. Vision panel in rated doors to be 1/2" clear, tempered, fire rated glass tested and approved in accordance with NFPA 252 and UL 1784.
4. Undercut doors as required to accommodate finish-flooring material specified.
5. Appropriate doorstops shall be installed for all doors where requires. Provide either floor or wall mounted stops to prevent door trim from damaging wall.
6. Hinges to be 4 1/2" x 4 1/2" unless otherwise noted or required.



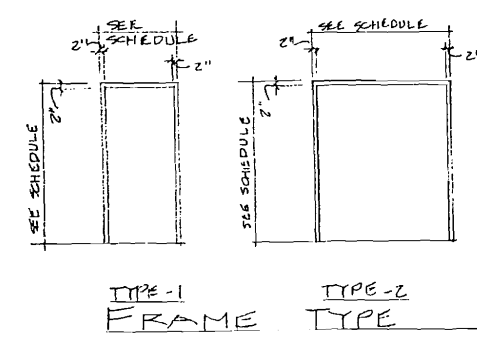
DOOR TYPE



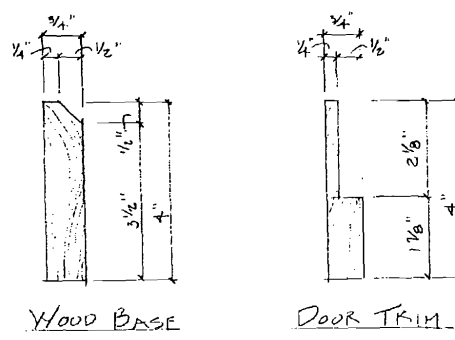
BASE TO DOOR TRIM DETAIL



GRAB BAR MOUNTING
3" = 1'-0"



FRAME TYPE



WOOD BASE DOOR TRIM

ROOM FINISH SCHEDULE

AREA	ROOM		FLOOR		WALL				CEILING		REMARKS	
	NO.	NAME	SUB	FINISH	BASE	DOOR	TRIM	MAT'L.	FINISH	MAT'L.		HEIGHT
	101	ENTRY	CONC.	MAT M-1	WOOD WB-1			GYP. BD.	PAINT P-	ACT-1	10'0" VERIFY	
	102	CLOSET		MAT M-1	WOOD WB-1			GYP. BD.	PAINT P-	ACT-1	8'0"	
	103	WAITING ROOM		GARP-1 PT-	WOOD WB-1			GYP. BD.	PAINT P-	ACT-1	9'0"	
	104	RECEPTION		WOOD-1	WOOD WB-1			GYP. BD.	PAINT P-	ACT-1	9'0"	
	105	HYGIENE-1		WOOD-1 PT-	WOOD WB-1			GYP. BD.	PAINT P-	ACT-1	9'0"	
	106	HYGIENE-2		WOOD-1 PT-	WOOD WB-1			GYP. BD.	PAINT P-	ACT-1	9'0"	
	107	CORRIDOR		WOOD-1	WOOD WB-1			GYP. BD.	PAINT P-	ACT-1	8'0"	
	108	X-RAY		WOOD-1	WOOD WB-1			GYP. BD.	PAINT P-	ACT-1	8'0"	
	109	TOILET		VCT-1	VB-1			GYP. BD.	PAINT P-	ACT-1	8'0"	
	110	STERILIZATION		VCT-1	VB-1			GYP. BD.	PAINT P-	ACT-1	8'0"	
	111	CONSULT		WOOD-1	WOOD WB-1			GYP. BD.	PAINT P-	ACT-1	8'0"	
	112	CORRIDOR		WOOD-1	WOOD WB-1			GYP. BD.	PAINT P-	ACT-1	8'0"	
	113	OPERATORY-1		WOOD-1 PT-	WOOD WB-1			GYP. BD.	PAINT P-	ACT-1	9'0"	
	114	LAB		VCT-1	VB-1			GYP. BD.	PAINT P-	ACT-1	9'0"	
	115	OFFICE		WOOD-1	WOOD WB-1			GYP. BD.	PAINT P-	ACT-1	9'0"	
	116	CORRIDOR		WOOD-1	WOOD WB-1			GYP. BD.	PAINT P-	ACT-1	8'0"	
	117	I.T. CLOSET		WOOD-1	WOOD WB-1			GYP. BD.	PAINT P-	ACT-1	8'0"	
	118	CLOSET		WOOD-1	WOOD WB-1			GYP. BD.	PAINT P-	ACT-1	8'0"	
	119	CORRIDOR		WOOD-1	WOOD WB-1			GYP. BD.	PAINT P-	ACT-1	8'0"	
	120	OPERATORY-2		WOOD-1 PT-	WOOD WB-1			GYP. BD.	PAINT P-	ACT-1	9'0"	
	121	LOUNGE		VCT-1	VB-1			GYP. BD.	PAINT P-	ACT-1	8'0"	
	122	CORRIDOR		VCT-1	VB-1			GYP. BD.	PAINT P-	ACT-1	8'0"	
	123	TOILET		VCT-1	VB-1			GYP. BD.	PAINT P-	ACT-1	8'0"	
	124	UTILITY		VCT-1	VB-1			GYP. BD.	PAINT P-	ACT-1	8'0"	
	125	STORAGE		VCT-1	VB-1			GYP. BD.	PAINT P-	ACT-1	8'0"	
	126	TOILET		VCT-1	VB-1			GYP. BD.	PAINT P-	ACT-1	8'0"	
	127	CORRIDOR		GARP-	VB-			GYP. BD.	PAINT P-	ACT-1	8'0"	
	128	FUTURE RENTAL SPACE	CONC.	—	—			EXIST GYP. BD.	—	EXIST ACT.	—	PATCH EXIST WALLS & CEILING

