Form # P 04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND B CTION PERMIT ISSUED PERMIT Permit Number: 040861 JUL 07 2004 This is to certify that W.H. Nichols Company/Sheri Corpor

tion

AT 2400 Congress St

Please Read

Application And

Notes, If Any,

Attached

provided that the person or persons, cf the provisions cf the Statutes of the construction, maintenance and u this department.

has permission to Build 27x26 dumpster shed r

Apply to Public Works for street line and grade if nature of work requires such information.

OTHER REQUIRED APPROVALS

Fire Dept. 12 9mil

Health Dept. Appeal Board Other

DepartmentName

ication insped n must g and w n permis n procu b re this I dina or t thered Id d or d osed-in. R NOTICE IS REQUIRED.

of buildings and sa

ne and of the

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

epting this permit shall comply with all

stures, and of the application on file in

ances of the City of Portland regulating

CITY OF PORTLAND

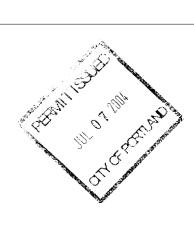
236_A003001

PENALTY FOR REMOVINGTHIS CARD

				**	FMIT ISSU	ä	
City of Portland, Main	na Ruilding ar Uga	Dormit Application	Permit No:	<u> </u>		CBL:	
389 Congress Street, 0410		* *	' ¹¹	1 3	JUL 0 7 2004	1 12)3001
Location of Construction:	Owner Name:	- (207) 074 07	Owner Addres			Phone:	
2400 Congress St	W H Nichols	Company	6035 Parkla	9	TY CF FORTU		
Business Name:	Contractor Nam		Contractor Ad		Total Market Control	Phone	
	Sheridan Corp	ooration	PO Box 359	Fairfield		207453931	11
Lessee/Buyer's Name	Phone:		Permit Type:				Zone:
			Alterations	- Commercia	.1		I-1
Past Use:	Proposed Use:		Permit Fee:	Cost of	Work: CH	O District:]
Dumpster pad w/tarp cover	Dumpster pad	w/shed roof	\$255	5.00 \$2	5,090.00	3	
	į		FIRE DEPT:	Approv	ed INSPECT		
				Denied	L Dise Group	[[- (Type 🏒
						-1/11	100
Proposed Project Description:			-			~ 1/6K	
Build 27x26 dumpster shed	roof over		G:	In total	n c:	(W. 11	
dumpster dumpster sned	1001 0 vei		Signature.	Ad NW	Signature	CAUL	<u> </u>
T			l				
			Action:	Approved	Approved w/Cor	iditions I	Denied
			Signature:		Da	nte:	
Permit Taken By:	Date Applied For:		Zo	ning Appr	oval		
jodinea	06/24/2004			BPP-	O 7 0. 2		
1. This permit application	does not preclude the	Special Zone or Review	ews	Zoning Appeal	1	Historic Preser	vation
Applicant(s) from meeti Federal Rules.		Shoreland	_ v	'ariance		Not in District	or Landma
2. Building permits do not septic or electrical work		Wetland	N	liscellaneous		Does Not Requ	iire Review
3. Building permits are voi within six (6) months of	the date of issuance.	Flood Zone	□ C	onditional Use		Requires Revie	:w
False information may in permit and stop all work	· ·	Subdivision	_ Ir	nterpretation		Approved	
		* 3004 - C11	7 A	pproved		Approved w/Co	onditions
		Maj Minor MAM		enied		Denied	
		Date:	Date:)ate:		<u> </u>
		1 2000 - 7/1/10	<u> </u>		741		
		CERTIFICATION	ON				
I hereby certify that I am the of have been authorized by the urisdiction. In addition, if a phall have the authority to enter such permit.	owner to make this appli permit for work described	med property, or that the cation as his authorized the in the application is is	ne proposed we l agent and I a ssued, I certify	gree <i>to</i> confor that the code	rm <i>to</i> all appli official's auth	cable laws of orized repres	f this sentative
SIGNATIJRE OF APPLICANT		ADDRESS	<u> </u>	DA	ΛΤΕ	PHONE	 3
RESPONSIBLE PERSON IN CHAR	RGE OF WORK TITLE			DA	TF	PHONE	

City of	Portland. Ma	ine - Ru	ilding or Use Permit			Permit No:	Date Applied For:	CBL:	
•	,		(207) 874-8703, Fax: (2		I-8716	04-0861	06/24/2004	236 A003001	
	of Construction:		Owner Name:	,	_	Owner Address:		Phone:	_
2400 Co	ongress St		W H Nichols Company	y		6035 Parkland Blv	rd	() 761-9117	
Business N	Name:		Contractor Name:			Contractor Address:		Phone	
			Sheridan Corporation			PO Box 359 Fairfi	eld	(207) 453-9311	
Lessee/Bu	yer's Name		Phone:]	Permit Type:			
						Alterations - Com	mercial		
Proposed	Use:		1	[]	Propose	d Project Description:			_
Dumpst	er pad w/shed roof	?			Build	27x26 dumpster sh	ed roof		
1	•					•			
				i i					
								✓	
l								_	
Dept:	Building	Status:	Approved with Conditions	s Rev i	iewer:	Mike Nugent	Approval Da	ate: 07/06/2004	
Note:								Ok to Issue:	
1) Stee	l erection subject t	o Special	Inspections see Statement	t of S/I fro	om She	ridan Corp			
1) 5100	refeetion subject	o special	mspections see Statement	101 5 /1 110	JIII DIIC	ridan Corp.			
Dept:	Fire	Status:	Approved with Conditions	s Rev i	iewer:	Lt. MacDougal	Approval Da	ate: 07/01/2004	
Note:								Ok to Issue:	
1) If the	e dumpster enclos	ure is con	npletely enclosed, the sprin	ıkler syste	em sha	ll be extended to th	e structure.		
							~-		
Dept:	Fire	Status:	Approved	Revi	iewer:	Lt. MacDougal	Approval Da		
Note:								Ok to Issue:	
-	Planning	Status:	Approved	Revi	iewer:	Sarah Hopkins	Approval Da		
Note:								Ok to Issue:	
Comme	nts•								
		aa mama	attached to permit, faxed to	o Dana Sa	turdiya	nt			
11212004	injii. Oli fiolu S	ce memo	anacheu to permit, raxed t	o Dalia Si	ıuıuıva	.111			

responded appropriately...mjn



CITY OF PORTLAND, MAINE DEVELOPMENT REVIEW APPLICATION

PLANNING DEPARTMENT PROCESSING FORM **Zoning Copy**

2004-0117

	-	7	Zoning Copy	Application I D. Number
W H Nichols Company			•	6111/04
Applicant			$\overline{\mathcal{A}}$	Application Date
6035 Parkland Blvd, Cleveland	,ОН 44124		ı	Dumpster Shed Roof
Applicant's Mailing Address				Project Name/Description
			2400 - 2400 Congress St, Portla	nd, Maine
Consultant/Agent	Agent Fev		Address of Proposed Site 236 A003001	
Agent Ph: Applicant or Agent Daytime Telep	Agent Fax:		Assessor's Reference: Chart-Block	c-l ot
Proposed Development (check all		New Building Bu	ilding Addition [] Change Of Use	
•		L	, ,	Residential , Office [Retail
Manufacturing Wareh	ouse/Distribution	Parking Lot	Other (spe	· · · · · · · · · · · · · · · · · · ·
Proposed Building sauare Feet of	#of Units	Acreage	of Site	Zoning
Check Review Required:). Coule alia sia	i.a.a	L L DAD Borious	14-403 Streets Review
Site Plan (major/minor)	Subdivis # of lots	ion	PAD Review	14-403 Streets Neview
				DED. 10
Flood Hazard	Shorelar	nd	HistoricPreservation	DEP Local Certification
Zoning Conditional Use (ZBA/PB)	□ ^¹ Zoning \	/ariance		Other
Fees Paid: Site Plan	Subdivis	sion	Engineer Review	Date:
Zanina Annuaval Ct	-4		Reviewer	
Zoning Approval Sta		a dudConditions		
Approved	Approvi See Atta	ed w/Conditions	Denied	
	See Alla	acried		
Approval Date	Approval	I Expiration	_ Extension to	Additional Sheets
		. ~ _		Attached
Condition Compliance	sk	gnature	date	
- · · · · · · · · · · · · · · · · · · ·				
Performance Guarantee	Require	a.	Not Required	
• No building permit may be issue	ed until a performance	∍ guarantee has been :	submitted as indicated below	
Performance Guarantee Acce	epted			
. ,		date	amount	expiration date
Inspection Fee Paid				
		date	amount	
Building Permit Issued				
		date		
Performance Guarantee Red	uced			
		date	remaining balance	signature
Temporary Certificate of Occi	upancy		Conditions (See Attached)	
		date		expiration date
Find Inspection				
		date	signature	
CertificateOf Occupancy				
		date		
Performance Guarantee Rele	ased			
		date	signature	
Defect Guarantee Submitted				
		submitted date	amount	expiration date



Commercial Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: N1	FOR	ETLAND; 2400 CON	GREES ST;
Total Square Footage of Proposed Structure	SOFT	Square Footage of Lot	NO CHANGE
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 236 A- 003	A DIVI	JICHOLS PORTLAND SION OF R HANNIFIN CORP.	Telephone: 761 – 9117
Lessee/Buyer's Name (If Applicable)	NICHO. Z400 FORTU	ame, address & telephone: LS FORTLAND CONGRESS ST. AND, ME O 04102 CHAEL BREWER	Cost Of Work: \$ 25,090 00 Fee: \$ 246 81
Current Specific use: DUMPST	ER "	PAD W/ TAR	
Proposed Specific use:	er Pad	W/ SHED !	200F
Project description: 27 × 26 ' I	DUM PS	TEL SHED RI	00F@
CURRENT '	DUMPS	TER LOCATION.	SEE ATTACHED
PLANI			
Contractor's name, address & telephone:	E SHE	RIDAN CORPOR	ATION
Who should we contact when the permit is read	•		
Mailing address: 33 SHERIDA	an DA	₹,	
FAIRFIELD, MI	E 04°	Phone:	453-9311

Please submit all of the information outlined in the Residential Application Checklist, Failure to do so will result in the automatic denial of your permit.

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Little Chall, PROSECT MAN, Date: 6/21/04

Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$9.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

Memorandum

To: Dana Sturdivant

From: Mike Nugent/Manager of Inspection Services

Date: 07/02/2004

Re: 2400 Congress St. (236 A003)

I have commenced reviewing the plans for the above project and need the following information:

- 1) Please provide the design standard that was used in calculating the Flat Roof Snow Load.
- Please provide a code justification for the omission of footings for three of the four w18 x 31 vertical supports.
- 3) Is there any structural impact on the existing structure, ie additional loads to the abutting walls?
- There is no source information for the steel, nor a fastener plan, sheathing and finish schedule fore the roofing materials.
- 5) This project will require Special Inspections for the Steel and fasteners pursuant to Section 1705 of the Code.
- There is a vent for an appliance of some sort shown in the photo's. Please provide a plan showing how this will be redirected and also what type of appliance it vents.

1

sheridan

The Sheridan Corporation

PO Box 359, Fairfield, ME 04937 Phone (207)453-9311, Fax (207) 453-2820

PO Box 689, Westbrook, ME 04098 Phone (207) 774-6138, Fax (207) 774-2885

www.sheridancorp.com

DATE

ATTENTION

LETTER OF TRANSMITTAL

Mr. Michael Nugent

place C. Storm

6-22-04

JOB NO.

83864

				<u>-</u>	RE	Nichols of Por	rtland	
	Codo Office				Struc	ctural Plan for Bu	uilding Permit	
ТО	Code Office				Nicho	ols of Portland	-	
(City Hall					Congress Street and, Maine	it.	
-	389 Congress	St., Rm. 3	15, Portland	, Maine 04101		,		
_		,	,	<i>,</i>	-			
GENTI	EMEN:							
	E ARE SENDING	YOU 🗆	Attached	☐ Under separate c	over via		th	ne following items
	☐ Shop drawing		Prints	x Plans	· · · · · · · · · · · · · · · · · · ·	mples	<u> </u>	is is is in its initial in the initial in the initial in the initial initial in the initial initial in the initial ini
	X Copy of lette							
		,	Onlangeorder					
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1	6-21-04	N. A.		ermit Application	1			
1	6-22-04	N. A.	P. D. F. Di					
1	6-21-04	N. A.		he amount of \$246				
2	6-18-04	F-1		n and Structural I	Detail Pla	an – stamped		
			(Hand car	ried)				
1	6-11-04	N. A.	Copy of Le	etter to Planning I	Dept-Rec	quest for Site	e Review	
THESE	ARE TRANSMIT	TED as check	ed below:					
	x For approval		□ Approved	as submitted		Resubmit	copi	es for approval
[☐ For your use		☐ Approved	as noted		Submit	copies	for distribution
[3 Asrequested		□ Returned f	or corrections		Return	correc	ted prints
	X For review and	comment						
Ε	FORBIDSDUE	<u> </u>					NED AFTER LOAN TO	US
REMAF								
Please	review this plan.	We request y	our review and	approval of this project	ct at the ear	liest date possib	ole.	
Thank	you.							
COPY 1	o: Wil Ferland	d, Proj. Ma	nager					

Department of Planning & Development Lee D. Urban, Director



Division Directors Mark B. Adelson Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP **Planning**

CITY OF PORTLAND

John N. Lufkin **Economic Development**

June 20,2004

Wilber Ferland

Sheridan Corporation

P.O. **Box** 359

Fairfield, ME 04937

JUN 2 2 2004

RE: W H Nichols Dumpster Shed Roof at 2400 Congress Street

CBL: 236 A003001

Dear Mr. Ferland:

On June 18,2004, the Portland Planning Authority approved the dumpster shed roof at 2400 Congress Street, as shown on the approved plan.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division **at 874-8632.** Please note that **no** Certificates of Occupancy will be issued until all site improvements have been completed and inspected in the field by the Development Review Coordinator.

If there are any questions, please contact Sarah Hopkins at 874-8720.

Sincerely,

cc:

Alexander Jaegerman

Planning Division Director

Sarah Hopkins, Development Review Services Manager

Jay Reynolds, Development Review Coordinator

Marge Schmuckal, Zoning Administrator

Inspections Division

Eric Labelle, City Engineer

Correspondence File

CITY OF PORTLAND, MAINE DEVELOPMENT REVIEW APPLICATION **PLANN Zoning Copy**

VLLOFIVILINI REVIEW AFFLICATION	2004-0117
IING DEPARTMENT PROCESSING FORM	2004-0117
Zoning Copy	Application I. D. Number

W H Nichols Company			6/11/2004
Applicant			Application Date
6035 Parkland Blvd, Cleveland, OF	144124		Dumpster Shed Roof
Applicant's Mailing Address			ProjectName/Description
		2400 - 2400 Congress St. I	Portland, Maine
Consultant/Agent		Address of Proposed Site	
Agent Ph:	Agent Fax:	236 A003001	
Applicant or Agent Daytime Telephor	ne, Fax	Assessor's Reference: Char	t-Block-Lot
Proposed Development (check all that	at apply):	g 🔲 Building Addition 🦳 Change Of Use	Residential Office Retail
☐ Manufacturing ☐ Warehouse		- <u>-</u>	er (specify) Dumpster Shed Roof
			· · · · · · · · · · · · · · · · · · ·
Proposed Building square Feet or # 0	of Units	Acreage of Site	IM Zoning
			5
Check Review Required:			
Site Plan (major/minor)	Subdivision # of lots	PAD Review	14-403 Streets Review
Flood Hazard	Shoreland	☐ HistoricPreservation	☐ DEP Local Certification
Zoning Conditional Use (ZBA/PB)	Zoning Variance		Other
Fees Paid: Site Pla	Subdivision	Engineer Review ,	Date
Zoning Approval Status		Reviewer MANA	Schmudge 0 -
		Alama Bandari	The Condida
Approved	Approved w/Condi See Attached	tions Denied	TI BLEGADO
Approval Date	Approval Expiration	Extension to	Additional Sheets
Condition Compliance			Attached
_	signature	date	
Performance Guarantee	Required*		
* No building permit may be issued u	ntil a performance guarante	ee has been submitted as indicated below	
Performance Guarantee Accepte	d		
	date	amount	expiration date
Inspection Fee Paid			·
moposion ree raid	date	amount	
Building Permit ssue	4410	amount	
Building Fermitissue	date		
Performance Guarantee Reduced		va maining halan a	
	date	remaining balance	signature
Temporary Certificate of Occupar	-	Conditions (See Attached	
	date		expiration date
Final Inspection			
	date	signature	
Certificate Of Occupancy			
	date		
Performance Guarantee Release	d		
	date	signature	
Defect Guarantee Submitted		- J	
25/600 Gadarantee Gabrintea	submitted da	ate amount	expiration date
☐ Defect Guarantee Released	Submitted de	amount	expirationuate
Defect Qualantee Meleaseu	date	oignatura	
	uale	signature	

The Sheridan Corporation



PO Box 359 Fairfield, ME 04937 Phone (207)453-9311 fax (207)453-2820 www.sheridancorp.com

June 11,2004

Sarah Greene Hopkins, Development Review Services Manager City of Portland 389 Congress Street Portland, ME 04101

RE: Nichols Portland; 2400 Congress Street

Proposed Dumpster Shed Roof

Dear Mrs. Hopkins:

Per our conversation on May 25, you informed me that the shed roof we are proposing to construct at Nichols Portland had to go through a staff site review since it was larger than 500 square feet thereby disqualifying the proposed project from an exemption.

Attached are the proposed construction plan view, **a** cross section of the proposed shed roof, and a copy of a photograph depicting the existing site condition (seven copies of each). **As** you see, this shed roof is being constructed **over** an existing impervious surface – asphalt and an exterior concrete slab. **This** structure will not change the storm water flow in any way. The existing slab and asphalt slopes to an existing catch basin, as depicted on the attached sketch and copy of the photo.

Our in-house engineering department is currently drafting the structural drawing and should be forwarding this plan to Mike Nugent next week.

Please review the attached information and give me a call with any questions. If you prefer, I would be more than happy to meet you on site to discuss the proposed project in more detail. I may be reached at **453-9311**.

Also attached is a check for \$400.00, for the staff site review fee.

Sincerely,

Wilbur Ferland Project Manager

Cc: KL, DS, Mike Brewer @ Nichols Portland, File M041011



The Sheridan Corporation

PO Box 359 Fairfield, ME 04937 Phone (207)453-9311 Fax (207)453-2820 www sheridancorp corn

Michael Brewer; Environmental, Health & Safety Manager Nichols Portland 2400 Congress Street Portland, ME 04102

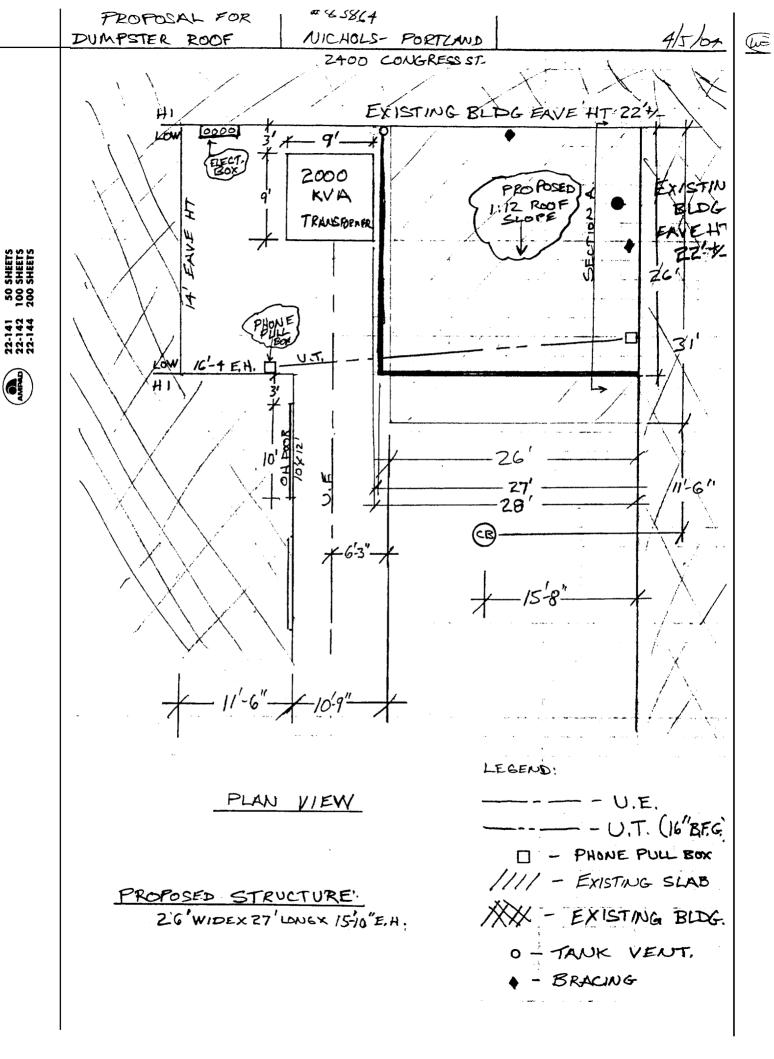
RE: Proposal for Dumpster Shelter.

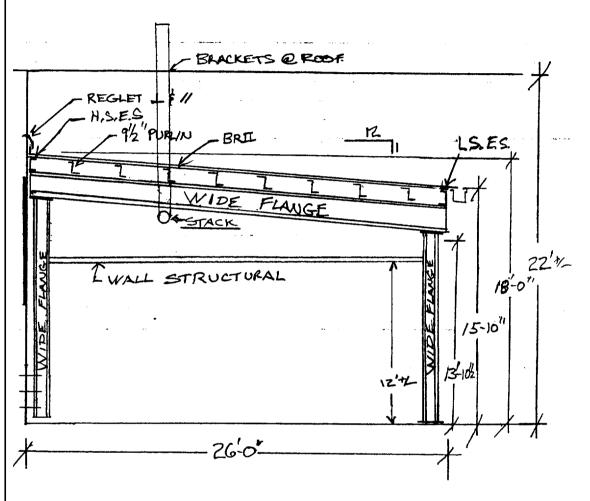
SCC Proposal No.: 83864

Dear Mr. Brewer:

As requested, The Sheridan Corporation is pleased to quote the following scope of work to at your facility.

- 1. Furnish engineered drawings stamped by a professional engineered registered in the state of Maine. The proposed shelter would be designed in accordance with the BOCA '99 code and would be designed for drifting snow from the existing buildings.
- 2. Cut, remove, and dispose of an approximate 4' x 8' area of asphalt pavement to allow for installation of one column footing. Due to the underground utilities, we have planned on hand excavating for this footing.
- 3. Furnish and install one column footing located closest to the garage. The concrete used would have ³/₄" stone and would have a strength design of 3000 PSI. The top of footing would be even with the existing dumpster pad. The anchor bolts would remain exposed. It is assumed that the existing soil has a bearing capacity of 3000 PSF. Two inch high density rigid insulation will be placed at the bottom of the footing. Due to subsurface interferences, the remaining three columns would be clipped / chemically anchored to the existing building foundation curb walls.
- 4. Backfill the footing and patch the demolished pavement area with 2" of asphalt pavement.
- 5. Provide and install a dumpster enclosure that is approximately 26' wide by 27' long by 16' nominal eave height. This enclosure would consist of two main frames, brace rods, roof purlins, Butler's BRII 24 ga. ALZN roof panels, and BRII 26 ga. wall panels from the roof down to 12' above the dumpster slab. Also included would be reglets / flashings cut into the two common masonry walls to seal the roof to the existing building along the rear endwall and rear sidewall. The front endwall would receive a gable trim. An exterior gutter with one downspout would be installed at the low eave. The wall panel, trim, and gutter colors would be selected from Butler's standard color offerings. (See the attached sketches.)
- 6. All structural steel and brace rods would be shop coated with rust inhibitive gray primer.
- 7. Included is one roof flashing to seal the existing boiler stack.





SECTION A.

NOTES:

- I) THIS SKETCH IS NOT TO BE USED

 AS THE FINAL DESIGN. IT IS

 FOR CONCEPTUAL PURPOSES ONLY.
- 2) WALL PANELS ARE NOT DEPICTED.
- 3) BRACING HAS NOT BEEN DEPICTED.

	15.10" 18.01.	NICHOLS.ADV Ver-3.30.0.248 4/5/04 12:56 PM Drawing No.: Rev:
	7-2-	Drawing Title: RSW Perspective Scale:
EXISTING EAVE ATI. 22"H		Building Description:
EXISTIME		Project: Nichols Portland
	ELA COOP FINES	tion 14937
		Builder: The Sheridan Corporation 33 Sheridan Drive Fairfield, ME, U.S.A. 04937
	THE STATE OF THE S	Widespan 3.40 VANTACE Butter Mfa. Co Kansas City, M8



C.B. - CATCH BASIN

Sheridan

The Sheridan Corporation

PO Box 359 Fairfield, ME 04937 Phone (207)453-9311 Fax (207)453-2820 www.sheridancorp.com

June 11,2004

Sarah Greene Hopkins, Development Review Services Manager City of Portland 389 Congress Street Portland, ME 04101

RE: Nichols Portland; 2400 Congress Street Proposed Dumpster Shed Roof

Dear Mrs. Hopkins:

Per our conversation on May 25, you informed me that the shed roof we are proposing to construct at Nichols Portland had to go through a staff site review since it was larger than 500 square feet thereby disqualifying the proposed project from an exemption.

Attached are the proposed construction plan view, a cross section of the proposed shed roof, and a copy of a photograph depicting the existing site condition (seven copies of each). As you see, this shed roof is being constructed over an existing impervious surface — asphalt and an exterior concrete slab. This structure will not change the storm water flow in any way. The existing slab and asphalt slopes to an existing catch basin, as depicted on the attached sketch and copy of the photo.

Our in-house engineering department is currently drafting the structural drawing and should be forwarding this plan to Mike Nugent next week.

Please review the attached information and give me a call with any questions. If you prefer, I would **be** more than happy to meet you on site to discuss the proposed project in more detail. I may be reached at 453-9311.

Also attached is a check for \$400.00, for the staff site review fee.

Sincerely,

Wilbur Ferland Project Manager

Cc: KL, DS, Mike Brewer @ Nichols Portland, File M041011



The Sheridan Corporation

PO Box 359 Fairfield, ME 04937 Phone (207)453-9311 Fax (207)453-2820

Michael Brewer; Environmental, Health & Safety Manager Nichols Portland 2400 Congress Street Portland. ME 04102

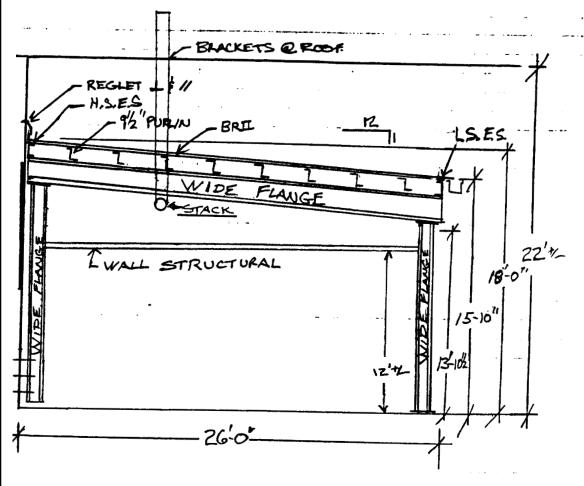
RE: Proposal for Dumpster Shelter.

SCC Proposal No.: 83864

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- **2. Cut,** remove, and dispose of an approximate **4' x** 8' area of asphalt pavement to allow for installation of one column footing. Due to the underground utilities, we have planned on hand excavating for this footing.
- 3. Furnish and install one column footing located closest to the garage. The concrete used would have 3/4" stone and would have a strength design of 3000 PSI. The top of footing would be even with the existing dumpster pad. The anchor bolts would remain exposed. It is assumed that the existing soil has a bearing capacity of 3000 PSF. Two inch high density rigid insulation will be placed at the bottom of the footing. Due to subsurface interferences, the remaining three columns would be clipped / chemically anchored to the existing building foundation curb walls.
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- **6.** All structural steel and brace **rods** would be shop coated with rust inhibitive gray primer.
- 7. Included is one roof flashing to seal the existing boiler stack.

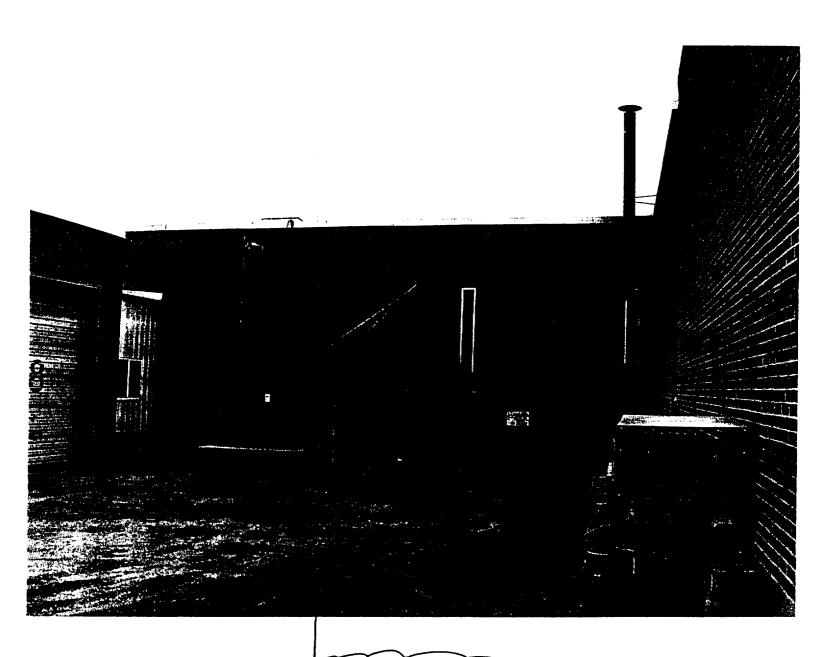


SECTION A.

NOTES:

- I) THIS SKETCH IS NOT TO BE USED AS THE FINAL PESIGN. IT IS
 FOR CONCEPTUAL PURPOSES ONLY.
- 2) WALL PANELS ARE NOT DEPICTED.
- 3) BRACING HAS NOT BEEN DEPICTED.

		1,0,8 1,01,51	NICHOLS.ADV Ver-3.30.0.248 4/5/04 12:56 PM Drawing No.: Rev:
HT: 22 'Y,		15-0	Building Description: Drawing Title: RSW Perspective Scale:
EXISTING EAVE AT. 22"	TY H		Project: Buildin
	ERA COOF		uuider: The Sheridan Corporation 33 Sheridan Drive Fairfield, ME, U.S.A. 04937
	CEAIL)		Widespan The S 33 Sh ADVANTACLE Butler Mig. Co Kansas City, MG



C.B. - CATCH BASIN



The Sheridan Corporation Sheridan Drive Fairfield, Maine 04937 Tel. 207-453-9311

The Sheridan Corporation

PO Box 359 Fairfield, ME 04937 Phone (207)453-9311 Fax (207)453-2820 www.sheridancorp.com

July 2,2004

Codes Office 389 Congress St., Rm 315 Portland, Maine 04101

Attn: Mr. Michael Nugent

Re: Response to Fax

Nichols of Portland

2400 Congress St., Portland, Maine

Dear Mr. Nugent:

This is in response to your faxed comments today. I will address them in the same order as follows:

- 1. Snow Loads We used BOCA 1999 Section 1608.0 for the pertinent subsections that applied to this building. We used 50 pound ground snow which equated to 40.32 pound roof snow load as a base load per BOCA subsection 1608.4. On to that, we added the drifting load per ASCE 7- 1998, Section 7. The "High / Low" conditions in two planes and were taken into account.
- 2. Column Supports Three of the four columns have been selected to be anchored to the exiting building's concrete foundation with anchor bolts to avoid disruption of the existing foundation, slab and the present use of this area. The column loads are relatively low and can be readily anchored with bolts designed to resist the shear forces encountered. The fourth column will have a footing that has been designed for 3,000 lbs per sq. ft. It may need to be resized depending on the soil conditions we encounter. Such design will be done by a qualified P. E.
- 3. Lateral Loads No new direct horizontal or vertical loads will be placed on the existing walls. A temporary loading condition will exist when drifted snow is present. This may impart a small horizontal load on the upper 2 feet of exposed wall. Drifted snow, when present, may deflect the wind upward should it be applied from the lower roof and, in either case, will be no more significant than the non-snow condition of the normal wind load the existing building withstands in its present condition.
- 4. Steel The primary structural steel will have a yield strength of Grade 50 (50,000 p.s.i.) and purlins will be 60,000 p.s.i. Miscellaneous steel will be 36,000 p.s.i. material. We enclose fastener and roofing details as requested.

- 5. Special Inspections This is a very small job structurally, but we will provide inspection by a registered structural engineer to do periodic inspections per BCOA Section 1705 per your requirement.
- 6. The existing exhaust vent will remain in use and will be fitted between the roof purlins and roof sheets. A metal flashing will be installed around the pipe once the roof is in place to weatherproof the vent. All materials will be non-combustible.

I hope this answers your questions and a building permit can be issued at the earliest possible date.

Thank you.

Sincerely,

Dana C. Sturtevant. P. E. Engineering Manager

Alona C. Stu

enc.

c.c. Wil Ferland

Memorandum

To: Dana Sturdivant

From: Mike Nugent/Manager of Inspection Services

Date: 07/02/2004

Re: 2400 Congress St. (236 A003)

I have commenced reviewing the plans for the above project and need the following information:

- 1) Please provide the design standard that was used in calculating the Flat Roof Snow Load.
- Please provide a code justification for the omission of footings for three of the four w18 x 31 vertical supports.
- 3) Is there any structural impact on the existing structure, ie additional loads to the abutting wails?
- There is no source information for the steel, nor a fastener plan, sheathing and finish schedule fore the roofing materials.
- 5) This project will require Special Inspections for the Steel and fasteners pursuant to Section 1705 of the Code.
- There is a vent for an appliance of some sort shown in the photo's. Please provide a plan showing how this will be redirected and also what type of appliance it vents.

P. Harris

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Date: 6/15/04 11:17:08AM

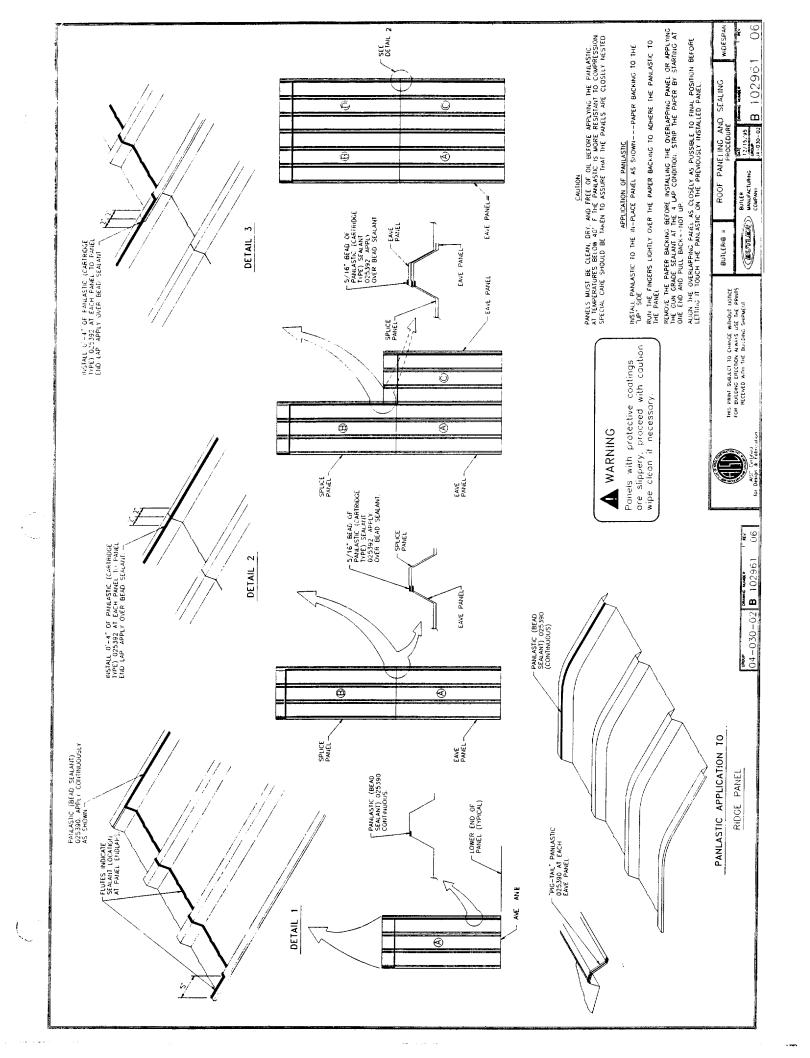
FASTROOF FastParts Pricing Planographs

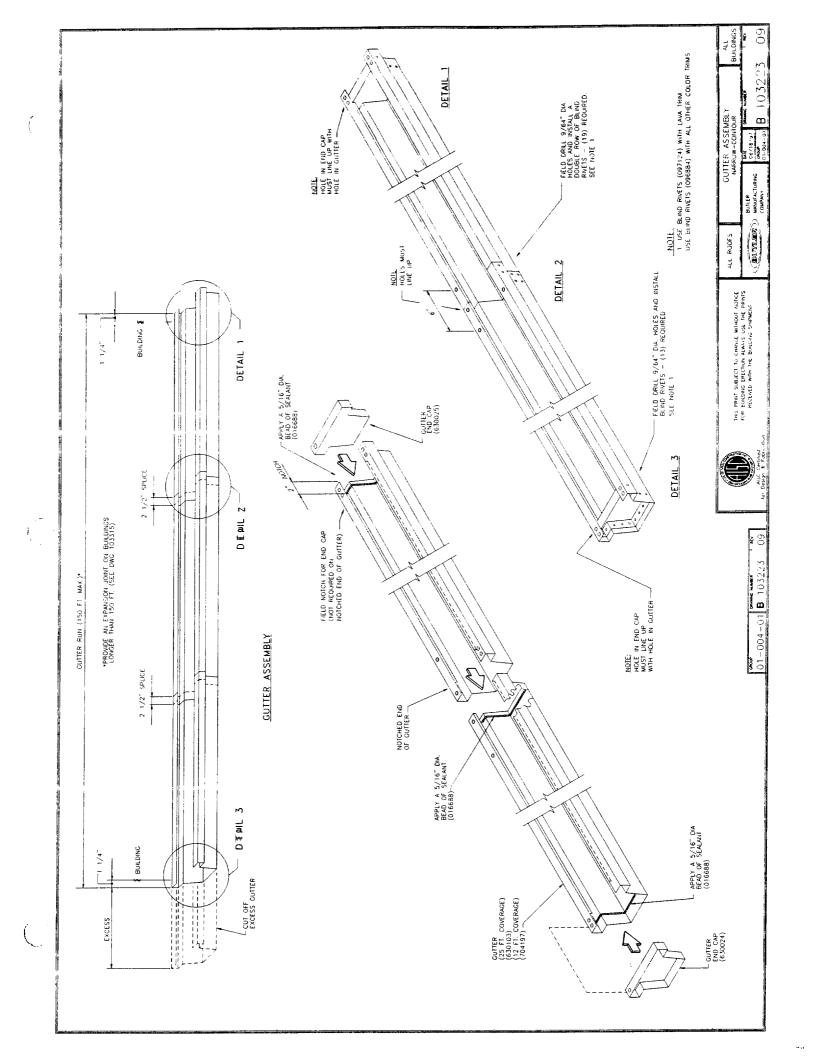
Project: Nichols Portland 04092004

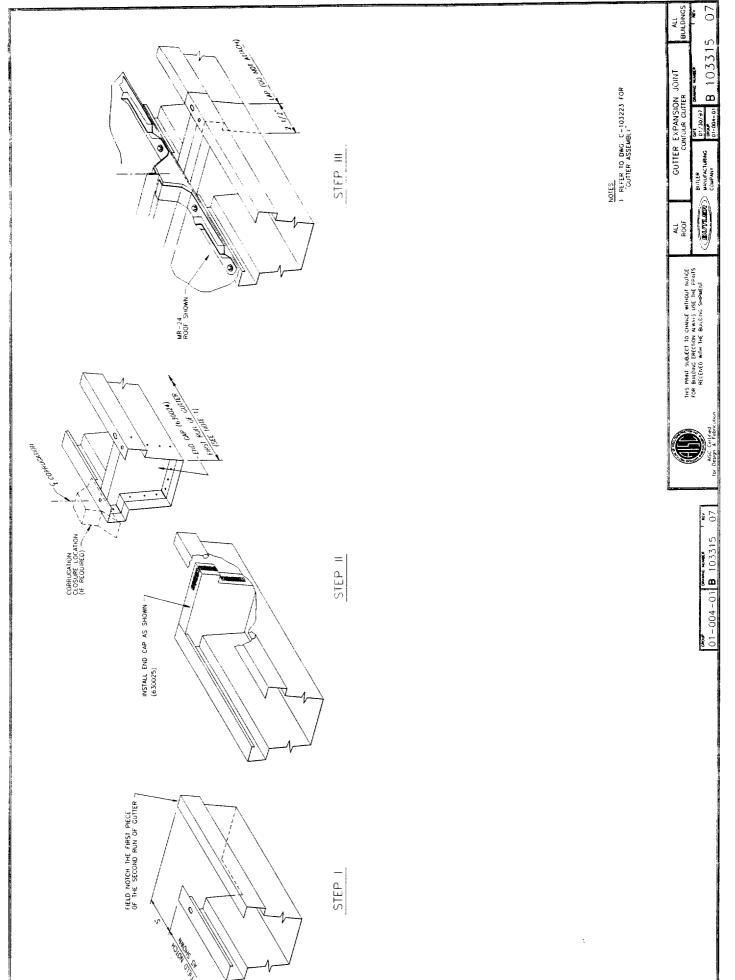
Unit: Nichols Portland ID: 1 Alt: 0 Rev: 0

Planograph Number	Revision Number	Revision Date	Description
102961	6	2/21/01	Butlerib II-Roof Paneling And Sealing Procedure-WS
103223	9	6/16/97	All Roofs-Gutter Assembly-Narrow Contour-AB
103315	7	1/30/97	All-Roof-Gutter Expansion Joint-AB
104288	8	8/26/98	Type II - Butlerib II Roof Panel Installation
104551	8	6/16/97	BRII Roof-Contour Gutter Instln W/Weatherseal-WS
105224	15	1/20/99	All Walls-Conductor Pipe Installation-Widespan
105848	5	8/26/98	Butlerib 11-Roof Panel-Unpunched BR II Ridge Panel
107334	2	3/1/95	Butlerib II-Roof Transition Panels-Canopy/Width E
1080172	5	8/26/98	Butlerib II-Roof-Support Angle Installation-WS
1080173	5	8/18/98	BR II Roof-Flashing Installation-WS
1080174	5	2/28/96	Butlerib II-Roof To Wall Transition-AB
1080182	4	12/15/95	BRII Roof - Parallel Transition Instl - Widespan
1080944	2	11/16/98	Gable-Angle-Gable Angle Installation-1/4:12 Tru 4:
1080948	2	5/1/98	BRII-Roof Panel Calculator-WS
1081166	2	1/7/99	BRII Roof-Gable Trim & Wall Adapter Instln-WS
1081172	0	8/1/96	BRII Erection Drawing Index-Rg
_ 1081248	0	6/16/97	MR-24-Flex Seal Instln-Stp Rof Or Rof/Wal-WS
1081249	0	6/16/97	BRII Roof-End Covr Instn-Rof To Wal W/Supt Angl-WS
1081259	0	6/16/97	All Roofs-VariablWal Adapr Instl/Non Bmc Wals-WS

Version: 5.5.19

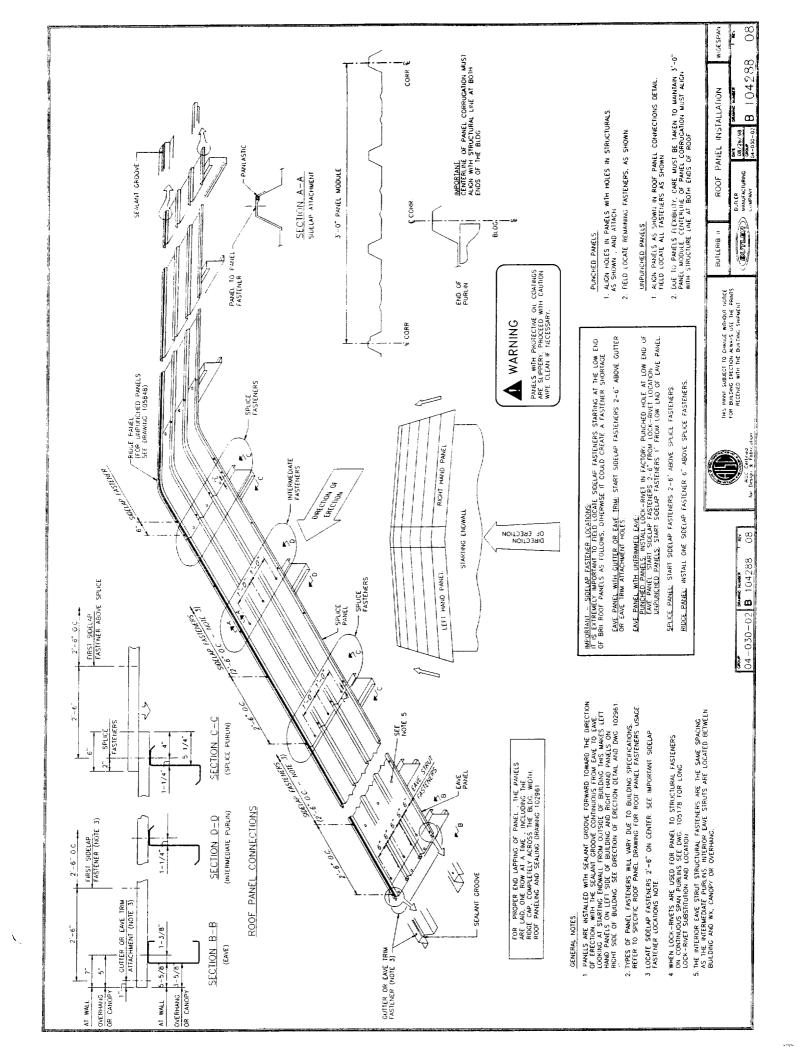


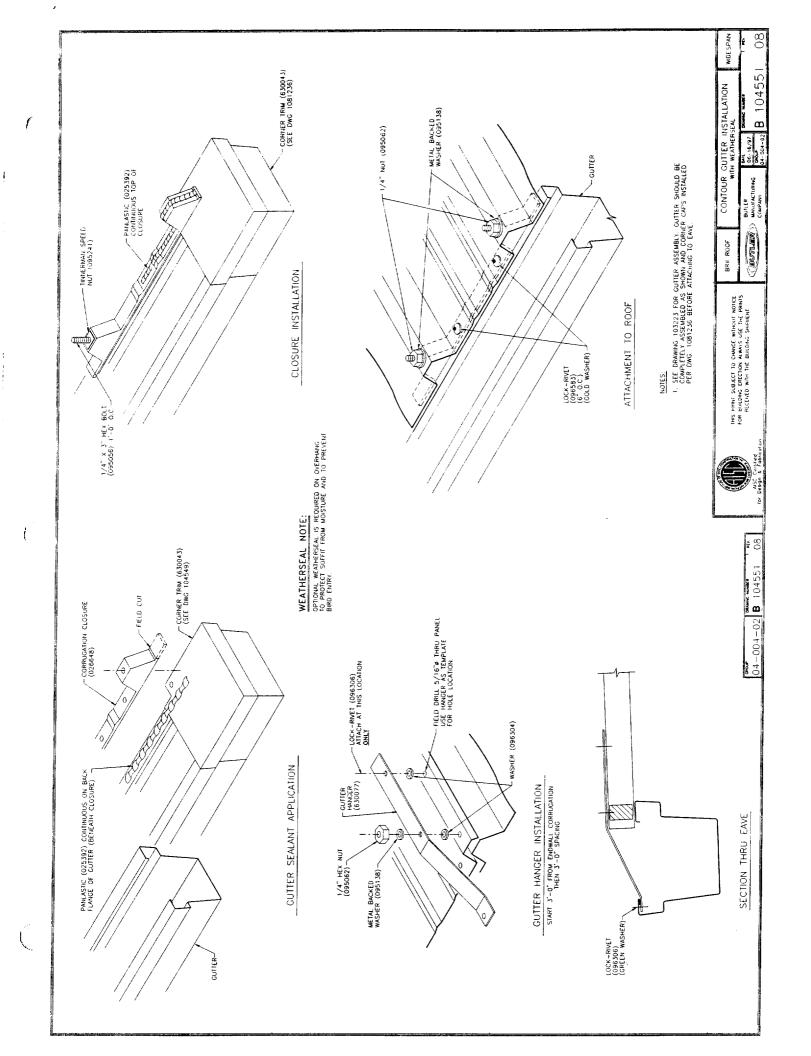




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∠END CAP Ģ 1/2 ģ CUTTER ŗ OUTLET (TYPICAL) -SP GA

D = MAXIMUM SPACING FOR SPECIFIED CONDITIONS (SEE DESIGN NOTE)

OUAN PER CALLOPY CONDUCTOR PIPE LEGEND OVERHANG OUAN, PER BUTLERIB II SHADOWALL THERMAWALL TEXTUREWALL OUAN. PER OUTLET EAVE HEICHT

001LET PART NO.

OUTLET INSTALLATION

- NOTES.

 1. CONDUCTOR PIPE (GOBBIA) FURNISHED IN 10' LENGTHS ONLY.
 FELD CUT TO LENGTHS RECOURED.

 2. USE (2) BLAND MET (109684) AT EXAL PIPE LOINT.

 3. USING CUTTER OUTLET AS A PATTERN FIELD CUT.

 4. USING CUTTER OUTLET LIP AND

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 4. FOR COMPUTED PROPERTY PRIOR TO ATACHMENT

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FIELD DRILL 9/640 FOR BLIND RIVET 097124

CUTTER OUTLET SEE CHART FOR PART NUMBER SEE NOTE 3.

PART SCHEDULE

SEALANI 016688

26-008-02 **B** 105224 17

THIS PRINT SUBJECT TO CHANGE WITHOUT NOTICE HOR BUILDING ERECTION ALWAYS USE THE PRINTS RECEIVED WITH THE BUILDING SHIPMENT

CONDUCTOR PIPE INSTALLATION BUTLER BUTLER WANG ACTURING COMPANY ALL WALLS

B 105224

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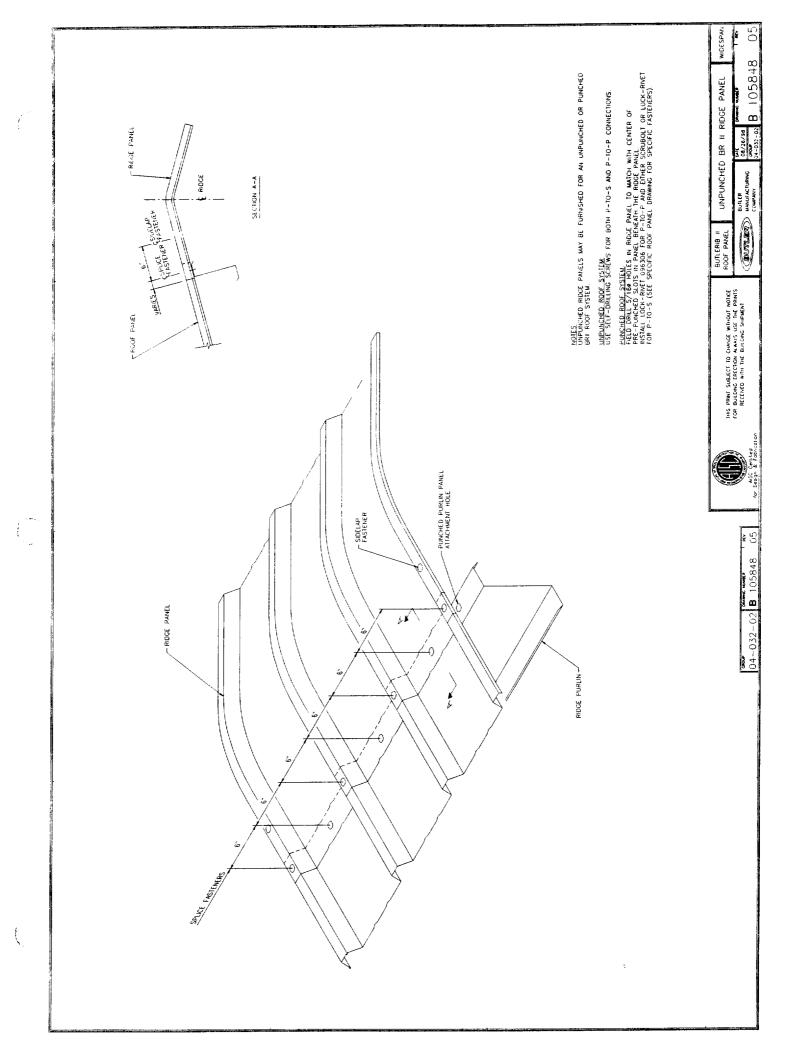
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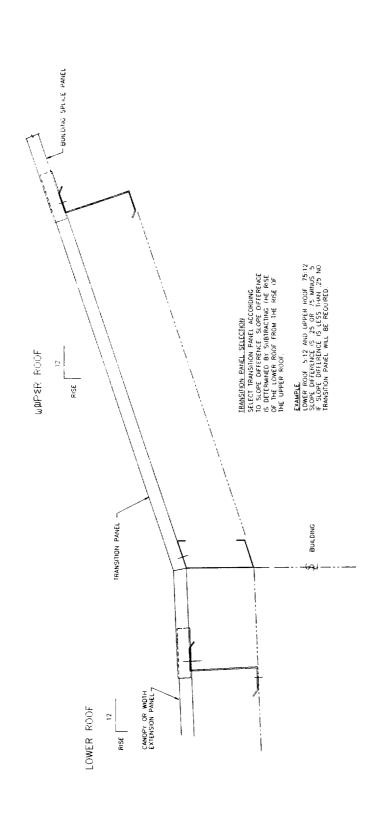
Alan mere

MAYINUM COLDUCIOR SPACING FOR 4" SQUARE (4-1/4",2-3/4")
BASED ON MARINALI, URINSIST OF 6" PER HOLDER FOR CONDITIONS
BASED ON MARINALI MINISTIST OF 6" PER HOLDER FOR CONDITIONS
BOWISPOUT CUIDE. IN WIDESPAH TECHNICAL HERERCINCE MANUAL.
HE MAXIMUM DISTANCE RECOMMENDED BE BULIER MANUACTURING
COMPANY BETWEEN DOWNSPOUTS IS NOT TO EXCEED 72" RECARDLESS
OF RAINFALL WITENSTY, OR SIZE OF DOMISPOUT.

DESIGN NOTES.

OUTLET SPACING





				ROOF PANSL SCHSDWK	CHSD& K			
		CANOPY PANEL			1	TRANSITION PANELS		
PANEL	UNTRIMMED	EAVE TRIM	, c		S	SLOPE DIFFERENCE		
OCALICI.	EAVE	OR CUTTER	o de la constante de la consta	.000249	.250999	1.00-2.49	2.50 -5.50	5 51 - GREATER
R.H. SLOPE	027068	027068	027068	BNON	921099	560302	560130	CUSTOM
LH. SLOPE	027069	027069	027069	NONE	560177	566303	560131	STEPPED FLASH'G

NOTES: 1. TRANSITION PANELS ARE FURNISED UNPUNCHED.

2. SEE APPROPIATE DRAWING FOR BUILDING AND/OR WK ROOF PANELS.

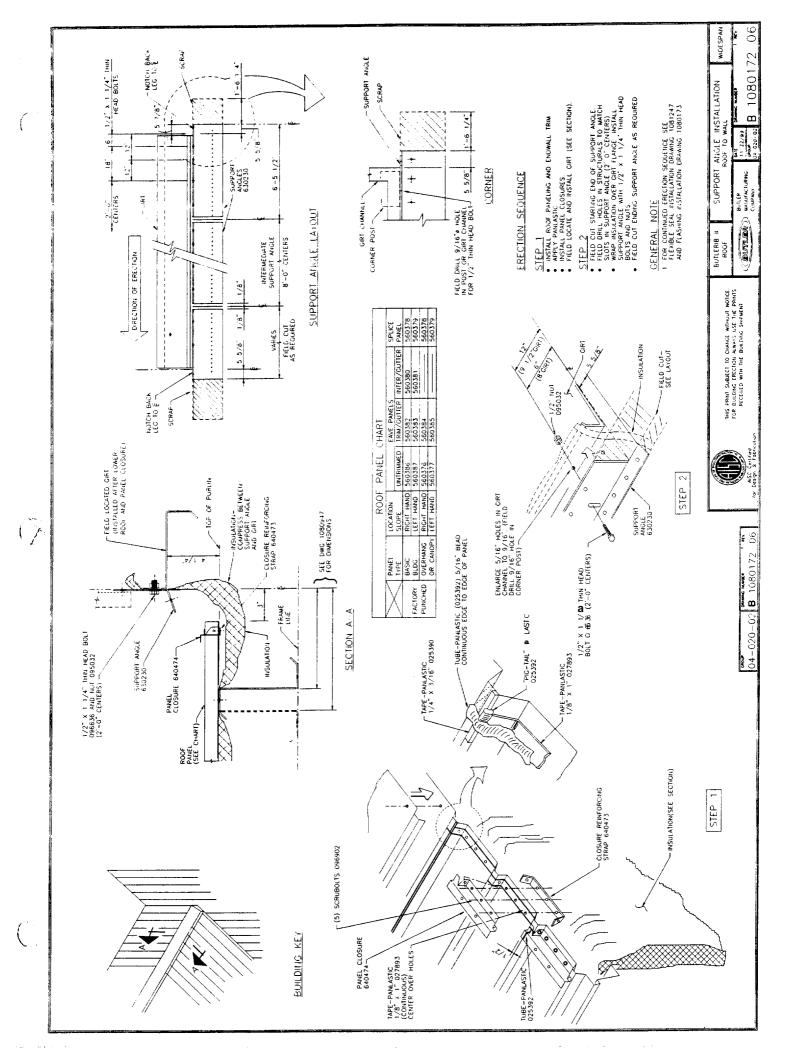
Group 04-030-02 **B** 107334

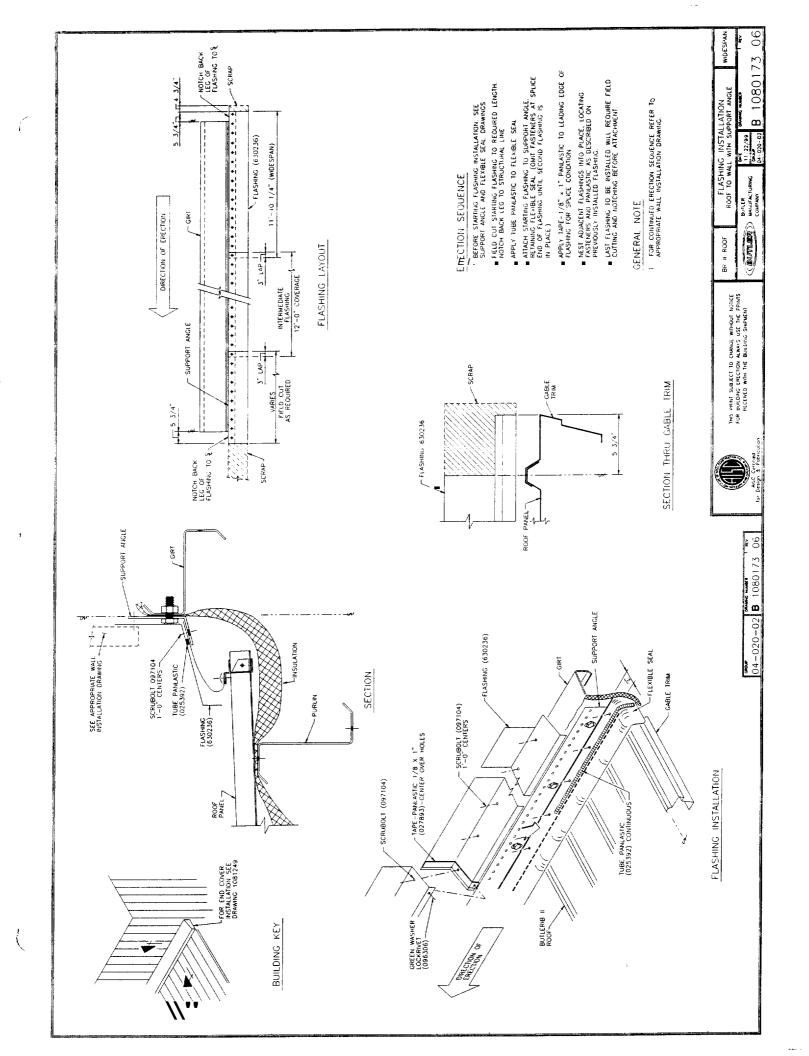
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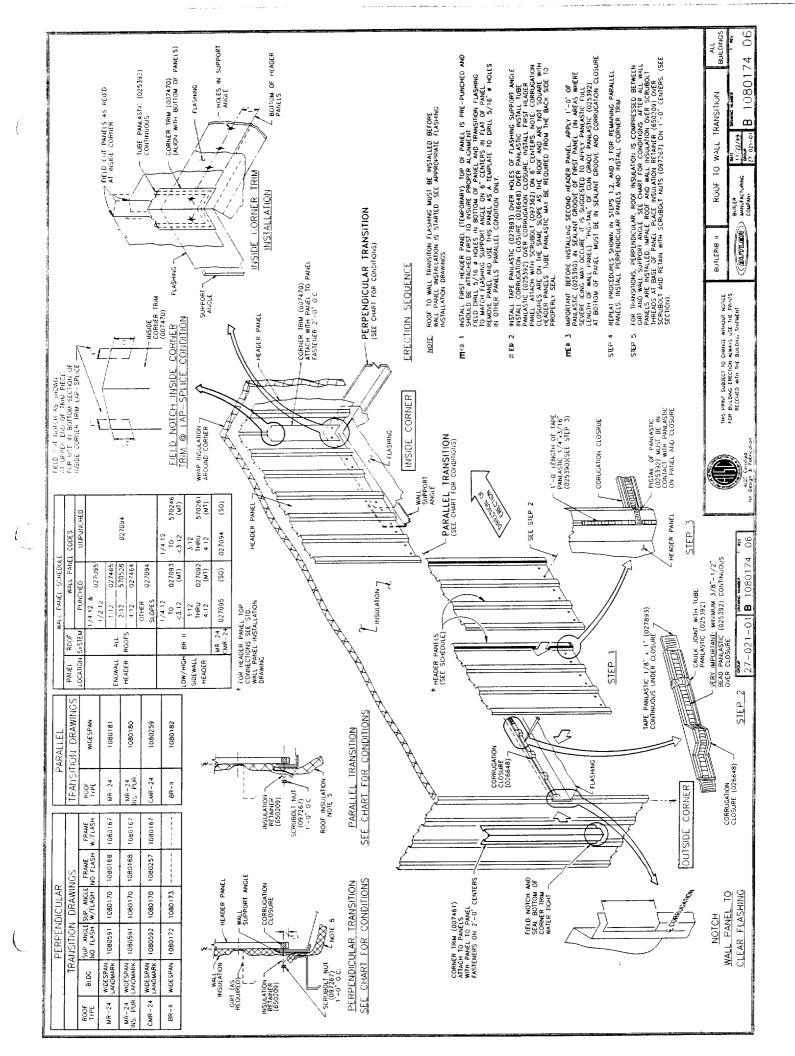
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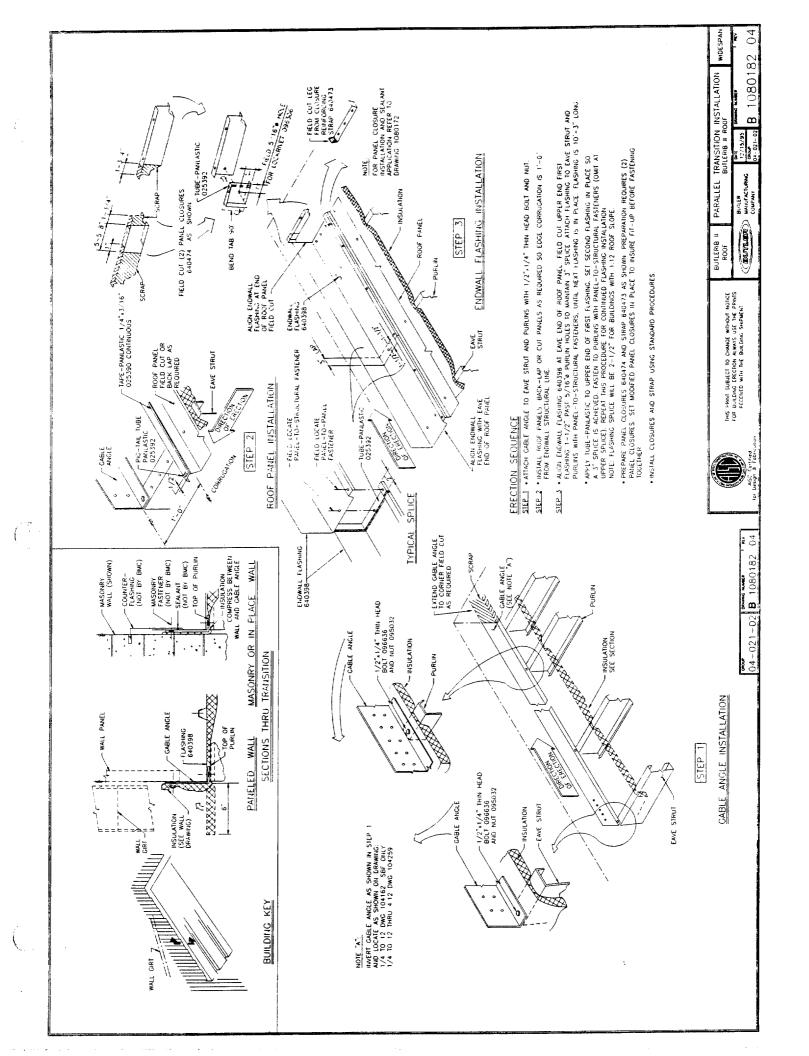
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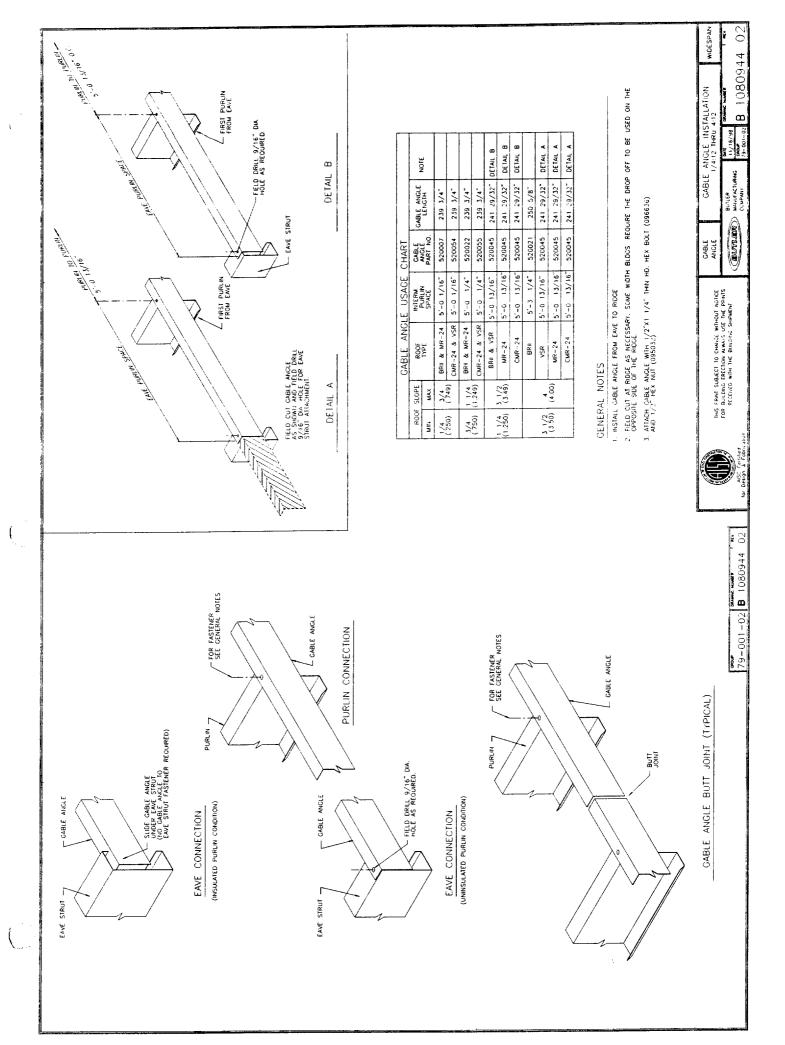
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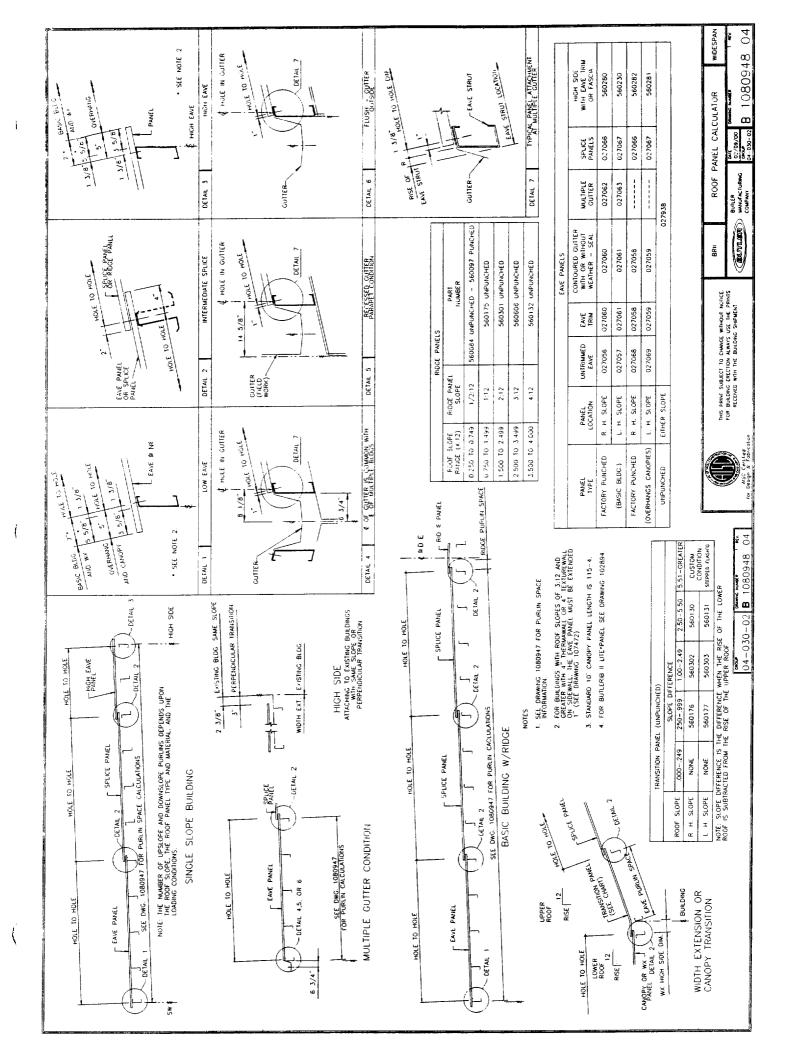


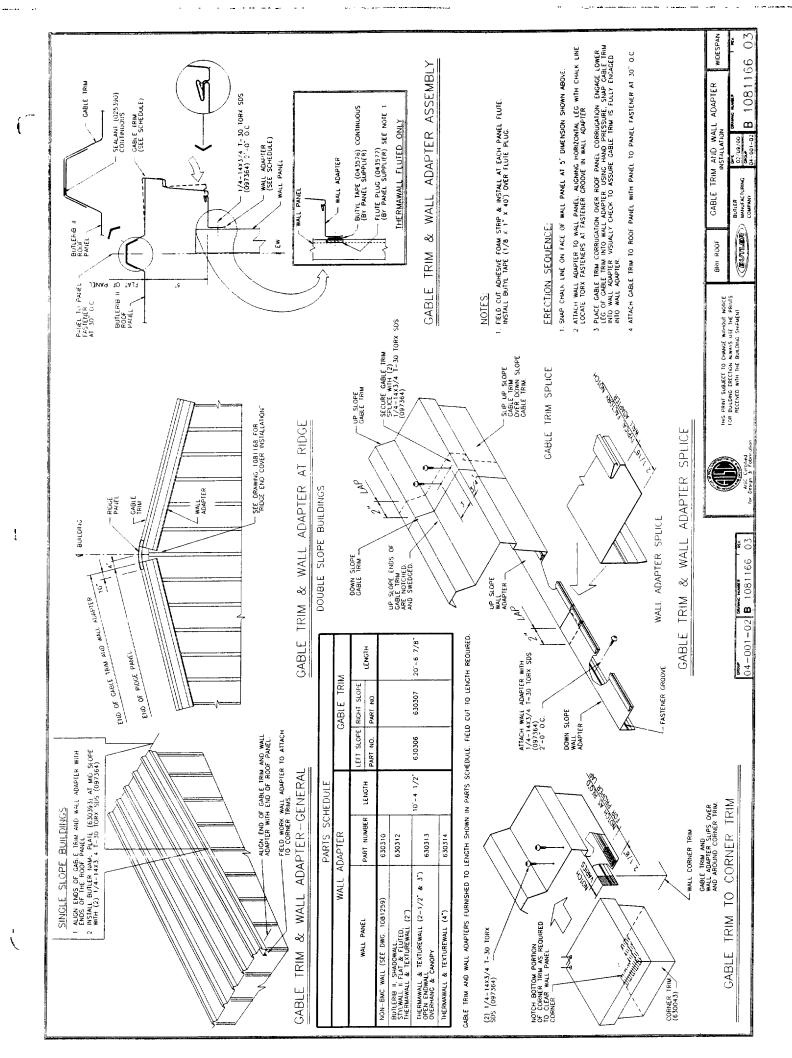












	Dwg No.		C-105524	8-1055°6	B-105513	8-105534	A-105846	C-107134			B-102894	B-107440	8-107513	B-107665	B-107666	8-107667									(e)	(C) ()							9	_			
	Drawing Title Drawing	aliation	Multiple Gutter Stop Flashing C	Trim	+	lions)	stlers				Lite*Pont Installation (Uninsulated& Insulated) B.	Pipe Flashing Detail	Lite*pont installation 8	Roof Curb Fabrication Details B	ا	Reef Curb Institution 8							((-)	E									(5))	GENERAL ROOF PLAN	
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	Dwg. No.	B-1080156	B-1080165	D-1080172	D-1080173	B-1080174	0-1080182	B-1080269	D-1080324	0-1080325	8-1080818					B-105850	8-107552	8-107556	8-107559								B-104542	B-104544									
	Drawing Title	Flexible Seat list (Stepped Roof /Roof to Woll)	End Cover Inst. (Roof to Wall w/ Support Angle) B-1080165	Support Angle Installation (Roof to Wall)			Parallet Transition Installation	Structural Details	g Installation (Double)	(Single)	Wall Panel Calc. (Roof to Wall Trans.)		7	4.75		Growly Ventilatar	Ridge Ventilator Preparation Details	Ridge Ventilator installation & Details	Installation								Bird Stop Installation - Contour Gable Trim	Soffit trim Details - Contour Trim		4		1	4				
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MDEX	Dwg. No.	C-105716	C-105717	B-105848	B-105849	C-107313	C-107329	8-107334	B-1080185	8-1080186	8-1080878	B-1080947	B-1080948		B-103223	B-103225	8-103315	B-104549	B-104551	8-104556	B-105019	8-105098	8-105137	B-105224	8-105225	B-105228	B-107471	B-1080082	B-1080083	B-1080084	8-1080085	B-1080086	B-1080090	B-1080091			
\neg :	Title	Butteribli Panel Layouts (120') 8" purtin	Butleribli Panel Layouts (120') 9 1/2 purlin	Panel Splice (Wider Roof Slopes)		Roof Paneling	Roof Paneling	Transition Panels (Canopy or WX to BLDG)	Width Addition to Exist. Bldg.	Width Addition to Exist. Bldg.	General Panel Handling & Storage	Roof Structurals (Roof Panel Calculations)	Roof Panel Calculator			Collector Box Installation-Contour Gutter	Gutter Expansion Joint	Contour Gutter & Eave Trim (Corner Cap)	Contour Gutter installation w/ Weatherseal	Inside Corner Trım Installation	Eave Closure Installation	Optional Wall Closures	Contour Eave Trim Installation		Conductor Pipe Installation	Conductor Pipe Installation	Inside Corner Trim Installation	Wide Contour Gutter, Assembly & Components	Wide Contour Gutter, Corner Trim &Collector Box	Sealant & Support Channel Installation	Wide Contour Gutter (Installatin w/o Weatherseal)	-		Wide Contour Gutter (Cond. Pipe Inst. & Dets)			
	Cond				suo	itiba	و ده	gp:8	j 6u Pali¤	ibula f	ouj O														19)	Cut Cut	Tri Toing Toilio	Exte Con									
	Dwg. No.	8-102961	B-103873	B-104288	C-104292	C-104293	C-104294	C-104462	C-104463	C-104464	C-105001	C-105002	C-105003	C~105004	C-105605	C-105006	C-105007	C-105008	C-105050	C-105178	C-105398	C - 105399	B-105400	C-105432	C-105433	C-105434	C-105475	C-105476	C-105477	C-105478	C-105479	C-105480	C-105481	C-105643	C-105644	C-105714	C-105715
	Drawing Title	Roof Paneling & Sealing Procedure	Unpunched Panel Preparation	Roof Panel Installation	Butlerib II Roof Panel Layouts (60')	Butlerib II Roof Panel Layouts (70')	Butlerib II Roof Panel Layauts (80')		Butterib It Roof Panel Layouts (100')				Il Roof Panel Layouts (180')	Butlerib II Ruof Panel Layouts (200')				Butierib II Roof Panel Layauts (300')	1/4: 12 Ridgeless Buildings	Lock Rivet Substituion (roof & walls)	Butlerib II Roof Panel Layouts (40')	Butlerib II Roof Panel Layouts (80')	Roof Panel Layouts w/ 8" Deep purlins	9 1/2 purtin	purlin	Butteribli Ponel Layouts (60') 9 1/2 purtin	Butterib II Roof Panel Layouts (40')	Butlerib II Roof Panel Layouts (50')	Butierib II Roof Panel Layouts (60')	Butlerib II Roof Panel Layouts (70')	Butlerib II Roof Panel Layouts (80')	Butlerib II Roof Panel Layouts (100')	Butlerib II Roof Panel Layouts (120')	Butlerib II Roof Panel Layouts (150')	Butlerib II Roof Panel Layouts (180')	Butleribli Panet Layouts (80°) 8" purlin	Butteribil Panet Layouts (80") 9 1/2"purlin
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PARALLEL PERPENDICULAR

3 ROOF TO WALL &
STEPPED ROOF TRANS.

2 EAVE CONDITIONS

1 GENERAL COND. INCLUDING RIDGE BRII PANEL





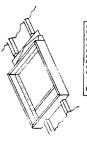
6 MULTI, WIDTH INT.GUTTER CONDITIONS





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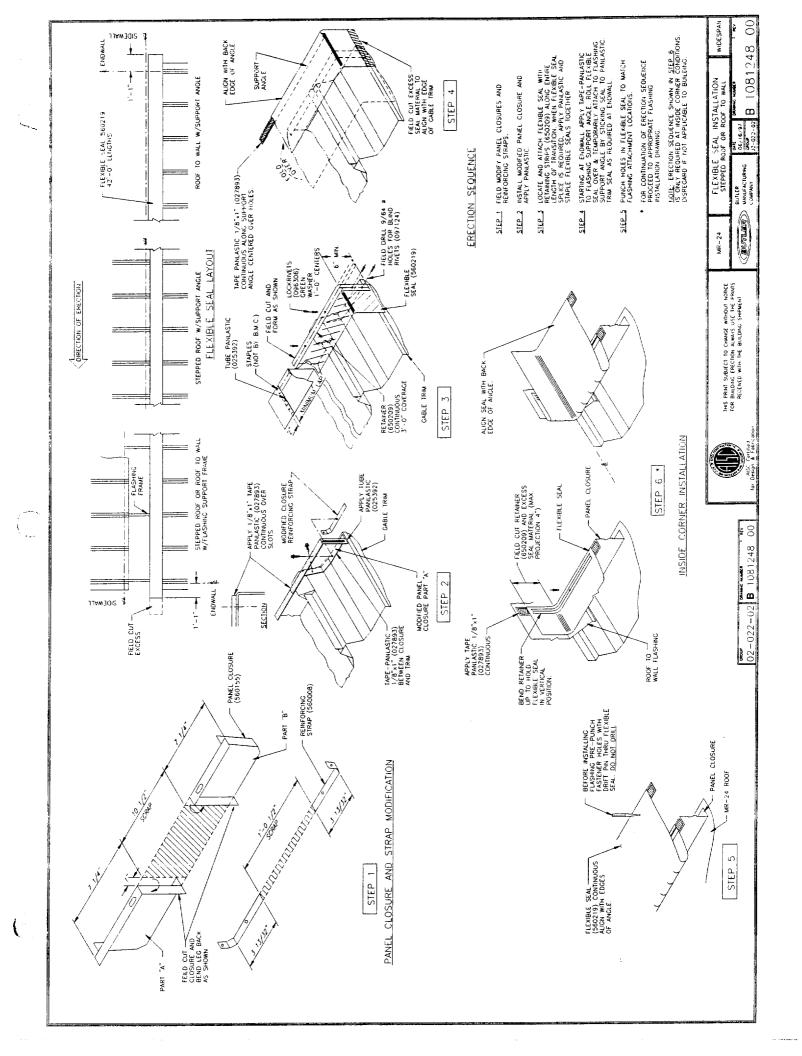


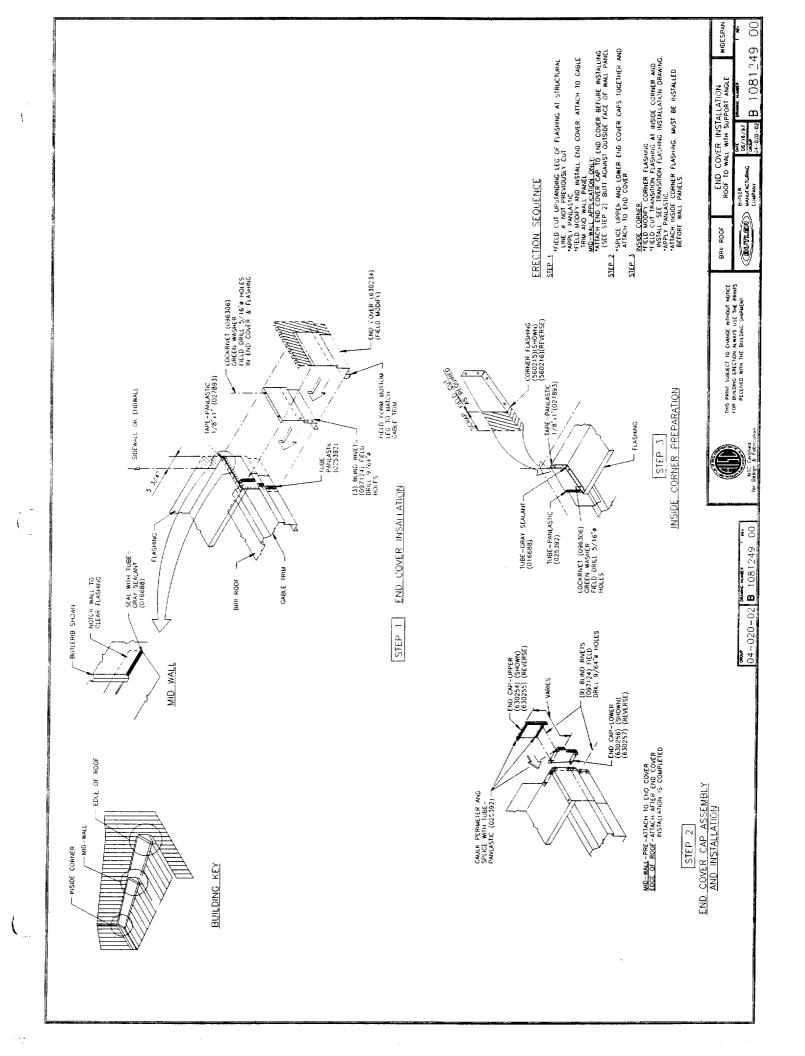
7 ACCESSORIES	BRII ERECTION DRAWING INDEX	(GENERAL ROOF PLAN)
	BR	

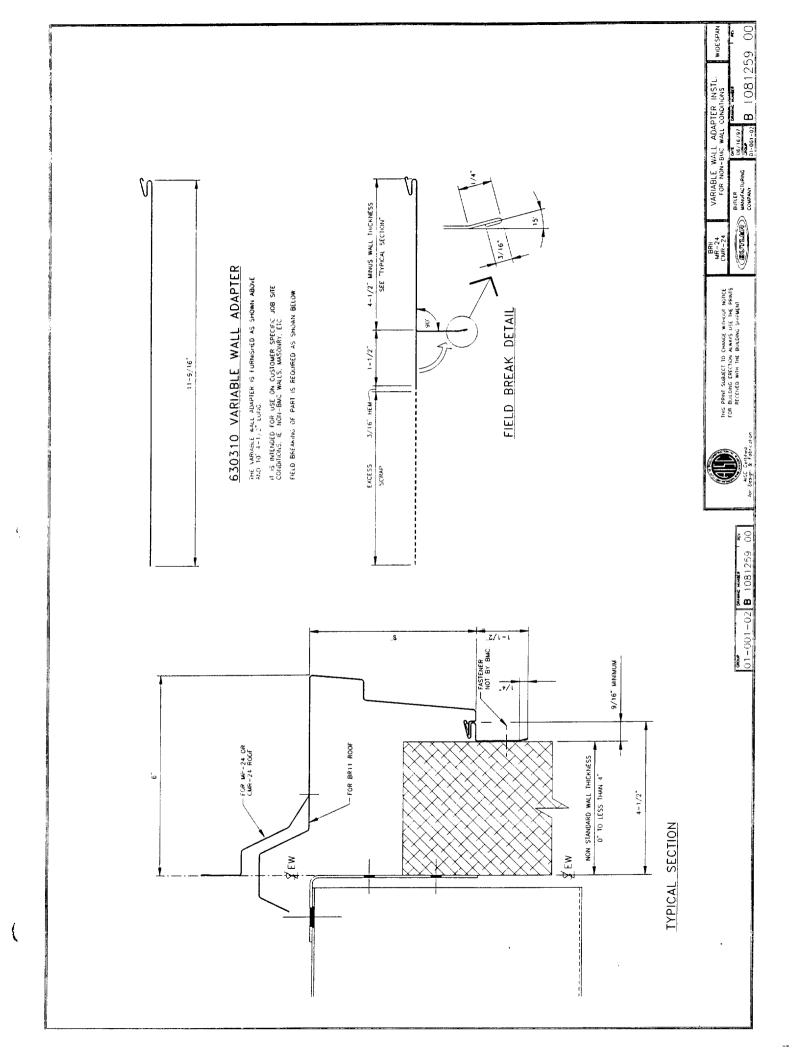
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(GENERAL ROOF PLAN)	04.25/00	3
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Date: 6/15/04 11:17:35AM

FASTROOF FastParts Pricing Details

Version: 5.5.19

Project: Nichols Portland 04092004

Unit: Nichols Portland ID: 1 Alt: 0 Rev: 0

<u>Detail</u> Number	Revision Number	Revision Date	Description
Y310	0	2/9/99	Butlerib II Contour Gutter
Y316	0	2/9/99	Butlerib II Contour Gable Trim
Y317	0	2/9/99	Butlerib II Parallel Transition Roof to Parapet/Wall
Y318	0	2/9/99	Butlerib II Perpendicular Transition Roof to Parapet/Wall

