

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING DEPARTMENT

PERMIT

Permit Number: 021383

This is to certify that Cross Realty Llc /C.M. Cimino Inc.

has permission to Office renovations including new walls.

AT 2319 Congress St L 238A A003001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must given and written permission procured before this building or part thereof laid out or closed-in. HEAVY NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. *[Signature]*

Health Dept. _____

Appeal Board _____

Other _____
Department Name

[Signature] 11/3/03
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-1383	Issue Date:	CBL: 238A A003001
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Location of Construction: 2319 Congress St	Owner Name: Cross Realty Llc	Owner Address: Po Box 1388	Phone: 207-947-7345
Business Name: n/a	Contractor Name: C.M. Cimino Inc.	Contractor Address: 3 Warren Ave Westbrook	Phone:
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Alterations - Commercial	Zone: I-M

Past Use: Commercial / Insurance Office	Proposed Use: Commercial / Office renovations including new walls.	Permit Fee: \$3,495.00	Cost of Work: \$495,473.00	CEO District: 3
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FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: B Type: 2c 1/3/03 Signature: <i>[Signature]</i>
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Proposed Project Description:
Office renovations including new walls.

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions	<input type="checkbox"/> Denied
Signature:	Date:	

Permit Taken By: gg	Date Applied For: 12/19/2002	Zoning Approval	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input checked="" type="checkbox"/> Minor <input type="checkbox"/> MMA <input type="checkbox"/> Date: 12/24/02	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<p>Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

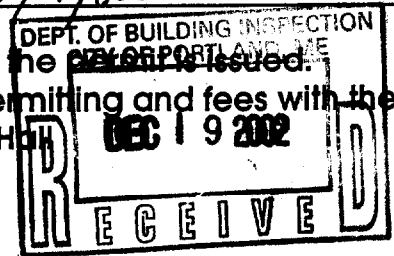
Location/Address of Construction: <u>2331 CONGRESS ST. PORTLAND, ME.</u>		
Total Square Footage of Proposed Structure <u>RENOVATION OF \approx 9000 SQ. FT.</u>	Square Footage of Lot <u>N/A</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>238</u> Block# <u>AA</u> Lot# <u>003</u>	Owner: <u>CROSS INSURANCE</u> <u>P.O. BOX 1388</u> <u>74 GILMAN ROAD</u> <u>BANGOR, ME 04401</u>	Telephone: <u>947-7345</u>
Lessee/Buyer's Name (If Applicable) <u>N/A</u>	Applicant name, address & telephone: <u>C.M. CIMINO INC</u> <u>3 WARREN AVE.</u> <u>WESTBROOK, ME 04092</u>	Cost Of Work: \$ <u>495,473.00</u> Fee: \$ <u>3,495.00</u>
Current use: <u>VACANT</u>		
If the location is currently vacant, what was prior use: <u>INSURANCE OFFICES</u>		
Approximately how long has it been vacant: _____		
Proposed use: <u>INSURANCE OFFICES</u>		
Project description:- <u>interior demo including walls</u>		
Contractor's name, address & telephone: <u>C.M. CIMINO INC } 3 WARREN AVENUE WESTBROOK, ME</u>		
Who should we contact when the permit is ready: <u>ANTHONY CIMINO +4</u>		
Mailing address: <u>C.M. CIMINO</u> <u>3 WARREN AVE.</u> <u>WESTBROOK, ME 04092</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>854-8876</u> <u>+4</u>		

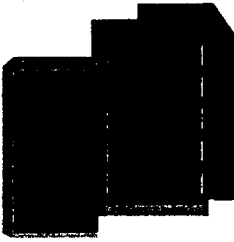
IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Anthony J. Cimino</u>	Date: <u>12/19/02</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall





**CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Rm 315
Portland, ME 04101**

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: ROBERT J. FOSTER - ARCHITECT

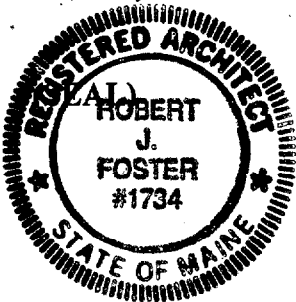
RE: Certificate of Design

DATE: 12/19/02

These plans and/or specifications covering construction work on:

CROSS INSURANCE - BLDG. MODIFICATIONS
2331 CONGRESS ST, PORTLAND, ME

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition, and local amendments.



Signature [Handwritten Signature]

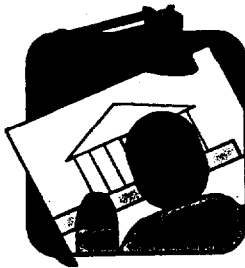
Title ARCHITECT

Firm _____

Address 36 GRANESIDE RD.
PORTLAND, ME 04102

As per Maine State Law:

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.



CITY OF PORTLAND MAINE

389 Congress St., Rm 315

Portland, ME 04101

Tel. - 207-874-8704

Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine
Planning & Urban Development
Division of Housing & Community Services

FROM DESIGNER: ROBERT J. FOSTER - ARCHITECT

DATE: 12/19/02

Job Name: CROSS INSURANCE BLDG. MODIFICATIONS

Address of Construction: 2331 CONGRESS ST., PORTLAND, ME

THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION

Construction project was designed according to the building code criteria listed below:

Building Code and Year: BOCA 2001 **Use Group Classification(s):** BUSINESS

Type of Construction: 2C **Bldg. Height:** 12 FT. **Bldg. Sq. Footage:** 10,000 SQ. FT.

Seismic Zone: _____ **Group Class:** _____

Roof Snow Load Per Sq. Ft.: _____ **Dead Load Per Sq. Ft.:** _____

Basic Wind Speed (mph): _____ **Effective Velocity Pressure Per Sq. Ft.:** _____

Floor Live Load Per Sq. Ft.: _____

Structure has full sprinkler system? Yes _____ No Alarm System? Yes _____ No
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

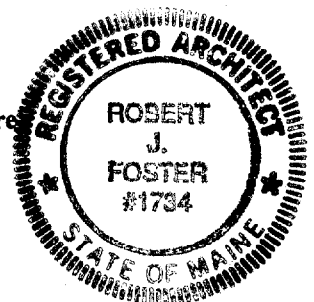
Is structure being considered unlimited area building: Yes _____ No

If mixed use, what subsection of 313 is being considered _____

List Occupant loading for each room or space, designed into this Project.

100 SF/PERSON

(Designers Stamp & Signature)





City of Portland, Maine

389 Congress St., Rm 315
Portland, ME 04101

ACCESSIBILITY CERTIFICATE

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Services

FROM: ROBERT J. FOSTER - ARCHITECT

RE: Certificate of Design, HANDICAP ACCESSIBILITY

DATE: 12/19/02

These plans and/or specifications covering construction work on:

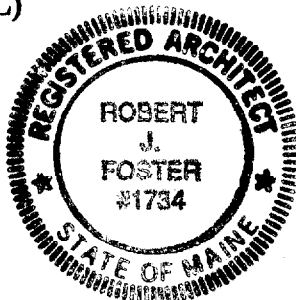
CROSS INSURANCE BLDG. MODIFICATIONS

2331 CONGRESS ST.

PORTLAND, ME

Have been designed and drawn up by the undersigned, a Maine registered engineer/architect according to State Regulations as adopted by the State of Maine on Handicapped Accessibility.

(SEAL)



Signature [Handwritten Signature]

Title ARCHITECT

Firm _____

Address 36 GROVESIDE RD.
PORTLAND, ME
04108

ADDENDUM No. 1

PROJECT: Cross Insurance Building Modifications

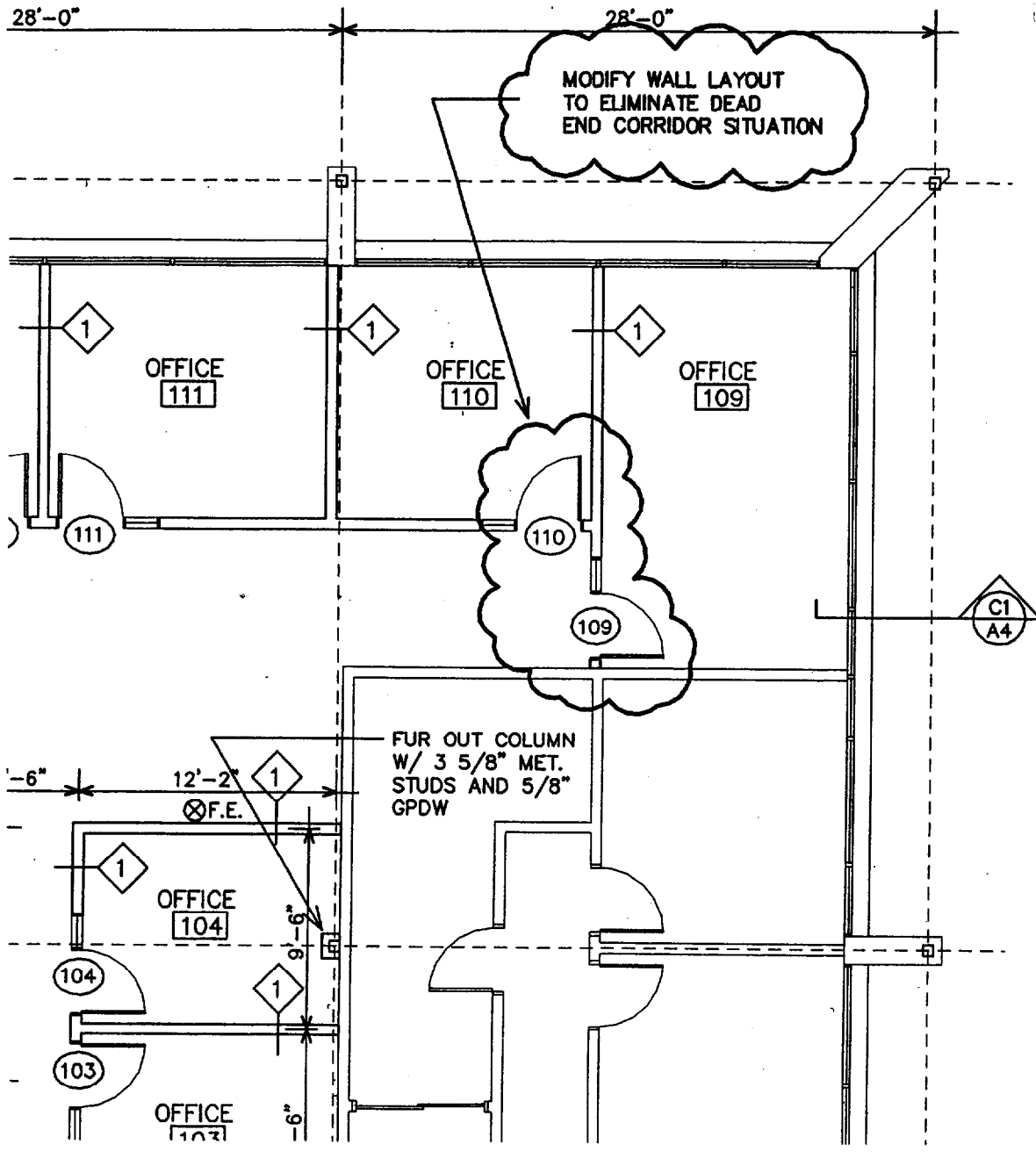
LOCATION: Portland, Maine

DATE: 11/20/02

- 1.1 Drawing Sheet A2 and A3 – Door #'s 118, 122, 122A, 124, and 125 shall be changed to fire rated doors with 20 minute “labeled” ratings.
- 1.2 Drawing Sheet E1 – An “Exit Sign Fixture” shall be add over the existing exterior door from the Open Office Space, adjacent to Office # 117.
- 1.3 Drawing Sheet A2 – In order alleviate dead end corridor issues the Floor Plan shall be modified per changes indicated on attached drawing SKC-1.

END

NOV 25 2002



PARTIAL PLAN

Scale 1/8" = 1'-0"

ROBERT J. FOSTER
ARCHITECT
36 GROVESIDE ROAD
PORTLAND, MAINE 04102
(207) 761-3822

Project Title
CROSS INSURANCE
BLDG. MODIFICATIONS
PORTLAND, ME

Drawing Number
SKC-1
Date 11/20/02

CROSS INSURANCE BUILDING MODIFICATIONS

Congress Street, Portland, Maine

10-31-02

ISSUED FOR BID

ROBERT J. FOSTER — ARCHITECT
36 Groveside Road, Portland, Maine 04102
(207) 761-3822

LIST OF DRAWINGS

COVER SHEET
A1 DEMOLITION PLAN
A2 FIRST FLOOR PLAN
A3 DOOR SCHEDULE/DETAILS
A4 ROOM FINISH SCHEDULE/DETAILS
A5 REFLECTIVE CEILING PLAN

2331 CONGRESS
STREET
PORTLAND, ME.

RE: 2319 Congress

Permit # 02 1383

CODE COMPLIANCE INFORMATION

BUILDING DESIGN CODES:
AMERICAN WITH DISABILITIES ACT (ADA)
NFPA 101 LIFE SAFETY CODE / 2001
BOCA NATIONAL BUILDING CODE / 2001

BUILDING AREA:
10,000 SQ. FT.

OCCUPANCY CLASSIFICATION:
BUSINESS

CONSTRUCTION CLASSIFICATION:
TYPE 2C CONSTRUCTION

NUMBER OF STORIES:
1 STORY

BUILDING HEIGHT:
12 FEET

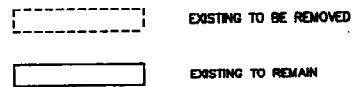
FIRE SUPPRESSION:
NOT SPRINKLED

TRAVEL DISTANCE:
200 FT. MAX.

OCCUPANT LOAD:
100 SF / PERSON

DEMOLITION SCHEDULE

- ① REMOVE EXISTING CEILING TILES AND CEILING GRIDS COMPLETELY.
- ② REMOVE ANY EXISTING FLOORING STILL REMAINING.
- ③ REMOVE EXISTING PARTITIONS AND DOORS AS INDICATED ON DRAWINGS.
- ④ REMOVE ALL BUILT-IN ITEMS: SINKS, CABINETS, TASKBENCHES, ETC., OR ANY ADDITIONAL ITEMS MOUNTED ON THE WALLS OR FLOORS.
- ⑤ REMOVE EXISTING WINDOW TREATMENTS COMPLETELY.



GENERAL NOTES:

REFER TO FLOOR PLANS TO DETERMINE EXTENT OF REMOVALS AND DEMOLITION IN REFERENCE TO NEW WORK.

CO-ORDINATE WITH THE PLUMBING CONTRACTOR TO DETERMINE THE EXTENT OF CONC. SLAB REMOVAL FOR PLUMBING PIPE TRENCHES.

ELECTRICAL AND MECHANICAL CONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING THE EXTENT OF DEMOLITION FOR THEIR RESPECTIVE PORTIONS OF THE PROJECT.

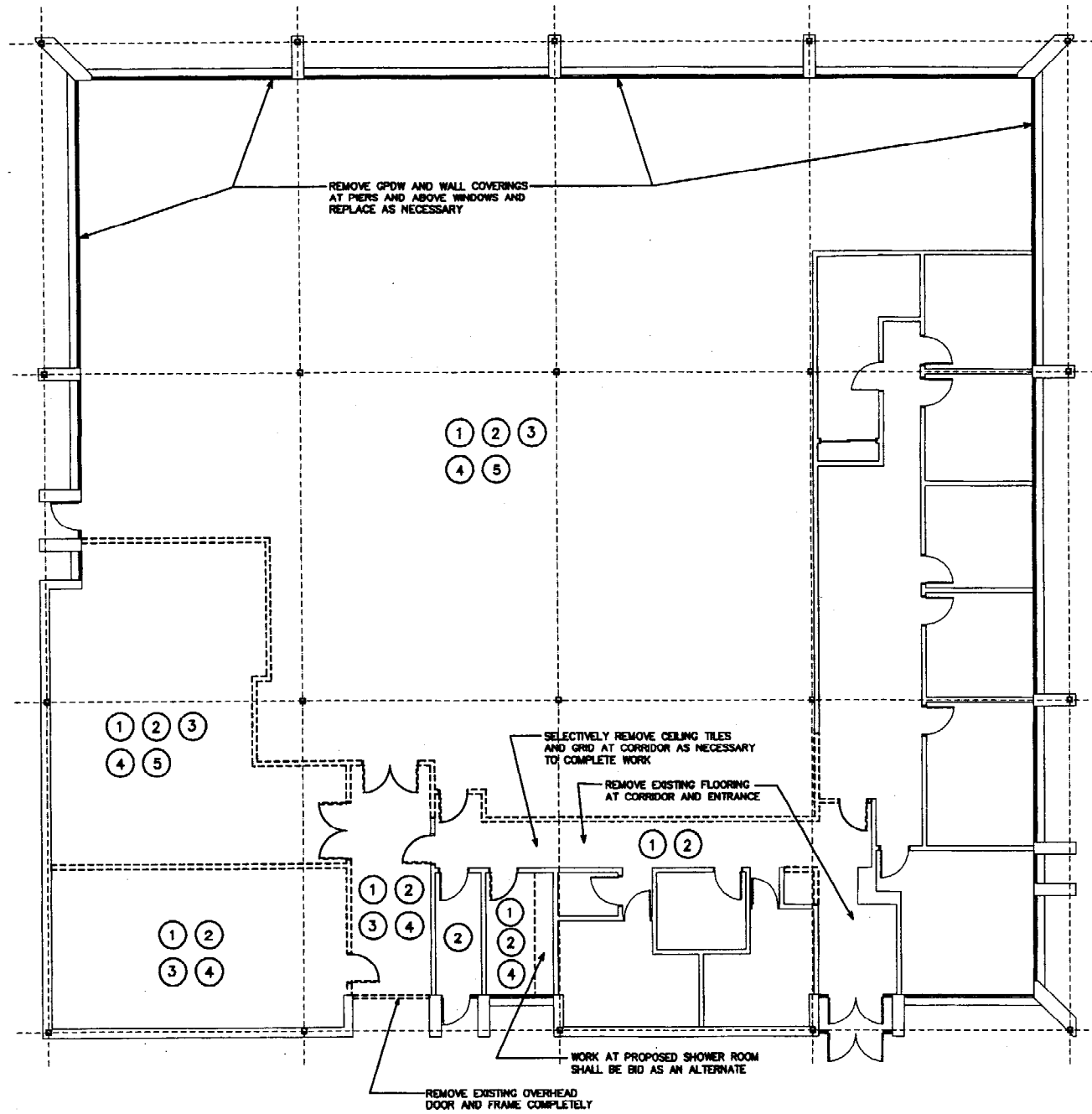
THE CONTRACTOR SHALL IDENTIFY ANY/ALL LOAD BEARING PARTITIONS PRIOR TO THE REMOVAL OF ANY PARTITIONS. ANY REQUIRED SHORING SHALL BE IN PLACE PRIOR TO THE REMOVAL OR SUCH MATERIAL.

THE CONTRACTOR SHALL IDENTIFY ALL LOCATIONS WHERE PENETRATIONS ARE REQUIRED IN EXISTING WALLS (MECH., PLUMBING, ETC.). PROPER OPENING SIZES SHALL BE PROVIDED WITH HEADERS AND LINTELS AS NECESSARY.

CO-ORDINATE ROOF PENETRATIONS WITH MECHANICAL CONTRACTOR.

DEMOLITION SCHEDULE/NOTES B1

NTS



ROBERT J. FOSTER - ARCHITECT
35 Grosvenor Road, Portland, Maine 04102
(207) 761-3822

Project Title
Cross Insurance Modifications
Congress Street, Portland, Maine

Key Plan

Mark	Date	Description
10-31-02	ISSUED FOR BID	
09-10-02	DESIGN DEVELOPMENT	

Drawing Title
DEMOLITION PLAN

Drawing Number

A-1

FIRST FLOOR DEMOLITION PLAN A1
1/8" = 1'-0"

PARTITION LEGEND

- 1 3 5/8" STEEL STUDS @ 16" O.C. WITH 5/8" GPDW EACH SIDE. EXTEND GPDW TO UNDERSIDE OF METAL DECK AND SEAL. 3 1/2" SOUND ATTENUATION BLANKET INSULATION W/ SUPPORT ANCHORS.
- 2 6" STEEL STUDS @ 16" O.C. WITH 5/8" GPDW EACH SIDE. EXTEND GPDW TO UNDERSIDE OF METAL DECK AND SEAL. 6" SOUND ATTENUATION BLANKET INSULATION W/ SUPPORT ANCHORS.
- 3 16" PLUMBING WALL - (2) 3 5/8" STEEL STUDS 5/8" GPDW EACH SIDE. EXTEND GPDW TO UNDERSIDE OF METAL DECK AND SEAL. SOUND ATTENUATION BLANKET INSULATION W/ SUPPORT ANCHORS IN EA. WALL.
- 4 6" STEEL STUDS @ 16" O.C. WITH 5/8" GPDW EACH SIDE. ADDITIONAL RESILIENT FURRING CHANNELS AND LAYER OF 5/8" GPDW ON ONE SIDE. EXTEND GPDW TO UNDERSIDE OF METAL DECK AND SEAL. 6" SOUND ATTENUATION BLANKET INSULATION W/ SUPPORT ANCHORS.

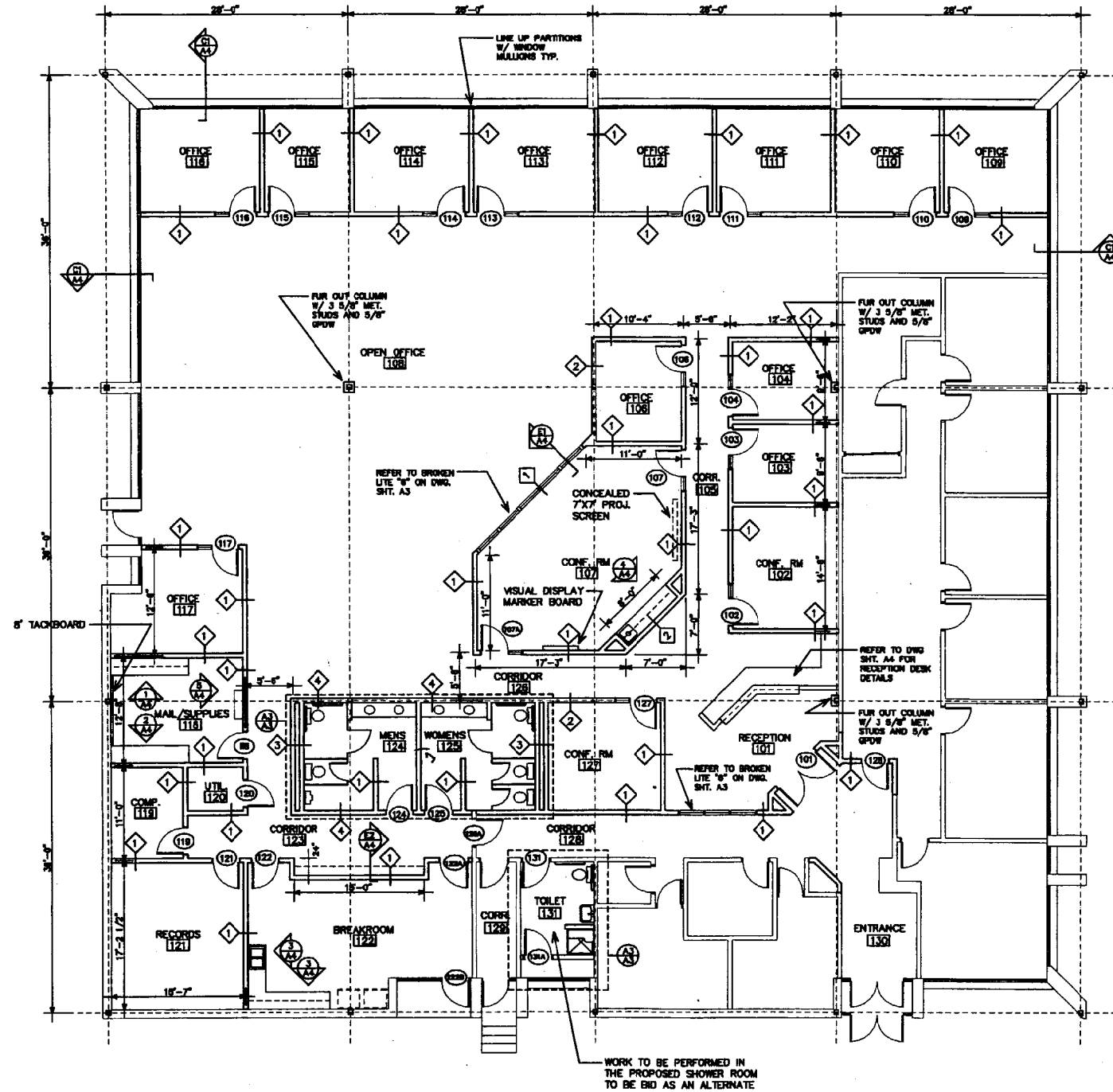
GENERAL NOTES:

CO-ORDINATE ROOF PENETRATIONS WITH MECHANICAL CONTRACTOR.
 VERIFY THAT ADEQUATE STRUCTURAL SUPPORT IS PROVIDED AT ROOF PENETRATION FOR NEW MECHANICAL UNITS.
 PROVIDE ROOF REPAIRS AND TIE-INS AS NECESSARY AT NEW ROOF PENETRATIONS AND CURBS.

LEGENDS/GENERAL NOTES

NTS

B1



ROBERT J. FOSTER - ARCHITECT
 36 Grosvenor Road, Portland, Maine 04102
 (207) 781-3822

Project Title
Cross Insurance Modifications

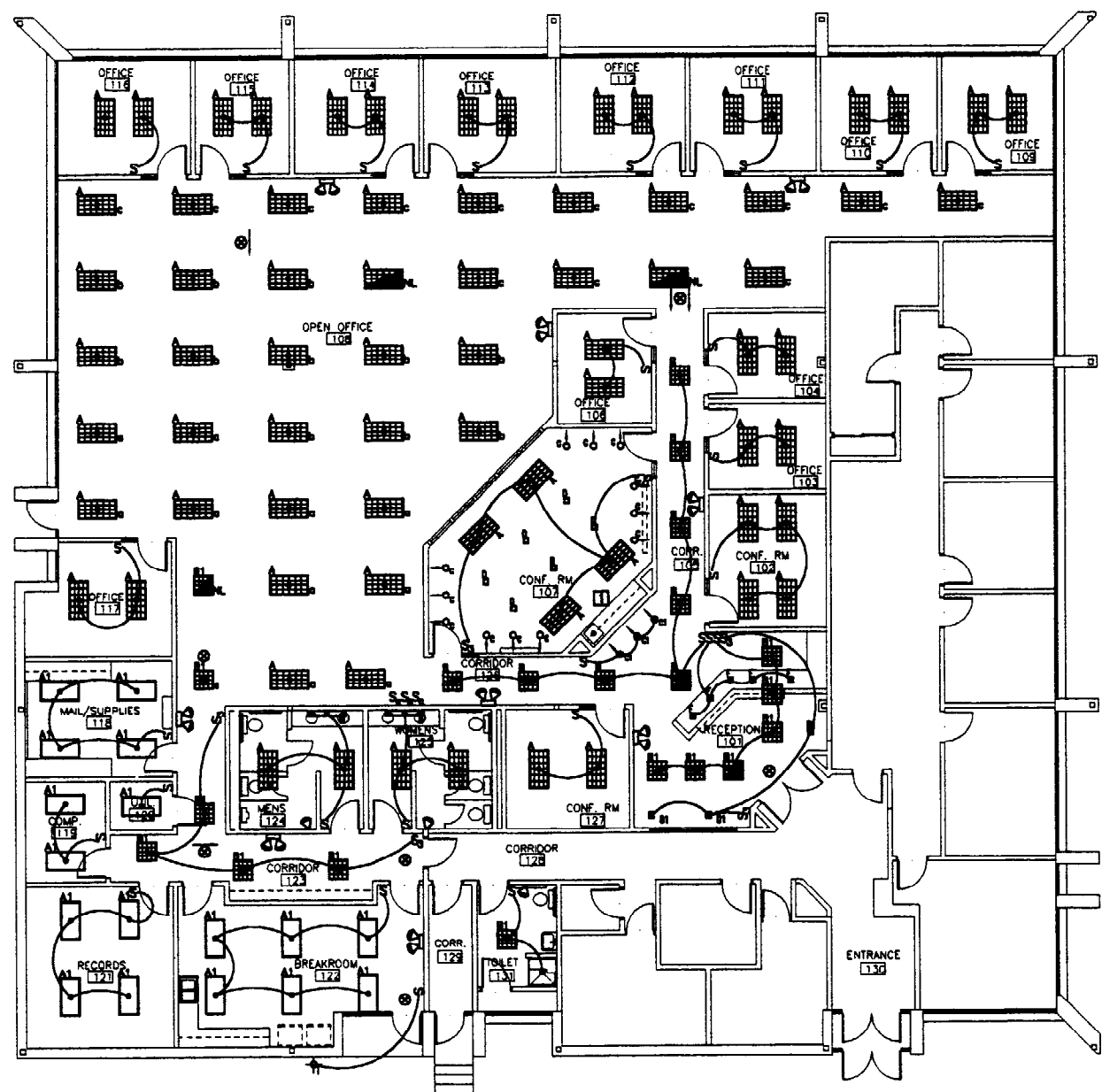
Congress Street, Portland, Maine

Key Plan

Mark	Date	Description
10-31-02		ISSUED FOR BID
09-10-02		DESIGN DEVELOPMENT

Drawing Title
FIRST FLOOR PLAN

Drawing Number
A-2



LIGHTING LEGEND

- 2' x 4' FLUORESCENT PARABOLIC LENS TROFFER
- 2' x 4' FLUORESCENT ACRYLIC LENS TROFFER
- 2' x 2' FLUORESCENT PARABOLIC LENS TROFFER
- 2' x 2' FLUORESCENT ACRYLIC LENS TROFFER
- RECESSED LIGHT FIXTURE
- RECESSED LIGHT FIXTURE W/ WALL WASHER TRIM
- FLUORESCENT WALL LIGHT FIXTURE
- EXTERIOR WALL LIGHT FIXTURE
- SINGLE-POLE SWITCH - MOUNTED 48" AFF TO TOP
- THREE-WAY SWITCH - MOUNTED 48" AFF TO TOP
- EXIT SIGN FIXTURES
- EMERGENCY LIGHT FIXTURES W/ BATTERY PACK
- EMERGENCY LIGHT REMOTE FIXTURES
- 2' x 4' FLUORESCENT LIGHT FIXTURE - NIGHTLIGHT
- 2' x 2' FLUORESCENT LIGHT FIXTURE - NIGHTLIGHT
- FIXTURE TYPE, REFER TO FIXTURE SCHEDULE
- SWITCHING CONTROL
- CIRCUIT NUMBER
- SWITCH CONTROL - LOWER CASE LETTER

KEYED NOTES:

1 FIXTURE TYPE "D" - ONE (1) DIMMER
 FIXTURE TYPE "C" - TWO (2) DIMMERS

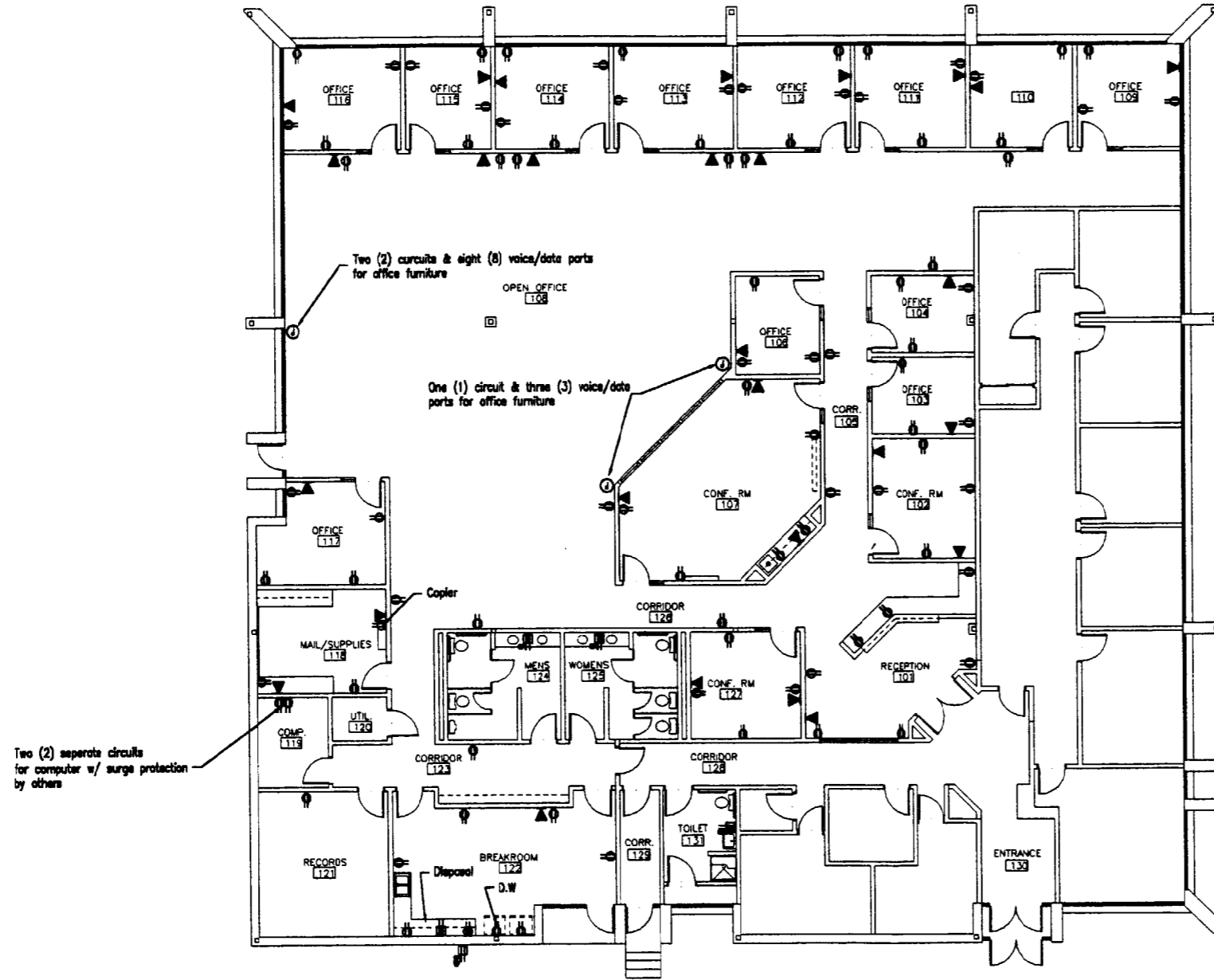
CROSS INSURANCE FIXTURE SCHEDULE					
QUANTITY	TYPE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LAMPS
74	A	LITHONIA OR EQUAL	2PK3N G B 3 32 18LD 120 GEB	2' x 4' PARABOLIC TROFFER - 18 CELL	(3) F32W-T8-SP35
17	A1	LITHONIA OR EQUAL	2G1B 3 32 A12 120 GEB	2' x 4' TB TROFFER	(3) F32W-T8-SP35
8	B	LITHONIA OR EQUAL	2PK3N F B 2 U316 9LD 120 GEB	2' x 2' PARABOLIC TROFFER - 8 CELL	(2) F31W-T8-UB-SP35
13	B1	LITHONIA OR EQUAL	2PK3N G B 2 U316 9LD 120 GEB	2' x 2' PARABOLIC TROFFER - 8 CELL	(2) F31W-T8-UB-SP35
12	C	LITHONIA OR EQUAL	LP6F 130TT 120 DMHL 6W1	WALL WASHER - DIMMABLE FLUORESCENT	(1) 13W-F13TT/27K
3	C1	LITHONIA OR EQUAL	LP6F 130TT 120 GEB10 6W1	WALL WASHER - FLUORESCENT ROUGH-IN	(1) 13W-F13TT/27K
8	D	LITHONIA OR EQUAL	LP6F 280TT 120 DMHL 803A	DOWNLIGHT - DIMMABLE FLUORESCENT	(1) 28W-F28TT/27K
3	D1	LITHONIA OR EQUAL	LP6F 280TT 120 GEB10 803A	DOWNLIGHT - FLUORESCENT ROUGH-IN	(1) 28W-F28TT/27K
5	F	LITHONIA OR EQUAL	LP6 803A	DOWNLIGHT - INCANDESCENT ROUGH-IN	
2	H	LITHONIA OR EQUAL	WC 2 32 120 GEB	48" WALL BRACKET	(2) 32W-T8-48"-SP35
1	I	PROGRESS OR EQUAL	P7303-30	FLUORESCENT OUTDOOR WALL LIGHT	
7	⊗	SURE LITE OR EQUAL	LPX-70RWH	LED TYPE EXIT SIGN WITH NICKEL-CADMIUM BATTERY	AS REQUIRED
3	▷	SURE LITE OR EQUAL	BT-B-WHJ	REMOTE EMERGENCY HEAD-SINGLE	AS REQUIRED
9		SURE LITE OR EQUAL	CC-4	EMERGENCY BATTERY UNITS W/ DUAL HEAD	AS REQUIRED

ANTHONY MANCINI, INC.
 179 SHERIDAN STREET
 PORTLAND, MAINE 04101
 (207) 774-5829 FAX (207) 772-1686
 EMAIL: ANTHONY@MANCINIINC.COM
 "WE APPRECIATE YOUR BUSINESS!"

Project Name and Address:
 Cross Insurance Modifications

Sheet Name:
 Lighting & Emergency Lighting Plan

Drawn By: A. AMES
 Checked By: G. MANCINI
 Scale: 1/8" = 1'-0"
 Date: November 11, 2002
 Revision: A



ANTHONY MANCINI, INC.
 179 SHERIDAN STREET
 PORTLAND, MAINE 04101
 (207) 774-5829 FAX (207) 772-1686
 EMAIL: ANTHONY@MANER.COM
 "WE APPRECIATE YOUR BUSINESS"



Project Name and Address:
 Cross Insurance Modifications

Sheet Name:
 Power & Voice/Data Plan

Drawn By: A. AMES	Checked By: G. MANCINI	Scale: 1/8" = 1'-0"	Date: November 11, 2002	Revision: A
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Sheet:
E-2