

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND BUILDING PERMIT

This is to certify that ECO MAINE

Located At 64 BLUEBERRY

Job ID: 2011-03-576-ALTCOMM

CBL: 238 - - A - 008 - 001 - - - -

has permission to Renovate the Boardroom with structural modifications and relocation of bathrooms provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

*[Handwritten signature]*

**Fire Prevention Officer**

*[Handwritten signature]* 4/1/11

**Code Enforcement Officer / Plan Reviewer**

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY.

PENALTY FOR REMOVING THIS CAR

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: <b>2011-03-576-ALTCOMM</b>	Date Applied: <b>3/11/2011</b>	CBL: <b>238 - - A - 008 - 001 - - - - -</b>	
Location of Construction: <b>64 BLUEBERRY ROAD</b>	Owner Name: <b>ECO MAINE</b>	Owner Address: <b>64 BLUEBERRY RD PORTLAND, ME - MAINE 04102</b>	Phone: <b>773-1738</b>
Business Name:	Contractor Name: <b>Doten, Steve</b>	Contractor Address: <b>175 South Freeport RD FREEPORT ME 04032</b>	Phone: <b>865-4412</b>
Lessee/Buyer's Name:	Phone:	Permit Type: <b>BLDG - Building</b>	Zone: <b>I-M</b>
Past Use: <b>Eco Maine</b>	Proposed Use: <b>Eco Maine -- renovate the board room</b>	Cost of Work: <b>164000.00</b>	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: <b>B</b> Use Group: Type: <b>2B</b> <b>IBC-2009</b> Signature:
Proposed Project Description: <b>64 Blueberry Rd. - Eco Maine -- rennovate board room</b>		Pedestrian Activities District (P.A.D.)	

Permit Taken By:	<b>Zoning Approval</b>		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <b>OK w/condition</b> <b>3/11/11 ASB</b>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <b>ASB</b>
	<b>CERTIFICATION</b>		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* • [www.portlandmaine.gov](http://www.portlandmaine.gov)

Director of Planning and Urban Development  
Penny St. Louis

Job ID: 2011-03-576-ALTCOMM

Located At: 64 BLUEBERRY

CBL: 238 - - A - 008 - 001 - - - -

## **Conditions of Approval:**

### **Zoning**

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

### **Fire**

1. Fire extinguishers are required. Installation per NFPA 10.
2. All construction shall comply with City Code Chapter 10.
3. This permit is being approved on the basis of the plans submitted. Any deviation from the plans would require amendments and approval.

### **Building**

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. Inspections of the installation of the steel beam and shoring shall be conducted by a licensed engineer and a letter with his/her certification shall be submitted to this office stating compliance with the approved plans by the final inspection or CO.
3. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
4. Tempered glazing is required at hazardous locations per IBC 2009 Sec. 2406.
5. Bathroom floor drains shall be installed per the 2009 Maine State Internal Plumbing Code Sec. 411

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

1. In-slab plumbing rough in
2. Close-In Electrical, Plumbing and Framing
3. Final - Commercial

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>64 Blueberry</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>238</u> Block# <u>A</u> Lot# <u>8</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>Eco Maine</u> Address <u>64 Blueberry Rd</u> City, State & Zip <u>Portland, ME 04102</u>	Telephone: <u>773-1738</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>143,500.00</u> C of O Fee: \$ <u>75.00</u> Total Fee: \$ <u>1,730.00</u>
Current legal use (i.e. single family) _____ If vacant, what was the previous use? _____ Proposed Specific use: <u>Boardroom Renovation</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: _____		
Contractor's name: <u>Doken's Construction, Inc.</u> Address: <u>175 South Freeport Road</u> City, State & Zip <u>Freeport, ME 04032</u> Telephone: <u>865-4412</u> Who should we contact when the permit is ready: <u>Steve Doken</u> Telephone: <u>233-9003</u> Mailing address: <u>same</u>		

10663 + 5.

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 3/9/2011

**This is not a permit; you may not commence ANY work until the permit is issue**

**Job Summary Report**  
**Job ID: 2011-03-576-ALTCOMM**

Report generated on Mar 11, 2011 2:03:44 PM

Page 1

<b>Job Type:</b>	Adds/Alter Commercial	<b>Job Description:</b>	64 Blueberry Eco Maine	<b>Job Year:</b>	2011
<b>Building Job Status Code:</b>	In Review	<b>Pin Value:</b>	852	<b>Tenant Name:</b>	
<b>Job Application Date:</b>		<b>Public Building Flag:</b>	N	<b>Tenant Number:</b>	
<b>Estimated Value:</b>	164,000	<b>Square Footage:</b>			
<b>Related Parties:</b>		MAINE ECO		<i>Property Owner</i>	
		Doten's Construction Inc - Steve Doten		<i>GENERAL CONTRACTOR</i>	

**Job Charges**

Fee Code Description	Charge Amount	Permit Charge Adjustment	Net Charge Amount	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Net Payment Amount	Outstanding Balance
Certificate of Occupancy Fee	\$75.00		\$75.00						\$75.00
Job Valuation Fees	\$1,660.00		\$1,660.00						\$1,660.00

**Location ID: 29872**

**Location Details**

Alternate Id	Parcel Number	Census Tract	GIS X	GIS Y	GIS Z	GIS Reference	Longitude	Latitude
953200	238 A 008 001		U				-70.334135	43.653856

Location Type	Subdivision Code	Subdivision Sub Code	Related Persons	Address(es)
1				BLUEBERRY ROAD EAST

Location Use Code	Variance Code	Use Zone Code	Fire Zone Code	Inside Outside Code	District Code	General Location Code	Inspection Area Code	Jurisdiction Code
		NOT APPLICABLE	IM-RPZ				DISTRICT 6	STROUDWATER

**Structure Details**

**Structure: Eco Maine**

**Occupancy Type Code:**

Structure Type Code	Structure Status Type	Square Footage	Estimated Value	Address
Industrial Building	0			BLUEBERRY ROAD EAST

Longitude	Latitude	GIS X	GIS Y	GIS Z	GIS Reference	User Defined Property Value

**Permit #: 20111815**

**Permit Data**



# BOARDROOM RENOVATION

EcoMaine

64 Blueberry Rd.  
PORTLAND, MAINE

Project No. 10-034  
18 January, 2010

## ABBREVIATIONS

GL	GLASS	SPEC	SPECIFICATION
GWB	GYPSUM WALL BOARD	SQ	SQUARE
HM	HOLLOW METAL	SS	STAINLESS STEEL
H, HST	HEIGHT	STL	STEEL
HOR	HORIZONTAL	STD	STANDARD
INSUL	INSULATION	STRUCT	STRUCTURAL
MECH	MECHANICAL	SV	SHEET VINYL
MED	MEDIUM	TO	TOP OF
MFR	MANUFACTURER	TYP	TYPICAL
MAX	MAXIMUM	UNO	UNLESS NOTED OTHERWISE
MTL	METAL	VERT	VERTICAL
MT, MTD	MOUNT, MOUNTED	VIF	VERIFY IN FIELD
MIN	MINIMUM	W	WITH
MISC	MISCELLANEOUS	W/O	WITHOUT
MR	MOISTURE RESISTANT	WD	WOOD
NIC	NOT IN CONTRACT	WP	WALL PROTECTION
OC	ON CENTER		
PT	PRESSURE TREATED		
R, RAD	RADIUS		
RB	RESILIENT BASE		
REF	REFRIGERATOR		
REQD	REQUIRED		
REV	REVISION		
RO	ROUGH OPENING		
SAT	SUSPENDED ACOUSTICAL CEILING TILE		
SIM	SIMILAR		
SFRM	SPRAY-APPLIED FIRE RESISTANT MATERIAL		

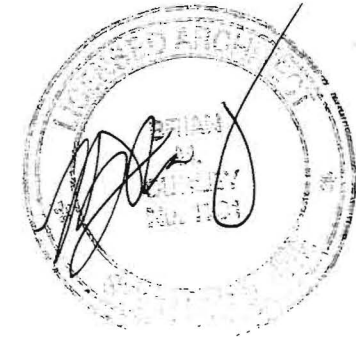
## DRAWING LIST

### ARCHITECTURAL

COVER	SYMBOLS, ABBREVIATIONS, CODE SUMMARY AND FOCUS PLAN
A1.0	DEMOLITION PLAN
A1.1	FLOOR PLAN
A1.2	REFLECTED CEILING PLAN
A1.3	FINISH FLOORING PLAN
A1.4	INTERIOR ELEVATIONS
A1.5	INTERIOR ELEVATIONS
A1.6	INTERIOR ELEVATIONS
A1.7	CASEWORK DETAILS
A1.8	CASEWORK DETAILS
A1.9	DOOR AND FRAME DETAILS

### STRUCTURAL

S1	FOUNDATION/COLUMN PLAN
S2	2ND FLOOR FRAMING PLAN
S3	SECTION
S4	SECTION AND DETAILS
S5	STRUCTURAL NOTES



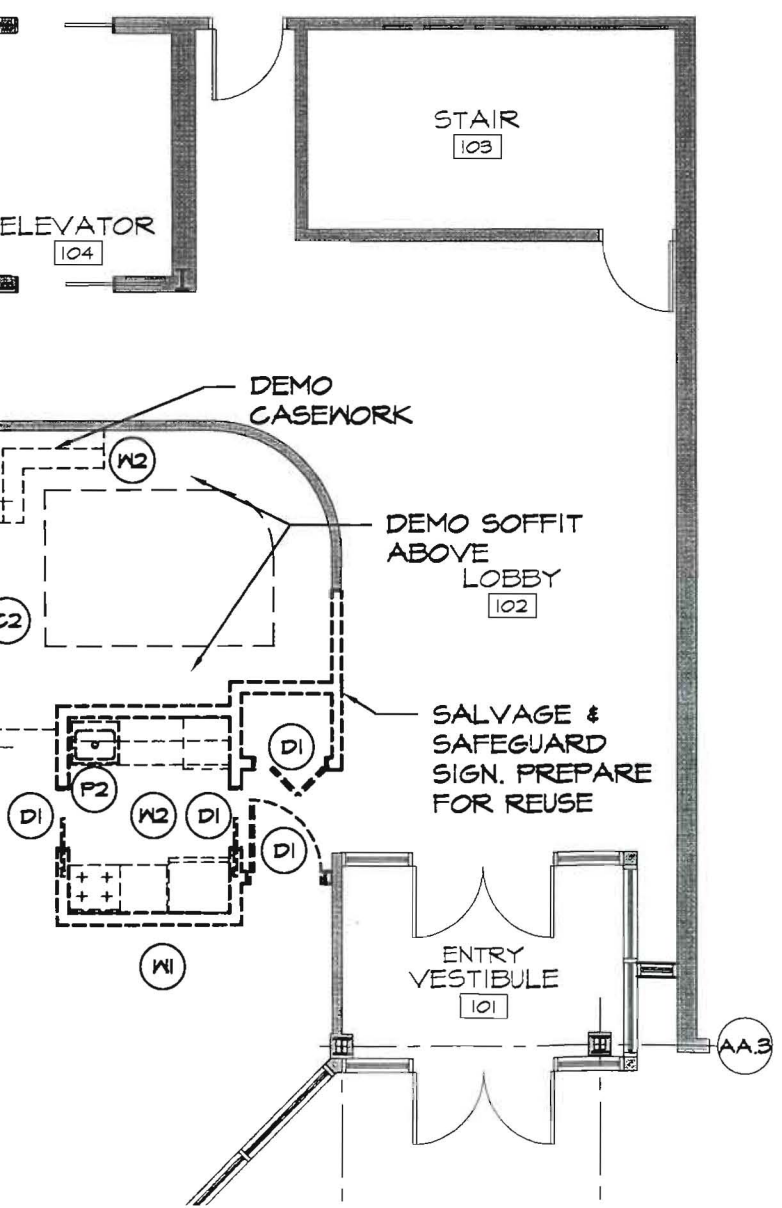
## FOCUS PLAN

## CODE:

INTERNAL PLUMBING CODE  
 PLUMBING CODE  
 S.F.  
 OAD 28 (14 MEN, 14 WOMEN)  
 NTS:  
 MEN - 1  
 WOMEN - 1  
 - 1  
 WOMEN - 1  
 : MEN - 1







- ### DEMOLITION KEY NOTES
- (W1) REMOVE WALL.
  - (W2) REMOVE CABINETS, COUNTERTOP & CASEWORK.
  - (W3) DEMO PORTION OF CMU WALL TO MAINTAIN CLEAR DIMENSION SHOWN IN MEN'S TLT. 114. SEE ALSO DTL. 2 ON A.I.I.
  - (FI) REMOVE CARPETING
  - (DI) REMOVE DOOR, FRAME & HARDWARE.
  - (C1) DEMO SOFFIT ABOVE.
  - (P1) NOT USED
  - (P2) REMOVE PLUMBING FIXTURE. REMOVE PLUMBING LINES IN WALL AND CAP LINES THAT ARE TO REMAIN.
  - (P3) CORE/TRENCHING FOR NEW SANITARY LINES.

- ### GENERAL DEMO PLAN NOTES
1. REMOVE ALL EXISTING FLOOR FINISH MATERIALS, U.N.O. KEEP ORIGINAL CONCRETE SLAB.
  2. REMOVE ALL EXISTING SAT CEILING, U.N.O.
  3. ITEMS TO BE REMOVED ARE SHOWN DASHED, TYP.

EcoMaine - Boardroom Renovation  
PORTLAND, MAINE

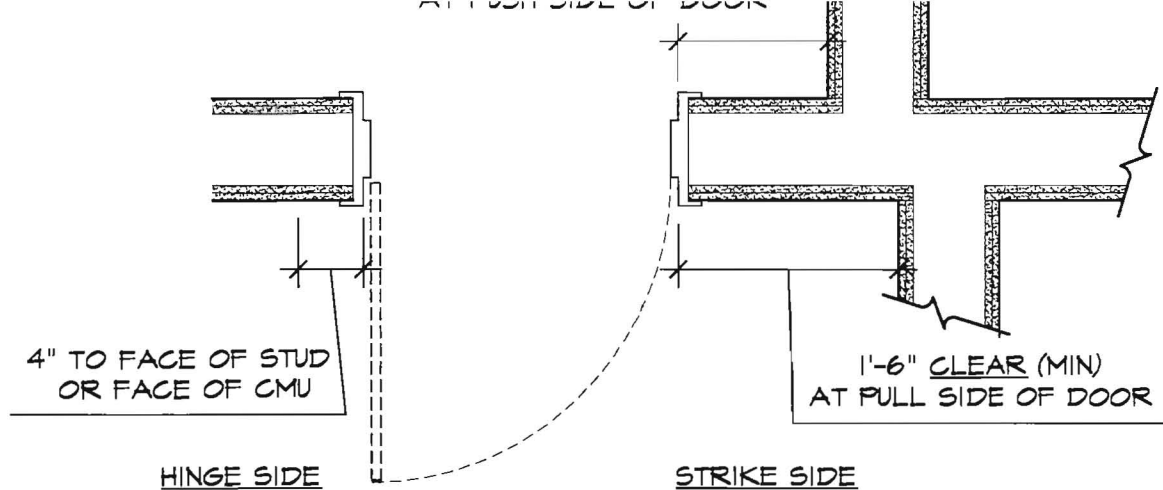
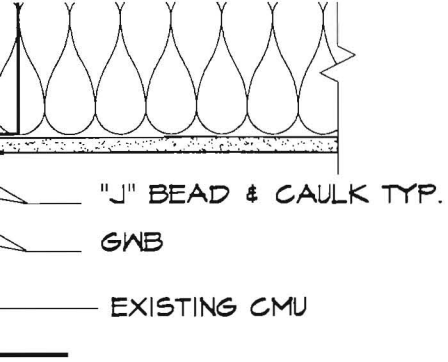
JOB # 10-034  
DATE 18 JANUARY 2011  
SCALE 1/8"=1'-0"

TITLE  
DEMOLITION PLAN

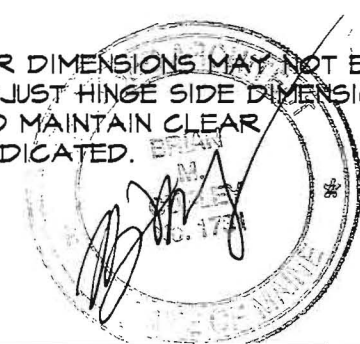
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CHITECTURE  
ERIOR DESIGN  
INNING

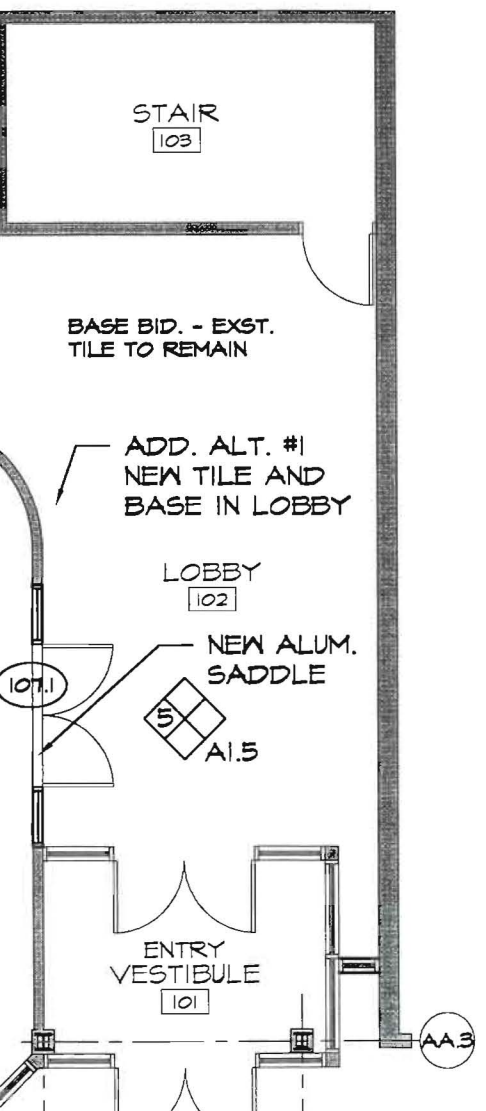
QUARTMOUTH STREET  
PORTLAND, MAINE 04101  
www.pdtarchts.com



**NOTE:**  
MINIMUM CLEAR DIMENSIONS MAY NOT BE REDUCED. ADJUST HINGE SIDE DIMENSIONS AS NEEDED TO MAINTAIN CLEAR DIMENSIONS INDICATED.

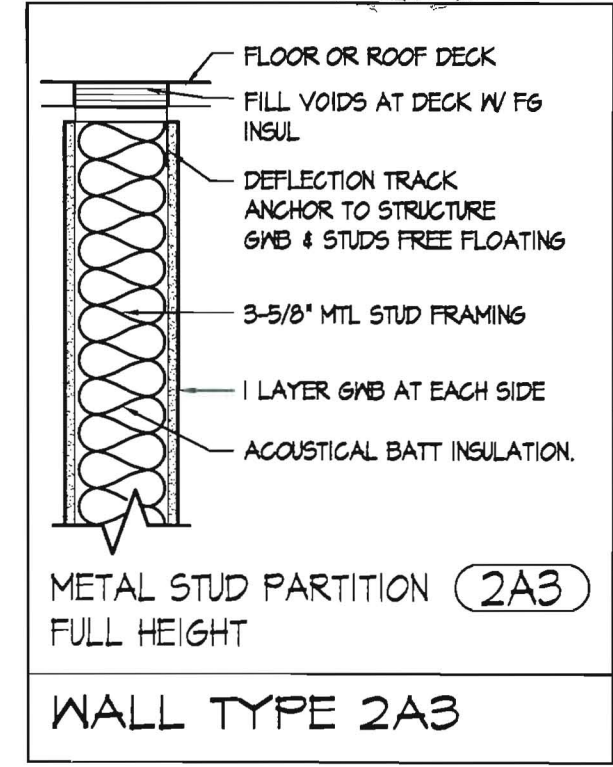


**1 GENERAL PLAN DETAILS**  
1 1/2" = 1'-0"



**GENERAL PLAN NOTES**

1. TYPICAL NEW INTERIOR PARTITION TO BE 2A3 U.N.O.
2. REPAIR & PATCH FLOORING AT PARTITION REMOVAL, PLUMBING FIXTURE REMOVAL, CASEWORK REMOVAL.
3. REPAIR EXISTING SLAB/ FLOORING AT TRENCHING FOR INSTALLATION OF NEW PLUMBING FIXTURES.
4. REPAIR & PATCH EXISTING WALLS AT ELECTRICAL SWITCH OR DEVICE LOCATIONS.
5. ALIGN FINISHES WHERE NEW WALLS MEET EXISTING WALLS.



**GENERAL PLAN KEY NOTES**

- 1 PROVIDE PLUMBING, ELECTRICAL AND ALL CONNECTORS FOR OWNER SUPPLIED APPLIANCES -

EcoMaine - Boardroom Renovation  
PORTLAND, MAINE

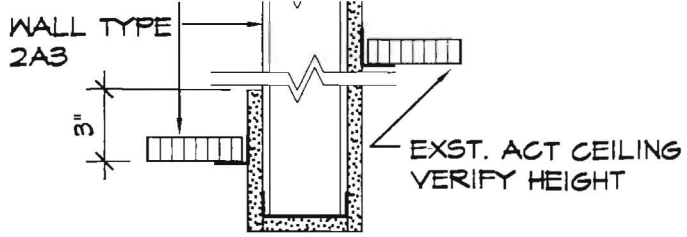
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DATE	18 JANUARY 2011
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TITLE FLOOR PLAN

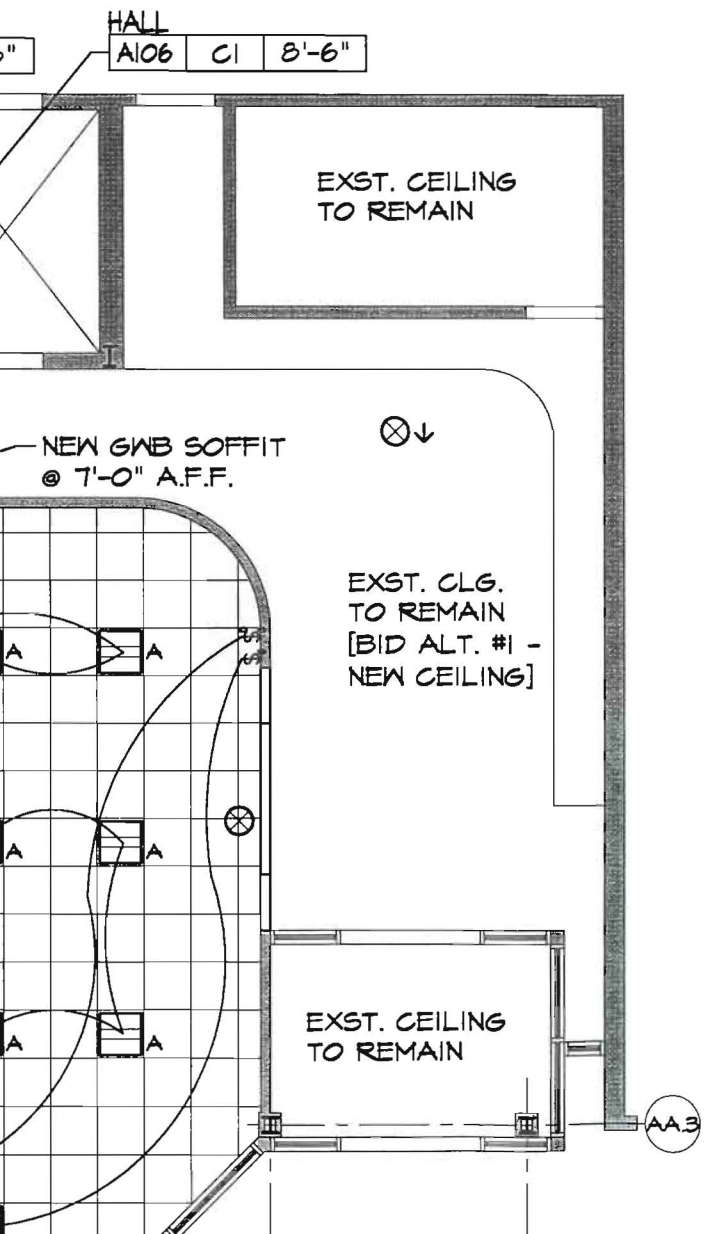
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ARCHITECTURE  
INTERIOR DESIGN  
PLANNING

100 HARTMOUTH STREET  
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1 SOFFIT DETAIL  
1 1/2" = 1'-0"



- A LIGHTOLIER HP90
- B LIGHTOLIER "BOW SERIES" FBAC
- C LIGHTOLIER GUARDSMAN VANDAL RESISTANT
- D 48" LONG - SN STRIP BY LIGHTOLIER
- E LIGHTOLIER "VETRO SERIES"
- F UNDERCABINET 24" FLOURESCENT

**CEILING TYPES:**

- C1 - 24x24 SUSPENDED ACOUSTICAL TILE NRC 0.70
- C2 - 24x24 SUSPENDED ACOUSTICAL TILE NRC 0.70
- C3 - PTD 5/8" GWB
- EXST - EXISTING CEILING TO REMAIN

**GRAPHIC LEGEND:**

- 24x24 DIRECT/INDIRECT FLUORESCENT
- 24x24 DIRECT/INDIRECT FLUORESCENT
- RECESSED DOWNLIGHT
- WALL SCONCE
- 48" SURFACE MOUNTED FLUORESCENT
- UNDERCABINET LIGHTING
- CEILING TYPE C2 - 5/8" PTD. GWB
- CLG. MOUNTED EXIT SIGN
- WALL MOUNTED EXIT SIGN
- HORN / STROBE- PROVIDE PER CODE
- SINGLE POLE SWITCH
- THREE WAY SWITCH
- THREE WAY SWITCH W/ DIMMER
- EMERGENCY LIGHTING- PROVIDE PER CODE



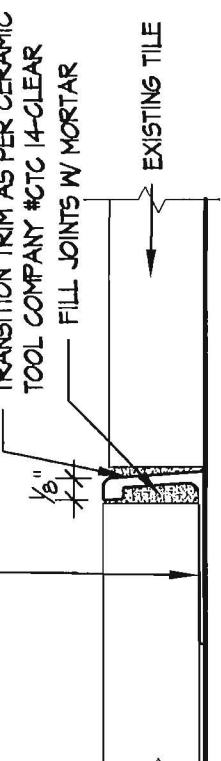
EcoMaine - Boardroom Renovation  
PORTLAND, MAINE

JOB #	10-034
DATE	18 JANUARY 2011
SCALE	1/8"=1'-0" UNO

TITLE REFLECTED CEILING PLAN

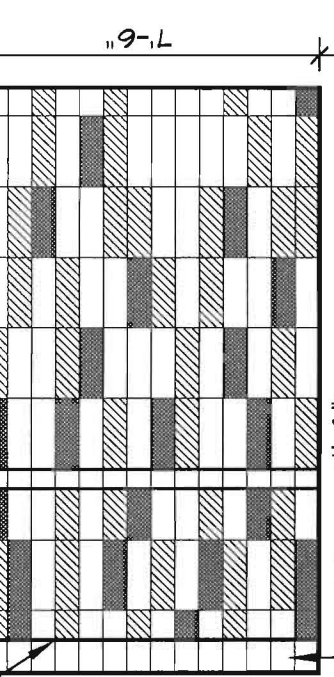
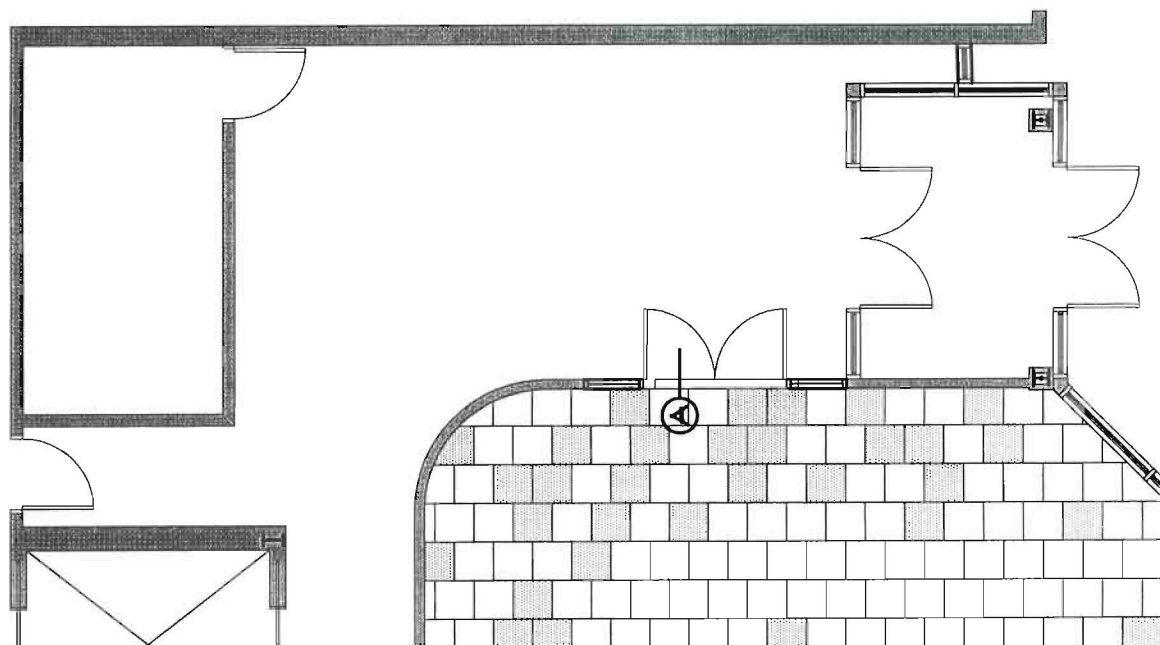
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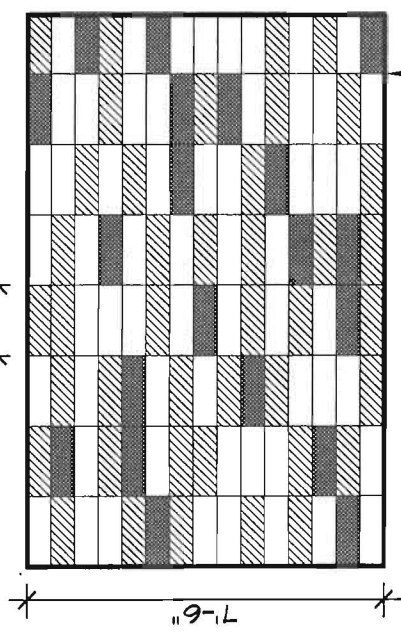
**B** TILE TO TILE  
1"=1"

LIMIT



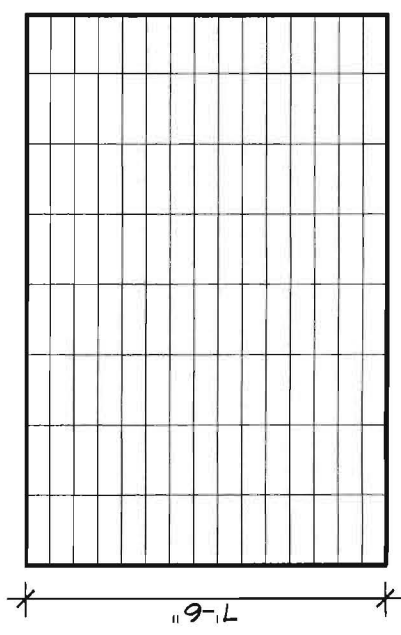
ALIGN WALL TILE JOINTS @ FEATURE WALL WITH FLOOR JOINTS, TYP.

**1** FEATURE WALL @ MEN'S TOILET 113  
1/4"=1'-0"



ALIGN WALL TILE JOINTS @ FEATURE WALL WITH FLOOR JOINTS, TYP.

**2** FEATURE WALL @ WOMEN'S TOILET 114  
1/4"=1'-0"



**TILE KEY**

[White Box]	PWT-1
[Hatched Box]	PWT-2
[Solid Grey Box]	PWT-3



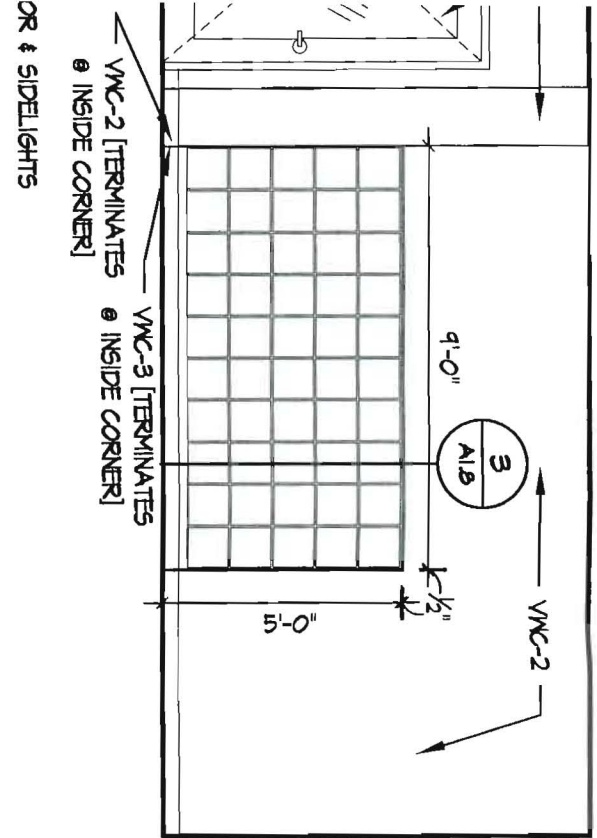
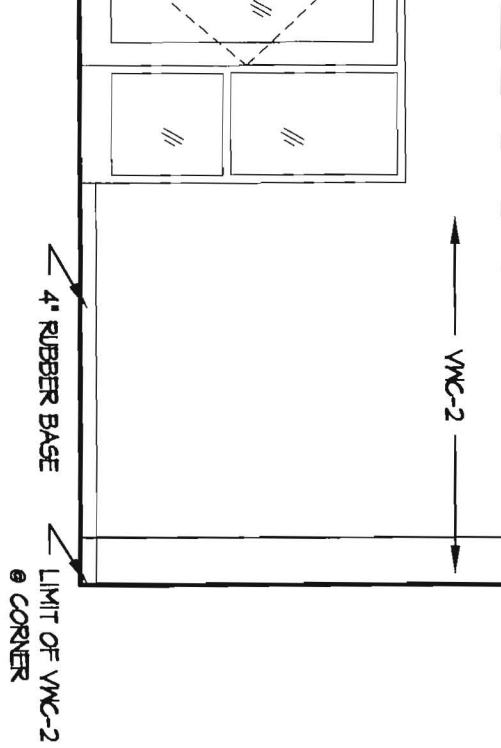
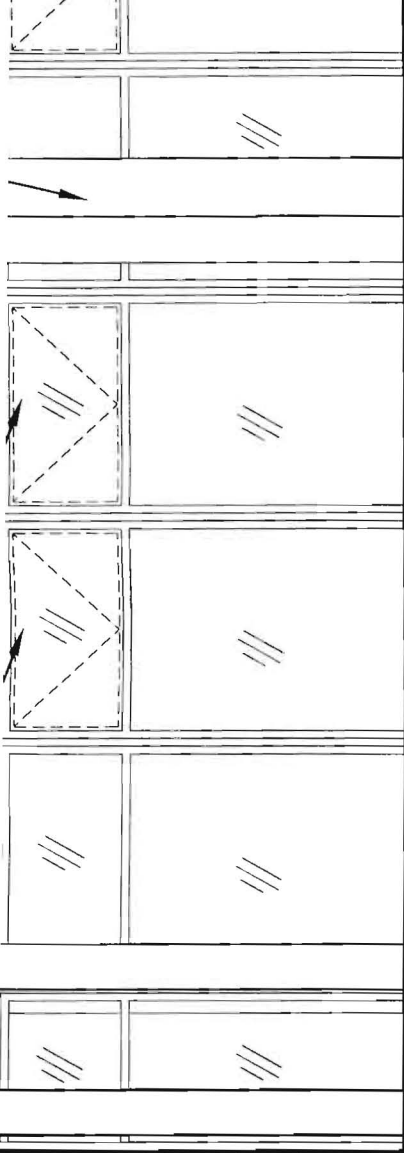
**Comaine - Boardroom Renovation**  
PORTLAND, MAINE

TITLE  
FINISH AND FLOORING PLAN

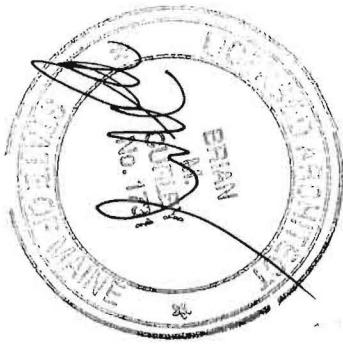
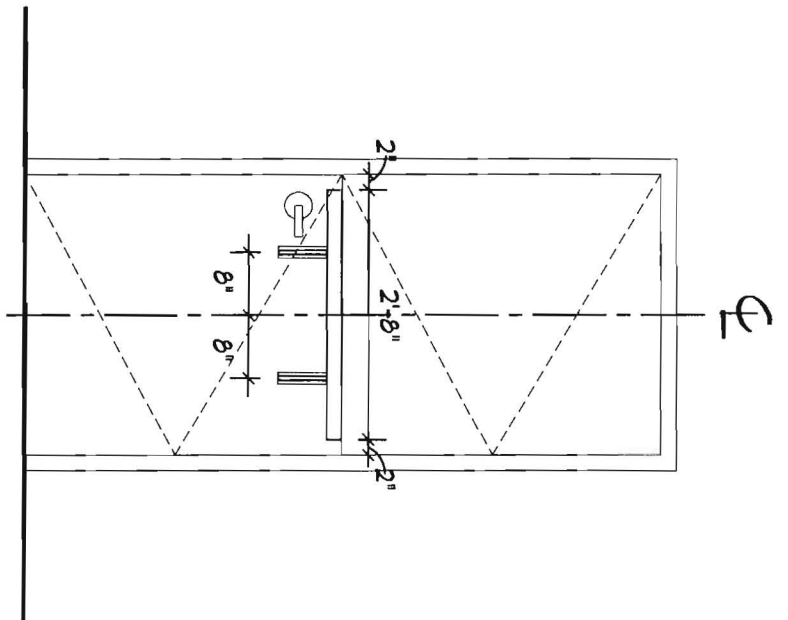
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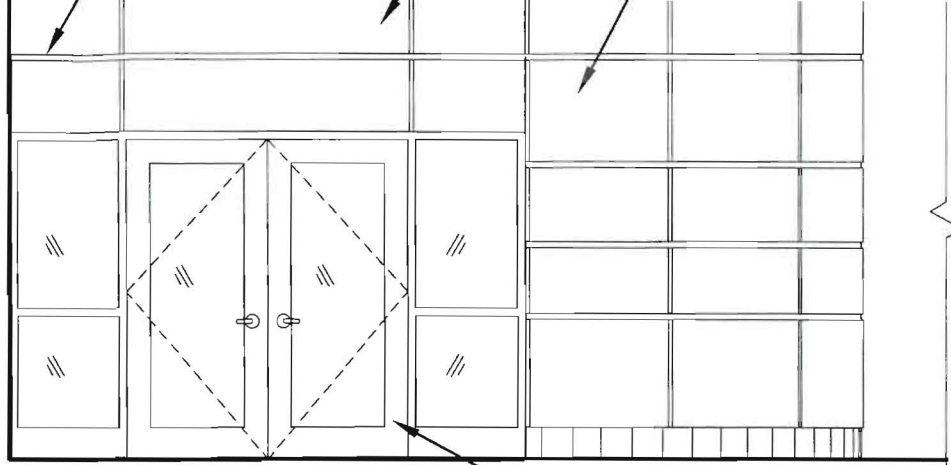
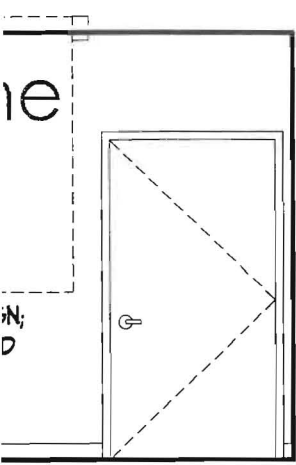
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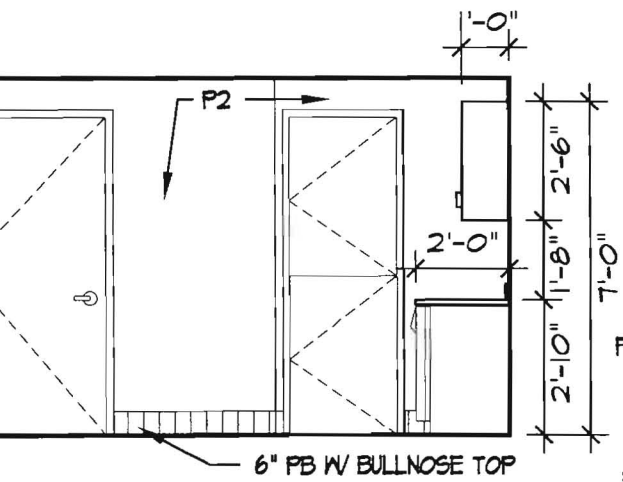
4  
1/2"=1'-0"  
ELEVATION OF DUTCH DOOR





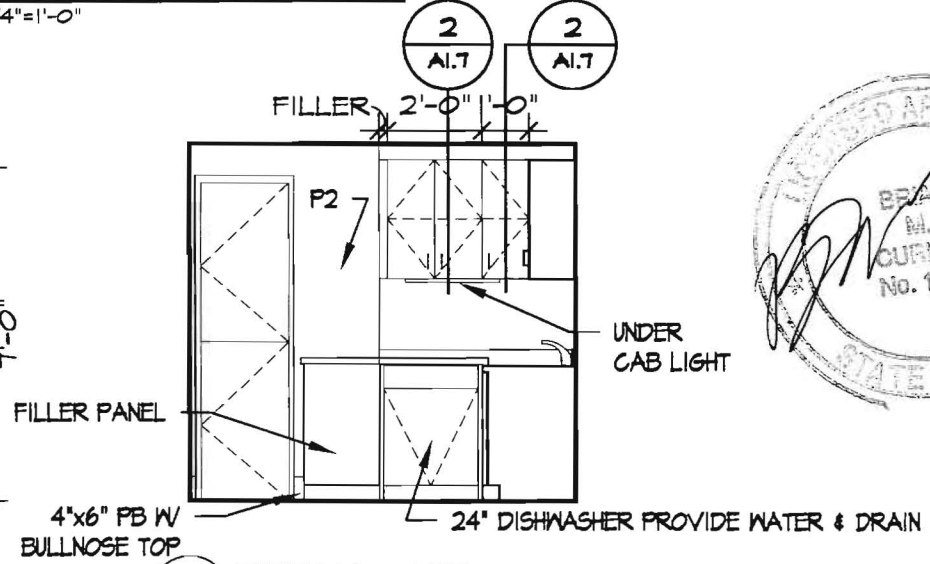
NEW ALUMINUM DOOR AND SIDELIGHT TO MATCH EXISTING FINISH

5 LOBBY - 102  
1/4"=1'-0"



6" PB W BULLNOSE TOP

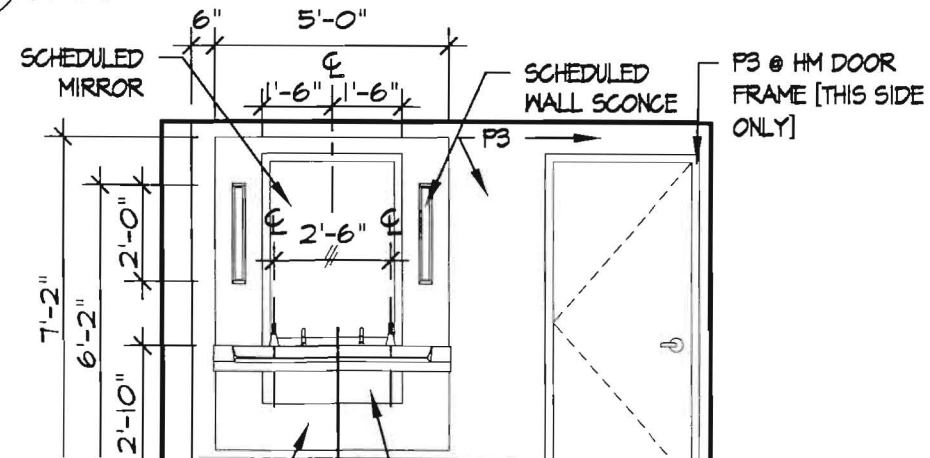
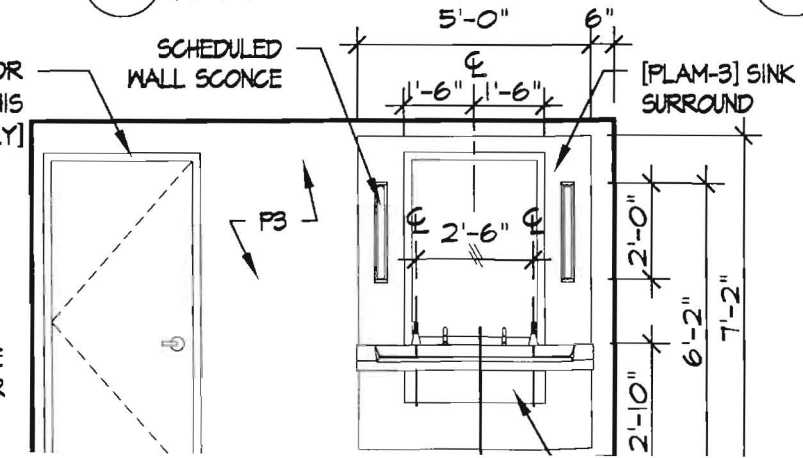
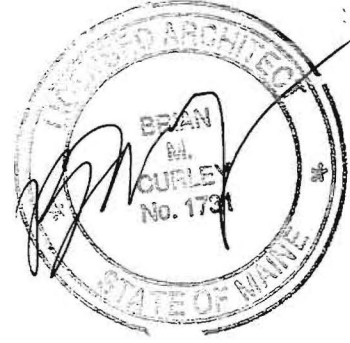
7 BREAK - 105  
1/4"=1'-0"



4"x6" PB W BULLNOSE TOP

24" DISHWASHER PROVIDE WATER & DRAIN

8 BREAK - 105  
1/4"=1'-0"

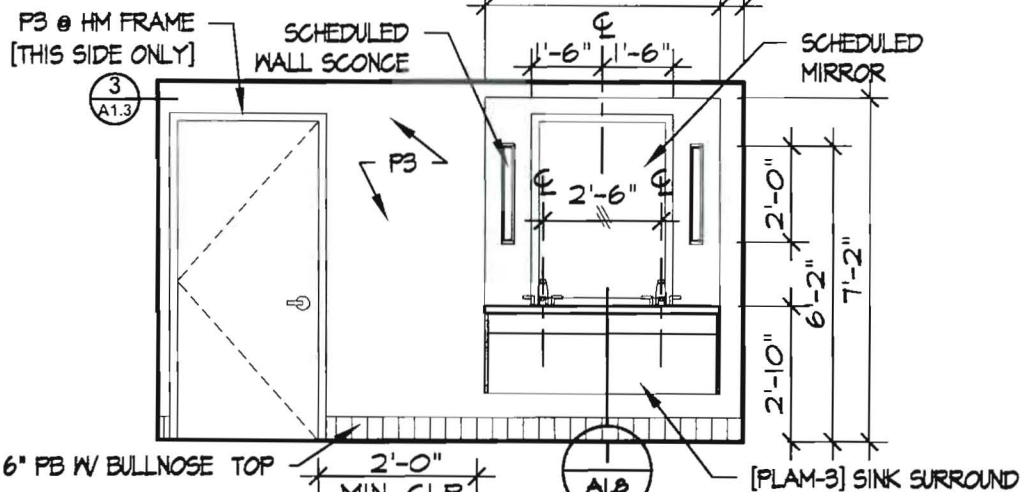
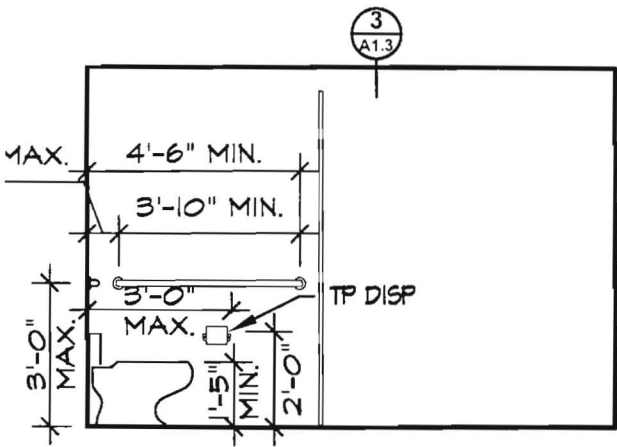


EcoMaine - Boardroom Renovation  
PORTLAND, MAINE

JOB #	10-034
DATE	18 JANUARY 2011
SCALE	1/4"=1'-0"

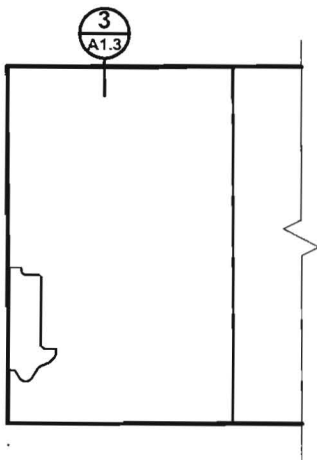
TITLE  
INTERIOR ELEVATIONS

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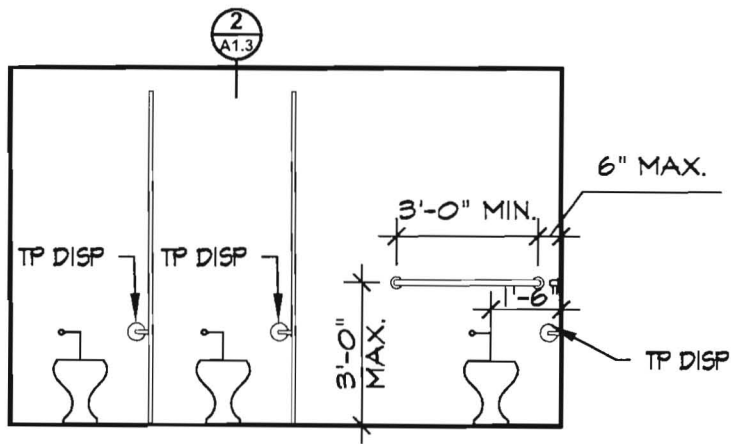


12 MEN'S - 113 [BASE BID]  
1/4"=1'-0"

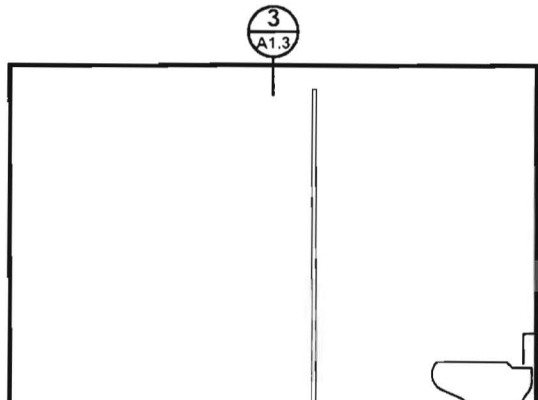
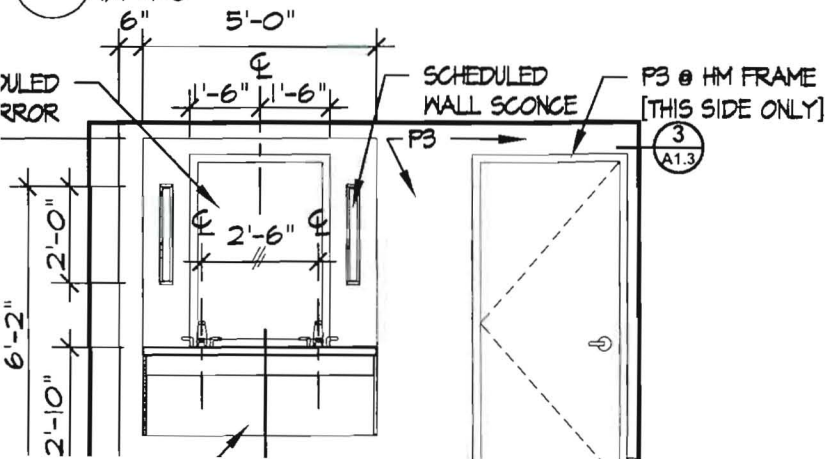
11 MEN'S - 113  
1/4"=1'-0"



14 MEN'S - 113 AT CMU SCREEN  
1/4"=1'-0"



15 WOMEN'S - 114  
1/4"=1'-0"



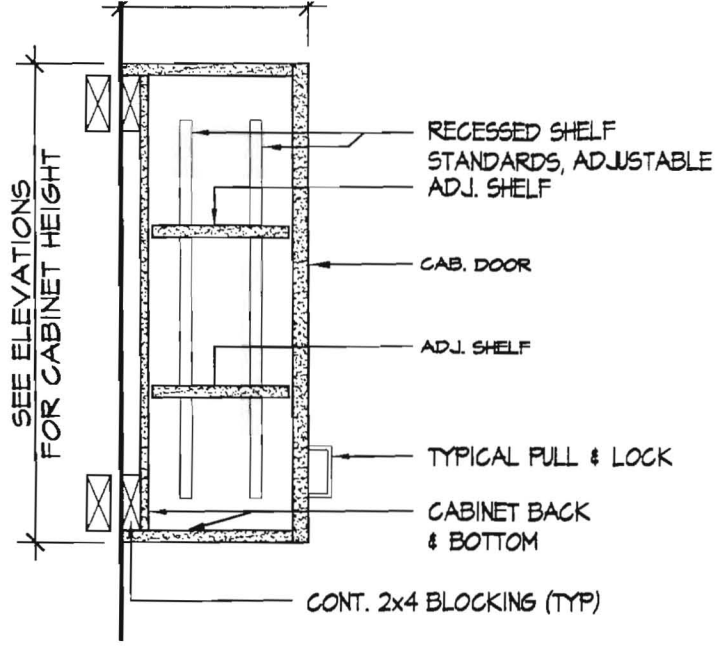
EcoMaine - Boardroom Renovation  
PORTLAND, MAINE

JOB # 10-034  
DATE 18 JANUARY 2011  
SCALE 1/4"=1'-0"

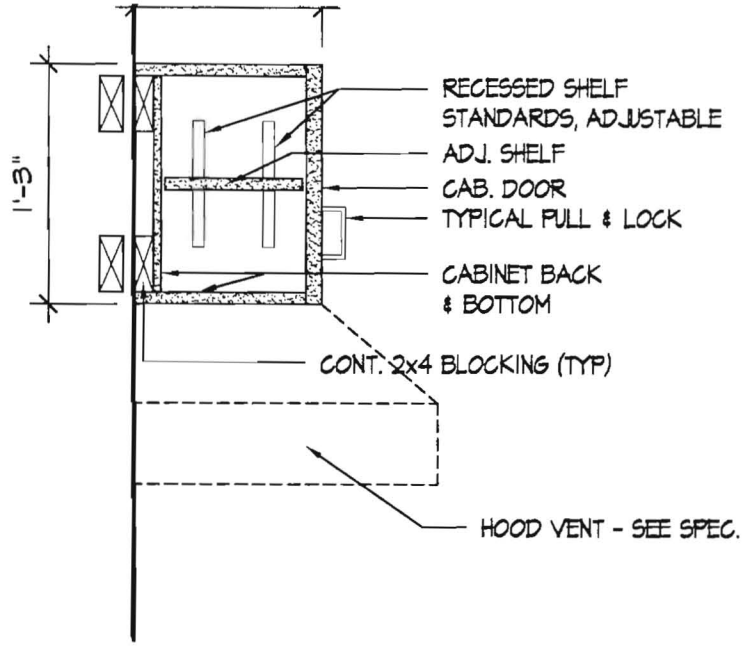
TITLE  
INTERIOR ELEVATIONS

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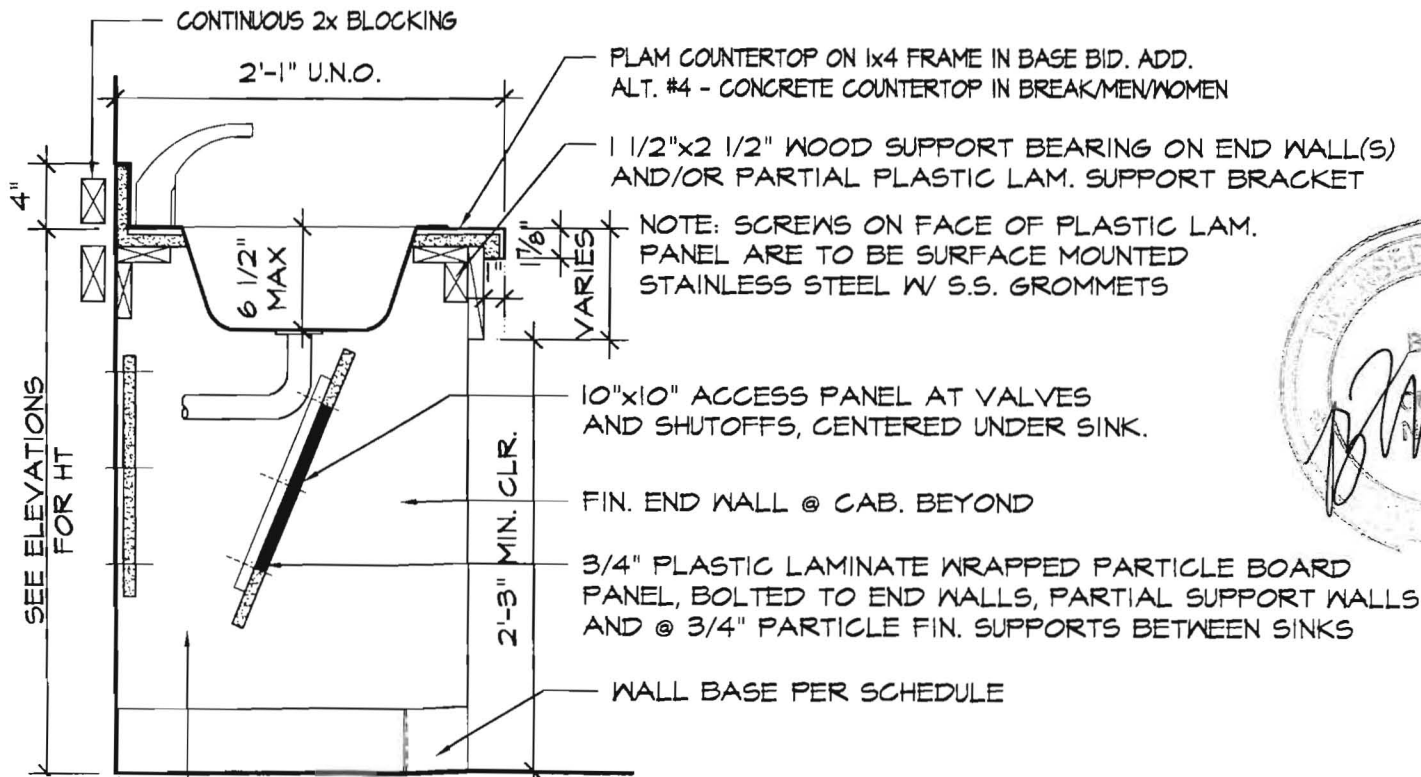
ARCHITECTURE  
INTERIOR DESIGN  
PLANNING  
1 DARTMOUTH STREET  
PORTLAND, MAINE 04101  
www.pdtarchts.com



2 UPPER CABINET DETAIL  
1"=1'-0"



3 UPPER CABINET DETAIL W/HOOD  
1/4"=1'-0"



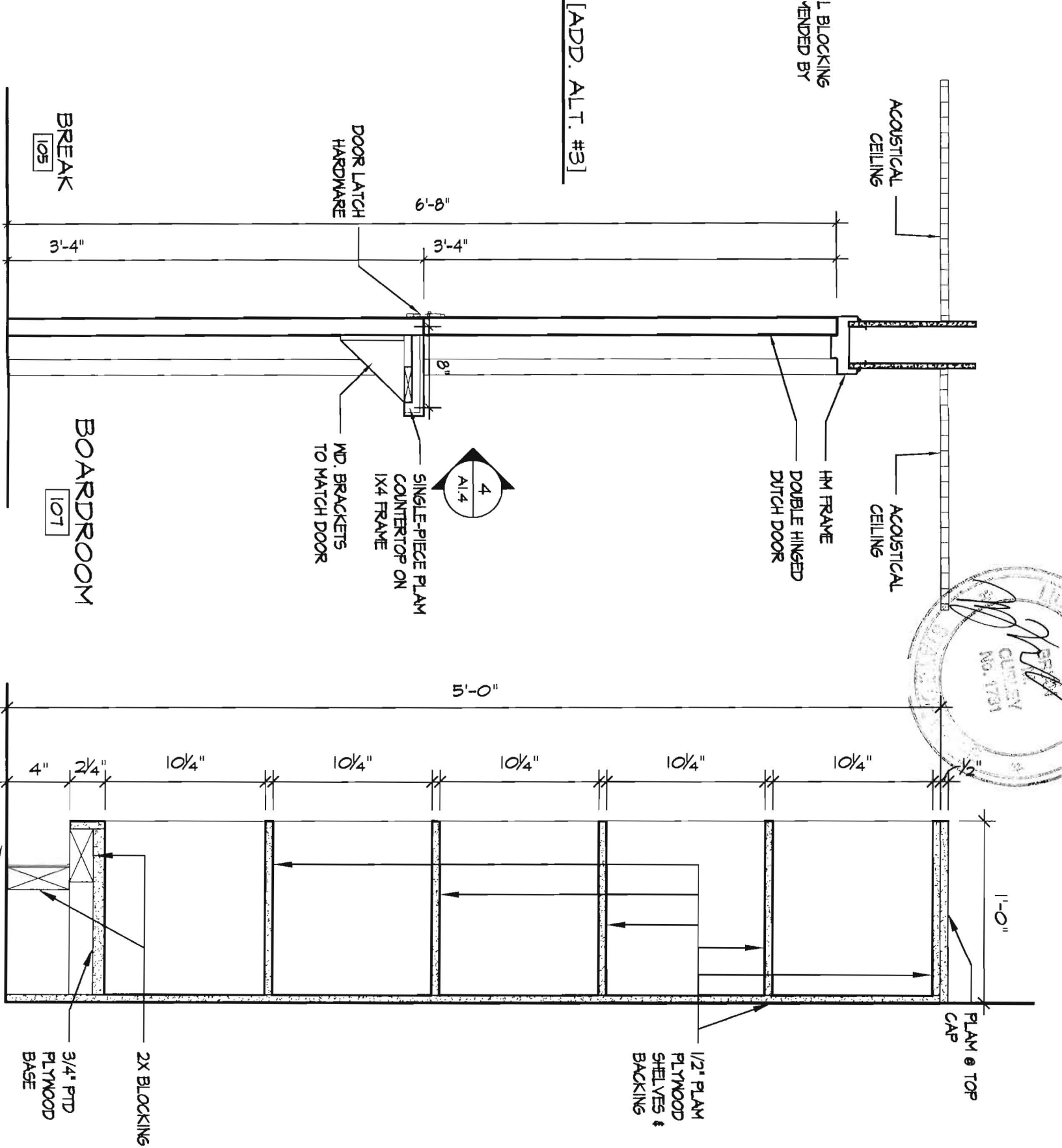
EcoMaine - Boardroom Renovation  
PORTLAND, MAINE

JOB #	10-034
DATE	18 JANUARY 2011
SCALE	1/4"=1'-0"

TITLE  
CASEWORK DETAILS

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[ADD. ALT. #3]

L BLOCKING  
RENDERED BY

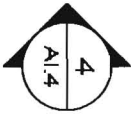
ACOUSTICAL  
CEILING

ACOUSTICAL  
CEILING

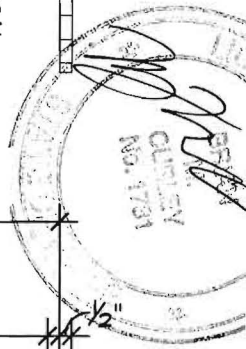
HM FRAME  
DOUBLE HINGED  
DUTCH DOOR

MD. BRACKETS  
TO MATCH DOOR

SINGLE-PIECE PLAN  
COUNTERTOP ON  
1X4 FRAME



5'-0"



BREAK  
105

BOARDROOM  
107

4" 2 1/4" 10 1/4" 10 1/4" 10 1/4" 10 1/4" 10 1/4" 1/2"

3/4" PTD  
PLYWOOD  
BASE

2X BLOCKING

1/2" PLAN  
PLYWOOD  
SHELVES &  
BACKING

1'-0"  
PLAN @ TOP  
CAP

ARCHITECTURE  
SUPERIOR DESIGN  
PLANNING

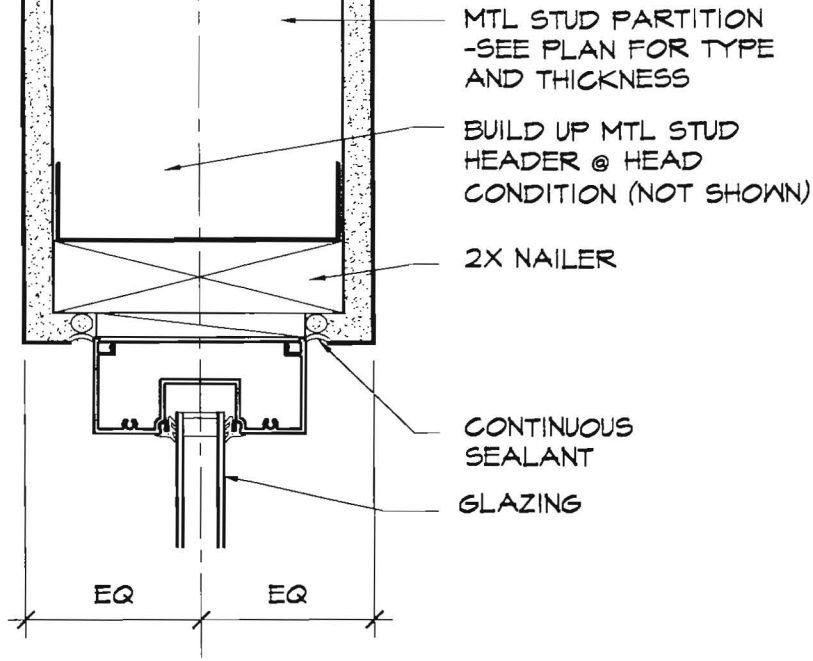
10 DARTMOUTH STREET  
PORTLAND, MAINE 04101  
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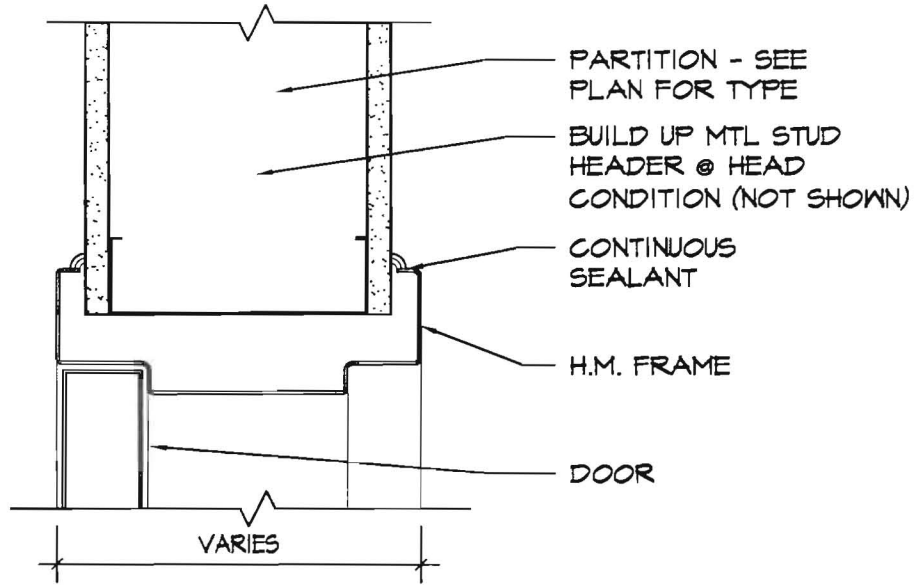
EcoMaine - Boardroom Renovation  
PORTLAND, MAINE

TITLE  
CASEWORK DETAILS

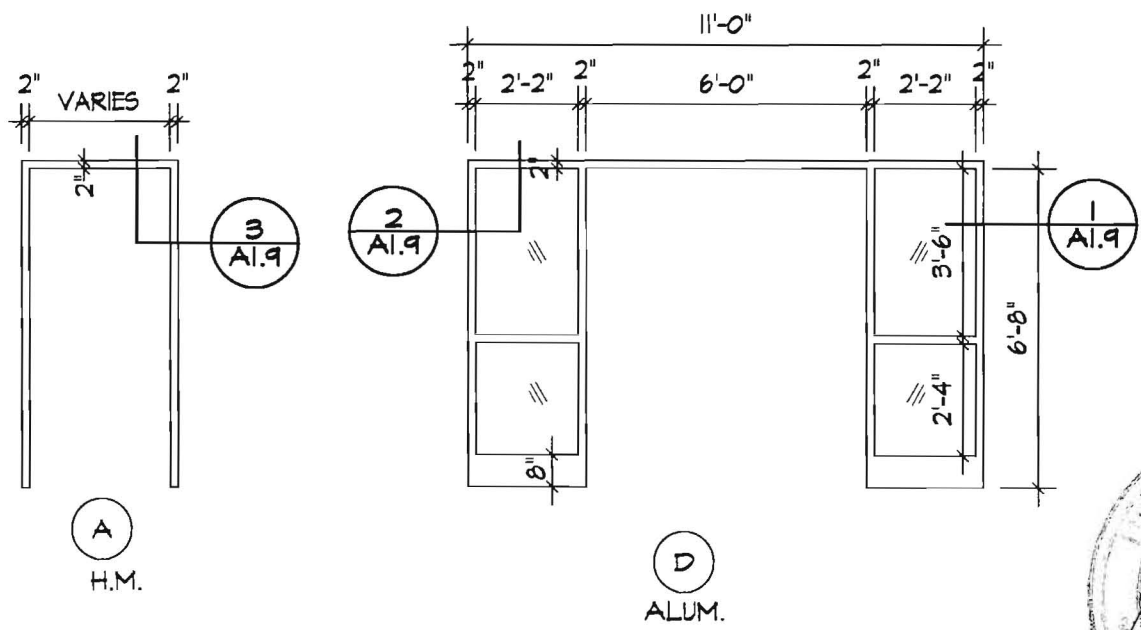
JOB #	10-034
DATE	18 JANUARY 2011
SCALE	1/4"=1'-0"



ALUM. FRAME DETAIL  
1"=1'-0"



3 TYP. FRAME DETAIL  
3"=1'-0"



A  
H.M.

D  
ALUM.



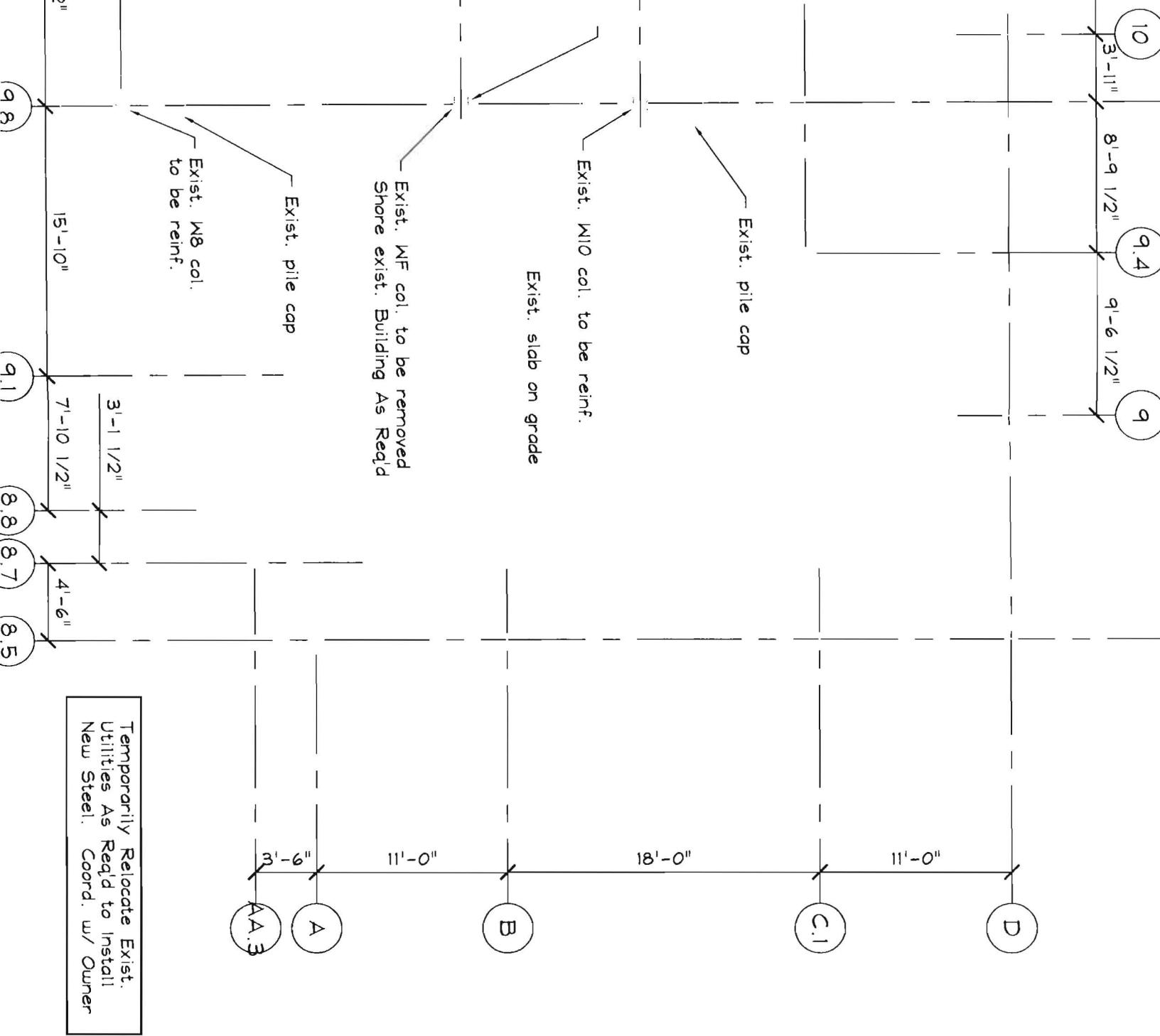
EcoMaine - Boardroom Renovation  
PORTLAND, MAINE

JOB # 10-034  
DATE 18 JANUARY 2011  
SCALE AS NOTED

TITLE  
DOOR AND FRAME  
DETAILS

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INTERIOR DESIGN  
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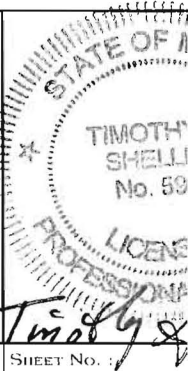
**SHELLEY ENGINEERING, INC.**

STRUCTURAL CONSULTANTS  
 90 BRIDGE STREET  
 WESTBROOK, MAINE 04092  
 PHONE (207) 854-5465  
 FAX (207) 854-8706  
 WWW.SHELLEYENGINEERING.COM

**EcoMAINE  
 BOARDROOM RENOVATION**

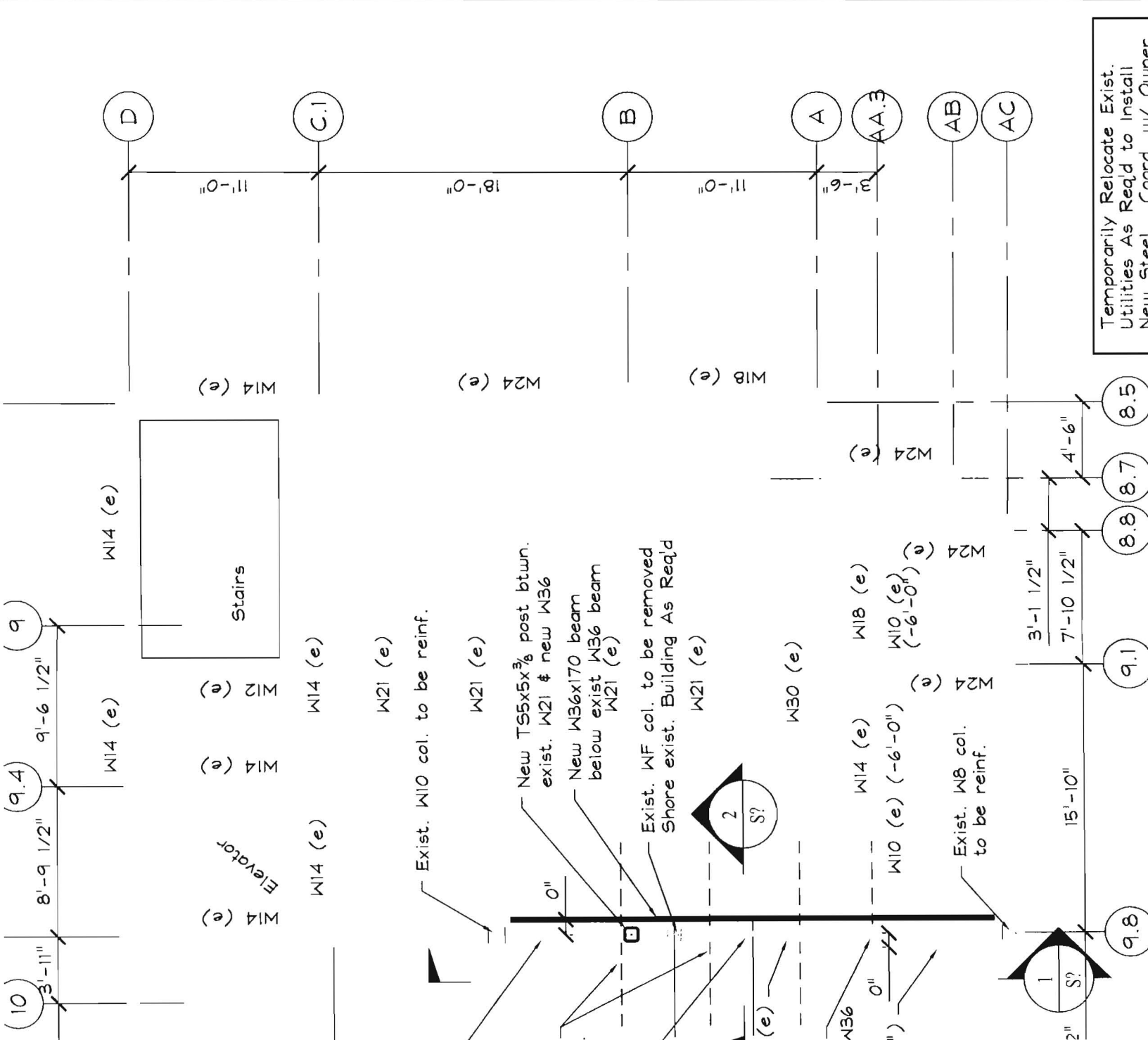
PORTLAND

MAINE



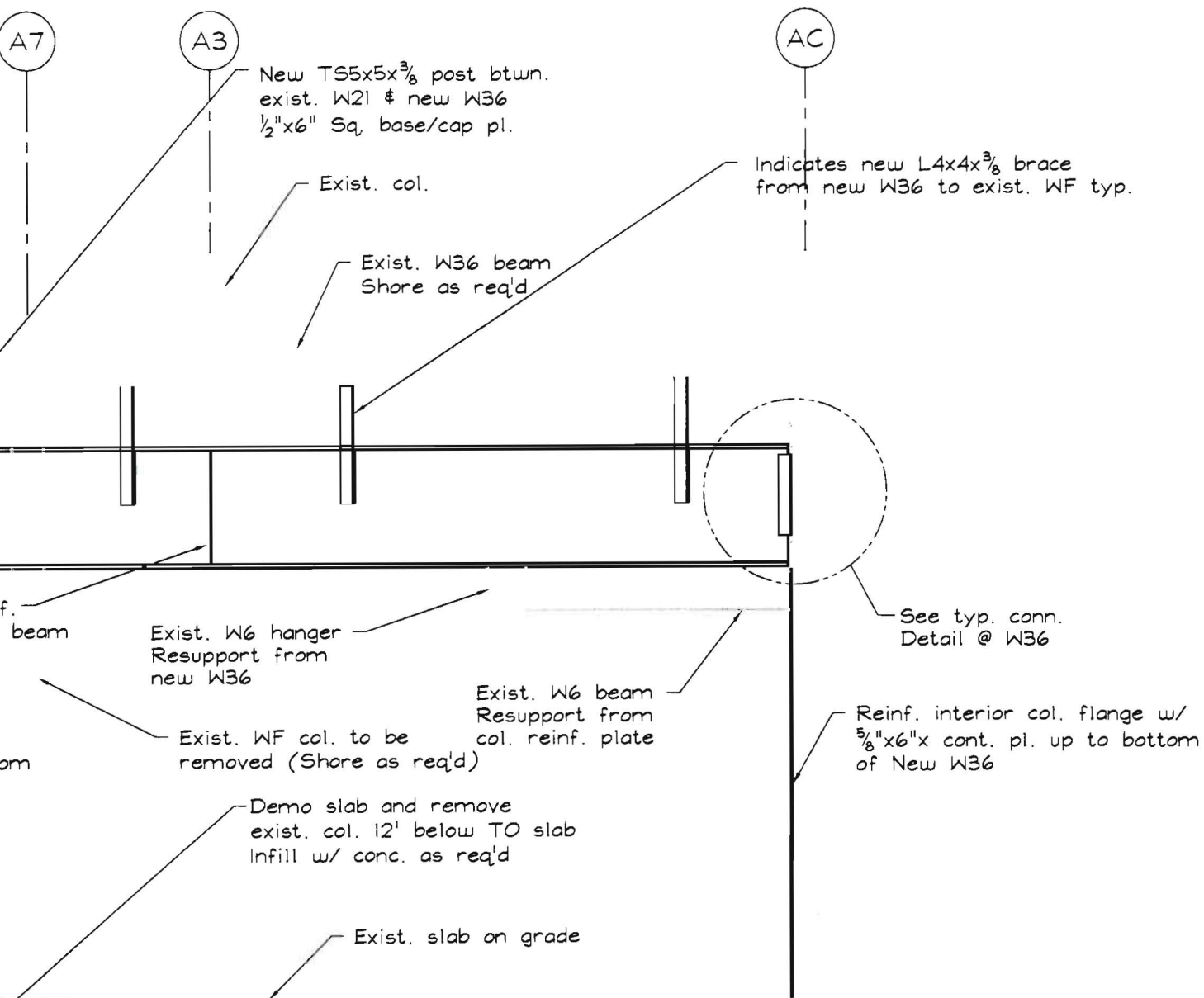
Checked By: PDJ	Checked By: PDJ	Scale: AS NOTED	Date: 12/10/10	Job No.: 2010-167	Sheet No.: S1 c
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PDJ	Checked By:	Scale:	Date:	Job No.:	Sheet No.:
PDJ	AS NOTED	12/10/10	2010-167	MAINE	S2 0
SHELLY ENGINEERING, INC. 90 BRIDGE STREET WESTBROOK, MAINE 04092 PHONE (207) 854-5465 FAX (207) 854-8706 WWW.SHELLEYENGINEERING.COM			PORTLAND ECOMAINE BOARDROOM RENOVATION		



Temporarily Relocate Exist. Utilities As Req'd to Install New Steel Column





**ECOMAINE**  
**BOARDROOM RENOVATION**

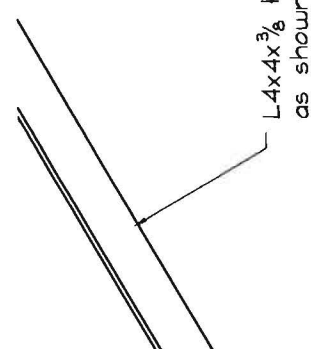
PORTLAND

MAINE  
*Timothy Shell*  
SHEET No. : S3 0

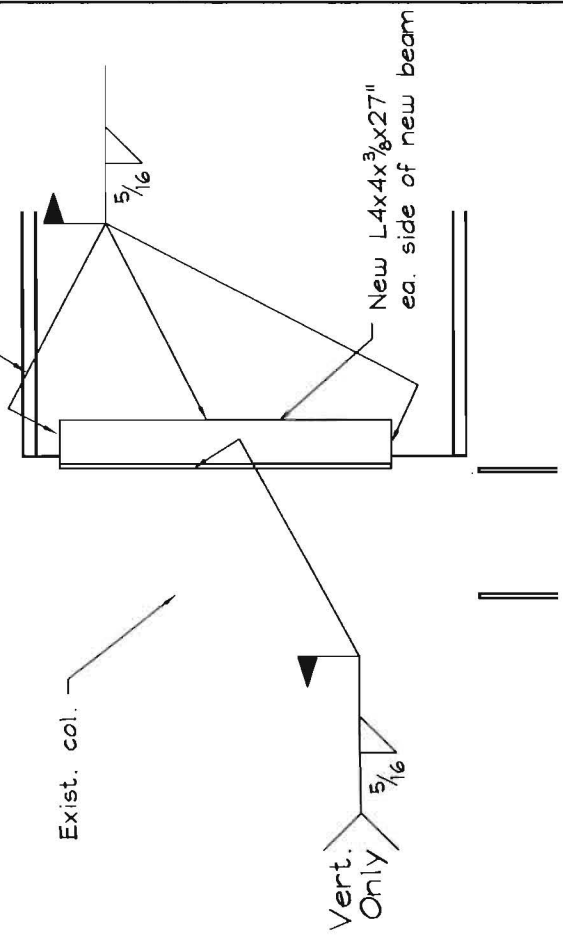
**SHELLEY ENGINEERING, INC.**  
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SCALE:	AS NOTED				

Exist. WF

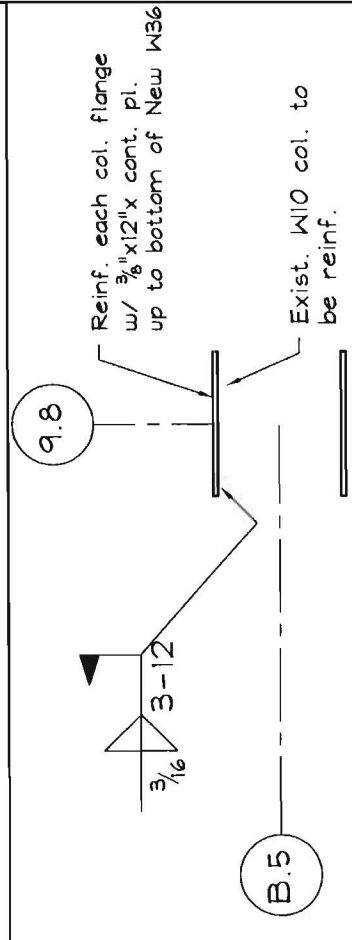


10"x10" Stiff. pl.



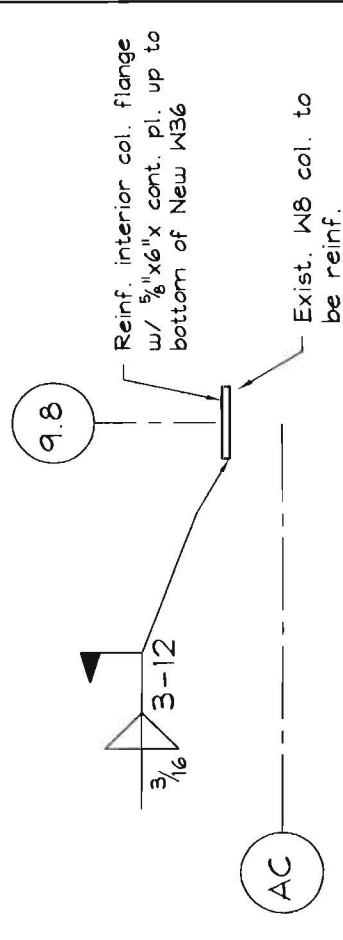
### W36 CONN. DETAIL

SCALE 3/4" = 1'-0"



### W10 COL. REINF. DETAIL

SCALE 3/4" = 1'-0"



# EGOMAINE BOARDROOM RENOVATION

PORTLAND MAINE

SHELLEY ENGINEERING, INC.  
 STRUCTURAL CONSULTANTS  
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SCALE:

AS NOTED

Date:

12/10/10

Job No.:

2010-167

Sheet No.:

S4 of

DESIGN SHALL CONFORM TO AISC "SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL" 9th EDITION.

2. ALL STEEL SHAPES AND PLATES TO BE ASTM A36 UNLESS NOTED OTHERWISE. ALL WF SHAPES TO BE ASTM A992
3. STRUCTURAL TUBING SHALL CONFORM TO ASTM A500, GRADE B. STEEL PIPES SHALL BE A53, GRADE B
4. ALL BOLTED CONNECTIONS SHALL BE MADE WITH  $\frac{3}{4}$ "  $\phi$  ASTM A325 HIGH STRENGTH BOLTS.
5. WELDING SHALL BE IN ACCORDANCE WITH AWS D1.1 - LATEST EDITION. ALL WELDS SHALL BE MADE WITH E70XX ELECTRODES.
6. STEEL BEAMS AND COLUMNS SHALL BE CUT FROM FULL LENGTH STOCK. UNAUTHORIZED SPLICES WILL BE CAUSE FOR REJECTION.
7. STRUCTURAL STEEL SHALL BE PAINTED WITH A SHOP APPLIED COAT OF THE FABRICATOR'S RUST INHIBITIVE PRIMER.
8. SUBMIT COMPLETE STRUCTURAL STEEL SHOP DRAWINGS FOR REVIEW PRIOR TO ANY STEEL FABRICATION.



SHELLEY ENGINEERING, INC.

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EcoMAINE  
 BOARDROOM RENOVATION

PORTLAND MAINE  
 Timothy Shell

CHECKED BY:	PDJ	DATE:	12/10/10	JOB NO.:	2010-167
SCALE:	AS NOTED				
SHEET No. 1 OF 1 S5 C					