

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Planning Copy**

**2001-0082**  
Application I. D. Number  
**5/7/01**  
Application Date

**Pine Tree Council Inc Boy**  
Applicant  
**125 Auburn St, Portland, ME 04103**  
Applicant's Mailing Address  
**Dwight D. Anderson, P.E.**  
Consultant/Agent  
**Applicant Ph: (207) 797-5252    Agent Fax: (207) 286-3220**  
Applicant or Agent Daytime Telephone, Fax

**Boy Scouts, New Building**  
Project Name/Description  
**131 - 131 Johnson Rd, Portland, Maine**  
Address of Proposed Site  
**232 A005001**  
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building     Building Addition     Change Of Use     Residential     Office     Retail  
 Manufacturing     Warehouse/Distribution     Parking Lot     Other (specify) **Boy Scouts of America**

**11,800**  
Proposed Building square Feet or # of Units                      Acreage of Site                      Zoning

**Check Review Required:**

- |  |   |  |  |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan<br>(major/minor) | <input type="checkbox"/> Subdivision<br># of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                          | <input type="checkbox"/> Shoreland                      | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional<br>Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance                |  | <input type="checkbox"/> Other _____             |

Fees Paid:    Site Plan    **\$500.00**    Subdivision    \_\_\_\_\_    Engineer Review    \_\_\_\_\_    Date    **5/7/01**

**Planning Approval Status:**

Reviewer \_\_\_\_\_

- Approved**                       **Approved w/Conditions**  
See Attached                       **Denied**

Approval Date \_\_\_\_\_    Approval Expiration \_\_\_\_\_    Extension to \_\_\_\_\_     Additional Sheets  
Attached

OK to Issue Building Permit                      signature                      date

**Performance Guarantee**                       **Required\***                       **Not Required**

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

**From:** Jeffrey Preble <jpreble@dufresne-henry.com>  
**To:** "jspence@ci.portland.me.us" <jspence@ci.portland...>  
**Date:** Sun, Jul 8, 2001 10:27 AM  
**Subject:** Boy Scout Review

Jonathan:

Here are my comments on review of the revised documents from DeLuca Hoffman. It appears they have addressed most of the previous comments with a few exceptions.

A landscaping plan has been added to the plan set. However, it does not contain alot of information or plantings.

The lighting plan provided does not provide any data from the parking spaces and the intersection at Johnson Road. We did not receive any of the catalog data on the lighting fixtures.

The parking space sizes have been dealt with between the developer and the City. The DeLuca Hoffman letter states that the owner will be required to address problems with the compact spaces. What are the owner requirements?

The preliminary granite wall detail is missing from our information.

The storm water plan still refers to the Johnson Road information. We do not have any information on the storm water report for the Johnson Road improvements, so we are unable to offer any comments on how storm water from the site is being handled off site. We do recommend that a level lip spreader to added to the plans prior to discharging storm water to the wetland area.

Let us know if we can be of any further assistance.

Jeffrey Preble, P.E.  
Sr. Project Manager  
Dufresne-Henry  
Portland, ME 04101  
Tel: 207-775-3211  
Fax: 207-775-6434

CITY OF PORTLAND, MAINE  
MEMORANDUM

Expiration ?  
Turn around ?  
Traffic Analysis  
- may handle

**TO:** Chair Caron and Members of the Portland Planning Board  
**FROM:** Jonathan Spence, Planner  
**DATE:** July 10, 2001  
**SUBJECT:** Boy Scouts of America, Pine Tree Council Headquarters, 131 Johnson Road

**Introduction**

The Pine Tree Council of the Boy Scouts of America has requested site plan approval for the construction of a new 12,800 square foot headquarters building to be located at 131 Johnson Road. This new headquarters is intended to replace their current 4,400 square foot facility located at 125 Auburn Avenue. The council feels that the location and size of the new facility will successfully accommodate their current and future needs.

**Project Site**

The project site encompasses 1.95 acres of undeveloped land consisting of meadow brush and woods. The property is zoned B-4. The entire site is comprised of wetlands with the exception of a 0.07 acres portion. Recently completed and proposed road construction surrounds the parcel. The Maine Turnpike Authority is constructing an interchange to serve the Jetport and the surrounding area and the City of Portland is planning to relocate Johnson Road to provide an extended safety zone at the end of the primary runway. The Johnson Road relocation will cross the eastern end of the parcel, reducing it by approximately 0.33 acres, including the 0.07 acres that are not wetlands. The applicant has applied for a Tier II NRPA Wetland Permit through MeDEP. It is the intent of the applicant to utilize the site as a staging area for the Turnpike Access Road project, thereby reducing costs associated with bringing fill onto the site. The applicant has expressed that an application for a fill permit to use the site for this use is forthcoming.

The applicant has received correspondence from the United States Department of the Interior-Fish and Wild life Service verifying the non-existence of any federally listed species (see attachment 5). The applicant has also provided a letter from the Maine Historic Preservation Commission attesting to the finding that no historic properties are affected by this project (see attachment 4).

**Access/Circulation**

Access to the site will be via an access drive directly from the southbound lane of the realigned Johnson Road or from a left-turn-only lane on the northbound side of the multi-lane divided road. This access drive crosses land owned by the City of Portland for which an access and utility easement has already been granted (see attachment 6). Departure from the site is limited to a right out only into the southbound lane. A raised island located at the intersection of the access drive and Johnson Road will prevent exit onto the northbound lanes. Larry Ash, the City's Traffic Engineer, is currently reviewing this plan.

The applicant is proposing thirty-five, 8.5' by 15' parking spaces and fifteen, 10' by 20' parking spaces. The Zoning Administration is currently reviewing the adequacy of the parking plan.

### **Utilities**

The applicant is proposing to tie into a sanitary sewer line to be located near the Maine Turnpike Connector. A letter from the City of South Portland Pollution Abatement Department outlining the capability to adequately collect and treat the anticipated flow is included as attachment 10. The project will be serviced by a 12" water main located in Johnson Road near the proposed site. A letter from the Portland Water District attesting to the capacity to serve is included as attachment 9.

### **Drainage**

The site is relatively flat with natural slopes ranging from 1% to 3%. Stormwater currently flows westerly in an existing drainage swale across the site from a newly installed 24" culvert under the New Turnpike Connector Road. Below the site, this swale intersects a drainage swale from the northwest that is mapped as a stream. No streams currently exist on the subject property.

Development on the site will result in the construction of 31,000 square feet of impervious area and fill across the existing drainage swale. Upstream drainage will be conveyed around the fill in a vegetated swale and will pass through a 24" culvert under the access drive. On site drainage will be accomplished by collecting run off in two catch basins, treating the run off with a water quality unit for sedimentation retention, and then discharging the treated runoff into the wetlands to the west of the proposed drive. The added impervious area of the site was included with the stormwater analysis of the Johnson Road Relocation project, therefore no onsite detention is proposed as part of this proposal.

Jeffrey Preble, P.E. of Dufresne-Henry, has been acting in the capacity of engineering consultant for this project. The applicant has been prompt in responding to his comments. Mr. Preble's comments, staff comments and the applicant's responses are included as attachments 7 and 8. A review of the revised engineering plans is currently underway by Mr. Preble.

### **Lighting**

The applicant proposes four 20-foot pole lights and numerous 42" bollards to be placed along the perimeter of the parking area and two 20-foot pole lights to be placed in front of the building. Although the catalog cuts demonstrate that the lights are in conformance with the design standards (see attachment 12), the maximum illumination levels exceed the technical standard's maximum of 5.0-foot candles (see attachment 20). In addition, the photometric plan supplied does not illustrate the illumination levels at the property line. Staff requests that the applicant provide a revised photometric plan that demonstrates maximum illumination levels and illumination levels at the property lines in conformance with the standards.

### **Landscaping**

The applicant has proposed four 6' high Arborvitae to be planted at the end of access drive "B". (See attachment 19). Staff encourages that applicant to utilize the full site to produce a landscape plan that includes native species to complement and enhance the property and its new use. Staff sees the landscape plan as an opportunity for the applicant to demonstrate an ethic of

conservation through the replacement of a natural setting. Jeff Tarling, Staff Arborist for the City of Portland, is eager to meet with the applicant to discuss landscape ideas for this site.

### **Building Design and Layout**

The applicant is proposing to construct a two-story building with a log and stone façade (see attachment 24). The steep roof and natural materials complement the applicants intended use of the structure. The building elevations are currently under review by the Zoning Administrator to determine compliance with the height regulations.

The layout of the building and parking are demonstrated on the site plan included as attachment 16. Compliance with setback requirements is currently under review.

### **Concerns**

Prior to a public hearing on this project, staff requests the following items:

1. Updated letters of service availability from appropriate utility agencies.
2. An approved Tier II NRPA Wetland Permit through the MeDEP.
3. An updated Photometric Plan in compliance with City Standards
4. An improved landscape plan.
5. Resolution of any outstanding engineering and zoning issues currently under review.

### Attachments:

1. Applicants Project Description
2. Applicants Statement of Project Need
3. Applicants Construction Plan
4. Letter from Maine Historic Preservation Committee, 4-24-2000
5. Letter from united States Department of the Interior, 5-22-2000
6. License and Easement Agreement with the City of Portland for Access
7. Staff Letter to Applicant 5-25-2001
8. Applicant Response
9. Letter of Capacity, Portland Water District
10. Letter of Capacity, City of South Portland Pollution Abatement Department
11. Letter of Financial Capacity
12. Catalog Cuts for Lighting Fixtures
13. Cover Sheet and Vicinity Map
14. General Notes
15. Existing Conditions
16. Proposed Site Plan
17. Grading Drainage and Erosion Control
18. Utility Plan
19. Landscape Plan
20. Photometric Plan
21. Site Details
22. Erosion Control Details
23. Utility Details
24. Artist Rendering of Proposed Building
25. Erosion and Sedimentation Control Report

Department of Planning & Development  
Lee D. Urban, Director



CITY OF PORTLAND

Division Directors  
Mark B. Adelson  
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP  
Planning

John N. Lufkin  
Economic Development

October 23, 2002

Mr. J. T. Dabbs, III  
Scout Executive  
Pine Tree Council, BSA  
125 Auburn Street  
Portland, ME 04103

Dear Mr. Dabbs,

Thank you for your correspondence of October 21, 2002 outlining the activity that has occurred to date on the Pine Tree Council Service Center at the corner of Johnson Road and the exit 7a access road. Because of the activity that has occurred related to the previously issued fill permit, the Planning Authority has extended the site plan approval for this project to September 21, 2004. Please proceed with the conditions of approval including the submittal of seven (7) sets of the approved site plan, a completed cost estimate form, and the establishment of a performance guarantee as outlined in the original approval letter, prior to commencing work not covered under the fill permit.

The Planning staff is eager to work with the Pine Tree Council through the completion of this exciting project.

Sincerely,

Alexander Jaegerman  
Planning Division Director

cc: Lee D. Urban, Planning and Development Department Director  
Sarah Hopkins, Development Review Program Manager  
✓ Jonathan C. Spence, Planner  
Jay Reynolds, Development Review Coordinator  
Marge Schmuckal, Zoning Administrator  
Jodine Adams, Inspections  
Larry Ash, Traffic Engineer  
Tony Lombardo, Project Engineer  
Eric Labelle, City Engineer  
Jeff Tarling, City Arborist  
Penny Littell, Associate Corporation Counsel  
Lt. Gaylen McDougall, Fire Prevention  
Don Hall, Appraiser, Assessor's Office  
Approval Letter File  
Correspondence File

# CITY OF PORTLAND, MAINE

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## PLANNING BOARD

September 27, 2001

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Cyrus Y. Hagge  
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Mr. Dwight D. Anderson, P.E.  
DeLuca Hoffman Associates, Inc.  
778 Main Street, Suite 8  
South Portland, ME 04106

Re: Boy Scouts, 131 Johnson Road  
(ID# 20010082, CBL#232-A-5)

Dear Mr. Anderson:

On September 25, 2001 the Portland Planning Board voted 6-1 (Caron opposed) that the plan presented is in conformance with the Site Plan Standards of the Land Use Code with no conditions.

Please note the following provisions and requirements for all site plan approvals:

1. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and 7 final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.
2. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
3. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
4. Prior to construction, a preconstruction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the preconstruction meeting.
5. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)
6. The Development Review Coordinator (874-8300 ext. 8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator



*Pine Tree Council, Boy Scouts of America*  
*125 Auburn Street*  
*Portland, Maine 04103*

October 21, 2002

Jonathan Spence  
Planning Department  
City of Portland  
389 Congress Street  
Portland, ME 04101

Dear Jonathan:

Pursuant to receiving all of our permits and approvals to construct the proposed Pine Tree Council Service Center at the southwest corner of Johnson Rd and the Exit 7A access corridor, we have commenced construction. Over the past twelve months, we have, through in-kind contributions, bush hogged the site, created a curb cut off Johnson Road, installed a culvert and have brought in clean fill bringing the proposed parking area and access driveway up to rough grade.

We respectfully request that the existing permits be extended for an additional 24 months, as we are in the process of entering into a capital campaign of which a portion would be allocated to the Scout Service Center. We are beginning the preliminary due diligence for the proposed capital campaign and will begin to solicit lead gifts in the spring of 2003 with a kick-off planned for the summer of 2003.

We have completed the sound test engineering for the proposed building. As I stated, the fill work for the parking area has been completed and we will begin the actual foundation and structural components and completion of the design of the building over the next 12 months. As a result, we would respectfully request that we extend the approvals through December 31, 2004

Sincerely,

J.T. Dabbs, III  
Scout Executive  
Pine Tree Council, BSA



**PLANNING BOARD REPORT #40-01**

**PINE TREE COUNCIL HEADQUARTERS, 131 JOHNSON ROAD**

**SITE PLAN REVIEW**

**BOY SCOUTS OF AMERICA, APPLICANT**

Submitted to:

Portland Planning Board  
Portland, Maine

September 11, 2001

## **I. INTRODUCTION**

The Pine Tree Council of the Boy Scouts of America has requested site plan approval for the construction of a new 12,800 square foot headquarters building to be located at 131 Johnson Road. This new headquarters is intended to replace their current 4,400 square foot facility located at 125 Auburn Avenue. The council feels that the location and size of the new facility will successfully accommodate their current and future needs.

The project site encompasses 1.95 acres of undeveloped land consisting of meadow brush and woods. The property is zoned B-4. The entire site is comprised of wetlands with the exception of a 0.07 acres portion. Recently completed and proposed road construction surrounds the parcel. The Maine Turnpike Authority is constructing an interchange to serve the Jetport and the surrounding area and the City of Portland is planning to relocate Johnson Road to provide an extended safety zone at the end of the primary runway. The Johnson Road relocation will cross the eastern end of the parcel, reducing it by approximately 0.33 acres, including the 0.07 acres that are not wetlands. The applicant has received conditional approval for a Tier II NRPA Wetland Permit through MeDEP (see attachment 4) and an approved US Army Corp Permit (see attachment 5). It is the intent of the applicant to utilize the site as a staging area for the Turnpike Access Road project, thereby reducing costs associated with bringing fill onto the site. The applicant has obtained a fill permit through the City of Portland.

The applicant has received correspondence from the United States Department of the Interior-Fish and Wildlife Service verifying the non-existence of any federally listed species (see attachment 7). The applicant has also provided a letter from the Maine Historic Preservation Commission attesting to the finding that no historic properties are affected by this project (see attachment 6).

A legal ad appeared in the September 3<sup>rd</sup> and 4<sup>th</sup> issues of the *Portland Press Herald*. 17 notices have been sent to area property owners in the vicinity of the project.

## **II. STAFF REVIEW**

The proposal has been reviewed for compliance with the B-4 Business Zone and the Site Plan Ordinance of the Land Use Code. The plan has been reviewed by the Inspections, Traffic, Fire, Public Works, and Planning Department.

## **III. SITE PLAN REVIEW**

### **1. Traffic/Circulation/Parking**

Access to the site will be via an access drive directly from the southbound lane of the realigned Johnson Road or from a left-turn-only lane on the northbound side of the multi-lane divided road. This access drive crosses land owned by the City of Portland for which an access and utility easement has already been granted (see attachment 8). Departure from the site is limited to a right out only into the southbound lane. A raised island located at the intersection of the access drive and Johnson Road will assist in preventing exit onto the northbound lanes. The planning board raised concerns during the workshop session that vehicles would not be prohibited from exiting left, crossing two lanes of traffic and proceeding northbound on Johnson Road. Staff and the applicant have reviewed various engineering solutions and feel the best measure to ensure traffic compliance is improved signage in the area (see attachments 22 and 27 for detail and

attachment 11, item 5 for additional discussion). Larry Ash, Traffic Engineer for the City concurs with this assessment (attachment 12). Vehicles exiting the property will be able of to reverse direction and head north on Johnson Road via an enhanced access/turnaround at the Staples property (see attachment 13). Staff requests that the applicant elaborate on this component of the Johnson Road project at the public hearing.

Traffic generation and off-site circulation issues were addressed by MDOT in conjunction with the Johnson Road work.

Parking on the site includes 15 large (10'X20') spaces that can accommodate passenger vans and 35 small (8.5'X15) car spaces. The car spaces are smaller than city standards to limit additional wetland disturbance on the site. The applicant will be responsible for any issues that may arise because of the reduced dimensions of the spaces. The quantity of parking has been reviewed by the zoning administrator for compliance with ordinance requirements.

## 2. Bulk, Location, Height of Building and Uses Thereof

The applicant is proposing to construct a two-story 11,800 square foot building with a log and stone façade (see attachment 30). The steep roof and natural materials complement the applicants intended use of the structure. The building elevations are conceptual in nature and the construction details may show limited deviation. A floorplan of the proposed building is included as attachment 31. The zoning administrator has reviewed the building location, uses and height for compliance with ordinance regulations.

## 3. Utilities/Easements/Solid Wastes

The applicant is proposing to tie into a sanitary sewer line to be located near the Maine Turnpike Connector. A letter from the City of South Portland Pollution Abatement Department outlining the capability to adequately collect and treat the anticipated flow is included as attachment 16. The project will be serviced by a 12" water main located in Johnson Road near the proposed site. A letter from the Portland Water District attesting to the capacity to serve is included as attachment 15.

## 4. Landscaping

The existing landscaping on the site consists of varied species of trees, shrubs and scrub. The Wetland permit obtained by the applicant clearly limits the areas on the property where disturbance can occur. Staff, in concert with City Arborist Jeff Tarling, concurs with applicant that the existing vegetation provides excellent screening and buffering of the proposed development. To enhance this buffering, the applicant has proposed 5 additional white pine trees. These trees will be planted in locations established after site development by the applicant in conjunction with the City Arborist.

With Jeff Tarling's assistance, the applicant has presented a landscape plan of foundation plantings that include a mixture of junipers, blueberries and arborvitae (see attachment 25). Although this plan meets the requirements of the landscape standards, staff would encourage the applicant to further enhance the site's landscaping through appropriate, native-species based, Scout projects.

5. Drainage

The site is relatively flat with natural slopes ranging from 1% to 3%. Stormwater currently flows westerly in an existing drainage swale across the site from a newly installed 24" culvert under the New Turnpike Connector Road. Below the site, this swale intersects a drainage swale from the northwest that is mapped as a stream. No streams currently exist on the subject property.

Development on the site will result in the construction of 31,000 square feet of impervious area and fill across the existing drainage swale. The added impervious area of the site was included with the stormwater analysis of the Johnson Road Relocation project, therefore no onsite detention is proposed as part of this proposal. Upstream drainage will be conveyed around the fill in a vegetated swale and will be pass through a 24" culvert under the access drive. On site drainage will be accomplished by collecting run off in two catch basins, treating the run off with a water quality unit for sedimentation retention, and then discharging the treated runoff into the wetlands to the west of the proposed drive. Per recommendations from Jeff Preble, acting as the City's engineering consultant on this project, level-lip spreaders have been added to the 24" driveway culvert and the 12" storm drain leading from the water quality unit. The drainage plan is included as attachment 23.

6. Lighting

The applicant has provided a lighting plan (attachment 26) including photometrics and catalog cuts (attachment 18) for the proposed fixtures. The applicant proposes four 20-foot pole lights and numerous 42" bollards to be placed along the perimeter of the parking area and two 20-foot pole lights to be placed in front of the building. The photometric plan slightly exceeds the City standards for spot intensity (5.79 vs. 5.00) and illumination levels at property line (0.07 vs. 0.01). Staff finds these inconsistencies acceptable due to the irregular lot configuration and lot constraints and feels that these lighting levels will have minimal negative effects on adjacent properties due to the site's location.

7. Fire Safety

The site plan has been reviewed and approved by the Fire Department (see attachment 14).

8. Financial Capability

The applicant has provided a letter from Peoples Bank attesting to the financial capability of the applicant to complete this project (see attachment 17).

**IV. MOTIONS FOR THE BOARD TO CONSIDER**

On the basis of plans and materials submitted by the applicant and on the basis of information provided in Planning Board Report #40-01 relevant to standards for site plan review, the Board finds:

- i. That the plan is/is not in conformance with the Site Plan Standards of the Land Use Code.

Potential Conditions of Approval:

1.

Attachments:

1. Applicants Project Description
2. Applicants Statement of Project Need
3. Applicants Construction Plan
4. Approved Tier II NRPA Wetland Permit through MeDEP 7-20-2001
5. Approved US Army Corp permit 8-1-2001
6. Letter from Maine Historic Preservation Committee, 4-24-2000
7. Letter from United States Department of the Interior, 5-22-2000
8. License and Easement Agreement with the City of Portland for Access
9. Staff Letter to Applicant 5-25-2001
10. Applicant Response 6-26-2001
11. Applicant Response to City Concerns 9-6-2001
12. Memo from City Traffic Engineer Larry Ash concerning entrance/exit median.
13. Enhanced Entrance for Staples
14. Memo from Lt. Gaylen McDougall
15. Updated Letter of Capacity, Portland Water District
16. Updated Letter of Capacity, City of South Portland Pollution Abatement Department
17. Letter of Financial Capacity
18. Catalog Cuts for Lighting Fixtures
19. Cover Sheet and Vicinity Map
20. General Notes
21. Existing Conditions
22. Proposed Site Plan
23. Grading Drainage and Erosion Control
24. Utility Plan
25. Landscape Plan
26. Lighting Plan with Photometrics
27. Site Details
28. Erosion Control Details
29. Utility Details
30. Building Floorplan and Building Elevations
31. Artist Rendering of Proposed Building
32. Erosion and Sedimentation Control Report

**EXHIBIT 1**

**PROJECT DESCRIPTION**

**1.0 Introduction**

DeLuca-Hoffman Associates, Inc. has been retained by the Pine Tree Council of the Boy Scouts of America to prepare plans and permit applications for a proposed headquarters facility on Johnson Road in Portland, Maine. The proposed development would include the construction of a two-story 11,800 square foot building with parking facilities. Figure 2 attached to this section is an excerpt from the USGS Portland West Quadrangle Map showing the project location. Figure 1 also attached to this section is an excerpt from the DeLorme Location Map showing the project location.

**1.1 Existing Site Conditions**

The project site consists of Lot 5 on the Portland Assessor's Map No. 232. The parcel includes 575 feet of frontage on controlled access rights of way held by the Maine Turnpike Authority (MTA). The remaining 570 feet of the parcel perimeter abuts Portland Jetport Authority land owned by the City of Portland. The site is currently undeveloped land consisting of meadow, brush, and woods. All but 0.07 acres of the 1.95 acre parcel consists of wetlands.

Recently completed and proposed road construction surrounds the parcel. To the west, north, and northeast, the MTA has constructed a turnpike interchange to serve the Jetport and surrounding areas. To the south and southeast, the City of Portland plans to relocate Johnson Road roughly 600 feet west of its present alignment to provide an extended safety zone at the end of the primary runway. This road relocation, which is currently out to bid and scheduled for construction in the spring of 2001, is expected to cross the eastern end of the project parcel, and will reduce the parcel by approximately 0.33 acres including the 0.07 acres which is not wetland.

The project site consists of relatively level ground, with natural slopes ranging from 1% to 3%. Elevations across the site range from 66' to 72'. Based on the medium intensity soils survey published by the Natural Resources Conservation Service, site soils consist of Biddeford, Buxton and Scantic silt loams. Figure 3 attached to this section is an excerpt of the SCS Medium Intensity Soils Map for Cumberland County.

At present, there are no serious erosion and sedimentation problems at the site. During adjacent road construction siltation fence was employed to reduce the migration of sediments onto the site.

## 1.2 Development Plan

The project will consist of construction of a two-story office building with a footprint of 7,400 square feet, associated parking and driveway facilities, sidewalks, loading area, and landscaping. Approximately 23,300 square feet of pedestrian and vehicular pavement will be included. Attached to this exhibit as Figure 5 is a color rendering of the proposed Pine Tree Council Headquarters Building.

The proposed development will impact 0.80 acres of onsite wetlands and 0.17 acres of offsite wetlands as shown on Figure 4 attached to this section. The offsite wetland impacts are associated with the construction of the access drive from Johnson Road across land of the City of Portland. A license across this offsite property has been received by the Pine Tree Council from the City of Portland. Therefore, the total wetland impacts associated with this project are 0.97 acres.

## 1.3 Attachments

Figure 1 – DeLorme Location Map

Figure 2 – USGS Portland West Quadrangle Map

Figure 3 – SCS Medium Intensity Soils Map for Cumberland County

Figure 4 – Wetland Impact Area

Figure 5 – Color rendering of the proposed Pine Tree Council Headquarters Building.

**EXHIBIT 2**  
**PROJECT NEED**

**2.0 Overall Project Need**

The Pine Tree Council's current Headquarters facility in Southern Maine located at 125 Auburn Street in Portland, is a two story 4,400 square foot building which was built 40 years ago. The current Headquarters facility is woefully inadequate, due to its lack of size and small meeting space (10'x12' conference room), is not ADA accessible, has limited parking and is difficult to find by visitors to the facility. The Pine Tree Council of the Boy Scouts of America is proposing to construct a new headquarters facility which addresses the inadequacies of the existing facility. The proposed expanded headquarters facility will consist of a two-story 11,800 s.f. building which is highly identifiable, easily accessible and provides a safe, ADA accessible environment with ample parking. The proposed headquarters facility is to be located off Johnson Road in Portland, Maine with easy access and visibility from the new Exit 7A Turnpike Interchange.

**Headquarters Requirements**

The Pine Tree Council has established the following requirements for the new Headquarters facility:

- Must be close to other retail for generation of retail traffic and customer convenience.
- Direct access from major traffic arteries (Maine Turnpike & I-295 north/south; east/west routes) to encourage volunteer involvement.
- Should be easily available to adult Scouting volunteers from Maine, the USA, and the world.
- 12,000 +/- square foot ADA accessible building for administration, storage, meeting rooms, customer service, resource library and a retail store.
- Should portray a "regional" focus, rather than a "neighborhood" focus.
- 50 parking spaces plus overnight storage of several (15) passenger vans.
- High visibility and easy to find (particularly at night).
- Appearance identifies the Pine Tree Council as a progressive and successful youth organization.
- Must be close to supporting facilities and services (Staples, Post Office, UPS, etc.)
- Future value of property is an important consideration (25 year life span projected).
- Cost must be kept as low as possible to avoid trading great amounts of "program time for fundraising time."
- Should provide the safest winter travel for both customers and employees.



A properly designed Headquarters facility located at the corner of Johnson Road and the new Jetport Interchange Access Road would meet all of the Pine Tree Council's requirements presented above.

EXHIBIT 7CONSTRUCTION PLAN7.0 Overview

Upon receiving the necessary permit approvals, it is anticipated that the Pine Tree Council of the Boy Scouts of America would start construction of the headquarters project in the Fall of 2001.

It will be necessary to schedule certain portions of the sitework to ensure erosion and sedimentation control measures are sequenced for optimum effectiveness. Building construction will commence at the start of the project and be concurrent with several elements of the site work. The following schedule reflects this construction:

1. Install stabilized construction entrance off Johnson Road.
2. Install perimeter silt fence.
3. Clear trees, cut underbrush, remove stumps, and grub building pad portion of the site.
4. The channel along the southeastern side of the site will convey off-site runoff around the site while protecting the site sideslopes and wetlands from the concentrated flow. This channel is to be constructed and stabilized prior to site filling and diversion of stormwater from the existing wetland swale.
5. Perform cut/fill operations and bring building pad portion of the site to sub-grade elevation.
6. Begin installation of the underground utilities including sanitary sewer, water main, storm drain system and underdrains.
7. Upon completion of the storm drain system installation, install inlet protection at the new catch basins, as well as the existing catch basins.
8. Install riprap protection as specified on plans.
9. Complete installation of subbase and base materials for the paved areas associated with the access drive, loading dock and parking areas.
10. Bring non-paved areas to final grade.
11. Install base and surface coarse paving for all paved areas and stripe per plans.
12. Loam, lime, fertilize, seed and mulch disturbed areas and complete all landscaping.
13. Remove accumulated sediment from ahead of any sediment barriers in accordance with the Erosion and Sedimentation Control Report.
14. Once the site is stabilized and a 75% catch of vegetation has been obtained, remove all temporary erosion control measures.
15. Touch up loam and seed.

Note: All denuded areas not subject to final paving, riprap or gravel, shall be revegetated with loam and seed.



STATE OF MAINE  
17 State House Station  
Augusta, ME 04333

Att. #4

1097  
47

IN THE MATTER OF

PINE TREE COUNCIL, BOY SCOUTS OF AMERICA  
Portland, Cumberland County  
HEADQUARTERS BUILDING  
Tier # 1177

- ) NATURAL RESOURCE PROTECTION ACT
- ) FRESHWATER WETLAND ALTERATION
- ) WATER QUALITY CERTIFICATION
- ) FINDINGS OF FACT AND ORDER

Project Description: The applicant proposes to construct an 11,800 square foot headquarters building with associated parking for 50 vehicles and access drive. The proposed project is located on the southwest corner of the intersection of Johnson Road and the Jetport Interchange access road. Development of the site will require filling approximately 42,250 square feet of a scrub-shrub freshwater wetland. The applicant has submitted an extensive alternatives analysis with the application (Exhibit 11), which demonstrates that there is no practicable alternative that meets the project purpose. As compensation, the applicant will restore 0.25 acre of a previously filled scrub-shrub wetland and preserve 12.7 acres of a scrub-shrub and forested wetland adjacent to the Nonesuch River in Scarborough. The compensation amount exceeds that required in the Wetland Protection Rules (Chapter 310) for preservation. The preservation area will be managed for passive recreation by the Scarborough Land Conservation Trust and protected from development in perpetuity by deed covenants and restrictions.

Permit for:       Tier 1       Tier 2

Date of Review:

DEP Decision:       Approved       Denied (see attached letter)

CORPS Action:       The Corps has been notified of your application. The following are subject to Federal screening: (1) projects with previously authorized or unauthorized work, in combination with a Tier 1 permit for a single and complete project, which total more than 15,000 square feet of altered area; (2) projects with multiple state permits and/or state exemptions which apply to a single and complete project that total more than 15,000 square feet of altered area; and (3) projects that may impact a vernal pool, as determined by the State of Maine or the Corps. If your activity is listed above, *Corps approval is required for your project.* For information regarding the status of your application contact the Corps' Maine Project Office at 623-8367.

Special Conditions: 1. No other wetland impacts shall occur on this property, without prior Department approval.  
2. The applicant shall submit to the Department a copy of the recorded deed with deed restrictions protecting the preservation area in perpetuity prior to construction on the project site.

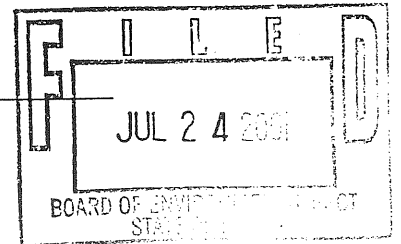
Standard Conditions:

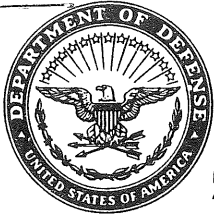
- 1) This permit is good for two (2) years from the date signed and is transferable only with prior approval from the Department.
- 2) The project shall be completed according to the plans in the application. Any change in the project plans must be reviewed and approved by the Department.
- 3) Properly installed erosion control measures shall be installed prior to beginning the project, and all disturbed soil should be stabilized immediately upon project completion.
- 4) A copy of this approval will be sent to the City of Portland. Department approval of your activity does not supersede or substitute the need for any necessary local approvals.

Please note the attached sheet for guidance on appeal procedures.

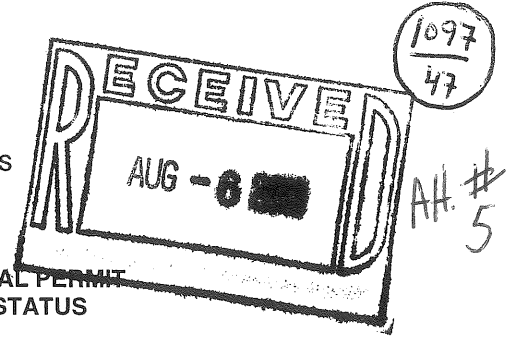
MARTHA G. KIRKPATRICK, COMMISSIONER

DATE 7/20/01





DEPARTMENT OF THE ARMY  
 NEW ENGLAND DISTRICT, CORPS OF ENGINEERS  
 696 VIRGINIA ROAD  
 CONCORD, MASSACHUSETTS 01742-2751



REPLY TO ATTENTION **DEPARTMENT OF THE ARMY PROGRAMMATIC GENERAL PERMIT**  
**STATE OF MAINE, SUMMARY OF SCREENING AND STATUS**

BOY SCOUTS OF AMERICA  
 C/O DELUCA-HOFFMAN ASSOCIATES, INC.  
 778 MAIN STREET, SUITE 8  
 SOUTH PORTLAND, MAINE 04106

CORPS PERMIT # 199902872  
 CORPS PGP ID# 01-263  
 STATE ID# \_\_\_\_\_

**DESCRIPTION OF WORK AS ON ATTACHED STATE APPN:**

Place fill in freshwater wetlands off Johnson Road at Portland, Maine in conjunction with the development of a new regional headquarters and retail center. Approximately 0.97 acres of wetland will be impacted by the project. To address Maine DEP requirements for compensatory mitigation, the permittee will perform off site mitigation off Route 1 at Scarborough, Maine. Approximately 0.25 acres of filled wetland will be restored and encompassed within a 12.75 acre preservation area adjacent to the Nonesuch River. The preservation area contains both upland and wetland habitats.

UTM GRID COORDINATES N: 4833321 E: 392762 USGS QUAD: PORTLAND WEST, ME

I. STATE ACTIONS: PENDING [  ], ISSUED [  ], DENIED [  ] DATE \_\_\_\_\_

LEVEL OF STATE REVIEW: PERMIT BY RULE: \_\_\_\_\_, TIER 1: \_\_\_\_\_, TIER 2: x, TIER 3: \_\_\_\_\_, (NRPA)

**II. FEDERAL ACTIONS:**

DATE STATE FILE REVIEWED: 6/1/01 (PGP JP MEETING)

LEVEL OF CORPS REVIEW: CATEGORY 1: X CATEGORY 2: \_\_\_\_\_

AUTHORITY: SEC 10 \_\_\_\_\_, 404 X 10/404 \_\_\_\_\_, 103 \_\_\_\_\_

EXCLUSIONS: The exclusionary criteria identified in the general permit do not apply to this project.

**ESSENTIAL FISH HABITAT (EFH): EFH PRESENT Y (N) (CIRCLE ONE)**

IF YES: Based on the terms and conditions of the PGP, which are intended to ensure that authorized projects cause no more than minimal environmental impacts, the Corps of Engineers has preliminary determined that this project will not cause more than minimal adverse effects to **EFH** identified under the Magnuson-Stevens Fisheries Conservation and Management Act.

FEDERAL RESOURCE AGENCY OBJECTIONS: EPA NO, USF&WS NO, NMFS NO

**CORPS DETERMINATION:** We authorize your project as proposed and as shown on the plans submitted to the Corps under the State of Maine PGP.

Please note that all work is subject to the conditions contained in the general permit and any additional special conditions listed on any attached sheets. No work may be started unless and until all other required local, State and Federal licenses and permits have been obtained. Also, this permit requires you to notify us before beginning work and allow us to inspect the project. Hence, you must complete and return the attached Work Start Notification Form(s) to this office no later than two weeks before the anticipated starting date. **(FOR PROJECTS REQUIRING MITIGATION, BE SURE TO INCLUDE MITIGATION WORK START FORM)**

Additional Special conditions Attached: YES  NO (CIRCLE ONE)

The Corps of Engineers has implemented an administrative appeals process for jurisdictional determinations. If you are interested in appealing the jurisdictional determination for this project; or if you would like any additional information pertaining to the appeals process, please contact Shawn Mahaney or Rod Howe of my staff at 207-623-8367 at our Manchester, Maine Project Office.

*Jay L. Clement*  
 JAY L. CLEMENT  
 SENIOR PROJECT MANAGER  
 MAINE PROJECT OFFICE

for *Michael Hilly* 8/1/01  
 DAVID H. KILLOY DATE  
 CHIEF, PERMITS & ENFORCEMENT BRANCH  
 REGULATORY DIVISION



MAINE HISTORIC PRESERVATION COMMISSION  
 55 CAPITOL STREET  
 65 STATE HOUSE STATION  
 AUGUSTA, MAINE  
 04333

AH. # 6

ANGUS S. KING, JR.  
 GOVERNOR

EARLE G. SHETTLEWORTH, JR.  
 DIRECTOR

April 24, 2000

Dwight D. Anderson  
 DeLuca-Hoffman Associates, Inc.  
 778 Main Street, Suite 8  
 South Portland, Maine 04106

Project: MHPC #672 - Proposed Boy Scouts of America - Pine Tree Council Headquarters  
 Facility, Johnson Road  
 Location: Portland, Maine

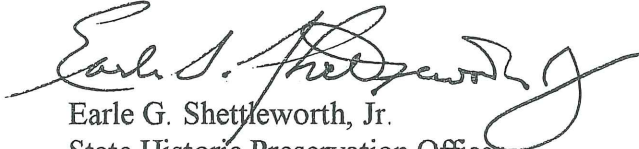
Dear Mr. Anderson:

In response to your recent request, I have reviewed the information received April 18, 2000 to initiate consultation on the above referenced project. We are reviewing this project pursuant to Section 106 of the National Historic Preservation Act of 1966, as amended.

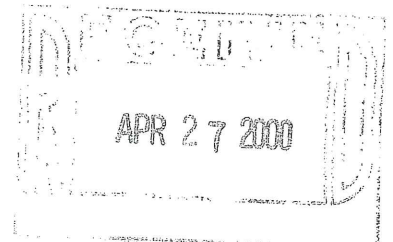
Based upon the proposed scope of work for this project and the project location, no additional identification efforts are warranted at this time as there is adequate documentation for a finding on historic properties. Therefore, I find no historic properties [historic, architectural or archaeological] affected by this project.

Please contact Dana R. Vaillancourt of my staff if you require further assistance in this matter.

Sincerely,

  
 Earle G. Shettleworth, Jr.  
 State Historic Preservation Officer

EGS/drv





United States Department of the Interior



FISH AND WILDLIFE SERVICE

Maine Field Office  
1033 South Main Street  
Old Town, ME 04468  
(207) 827-5938

AH #7

To: DeLuca-Hoffman Associates  
778 Main Street  
Suite 8  
South Portland, Maine 04106

May 22, 2000

Thank you for your letter requesting information or recommendations from the U.S. Fish and Wildlife Service. This form provides the Service's response pursuant to Section 7 of the Endangered Species Act (ESA), as amended (16 U.S.C. 1531-1543), and the Fish and Wildlife Coordination Act, as amended (16 U.S.C. 661-667d).

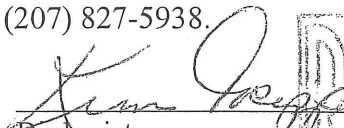
Re: Boy Scouts/ Portland/ Cumberland  
Elementary School/ Standish/ Cumberland  
Project Name/Location/County

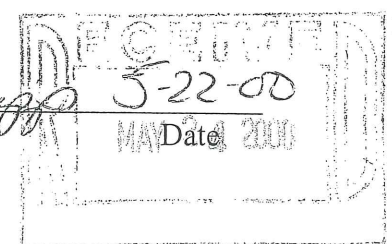
April 13, 2000	00-0110
<u>April 20, 2000</u>	<u>00-0113</u>
Date of Incoming Letter	Log Number

Based on the information currently available to us, no federally-listed species under the jurisdiction of the Service are known to occur in the project area, with the exception of occasional, transient bald eagles (*Haliaeetus leucocephalus*). Accordingly, no further action is required under Section 7 of the ESA, unless: (1) new information reveals impacts of this identified action that may affect listed species or critical habitat in a manner not previously considered; (2) this action is subsequently modified in a manner that was not considered in this review; or (3) a new species is listed or critical habitat determined that may be affected by the identified action.

A list of federally-listed species in Maine is enclosed for your information. Please contact the Maine Department of Inland Fisheries and Wildlife and Maine Natural Areas Program for an up to date account of state-listed species in the project area.

If you have any questions, please call Kim Tripp at (207) 827-5938.

  
Biologist



AH # 8

Corporation Counsel  
Gary C. Wood



Associate Counsel  
Charles A. Lane  
Elizabeth L. Boynton  
Donna M. Katsiaficas  
Penny Littell

**CITY OF PORTLAND**

March 20, 2001

Mr. Rees Falkner  
Chief Executive Officer  
Pine Tree Council, Boy Scouts of America  
125 Auburn Street  
Portland, ME 04103

**Re: License and Easement with City of Portland**

Dear Mr. Falkner:

Enclosed for your files is a fully executed original of the License Agreement with the City for construction of your access road. I have also recorded the Avigation Easement in the Registry of Deeds at Book 16106, Page 344.

Please let me know if you have any questions.

Sincerely yours,

*Elizabeth L. Boynton*  
Elizabeth L. Boynton

ELB:bb

Pc: Jeff Schultes, Airport Manager



## CITY OF PORTLAND

May 25, 2001

Mr. Dwight D. Anderson, P.E.  
DeLuca Hoffman Associates, Inc.  
778 Main Street, Suite 8  
South Portland, ME 04106

RE: Boy Scouts, 131 Johnson Road  
(ID# 20010082, CBL#232-A-5)

Dear Mr. Anderson:

The Planning Department has received your application for the new Boy Scout's building on the property addressed at 131 Johnson Road. After review of the submitted plans and materials, the following comments have been generated:

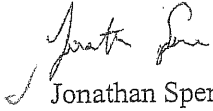
1. Applicant must submit letters from Portland Water District regarding water availability and Public Works Department regarding sewer availability for the new building.
2. A lighting plan for the project including catalog cuts for all wall and pole mounted fixtures in addition to a photometric plan is needed.
3. A landscape plan including species types, location, quantity and sizes is required.
4. Floorplans and elevations of the proposed building are needed to fully evaluate the project.
5. Engineering comments from Jeff Preble, Engineering Consultant, are attached.
6. The letter of financial capacity should be amended to infer that funds are available for this project and are not dependent on the capital campaign. Similar situations have occurred in the past with applicants who are dependent on capital campaigns. The easiest manner to resolve the necessity of a letter of financial capacity is to provide a letter from the bank associated with the Council recognizing its good standing and ability to complete the project.



The project must go to the Planning Board for review as a major development and is tentatively scheduled for the July 10<sup>th</sup> workshop. The zoning administrator and the public works department are currently reviewing the project. If there are any additional comments, I will forward them to you.

If you have any questions, please do not hesitate to contact me at 756-8083.

Sincerely,



Jonathan Spence  
Planner

CC: Sarah Hopkins, Development Review Services Manager



## Memorandum

Area Office:  
22 Free Street  
Portland, ME 04101  
(207) 775-3211

Fax: (207) 775-6434 E-Mail: jpreble@dufresne-henry.com

---

To: Jonathan Spence

From: Jeffrey Preble, P.E. *JEP*

Date: May 25, 2001

Subject: Pine Tree Council Headquarters

---

We have completed our review of the May 4, 2001 Major site Plan Application for the new Pine Tree Headquarters Building located on the relocated Johnson Road. This project involves construction of a new 11,800 square foot building and associated parking facilities. A majority of the site involves construction in wetlands. Our review comments on the proposed project are summarized below.

### Sheet C4 - Site Layout Plan

- The entrance configuration prohibits a left hand turning movement leaving the facility. Is this a requirement from the MDOT?
- Is the entrance radius configuration sufficient for delivery trucks entering the facility?
- The parking spaces are designated as 8.5 feet by 15 feet, with 15 spaces designated at 10 feet by 20 feet. It appears the larger spaces are for the passenger vans used by the Pine Tree Council. The smaller spaces do not meet City guidelines. The plan lists these spaces as compact car parking, however, it is likely that larger vehicles will utilize the facility.
- Details are not provided for the granite block wall. In several areas the block wall encroaches on the property boundary.
- The curve data table needs to be completed.
- The entire parking area is curbed. Snow removal will be difficult.

### Sheet C5 - Grading, Drainage and Erosion Control Plan

- The grading near the dumpster area extends beyond the property line.
- The storm drain schedule needs to be completed.

#### Sheet C6 - Utility Plan

- Details for the lift station have not been provided.
- Details on the proposed utility tie ins are lacking.
- The sanitary sewer schedule needs to be completed.

#### Sheet C9 - Site Details

- A detail is needed for the fence gate.

#### Sheet C10 - Erosion Control Details

- Details F calls for a hay bale barrier, while detail F on C5 is associated with the Water Quality Unit. If a hay barrier is required it should be shown on the erosion control plan.

#### Other Comments

- Drainage calculations have been referenced to the Johnson Road relocation project, but no documentation is given on how the increased stormwater runoff will be handled from the site.
- Details on the exterior lighting should be provided. It appears there are two light fixtures located in the parking area with three lights each. No light fixtures are located along the entrance. Is there enough lighting for the proposed lot and access? What type of light fixtures are proposed?

Please let us know if we can be of any further assistance on this project.



DeLUCA-HOFFMAN ASSOCIATES, INC.  
CONSULTING ENGINEERS

778 MAIN STREET  
SUITE 8  
SOUTH PORTLAND, MAINE 04106  
TEL. 207 775 1121  
FAX 207 879 0896

AA # 10

- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

June 26, 2001

Mr. Jonathan Spence  
City of Portland, Planning  
389 Congress Street  
Portland, ME 04101

**Subject: Response to City Comments  
Pine Tree Council Headquarters Project**

Dear Mr. Spence:

Attached please find five (5) revised plan sets for the Pine Tree Council Headquarters Project. Comments generated by the City and Dufresne-Henry are listed below and have been responded to as follows:

**CITY COMMENTS:**

Comment 1:

*Applicant must submit letters from Portland Water District regarding water availability and Public Works Department regarding sewer availability for the new building.*

Response:

Letters from the Portland Water District and the South Portland Pollution Abatement Department are attached.

Comment 2:

*A lighting plan for the project including catalog cuts for all wall and pole mounted fixtures in addition to a photometric plan is needed.*

Response:

A lighting plan showing photometrics has been added to the revised plan set as Sheet C8. Catalog cut for fixtures are also attached.

Comment 3:

*A landscape plan including species types, location, quantity and sizes is required.*

Response:

A landscape plan has been added to the revised plan set as Sheet C7.

Comment 4:

*Floorplans and elevations of the proposed building are needed to fully evaluate the project.*

Mr. Jonathan Spence  
June 26, 2001  
Page 2

Response:

Five (5) copies of preliminary floorplan and elevation of the proposed building prepared by SMRT are attached.

Comment 5:

*Engineering comments from Jeff Preble, Engineering Consultant, are attached.*

Response:

Responses to engineering comments are provided below.

Comment 6:

*The letter of financial capacity should be amended to infer that funds are available for this project and are not dependent on the capital campaign. Similar situations have occurred in the past with applicants who are dependent on capital campaigns. The easiest manner to resolve the necessity of a letter of financial capacity is to provide a letter from the bank associated with the Council recognizing its good standing and ability to complete the project.*

Response:

An amended financial capacity letter is attached.

**DUFRESNE-HENRY COMMENTS:**

Sheet C4 – Site Layout Plan

Comment 1:

*The entrance configuration prohibits a left hand turning movement leaving the facility. Is this a requirement from the MDOT?*

Response:

Yes.

Comment 2:

*Is the entrance radius configuration sufficient for delivery trucks entering the facility?*

Response:

Yes, the entrance radius has been designed to accommodate turning movements of an SU-30 with a 42 foot turning radius.

Comment 3:

*The parking spaces are designated as 8.5 feet by 15 feet, with 15 spaces designated at 10 feet by 20 feet. It appears that larger spaces are for the passenger vans used by the Pine Tree Council. The smaller spaces do not meet City guidelines. The plan lists these spaces as compact car parking, however, it is likely that larger vehicles will utilize the facility.*

Mr. Jonathan Spence  
June 26, 2001  
Page 3

Response:

In efforts to minimize wetland impacts associated with this facility 35 compact size parking spaces are proposed. The City was previously contacted regarding these spaces and indicated that they would be acceptable; however, that the owner would be required to address problems associated with the compact spaces.

Comment 4:

*Details are not provided for the granite block wall. In several areas the block wall encroaches on the property boundary.*

Response:

A preliminary granite block wall detail is attached. A final granite block wall detail will be provided once the sizes of the donated granite blocks is determined. The site has been moved away from the property boundary.

Comment 5:

*The curve data table needs to be completed.*

Response:

The curve data table has been completed.

Comment 6:

*The entire parking area is curbed. Snow removal will be difficult.*

Response:

Curbing has been removed from a portion of the site.

Sheet C5 – Grading, Drainage and Erosion Control Plan

Comment 1:

*The grading near the dumpster area extends beyond the property line.*

Response:

The site has been moved away from the property boundary.

Comment 2:

*The storm drain schedule needs to be completed.*

Response:

The storm drain schedule has been completed.

Mr. Jonathan Spence  
June 26, 2001  
Page 4

Sheet C6 – Utility Plan

Comment 1:

*Details for the lift station have not been provided.*

Response:

A detail for the lift station has been provided.

Comment 2:

*Details on the proposed utility tie ins are lacking.*

Response:

A detail for the sanitary force main tie-in has been provided.

Comment 3:

*The sanitary sewer schedule needs to be completed.*

Response:

A portion of the sanitary sewer schedule has been completed. Field verification of elevations of the existing SMH will be provided.

Sheet C9 – Site Details

Comment 1:

*A detail is needed for the fence gate.*

Response:

A fence gate detail has been provided.

Sheet C10 – Erosion Control Details

Comment 1:

*Details F calls for a hay bale barrier, while detail F on C5 is associated with the Water Quality Unit. If a hay barrier is required it should be shown on the erosion control plan.*

Response:

A hay barrier has been added to the erosion control plan.

Other Comments

Comment 1:

*Drainage calculations have been referenced to the Johnson Road relocation project, but no documentation is given on how the increased stormwater runoff will be handled from the site.*

Mr. Jonathan Spence  
June 26, 2001  
Page 5

Response:

The increased impervious area associated with the proposed Boy Scouts Headquarters Building has been included in the Stormwater Quantity and Quality Report for the relocation of Johnson Road (Project #13760-18-R-A). Necessary adjustments in the stormwater conveyance system are being completed as part of the Johnson Road Project.

Comment 2:


*Details on the exterior lighting should be provided. It appears there are two light fixtures located in the parking area with three lights each. No light fixtures are located along the entrance. Is there enough lighting for the proposed lot and access? What type of light fixtures are proposed?*

Response

Details on exterior lighting have been added to the plan set. Photometrics are shown on Sheet C8 of the plan set. The proposed lot meets ANSI standards for lighting. Catalog cuts for proposed light fixtures are attached.

Sincerely,

DeLUCA-HOFFMAN ASSOCIATES, INC.



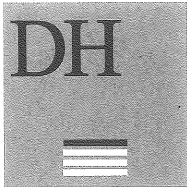
Dwight D. Anderson, P.E.  
Project Engineer

DDA/mb/JN1097/Spence6-26

Attachments

c: Rees Falkner – Pine Tree Council  
Tom Dunham – The Dunham Group





DeLUCA-HOFFMAN ASSOCIATES, INC.  
CONSULTING ENGINEERS

778 MAIN STREET  
SUITE 8  
SOUTH PORTLAND, MAINE 04106  
TEL. 207 775 1121  
FAX 207 879 0896

- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

September 6, 2001

Mr. Jonathan Spence  
City of Portland Planning  
389 Congress Street  
Portland, ME 04101

**Subject: Response to City Comments  
Pine Tree Council Headquarters Project**

Dear Mr. Spence:

Attached please find one 11x17 size revised plan set for the Pine Tree Council Headquarters Project. Items requested by the City are listed below and have been provided or responded to as follows:

**ITEMS REQUESTED:**

Item #1) Updated letters of service availability from appropriate utility agencies.

Updated ability to serve letters dated August 28, 2001 and August 29, 2001 from the South Portland Pollution Abatement Department and the Portland Water District are attached to this letter.

Item #2) An approved Tier II NRPA Wetland Permit through the MeDEP.

An approved Tier II NRPA Wetland Permit from the MeDEP dated July 20<sup>th</sup>, 2001 is attached to this letter. An approved US Army Corp permit dated August 1, 2001 is also attached to this letter.

Item #3) An updated Photometric Plan in compliance with City Standards.

The Photometric Plan for this project has been updated and is included with the revised plan set attached. The revised Photometric Plan is only slightly out of conformance with the City's Lighting Standards due to the irregular shape of the site and minimal setback distances.

Item #4) An improved landscape plan.

An improved landscape plan is included with the revised plan set attached. The landscape plan was revised based upon comments provided by Jeff Tarling, Staff Arborist for the City.

Mr. Jonathan Spence  
September 6, 2001  
Page 2

Item #5) Additional discussion relative to traffic concerns.

Additional details for the raised traffic island at the entrance to the Headquarters facility have been added to both Sheets C4 and C9 of the plan set. A sign at the drive exit which reads "TO REVERSE DIRECTION USE STAPLES PARKING LOT" has been added to the raised island. Figure 1 attached shows proposed improvements at Staples drive entrance to be completed as part of the Johnson Road relocation project. The City requested our office review extending the raised island further into the Headquarters drive entrance to deter left turn exits. Extending the raised island will significantly limit the ability of delivery trucks to enter and exit the site and from discussion with our senior traffic engineer, motorists intent on turning left out of the site will likely do so at the end of the drive.

It is our understanding that Dufresne-Henry recommended that level-lip spreaders be added to the project. Level-lip spreaders have been added to the outlet of both the 24 inch driveway culvert and the 12 inch storm drain leading from the water quality unit. A level-lip spreader detail has been added to Sheet C11.

Please contact our office with any questions or concerns regarding this matter.

Sincerely,

DeLUCA-HOFFMAN ASSOCIATES, INC.



Dwight D. Anderson, P.E.  
Project Engineer

DDA/mb/JN1097/Spence9-5

Attachments

c: Rees Falkner – Pine Tree Council  
Tom Dunham – The Dunham Group

AH. # 12

**From:** Larry Ash  
**To:** Jonathan Spence  
**Date:** Thu, Sep 6, 2001 5:53 AM  
**Subject:** Boy Scouts/Johnson Road

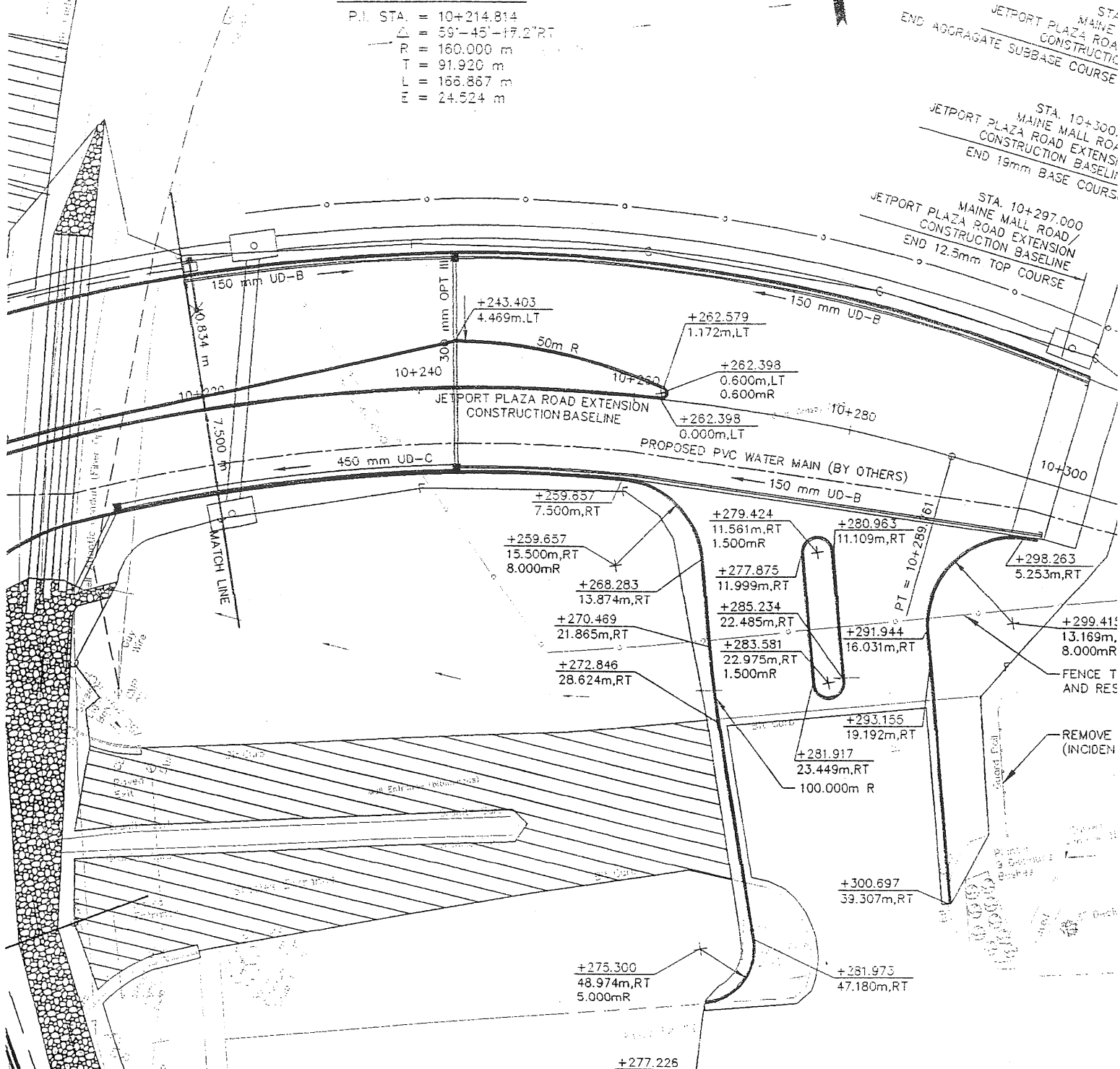
Jonathan: For the proposed driveway I concur with you that a regulatory sign on the median at the exit prohibiting a left turn out is appropriate.

# FIGURE 1

AH. 13

## MAINE MALL ROAD/JETPORT PLAZA ROAD EXT. CONSTRUCTION BASELINE

P.I. STA. = 10+214.814  
 $\Delta = 59^{\circ}-45'-17.2''$  RT  
 R = 160.000 m  
 T = 91.920 m  
 L = 166.867 m  
 E = 24.524 m



### CURB - TYPE 5

STATION	OFFSET TO STATION	OFFSET	LENGTH
10+277.875	11.999, RT	10+281.917	23.449, RT 12.000 m
10+280.963	11.109, RT	10+285.234	22.485, RT 12.000 m

### CONSTRUCT ENTRANCES

STATION	TYPE
WESTERN AVE/JOHNSON ROAD	
10+269.6, RT	PAVED
10+281.6, RT	PAVED

### CURB - TYPE 5 - CIRCULAR

STATION	OFFSET TO STATION	OFFSET	RADIUS	LENGTH
10+262.398	0.000, LT	10+262.579	1.172 LT	0.600 m 1.700 m
10+277.875	11.999, RT	10+280.963	11.109, RT	1.500 m 4.712 m
10+281.917	23.449, RT	10+285.234	22.485, RT	1.500 m 4.712 m

FIELD CHANGES

AH. 14

**From:** Gaylen McDougall  
**To:** Jonathan Spence  
**Date:** Thu, Sep 6, 2001 10:13 AM  
**Subject:** Re: the boy scouts

I have approved this plan.

Mac

>>> Jonathan Spence 09/05 1:18 PM >>>

I have this project, located out on Johnson Road going for public hearing next week. Have you given it your seal of approval? It has been kicking around for a while so I may have misplaced it. Thanks



AH # 15

225 Douglass St. • P.O. Box 3553 • Portland, ME 04104-3553

(207) 774-5961  
FAX (207) 761-8307  
www.pwd.org

August 29, 2001

Mr. Dwight D. Anderson  
DeLuca-Hoffman Assoc.  
778 Main Street, Suite 8  
South Portland, ME 04106

Re: BSA – Portland, Maine

Dear Mr. Anderson:

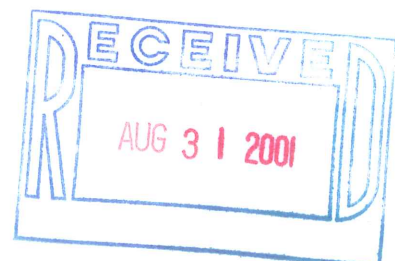
The Portland Water District has a new 12" water main in Johnson Road, Portland, near the proposed site. A test on a nearby hydrant produced the following results: static pressure 69psi; residual pressure 56psi; with a flow of 1256gpm. With these results in mind, the District feels we have a healthful and sufficient capacity available to serve this proposed project and meet all normal fire protection and domestic water service demands.

With certification by the developer that all required permits have been received, we look forward to serving this project.

Sincerely,

PORTLAND WATER DISTRICT

David W. Coffin, PLS  
Engineering Supervisor



Att. # 16



# POLLUTION ABATEMENT DEPARTMENT

James Jones  
Treatment Systems Manager

Patrick Cloutier  
Director

David Thomes  
Collection Systems Manager

Dwight Anderson  
Deluca-Hoffman Associates  
778 Main St., Suite 8  
South Portland, Maine 04106

August 28, 2001

Re: Boy Scouts of America  
Pine Tree Council Headquarters Project

Dear Mr. Anderson,

I'm writing in response to your request for the addition of 905 gallons per day (GPD) flow from the subject project. This project is proposing a two-story 12, 800 square foot building to serve as headquarters in Portland.

Please consider this letter confirmation that the City has adequate collection and treatment capacity for the proposed flow of 905 GPD from the project.

If you have any further questions, please give me a call at 767-7675 at your earliest convenience.

Sincerely,

Patrick Cloutier  
Director, Pollution Abatement



AH # 17



**Pine Tree Council, Boy Scouts of America**  
125 Auburn Street  
Portland, Maine 04103

June 26, 2001

Mr. Dwight D. Anderson  
Design Engineer  
DeLuca Hoffman Associates, Inc.  
778 Main Street, Suite 8  
South Portland, ME 04106

Dear Dwight:

As requested by the City of South Portland, I am enclosing a "Statement of Financial Position," dated December 31, 2000.

As you can see from the financial report, the Council is well funded to handle our upcoming new office building project. While the Council could handle the financial needs of this project, we are planning to supplement the cost through several additional sources. We plan to sell our current office that has an approximate market value of between \$250,000 and \$300,000. We have Council owned property that we could liquidate that has an approximately value of \$500,000. We have completed a feasibility study that shows that we could raise between \$3 and \$3.5 million to carry out the building project; and we have our endowment fund to help maintain it. Additionally, we have a number of businesses including: Cianbro Corporation, DeLuca Hoffman Associates Inc., The Dunham Group, SMRT, L.L. Bean and others who plan to make major contributions toward this project.

If you or the City of South Portland have further questions or need further information, please let me know.

Yours sincerely,

PINE TREE COUNCIL  
BOY SCOUTS OF AMERICA

Rees A. Falkner  
Council Scout Executive

Enclosure

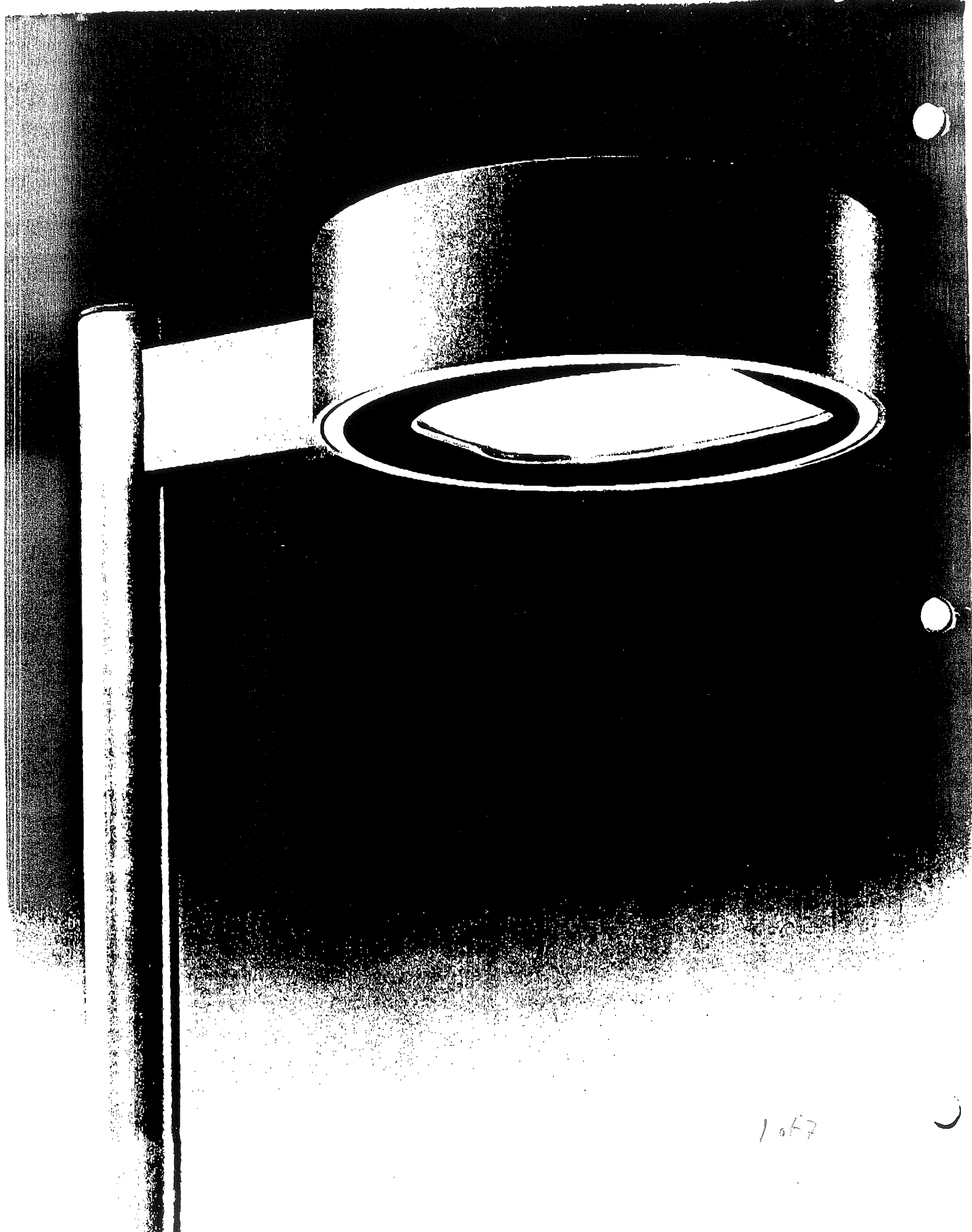
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PINE TREE COUNCIL, INC.  
BOY SCOUTS OF AMERICA  
STATEMENTS OF FINANCIAL POSITION  
DECEMBER 31, 2000 AND 1999

<u>ASSETS</u>	<u>Operating Fund</u>	<u>Capital Fund</u>	<u>Endowment Fund</u>	<u>Total 2000</u>	<u>Total 1999</u>
<b>CURRENT ASSETS:</b>					
Cash	\$326,094	37,333	31,421	394,848	169,225
Accounts and other receivables	52,713	-0-	10,906	63,619	41,144
Inventories	105,878	-0-	-0-	105,878	146,869
Prepaid expenses	<u>999</u>	<u>-0-</u>	<u>-0-</u>	<u>999</u>	<u>-0-</u>
Total current assets	<u>485,684</u>	<u>37,333</u>	<u>42,327</u>	<u>565,344</u>	<u>357,238</u>
<b>PROPERTY AND EQUIPMENT</b>	<u>-0-</u>	<u>921,100</u>	<u>-0-</u>	<u>921,100</u>	<u>945,647</u>
<b>OTHER ASSETS:</b>					
Investments, at market	-0-	-0-	2,288,161	2,288,161	2,477,911
Investment property	-0-	-0-	140,500	140,500	140,500
Beneficial interest in perpetual trusts	-0-	-0-	269,000	269,000	269,000
Non-current pledges receivable	-0-	-0-	37,500	37,500	37,500
Pooled income fund	-0-	-0-	5,053	5,053	5,053
Cash surrender value of life insurance	<u>10,860</u>	<u>-0-</u>	<u>-0-</u>	<u>10,860</u>	<u>10,350</u>
Total other assets	<u>10,860</u>	<u>-0-</u>	<u>2,740,214</u>	<u>2,751,074</u>	<u>2,940,314</u>
	<u>\$496,544</u>	<u>958,433</u>	<u>2,782,541</u>	<u>4,237,518</u>	<u>4,243,199</u>
<b><u>LIABILITIES AND NET ASSETS</u></b>					
<b>CURRENT LIABILITIES:</b>					
Accounts payable and accrued expenses	21,376	1,556	-0-	22,932	20,747
Custodian accounts	79,331	-0-	-0-	79,331	36,572
Deferred income	<u>32,416</u>	<u>-0-</u>	<u>-0-</u>	<u>32,416</u>	<u>32,944</u>
Total current liabilities	<u>133,123</u>	<u>1,556</u>	<u>-0-</u>	<u>134,679</u>	<u>90,263</u>
<b>NET ASSETS</b>					
Unrestricted net assets	363,421	927,663	1,244,585	2,535,669	2,604,567
Temporarily restricted net assets	-0-	29,214	75,500	104,714	100,500
Permanently restricted net assets	<u>-0-</u>	<u>-0-</u>	<u>1,462,456</u>	<u>1,462,456</u>	<u>1,447,869</u>
Total net assets	<u>363,421</u>	<u>956,877</u>	<u>2,782,541</u>	<u>4,102,839</u>	<u>4,152,936</u>
	<u>\$496,544</u>	<u>958,433</u>	<u>2,782,541</u>	<u>4,237,518</u>	<u>4,243,199</u>

See accompanying notes to financial statements.

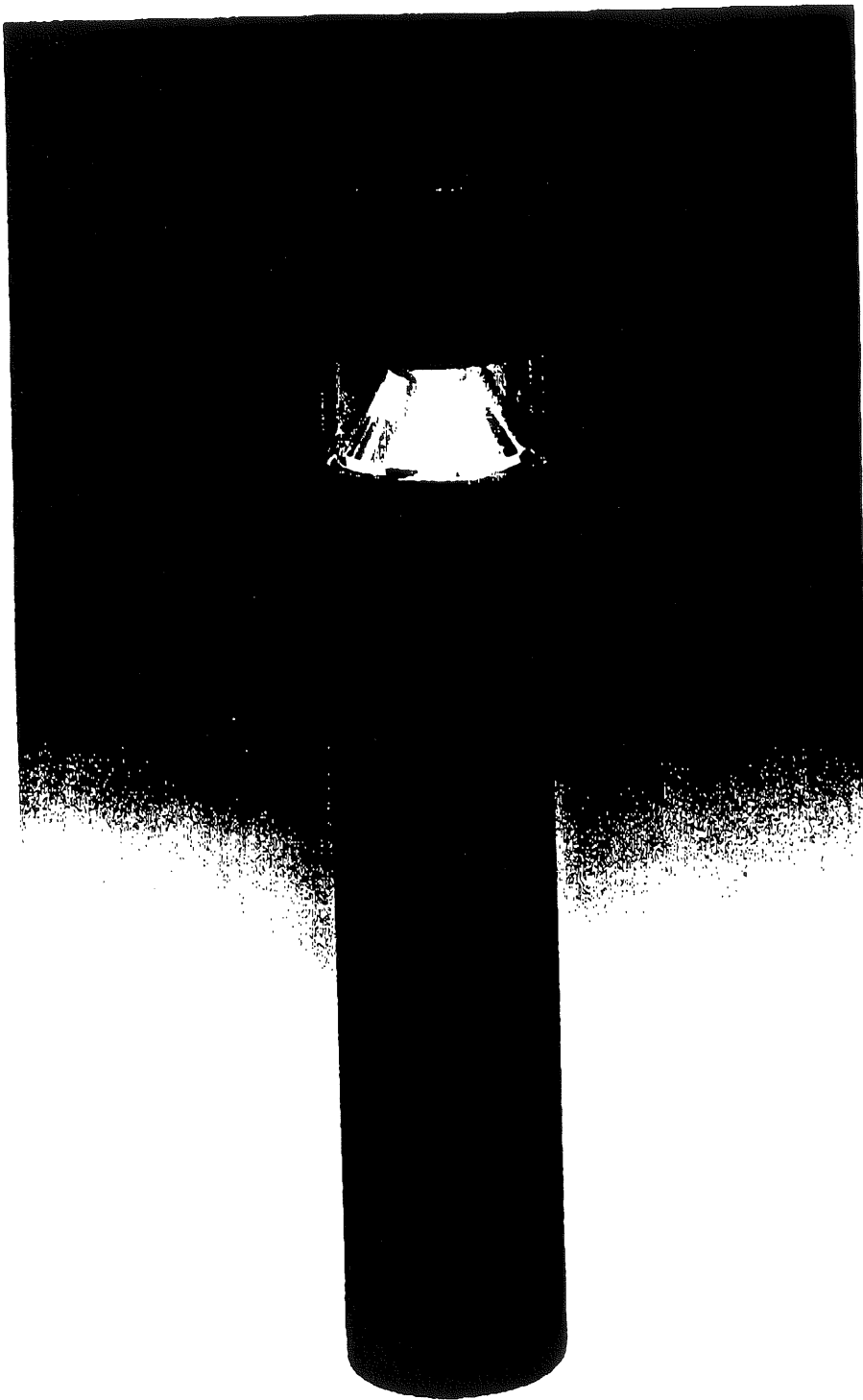


1 of 7



**Wattage:** Up to 100 watts for incandescent or HID. Fixture design utilizes only medium-base lamps  
**Bollard size:** 8" O.D. x .156" thick wall  
**Heights:** 42" overall-standard; also available at 30", 36", and 48"  
**Special features:** Seamless clear acrylic diffuser • Lamp is completely shielded from view • Highly polished

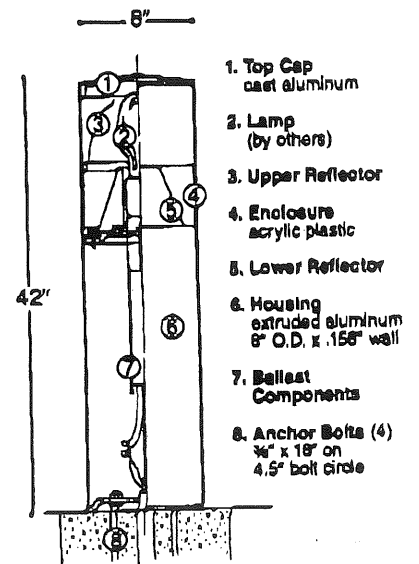
spun aluminum distribution reflector system • Cast aluminum top cap is sealed and secured with tamper-proof screw • Interior tie-rod construction increases strength and eliminates external fasteners • Asymmetric lighting distributions available • Electrostatically applied finishes available in a wide range of colors

# Delaware Round



## Product Information

1. Series Code  
**DR**
2. Bollard Height  
**30**  
**36**  
**42 - standard**  
**48**
3. Diffuser Code  
**F - Clear Acrylic - standard**  
**U - Bronze Acrylic**
4. Bollard Options Code  
**GR - Anodized Gold Reflector**  
**A28 - Asymmetric Distribution**   
**A18 - Asymmetric Distribution**   
**EE - Rings for Chain Support**  
**PC - Photoelectric Control**  
**Q - Single Weatherproof Receptacle**  
**T - Duplex Weatherproof Receptacle**  
**GFQ - Single Ground Fault Receptacle**  
**GFT - Duplex Ground Fault Receptacle**  
**N - Options Not Required**



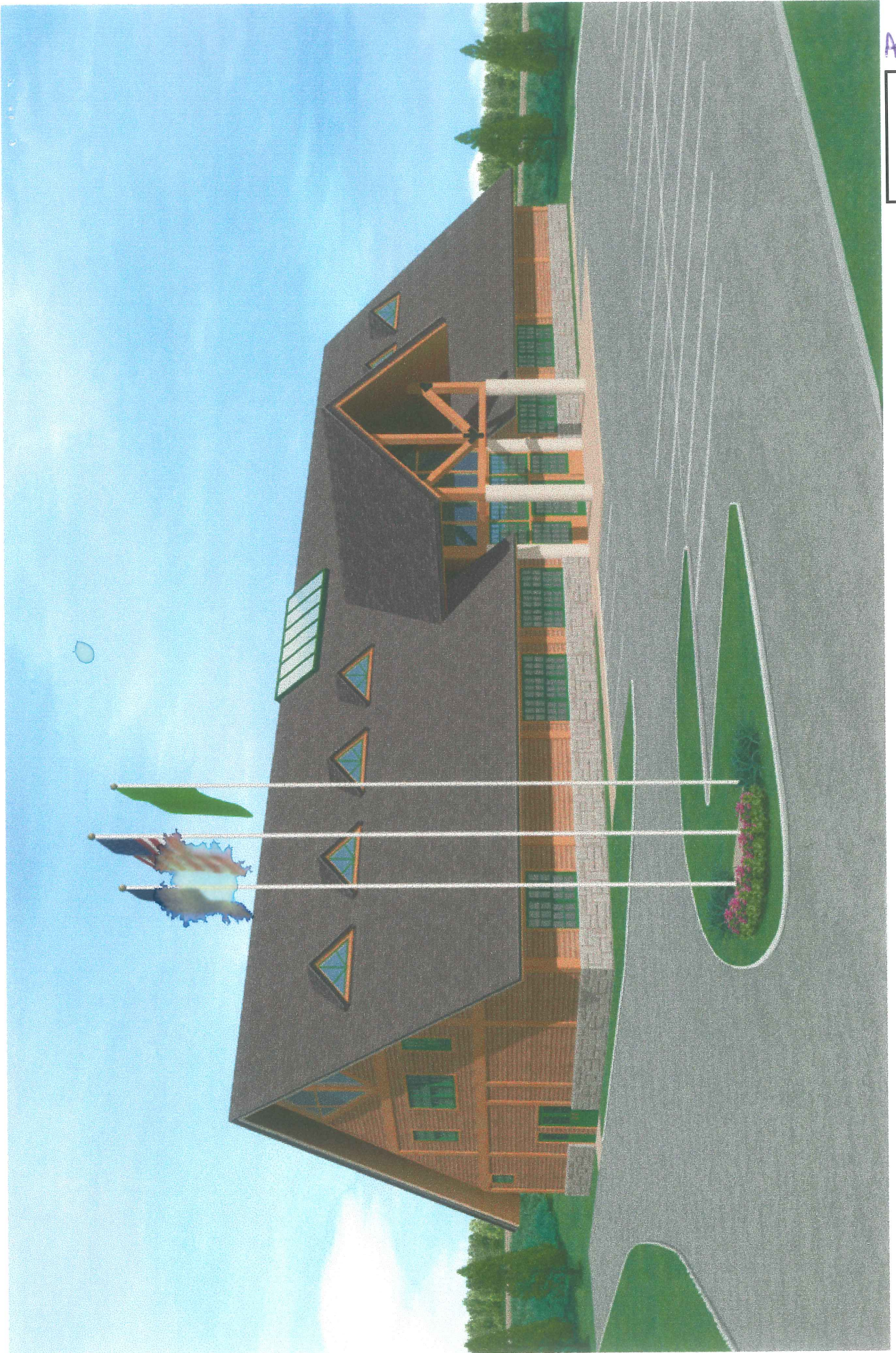
7 of 7

For how-to-order instructions, see fold-out p. 12.

AW #31

Figure

5



**EROSION AND SEDIMENTATION CONTROL REPORT**

**8.0 Introduction**

DeLuca-Hoffman Associates, Inc. has been retained by the Pine Tree Council of the Boy Scouts of America to prepare plans and permit applications for a proposed headquarters facility on Johnson Road in Portland, Maine. Figure 2 attached to Exhibit 1 is an excerpt from the USGS Portland West quadrangle map showing the project location. This narrative contains the erosion control and sedimentation measures to be implemented as part of the proposed project.

**8.1 Existing Site Conditions**

The project site consists of Lot 5 on the Portland Assessor's Map No. 232. The parcel includes 575 feet of frontage on controlled access rights of way held by the Maine Turnpike Authority (MTA). The remaining 570 feet of the parcel perimeter abuts Portland Jetport Authority land owned by the City of Portland. The site is currently undeveloped land consisting of meadow, brush, and woods. All but 0.07 acres of the 1.95 acre parcel consists of wetlands.

Recently completed and proposed road construction surrounds the parcel. To the west, north, and northeast, the MTA has constructed a turnpike interchange to serve the Jetport and surrounding areas. To the south and southeast, the City of Portland plans to relocate Johnson Road roughly 600 feet west of its present alignment to provide an extended safety zone at the end of the primary runway. This road relocation, which is currently out to bid and scheduled for construction in the spring of 2001, is expected to cross the eastern end of the project parcel, and will reduce the parcel by approximately 0.33 acres including the 0.07 acres which is not wetland.

The project site consists of relatively level ground, with natural slopes ranging from 1% to 3%. Elevations across the site range from 66' to 72'. Based on the medium intensity soils survey published by the Natural Resources Conservation Service, site soils consist of Biddeford, Buxton and Scantic silt loams. Figure 3 attached to Exhibit 1 is an excerpt of the SCS Medium Intensity Soils Map for Cumberland County.

At present, there are no serious erosion and sedimentation problems at the site. During adjacent road construction siltation fence was employed to reduce the migration of sediments onto the site.

**8.2 Development Plan**

The project will consist of construction of a two-story office building with a footprint of 7,200 square feet, associated parking and driveway facilities, sidewalks, loading area, and landscaping. Approximately 23,300 square feet of pedestrian and vehicular pavement will be included.

### 8.3 Overview of Soil Erosion and Sedimentation Concerns

The susceptibility of soils to erosion is indicated on a relative "K" scale of values over a range of 0.02 to 0.69. The higher values are indicative of the more erodible soils. The Medium Intensity Soils Map, which is included in Exhibit 1 as Figure 3, shows the types of soils on the parcel. The following table lists the soils and their K values:

Type	General Description	K Value		
		Surface	Subsurface	Substratum
Biddeford	Silt loam	0.32	0.49	0.49
Buxton	Silt loam	0.32	0.49	0.49
Scantic	Silt loam	0.32	0.49	0.49

Bases on a review of the K values, the onsite soils are moderately susceptible to erosion.

The primary emphasis of the erosion/sedimentation control plan for this project are as follows:

1. Development of a careful construction sequence.
2. Rapid revegetation, paving, or riprap stabilization of denuded areas to minimize the period of soil exposure.
3. Rapid stabilization of drainage paths to avoid rill and gully erosion.
4. The use of onsite measures to capture sediment (silt fence, check dams, etc.)

### 8.4 Description and Location of Limits of All Proposed Earth Movements

Construction of the project will require the following onsite improvements:

1. Construction of a site access/haul road from Johnson Road.
2. Placement of the site fill for the building and parking areas.
3. Construction of the building and completion of peripheral site work.

### 8.5 Existing and Proposed Drainage Features

As described above, the site consists of wetlands surrounded by roads and road construction. A drainage swale transects the site northeast to southwest, from a newly installed culvert on the MTA turnpike interchange access road. Just below the site, this swale intersects a drainage swale from the northwest that is mapped as a stream on the USGS 7.5 minute series Portland West quadrangle. No streams exist on the project parcel.

Development of the site will result in the construction of a fill across the existing drainage swale. Upstream drainage will be conveyed around the fill in a channel at the toe of the fill, and will be conveyed through a culvert under the access drive. Onsite drainage will be accomplished by collecting parking lot runoff to catch basins for sediment retention, before discharge to the wetlands at the existing swale.

## 8.6 Erosion/Sedimentation Control Devices

The following erosion and sediment control devices will be implemented as part of the site development. These devices shall be installed as indicated on the plans or as described within this report. For further reference, see the Maine Erosion and Sediment Control Handbook for Construction: Best Management Practices.

1. Siltation fence shall be installed downstream of any disturbed areas to trap runoff-borne sediments until the site is stabilized by paving, riprap, or revegetation. The silt fence shall be installed per the detail provided in the plan set and inspected immediately after each rainfall and at least daily during prolonged rainfall. Repairs shall be made if there are any signs of erosion or sedimentation below the fence line. If there are signs of undercutting at the center or the edges, or impounding of large volumes of water behind the fence, the barrier shall be replaced with a stone check dam.
2. Straw or hay mulch is intended to provide cover for denuded or seeded areas until revegetation is established. Mulch placed on slopes of less than 10 percent shall be anchored by applying water; mulch placed on slopes steeper than 10 percent shall be covered with a fabric netting and anchored with staples in accordance with the manufacturer's recommendations. Mulch application rates are provided in the attachments to this section.
3. Riprap slopes or granite block walls are intended to stabilize the steep embankments used to reduce the wetland fill area. Installation details and stone sizes are provided in the plan set on the erosion and sedimentation control detail sheet.
4. Riprap culvert inlet and outlet aprons are intended to reduce stormwater flow velocities and protect the underlying soil surfaces from concentrated flows. Installation details and stone sizes are provided in the construction plan set on the erosion control detail sheet.
5. A construction entrance will be constructed at the site access points to prevent tracking of soil onto Johnson Road.
6. Sediment traps will be installed at catch basin inlets to reduce the amount of silt entering the storm drain system. Installation details are provided in the plan set on the erosion control detail sheet.
7. Loam and seed is intended to serve as the primary permanent revegetative measure for all denuded areas not provided with other erosion control measures, such as riprap. Application rates are provided in the attachments to this section for temporary and permanent seeding in non-wetland areas as well as for temporarily disturbed wetlands.

## 8.7 Temporary Erosion/Sedimentation Control Measures

The following are planned as temporary erosion/sedimentation control measures during construction:

1. A crushed stone stabilized construction entrance shall be placed at the site access onto Johnson Road.
2. Siltation fence shall be installed along the down gradient side of all construction disturbance. Siltation fence will be maintained in place until the tributary area served by the fence is revegetated or stabilized by paving or riprap. Silt fencing with a minimum stake spacing of 6 feet should be used, unless the fence is supported by wire fence reinforcement of minimum 14 gauge and with a maximum mesh spacing of 6 inches, in which case stakes may be spaced a maximum of 10 feet apart. The bottom of the fence shall be anchored.
3. Temporary stockpiles of stumps, grubblings, or common excavation will be protected as follows:
  - a) Temporary stockpiles shall be located away from drainage swales and shall be surrounded by siltation fence, in addition to that provided at the site perimeter.
  - b) Stockpiles shall be stabilized within 7 days by either temporarily seeding the stockpile with a hydroseed method containing an emulsified mulch tackifier or by covering the stockpile with mulch.
4. All rough graded areas that are not located within the building pad or parking and roadway subbase areas, shall receive mulch or erosion control mesh fabric within 7 days of initial disturbance of soil.
5. For work which is conducted between November 1 and April 15 of any calendar year, all denuded areas will be covered with hay mulch, applied at twice the normal application rate and anchored with a fabric netting. The time period for applying mulch as noted in Paragraph 8.7.4 shall be limited to 7 days for all areas.
6. Johnson Road shall be swept to control mud and dust as necessary.
7. During grubbing operations stone check dams will be installed at any evident concentrated flow discharge points.
8. Storm drain catch basin inlet protection shall be provided through the use of stone sediment barriers. Installation details are provided in the plan set. The barriers shall be inspected after each rainfall and repairs made as necessary. Sediment shall be removed and the barrier restored to its original dimensions when the sediment has accumulated to ½ the design depth of the barrier. The barrier shall be removed when the tributary drainage area has been stabilized.

## 8.8 Permanent Erosion Control Measures

The following permanent erosion control measures have been designed as part of the Erosion/Sedimentation Control Plan:

1. Any storm drain pipe shall have a riprap apron or plunge pool at its outlet to protect the outlet and receiving channel from scour and deterioration. Installation details are provided in the plan set. The aprons and plunge pools shall be installed and stabilized prior to directing runoff to the tributary pipe or culvert.



2. Riprap slopes will control erosion of the steep slopes around the site perimeter that are included to reduce the extent of wetland filling.
3. The channel along the southeastern side of the site will convey off-site runoff around the site while protecting the site sideslopes and wetlands from the concentrated flow. This channel is to be constructed and stabilized prior to site filling and diversion of stormwater from the existing wetland swale.
4. All areas disturbed during construction, but not subject to other restoration (paving, riprap, sod, etc.) will be loamed, limed, fertilized, mulched, and seeded. Fabric netting, anchored with staples, shall be placed over the mulch in areas where the finish grade slope is greater than 10 percent. All areas shall receive protection within 7 days. Native topsoil shall be stockpiled and reused for final restoration when it is of sufficient quality.
5. Catch basins will be provided with sediment sumps, and inlet hoods for all outlet pipes that are 12" in diameter.

#### **8.9 Timing and Sequence of Erosion/Sedimentation Control Measures**

The following construction sequence shall be required to insure the effectiveness of the erosion and sedimentation control measures are optimized:

Note: For all grading activities, the contractor shall limit the area disturbed at any time, and exercise extreme caution not to overexpose the site.

1. Provide crushed stone stabilized construction entrance at Johnson Road.
2. Provide perimeter siltation fence and check dams.
3. Clear and grub area required, and construct the channel at the southeast site perimeter, and the riprap outlet aprons.
4. Clear and grub the site.
5. Regrade the site, using imported offsite borrow material.
6. Install the storm drain system as grading and filling proceeds, and direct construction site runoff to the inlet sediment barriers and catch basins for sediment retention.
7. Stabilize the sideslopes with riprap or granite block walls as the filling proceeds. Place fill in a manner to direct building pad runoff away from the exterior slopes and into the storm drains.
8. Commence construction of the sanitary sewer structures and piping.
9. Commence construction of the building water services.
10. Commence foundation preparation for the building.
11. Complete building foundations; commence superstructure construction.
12. Complete underground utility installation to within 5 feet of the building.

13. Complete earthwork to subgrade. Stabilize with gravel base in areas to be paved, and with loam, seed, and mulch or riprap, as indicated for non-paved areas.
14. Construct curbing.
15. Construct base course paving.
16. Complete building.
17. Install surface course paving and stripe per plans.
18. Remove accumulated sediment from ahead of any sediment barriers as necessary.
19. Once the site is stabilized and a 75% catch of vegetation has been obtained, remove all temporary erosion control measures.
20. Touch up loam and seed.

Note: All denuded areas not subject to final paving, riprap or gravel shall be revegetated with loam and seed.

The Contractor shall submit a schedule for the completion of the work which will satisfy the following criteria:

1. The above construction sequence should generally be completed in the specified order; however, several separate items may be constructed simultaneously. Work must also be scheduled or phased to limit the extent of the exposed areas as specified below. The intent of this sequence is to provide for erosion control and to have structural measures such as silt fence and construction entrances in place before large areas of land are denuded.
2. The work shall be conducted in sections which will:
  - a) Limit the amount of exposed area to those areas in which work is expected to be undertaken during the proceeding 30 days.
  - b) Revegetate disturbed areas as rapidly as possible. All areas shall be permanently stabilized within 7 days of final grading or before a storm event; or temporarily stabilized within 7 days of initial disturbance of soil.
  - c) Incorporate planned inlets and drainage system as early as possible into the construction phase. The ditch shall be lined with riprap immediately following subgrade preparation.

For all work which will be conducted between November 1 and April 15 of the calendar year, the Contractor shall submit a schedule which will satisfy the following criteria:

1. Limit the amount of exposed area to those areas in which work is expected to be undertaken during the proceeding 15 days.
2. During the construction process, all disturbed areas shall be covered with mulch within 7 days of final grading.

grade has been established, the contractor may choose to dormant seed disturbed areas prior to placement of mulch and placement of fabric netting and with staples.

- a. If dormant seeding is used for the site, all disturbed areas shall receive 4" of loam, and seed at an application rate of 5#/1000 s.f.

All areas seeded during the winter months will be inspected in the spring for an adequate catch of grass. All areas in sufficiently vegetated (less than 75 percent catch) shall be revegetated by replacing loam, seed and mulch.

- b. If dormant seeding is not used for the site, all disturbed areas shall be revegetated in the spring.
4. The area of denuded non-stabilized construction shall be limited to the minimum area practicable. An area shall be considered to be denuded until the subbase gravel is installed in parking areas, the base slab gravel is installed in building areas, or the areas of future loam and seed have been loamed, seeded, and mulched. The mulch rate shall be twice the rate specified in the seeding plan [for example, 115#/1,000 s.f. x 2 = 230#/1,000 s.f.].
5. The schedule shall be subject to the approval of the Owner.

The Contractor must install any added measures which may be necessary to control erosion/sedimentation from the site dependent upon the actual site and weather conditions.

The Contractor shall note that the entire site is on or within 100 feet of a wetland, and that therefore no area shall remain denuded for a period of over 7 days before it is temporarily stabilized. Temporary stabilization shall be the installation of gravel or mulching.

#### 8.10 Preconstruction Conference

Prior to any construction at the site, representatives of the Contractor and the site design engineer shall arrange for and meet with the Owner's Representative to discuss the scheduling of the site construction. On or before that meeting, the Contractor will prepare a detailed schedule and a marked-up site plan indicating areas and components of the work and key dates showing date of disturbance and completion of the work. If disturbed areas are not to be finished (loamed, seeded, and mulched) within seven (7) days, the scheduling shall indicate those areas to be protected with temporary seeding/mulch. Three copies of the schedule and marked-up site plan shall be provided to the Owner.

#### Attachments

Attachment 8A - Seeding Plans

Attachment 8B - Best Management Practices Calculations



DeLUCA-HOFFMAN ASSOCIATES, INC.  
CONSULTING ENGINEERS

778 MAIN STREET  
SUITE 8  
SOUTH PORTLAND, MAINE 04106  
TEL. 207 775 1121  
FAX 207 879 0896

- ▣ ROADWAY DESIGN
- ▣ ENVIRONMENTAL ENGINEERING
- ▣ TRAFFIC STUDIES AND MANAGEMENT
- ▣ PERMITTING
- ▣ AIRPORT ENGINEERING
- ▣ SITE PLANNING
- ▣ CONSTRUCTION ADMINISTRATION

September 6, 2001

Mr. Jonathan Spence  
City of Portland Planning  
389 Congress Street  
Portland, ME 04101

**Subject: Response to City Comments  
Pine Tree Council Headquarters Project**

Dear Mr. Spence:

Attached please find one 11x17 size revised plan set for the Pine Tree Council Headquarters Project. Items requested by the City are listed below and have been provided or responded to as follows:

**ITEMS REQUESTED:**

Item #1) Updated letters of service availability from appropriate utility agencies.

Updated ability to serve letters dated August 28, 2001 and August 29, 2001 from the South Portland Pollution Abatement Department and the Portland Water District are attached to this letter.

Item #2) An approved Tier II NRPA Wetland Permit through the MeDEP.

An approved Tier II NRPA Wetland Permit from the MeDEP dated July 20<sup>th</sup>, 2001 is attached to this letter. An approved US Army Corp permit dated August 1, 2001 is also attached to this letter.

Item #3) An updated Photometric Plan in compliance with City Standards.

The Photometric Plan for this project has been updated and is included with the revised plan set attached. The revised Photometric Plan is only slightly out of conformance with the City's Lighting Standards due to the irregular shape of the site and minimal setback distances.

Item #4) An improved landscape plan.

An improved landscape plan is included with the revised plan set attached. The landscape plan was revised based upon comments provided by Jeff Tarling, Staff Arborist for the City.

Mr. Jonathan Spence  
September 6, 2001  
Page 2

Item #5) Additional discussion relative to traffic concerns.

Additional details for the raised traffic island at the entrance to the Headquarters facility have been added to both Sheets C4 and C9 of the plan set. A sign at the drive exit which reads "TO REVERSE DIRECTION USE STAPLES PARKING LOT" has been added to the raised island. Figure 1 attached shows proposed improvements at Staples drive entrance to be completed as part of the Johnson Road relocation project. The City requested our office review extending the raised island further into the Headquarters drive entrance to deter left turn exits. Extending the raised island will significantly limit the ability of delivery trucks to enter and exit the site and from discussion with our senior traffic engineer, motorists intent on turning left out of the site will likely do so at the end of the drive.

It is our understanding that Dufresne-Henry recommended that level-lip spreaders be added to the project. Level-lip spreaders have been added to the outlet of both the 24 inch driveway culvert and the 12 inch storm drain leading from the water quality unit. A level-lip spreader detail has been added to Sheet C11.

Please contact our office with any questions or concerns regarding this matter.

Sincerely,

DeLUCA-HOFFMAN ASSOCIATES, INC.

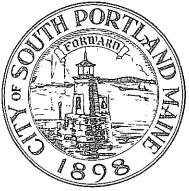


Dwight D. Anderson, P.E.  
Project Engineer

DDA/mb/JN1097/Spence9-5

Attachments

c: Rees Falkner – Pine Tree Council  
Tom Dunham – The Dunham Group



## POLLUTION ABATEMENT DEPARTMENT

James Jones  
Treatment Systems Manager

Patrick Cloutier  
Director

David Thomes  
Collection Systems Manager

Dwight Anderson  
Deluca-Hoffman Associates  
778 Main St., Suite 8  
South Portland, Maine 04106

August 28, 2001

Re: Boy Scouts of America  
Pine Tree Council Headquarters Project

Dear Mr. Anderson,

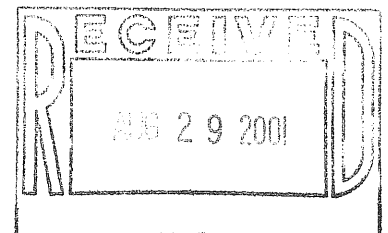
I'm writing in response to your request for the addition of 905 gallons per day (GPD) flow from the subject project. This project is proposing a two-story 12, 800 square foot building to serve as headquarters in Portland.

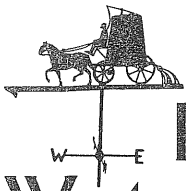
Please consider this letter confirmation that the City has adequate collection and treatment capacity for the proposed flow of 905 GPD from the project.

If you have any further questions, please give me a call at 767-7675 at your earliest convenience.

Sincerely,

Patrick Cloutier  
Director, Pollution Abatement





# Portland Water District

225 Douglass St. • P.O. Box 3553 • Portland, ME 04104-3553

(207) 774-5961  
FAX (207) 761-8307  
www.pwd.org

August 29, 2001

Mr. Dwight D. Anderson  
DeLuca-Hoffman Assoc.  
778 Main Street, Suite 8  
South Portland, ME 04106

Re: BSA – Portland, Maine

Dear Mr. Anderson:

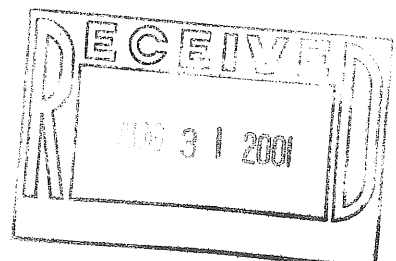
The Portland Water District has a new 12" water main in Johnson Road, Portland, near the proposed site. A test on a nearby hydrant produced the following results: static pressure 69psi; residual pressure 56psi; with a flow of 1256gpm. With these results in mind, the District feels we have a healthful and sufficient capacity available to serve this proposed project and meet all normal fire protection and domestic water service demands.

With certification by the developer that all required permits have been received, we look forward to serving this project.

Sincerely,

PORTLAND WATER DISTRICT

David W. Coffin, PLS  
Engineering Supervisor





STATE OF MAINE  
17 State House Station  
Augusta, ME 04333

1097  
47

IN THE MATTER OF

PINE TREE COUNCIL, BOY SCOUTS OF AMERICA  
Portland, Cumberland County  
HEADQUARTERS BUILDING  
Tier # 1177

) NATURAL RESOURCE PROTECTION ACT  
) FRESHWATER WETLAND ALTERATION  
) WATER QUALITY CERTIFICATION  
) FINDINGS OF FACT AND ORDER

Project Description: The applicant proposes to construct an 11,800 square foot headquarters building with associated parking for 50 vehicles and access drive. The proposed project is located on the southwest corner of the intersection of Johnson Road and the Jetport Interchange access road. Development of the site will require filling approximately 42,250 square feet of a scrub-shrub freshwater wetland. The applicant has submitted an extensive alternatives analysis with the application (Exhibit 11), which demonstrates that there is no practicable alternative that meets the project purpose. As compensation, the applicant will restore 0.25 acre of a previously filled scrub-shrub wetland and preserve 12.7 acres of a scrub-shrub and forested wetland adjacent to the Nonesuch River in Scarborough. The compensation amount exceeds that required in the Wetland Protection Rules (Chapter 310) for preservation. The preservation area will be managed for passive recreation by the Scarborough Land Conservation Trust and protected from development in perpetuity by deed covenants and restrictions.

Permit for:  Tier 1  Tier 2

Date of Review:

DEP Decision:  Approved  Denied (see attached letter)

CORPS Action:  The Corps has been notified of your application. The following are subject to Federal screening: (1) projects with previously authorized or unauthorized work, in combination with a Tier 1 permit for a single and complete project, which total more than 15,000 square feet of altered area; (2) projects with multiple state permits and/or state exemptions which apply to a single and complete project that total more than 15,000 square feet of altered area; and (3) projects that may impact a vernal pool, as determined by the State of Maine or the Corps. If your activity is listed above, *Corps approval is required for your project.* For information regarding the status of your application contact the Corps' Maine Project Office at 623-8367.

Special Conditions: 1. No other wetland impacts shall occur on this property, without prior Department approval.  
2. The applicant shall submit to the Department a copy of the recorded deed with deed restrictions protecting the preservation area in perpetuity prior to construction on the project site.

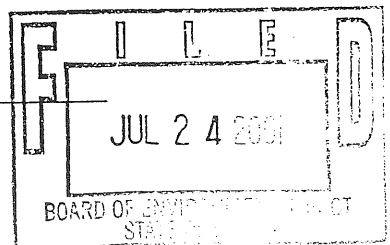
Standard Conditions:

- 1) This permit is good for two (2) years from the date signed and is transferable only with prior approval from the Department.
- 2) The project shall be completed according to the plans in the application. Any change in the project plans must be reviewed and approved by the Department.
- 3) Properly installed erosion control measures shall be installed prior to beginning the project, and all disturbed soil should be stabilized immediately upon project completion.
- 4) A copy of this approval will be sent to the City of Portland. Department approval of your activity does not supersede or substitute the need for any necessary local approvals.

Please note the attached sheet for guidance on appeal procedures.

\_\_\_\_\_  
MARTHA G. KIRKPATRICK, COMMISSIONER

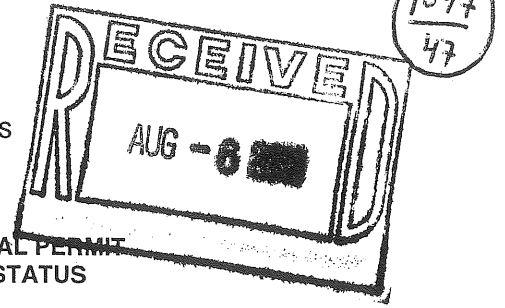
7/20/01  
DATE







DEPARTMENT OF THE ARMY  
 NEW ENGLAND DISTRICT, CORPS OF ENGINEERS  
 696 VIRGINIA ROAD  
 CONCORD, MASSACHUSETTS 01742-2751



REPLY TO ATTENTION **DEPARTMENT OF THE ARMY PROGRAMMATIC GENERAL PERMIT**  
**STATE OF MAINE, SUMMARY OF SCREENING AND STATUS**

BOY SCOUTS OF AMERICA  
 C/O DELUCA-HOFFMAN ASSOCIATES, INC.  
 778 MAIN STREET, SUITE 8  
 SOUTH PORTLAND, MAINE 04106

CORPS PERMIT # 199902872  
 CORPS PGP ID# 01-263  
 STATE ID# \_\_\_\_\_

**DESCRIPTION OF WORK AS ON ATTACHED STATE APPN:**

Place fill in freshwater wetlands off Johnson Road at Portland, Maine in conjunction with the development of a new regional headquarters and retail center. Approximately 0.97 acres of wetland will be impacted by the project. To address Maine DEP requirements for compensatory mitigation, the permittee will perform off site mitigation off Route 1 at Scarborough, Maine. Approximately 0.25 acres of filled wetland will be restored and encompassed within a 12.75 acre preservation area adjacent to the Nonesuch River. The preservation area contains both upland and wetland habitats.

UTM GRID COORDINATES N: 4833321 E: 392762 USGS QUAD: PORTLAND WEST, ME

I. STATE ACTIONS: PENDING [  ], ISSUED [  ], DENIED [  ] DATE \_\_\_\_\_

LEVEL OF STATE REVIEW: PERMIT BY RULE: \_\_\_\_\_, TIER 1: \_\_\_\_\_, TIER 2: x, TIER 3: \_\_\_\_\_, (NRPA)

**II. FEDERAL ACTIONS:**

DATE STATE FILE REVIEWED: 6/1/01 (PGP JP MEETING)

LEVEL OF CORPS REVIEW: CATEGORY 1: X CATEGORY 2: \_\_\_\_\_

AUTHORITY: SEC 10 \_\_\_\_\_, 404 X 10/404 \_\_\_\_\_, 103 \_\_\_\_\_

EXCLUSIONS: The exclusionary criteria identified in the general permit do not apply to this project.

**ESSENTIAL FISH HABITAT (EFH): EFH PRESENT Y (N (CIRCLE ONE))**

IF YES: Based on the terms and conditions of the PGP, which are intended to ensure that authorized projects cause no more than minimal environmental impacts, the Corps of Engineers has preliminary determined that this project will not cause more than minimal adverse effects to **EFH** identified under the Magnuson-Stevens Fisheries Conservation and Management Act.

FEDERAL RESOURCE AGENCY OBJECTIONS: EPA NO, USF&WS NO, NMFS NO

**CORPS DETERMINATION:** We authorize your project as proposed and as shown on the plans submitted to the Corps under the State of Maine PGP.

Please note that all work is subject to the conditions contained in the general permit and any additional special conditions listed on any attached sheets. No work may be started unless and until all other required local, State and Federal licenses and permits have been obtained. Also, this permit requires you to notify us before beginning work and allow us to inspect the project. Hence, you must complete and return the attached Work Start Notification Form(s) to this office no later than two weeks before the anticipated starting date. **(FOR PROJECTS REQUIRING MITIGATION, BE SURE TO INCLUDE MITIGATION WORK START FORM)**

Additional Special conditions Attached: YES  NO (CIRCLE ONE)

The Corps of Engineers has implemented an administrative appeals process for jurisdictional determinations. If you are interested in appealing the jurisdictional determination for this project; or if you would like any additional information pertaining to the appeals process, please contact Shawn Mahaney or Rod Howe of my staff at 207-623-8367 at our Manchester, Maine Project Office.

*Jay L. Clement*  
 JAY L. CLEMENT  
 SENIOR PROJECT MANAGER  
 MAINE PROJECT OFFICE

for *Michael Hilly* 8/1/01  
 DAVID H. KILLOY DATE  
 CHIEF, PERMITS & ENFORCEMENT BRANCH  
 REGULATORY DIVISION

# FIGURE 1

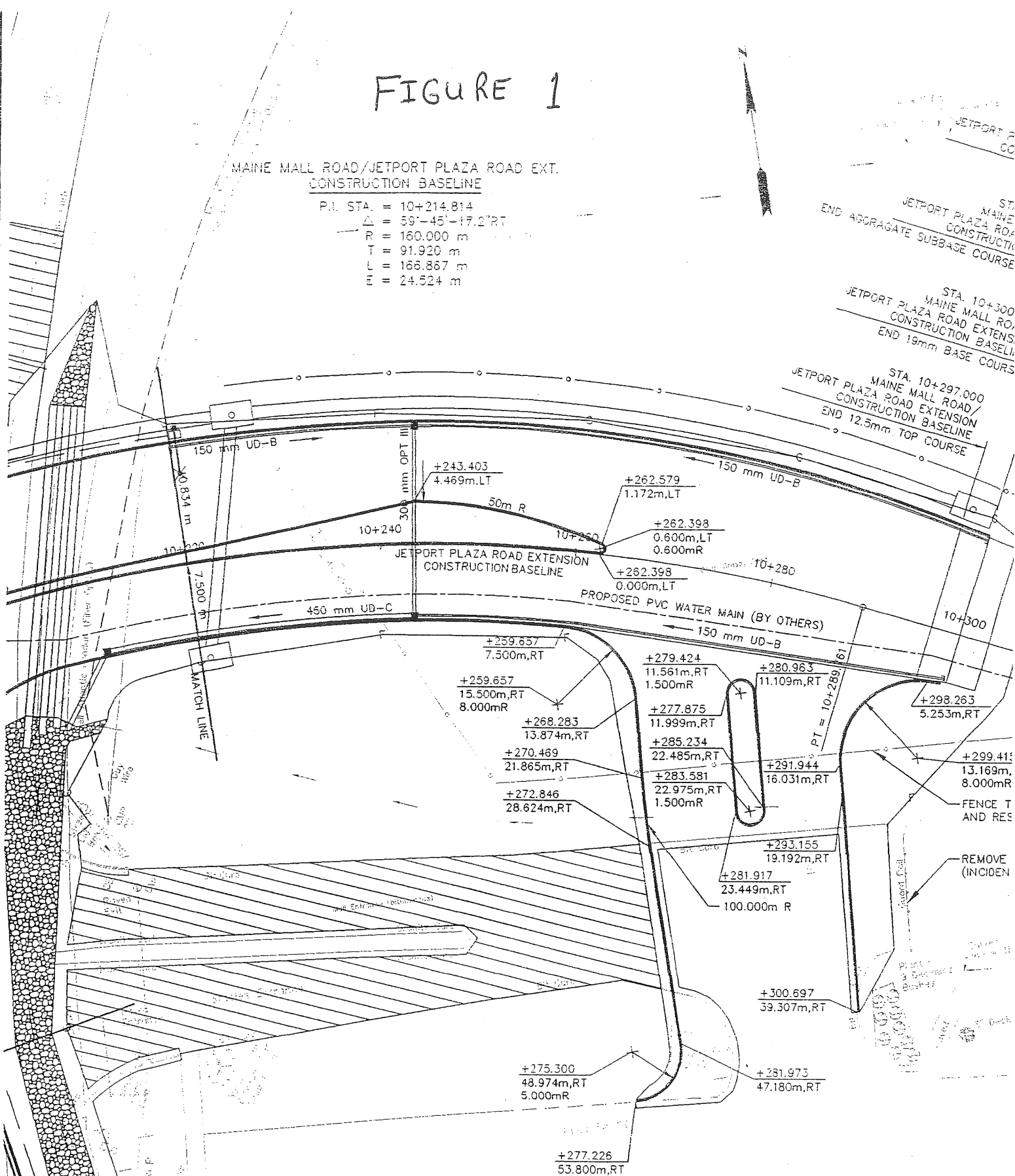
## MAINE MALL ROAD/JETPORT PLAZA ROAD EXT. CONSTRUCTION BASELINE

P.I. STA. = 10+214.814  
 $\Delta = 59^{\circ}-45'-17.2''$  RT  
 R = 160.000 m  
 T = 91.920 m  
 L = 166.867 m  
 E = 24.524 m

ST. MAINE  
 JETPORT PLAZA ROAD  
 CONSTRUCTION  
 END AGGREGATE SUBBASE COURSE

STA. 10+300  
 MAINE MALL ROAD/  
 JETPORT PLAZA ROAD EXTENS.  
 CONSTRUCTION BASELINE  
 END 19mm BASE COURSE

STA. 10+297.000  
 MAINE MALL ROAD/  
 JETPORT PLAZA ROAD EXTENSION  
 CONSTRUCTION BASELINE  
 END 12.5mm TOP COURSE



### CURB - TYPE 5

STATION	OFFSET TO STATION	OFFSET	LENGTH
<b>JETPORT PLAZA ROAD EXTENSION</b>			
10+277.875	11.999, RT	10+281.917	23.449, RT 12.000 m
10+280.963	11.109, RT	10+285.234	22.485, RT 12.000 m

### CURB - TYPE 5 - CIRCULAR

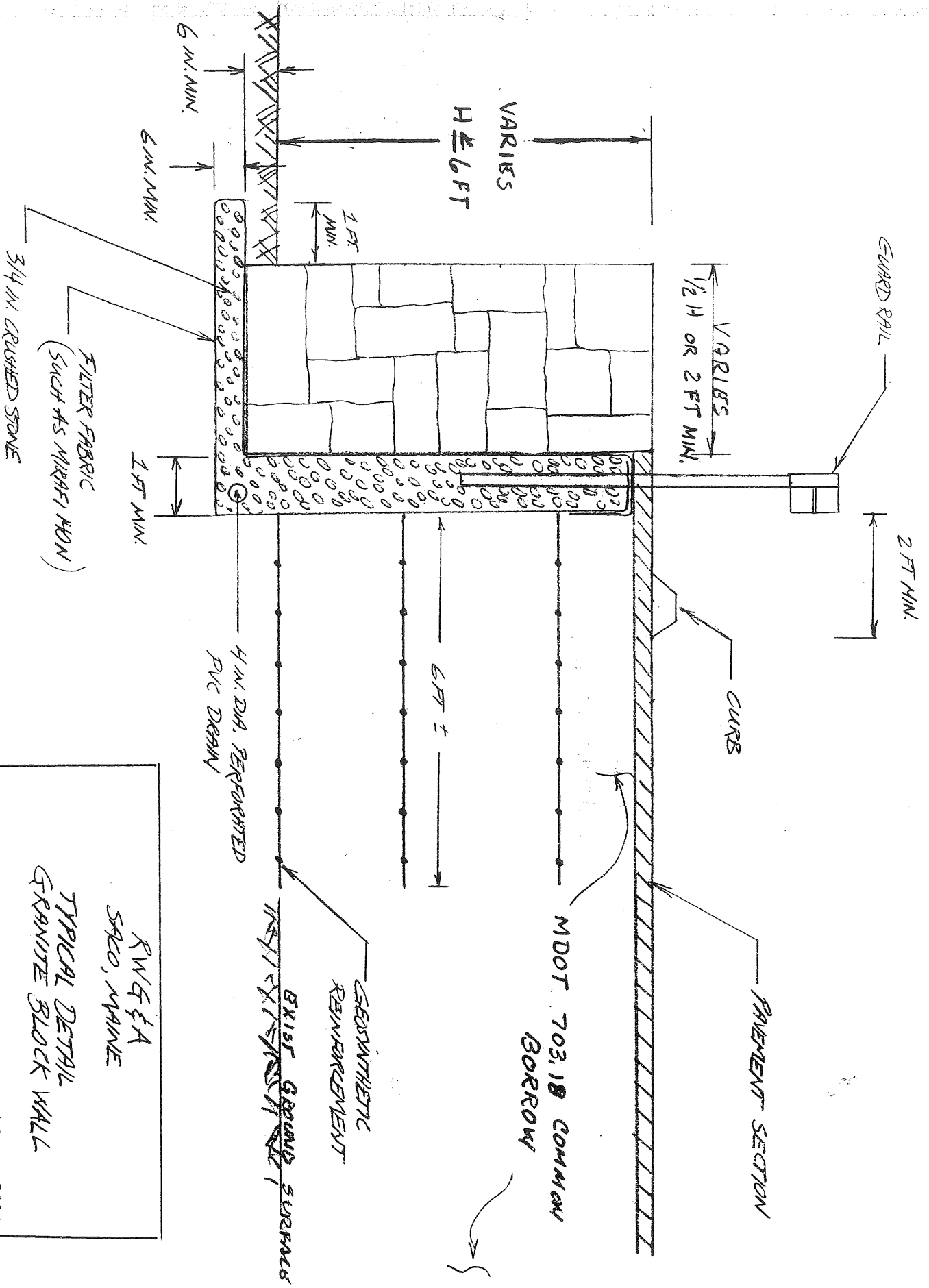
STATION	OFFSET TO STATION	OFFSET	RADIUS	LENGTH
<b>JETPORT PLAZA ROAD EXTENSION</b>				
10+262.398	0.000, LT	10+262.579	1.172 LT	0.600 m 1.700 m
10+277.875	11.999, RT	10+280.963	11.109, RT	1.500 m 4.712 m
10+281.917	23.449, RT	10+285.234	22.485, RT	1.500 m 4.712 m

### CONSTRUCT ENTRANCES

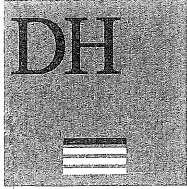
STATION	TYPE
<b>WESTERN AVE/JOHNSON ROAD</b>	
10+269.6, RT	PAVED
10+281.6, RT	PAVED

FIELD CHANGES

REV. 01



RW 5 & 4  
 SR 20, MAINE  
 TYPICAL DETAIL  
 GRANITE BLOCK WALL  
 NOT TO SCALE  
 JUNE 2001



DeLUCA-HOFFMAN ASSOCIATES, INC.  
CONSULTING ENGINEERS

778 MAIN STREET  
SUITE 8  
SOUTH PORTLAND, MAINE 04106  
TEL. 207 775 1121  
FAX 207 879 0896

▣ ROADWAY DESIGN  
▣ ENVIRONMENTAL ENGINEERING  
▣ TRAFFIC STUDIES AND MANAGEMENT  
▣ PERMITTING  
▣ AIRPORT ENGINEERING  
▣ SITE PLANNING  
▣ CONSTRUCTION ADMINISTRATION

May 4, 2001

Mr. Alexander Jaegerman  
City of Portland  
389 Congress Street  
Portland, ME 04101

**Subject: Submission of Major Site Plan Application  
for the  
Pine Tree Council Headquarters Project, Portland, ME**

Dear Mr. Jaegerman:

Attached please find nine (9) copies of the Major Site Plan Application submission for the proposed Pine Tree Council Headquarters Project for City Planning Board review. The \$500.00 application fee is also attached.

Exhibits prepared for the project's MeDEP Tier II NRPA submission were used for preparation of the City's Major Site Plan Application submission. Locations of written statements within the application submission are provided below:

1. Description of proposed use – Exhibit 1.
2. Total land area of parcel 1.95 acres.  
Total floor area of existing building 11,800 s.f.
3. Existing easements – Exhibit 15.
4. Types and estimated quantities of solid waste – (Attached).
5. Evidence of off-site facilities – Not Applicable.
6. Stormwater Report – (Attached Memo).
7. Sequence of construction – Exhibit 7.
8. State and Federal regulatory approvals – A Tier II NRPA Wetland Permit is currently being sought from the MeDEP.
9. Financial and technical capability – (Attached letter).
10. Title, Right, and Interest – Exhibit 15.
11. Unusual areas, wildlife and fisheries, or archaeological sites – Exhibit 10.

Mr. Alex Jaegerman  
May 4, 2001  
Page 2

The Pine Tree Council of the Boy Scouts of America is striving to secure permitting approvals in time to allow contractors working on the Johnson Road Relocation Project this summer to utilize their site as a staging area which would reduce fill and site preparation costs for the Headquarters Project.

Please contact our office with any questions or concerns regarding this submission.

Sincerely,

DeLUCA-HOFFMAN ASSOCIATES, INC.



Dwight D. Anderson, P.E.  
Design Engineer

DDA/mb/JN1097/Jaegerman5-3

Enclosure

c: Tom Dunham w/o enclosures  
Rees Falkner w/o enclosures  
Bill Hoffman w/o enclosures  
Mike DeLuca w/o enclosures

**Site Review Pre-Application**  
**Multi-Family/Attached Single Family Dwellings/Two-Family Dwelling**  
**or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the Information below for Site Plan Review

**NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

Pine Tree Council c/o Rees Falkner 5/4/01

Applicant  
125 Auburn Street, Portland, ME 04103

Application Date  
BSA Headquarters

Applicant's Mailing Address  
DeLuca-Hoffman Associates, Inc.

Project Name/Description Facility  
Intersection of Johnson Road and  
 Address Of Proposed Site the new Turnpike  
Lot 5, Map 232 connector

Consultant/Agent c/o Dwight D. Anderson, P.E.  
(207) 286-8417 fax: (207) 286-3220

Assessor's Reference, Chart#, Block, Lot#  
 Assessor's Reference, Chart#, Block, Lot#

Applicant/Agent Daytime telephone and FAX  
 Proposed Development (Check all that apply)  New Building  Building Addition  Change of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Other(Specify) \_\_\_\_\_

11,800 SF 1.95 acres B-4  
 Proposed Building Square Footage and /or # of Units Acreage of Site Zoning

You must include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
  - 2) 7 sets of Site Plan packages containing the information found in the attached sample plans and checklist.
- (Section 14-522 of the Zoning Ordinance outlines the process, copies are available for review at the counter, photocopies are \$ 0.25 per page)

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if an approval for the proposed project or use described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this approval at any reasonable hour to enforce the provisions of the codes applicable to this approval.

Signature of applicant:	Date: <u>5/4/01</u>
-------------------------	---------------------

Site Review Fee: Major \$500.00 Minor 400.00

This application is for site review ONLY, a Building Permit application and associated fees will be required prior to construction.

DELUCA-HOFFMAN ASSOCIATES, INC.

6349

JN 1097  
Site plan Appl. fee

6349

DELUCA-HOFFMAN ASSOCIATES, INC.  
778 MAIN STREET, SUITE 8  
SOUTH PORTLAND, MAINE 04106  
(207) 775-1121

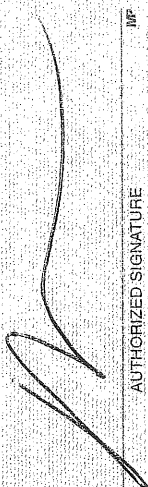
KEY BANK OF MAINE  
52-60/112

PAY Five hundred dollars and 00/100

DATE 5/31/01

AMOUNT \$500.00

TO THE ORDER OF City of Portland

AUTHORIZED SIGNATURE 

Security features. Details on back.

1097  
47

⑆006349⑆ ⑆011200608⑆191774001751⑆

## SOLID WASTE

### Overview

The following volumes of solid waste associated with the construction and operations of the Pine Tree Council Headquarters Building have been estimated:

#### Construction Waste:

- 80 cubic yards of construction debris associated with the building work
- 200 cubic yards of stumps and grubblings associated with the site development work

#### Commercial Operational Waste:

- 1 cubic yard per week of solid waste associated with the operations of the Headquarters building.

### Stumps and Grubbings

The General Contractor associated with the construction of the Headquarter building facility will be required to either chip or burn stumps onsite in accordance with all local and state ordinances at a designated location on-site or haul offsite for disposal at a licensed facility to accept and process stumps.

If the stumps are chipped onsite, then the chips will be used for back up behind silt fence or as an erosion control mix to stabilize slopes.

If the stumps are hauled offsite for disposal, then the General Contractor will be required to submit the name of the hauler and offsite disposal site licensed through the MeDEP Solid Waste Division to accept and process stumps. The General Contractor will be required to provide copies of manifest documents indicating the quantity of materials hauled and disposed offsite.

### Construction Debris

The general contractor for the project will be required to enter into a contract with a licensed solid waste disposal firm for the hauling of all construction debris related to the project. Separated wood debris may be transported to the FTI limited facility in Lewiston. Separated metal/ferrous material may be transported to Grimmel Industries in Topsham, Maine.

Debris has been estimated at 80 cubic yards (10 c.y./1500 sq.ft. x 11,800 sq.ft.) from the construction of the proposed building.



## **Solid Waste Computations**

### **1. Clearing**

Approximately 1 acre of the site will be cleared during the development of the Headquarters building and associated site improvements. The trees will be cleared and marketed for paper mill use, or chipped and used on-site behind erosion control site fences. It is anticipated, the majority of the trees cleared will be hauled offsite by clearing operations.

### **2. Stumps/Grubbing**

Stumps and grubblings have been computed for the project based upon the following assumption:

- Stumps and grubblings quantity is based upon 400 cy/acre for forested areas.

The total disturbed area associated with the project includes approximately 0.5 acres of forested land; therefore, the total quantity of stumps and grubblings is estimated at 200 cubic yards.

### **3. Construction Debris**

Building construction debris has been computed based upon the following assumption:

- Building construction debris quantity is based upon 10 cy/1,500 s.f. of building area.

The total building area is approximately 11,800 sq. ft.; therefore, the estimated building construction debris is estimated at 80 cubic yards.

### **4. Commercial Operational Waste**

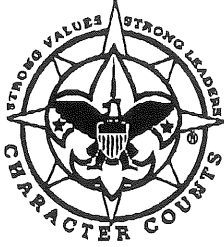
Approximately one cubic yard of solid waste per week is estimated to be associated with the operations of the Headquarters building.

## STORMWATER QUANTITY AND QUALITY

Stormwater currently flows westerly in an existing drainage swale across the Boy Scout's site from a newly installed 24 inch diameter RCP culvert under the New Turnpike Connector Road. Just below the site, this swale intersects a drainage swale from the northwest that is mapped as a stream on the USGS 7.5 minute series Portland West quadrangle. No streams exist on the project parcel.

Development of the site will result in the construction of 31,000 square feet of impervious area and fill across the existing drainage swale. Upstream drainage will be conveyed around the fill in a vegetated swale at the toe of the fill and will be conveyed through a 24 inch diameter culvert under the access drive. Onsite drainage will be accomplished by collecting parking lot runoff to two catch basins and a water quality unit for sediment retention, before discharge to the wetlands west of the proposed drive. Stormwater calculations are included in the Erosion Control Plan in Exhibit 8.

TY LIN included the added impervious area of the Boy Scout's site in the stormwater analysis for the Johnson Road Relocation project; therefore, no onsite detention is proposed as part of this project. A water quality unit will be installed to remove sediment and oils from portions of the added impervious area.



***Pine Tree Council, Boy Scouts of America***  
***125 Auburn Street***  
***Portland, Maine 04103***

May 4, 2001

To Whom It May Concern  
Portland, Maine 04101

This letter is intended to address the Pine Tree Council's financial capacity to undertake and complete the project being submitted for review by the city of Portland.

The proposed facility will, in the opinion of the Pine Tree Council's leadership, enable the organization to attain a higher level of operating and financial efficiency by consolidating various functions into a single facility.

Financial resources required to complete the building project will come from the sale of the existing headquarters building, land sales and a capital campaign designed to raise up to \$3 million.

The new headquarters building will be named after Alton E. ("Chuck") Cinanchette, who is recently deceased. Cianbro Corporation of Pittsfield, Maine will donate the general contracting services.

Yours Sincerely,

A handwritten signature in black ink, appearing to read "Rees A. Falkner".

Rees A. Falkner  
Council Executive and CEO

**BOY SCOUTS OF AMERICA  
PINE TREE COUNCIL HEADQUARTERS  
JOHNSON ROAD  
PORTLAND, MAINE**

**CITY OF PORTLAND  
MAJOR SITE PLAN APPLICATION**

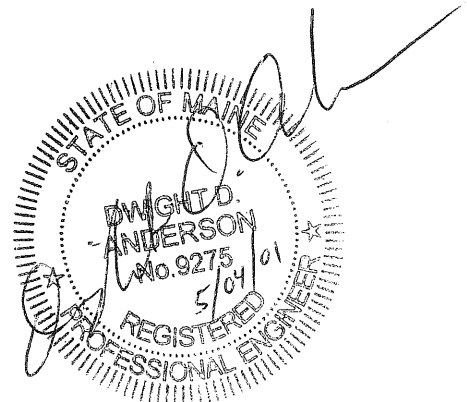
**Prepared for:**

**The Pine Tree Council  
of the Boy Scouts of America  
125 Auburn Street  
Portland, Maine 04103**

**Prepared by:**

**DeLuca-Hoffman Associates, Inc.  
778 Main Street, Suite 8  
South Portland, Maine 04106**

**May 2001**



## MAJOR SITE PLAN APPLICATION

### INDEX

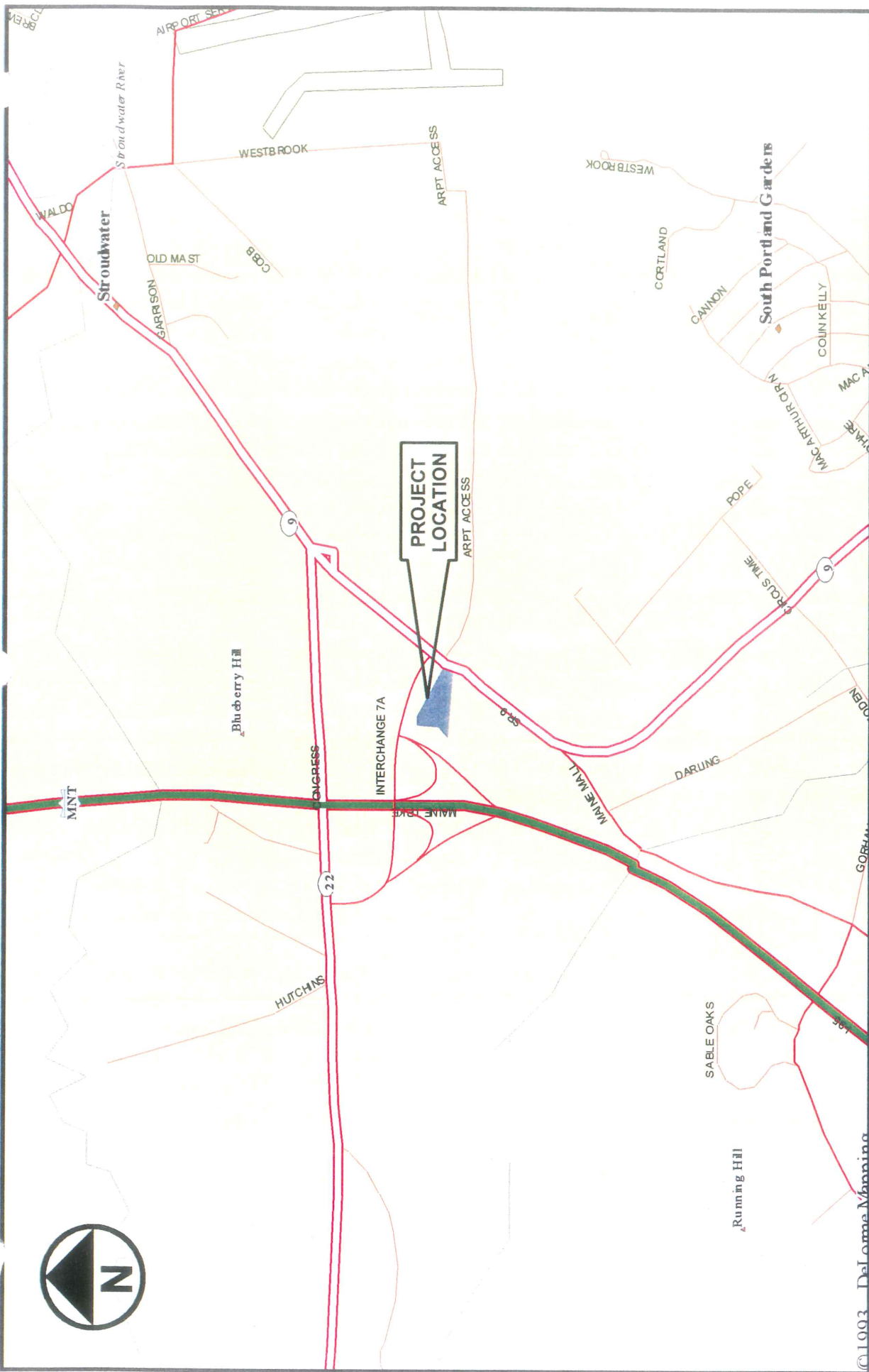
<u>Section</u>	<u>Title</u>
1	Project Description
2	Project Need
3	Project Location Map
4	Photographs
5	Project Drawings
6	Additional Plans
7	Construction Plan
8	Erosion Control Plan
9	Notice of Intent to File – (not included with City submission)
10	Resource Agency Contacts
11	Alternative Analysis and Minimization – (not included with City submission)
12	Wetland Delineation Report – (not included with City submission)
13	Wetland Functional Analysis – (not included with City submission)
14	Compensation Plan – (not included with City submission)
15	Proof of Title, Right or Interest

### Appended Materials

Full Size Project Drawings

**EXHIBIT 1**

**PROJECT DESCRIPTION**



© 1993 DeLorme Mapping

**DeLUCA-HOFFMAN ASSOCIATES, INC.**  
**CONSULTING ENGINEERS**  
 778 MAIN STREET, SUITE 8  
 SOUTH PORTLAND, MAINE 04106  
 TEL. 207-775-1121  
 FAX 207-879-0896

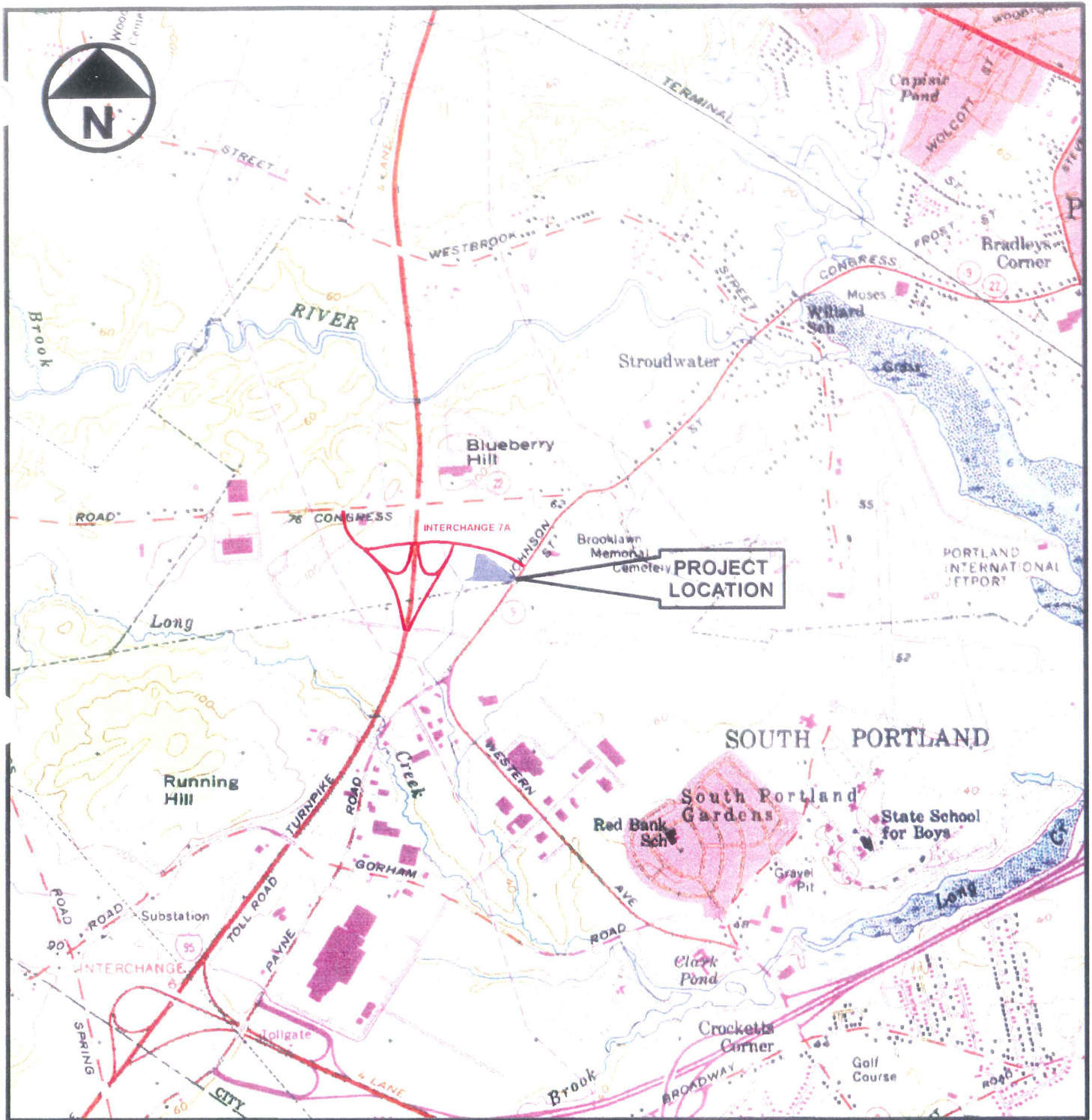


**DeLORME LOCATION MAP**  
 Boy Scouts of America  
 Portland, Maine

DESIGNED	DDA	DATE	MAY 2000
DRAWN	JDL	SCALE	N.T.S.
CHECKED	DDA	JOB NO.	1097

FIGURE

**1**



### USGS TOPOGRAPHIC MAP

### Boy Scouts of America – Portland, Maine

SOURCE: TOPOSCOUT; Coastal Maine CD-ROM, USGS Portland West Quadrangle, 7.5 Minute Series (Topographic)



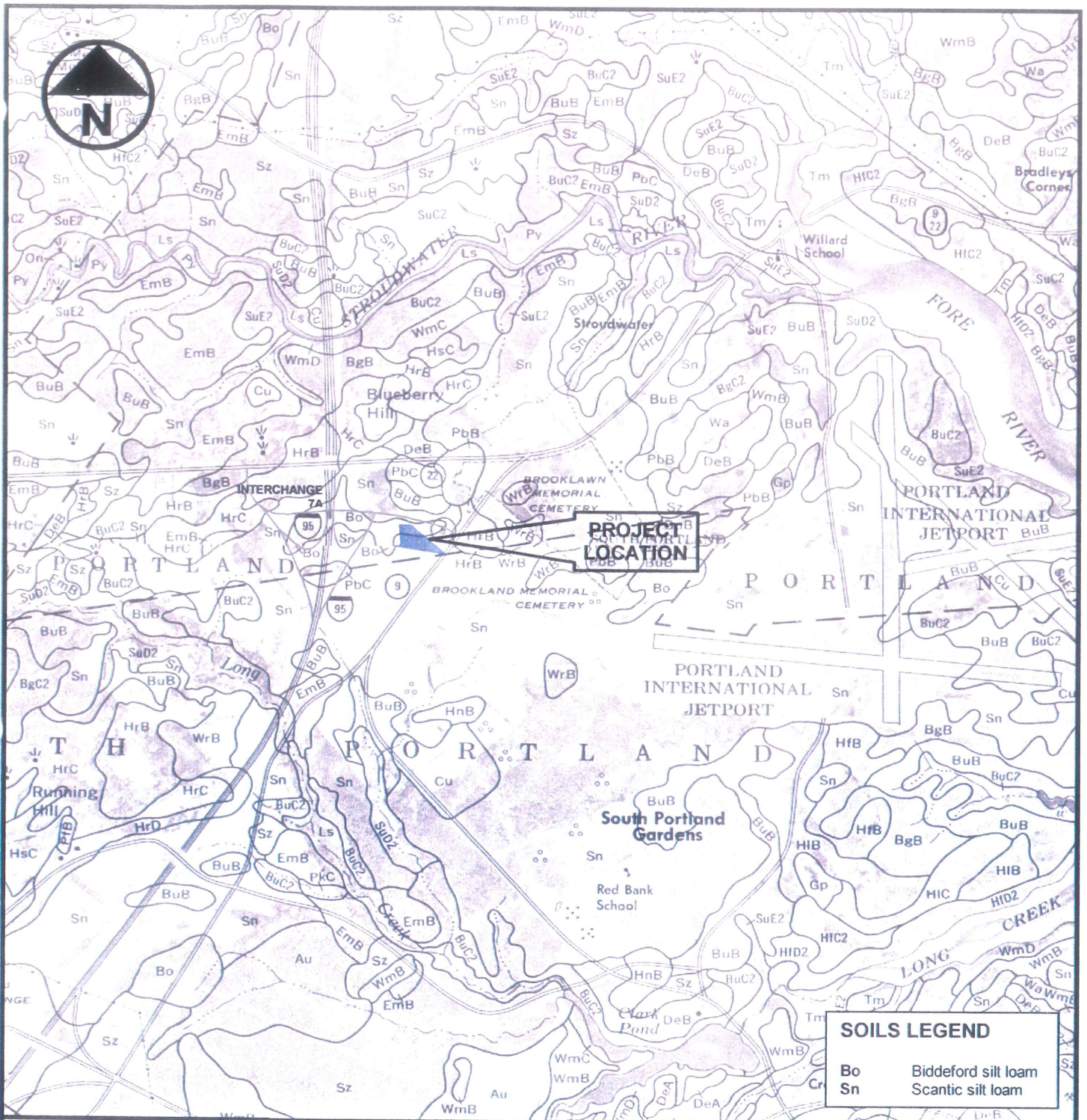
DeLUCA-HOFFMAN ASSOCIATES, INC.  
 CONSULTING ENGINEERS  
 778 MAIN STREET, SUITE 8  
 SOUTH PORTLAND, MAINE 04106  
 TEL. 207-775-1121  
 FAX 207-879-0896

DESIGNED	DDA	DATE	MAY 2000
DRAWN	JDL	SCALE	1" = 2000'+-
CHECKED	DDA	JOB NO.	1097

FIGURE

**2**





SOILS LEGEND	
Bo	Biddeford silt loam
Sn	Scantic silt loam

## SCS SOILS MAP

Boy Scouts of America – Portland, Maine

SOURCE: SOIL SURVEY Cumberland County, Maine; Sheet Number 81 & 85

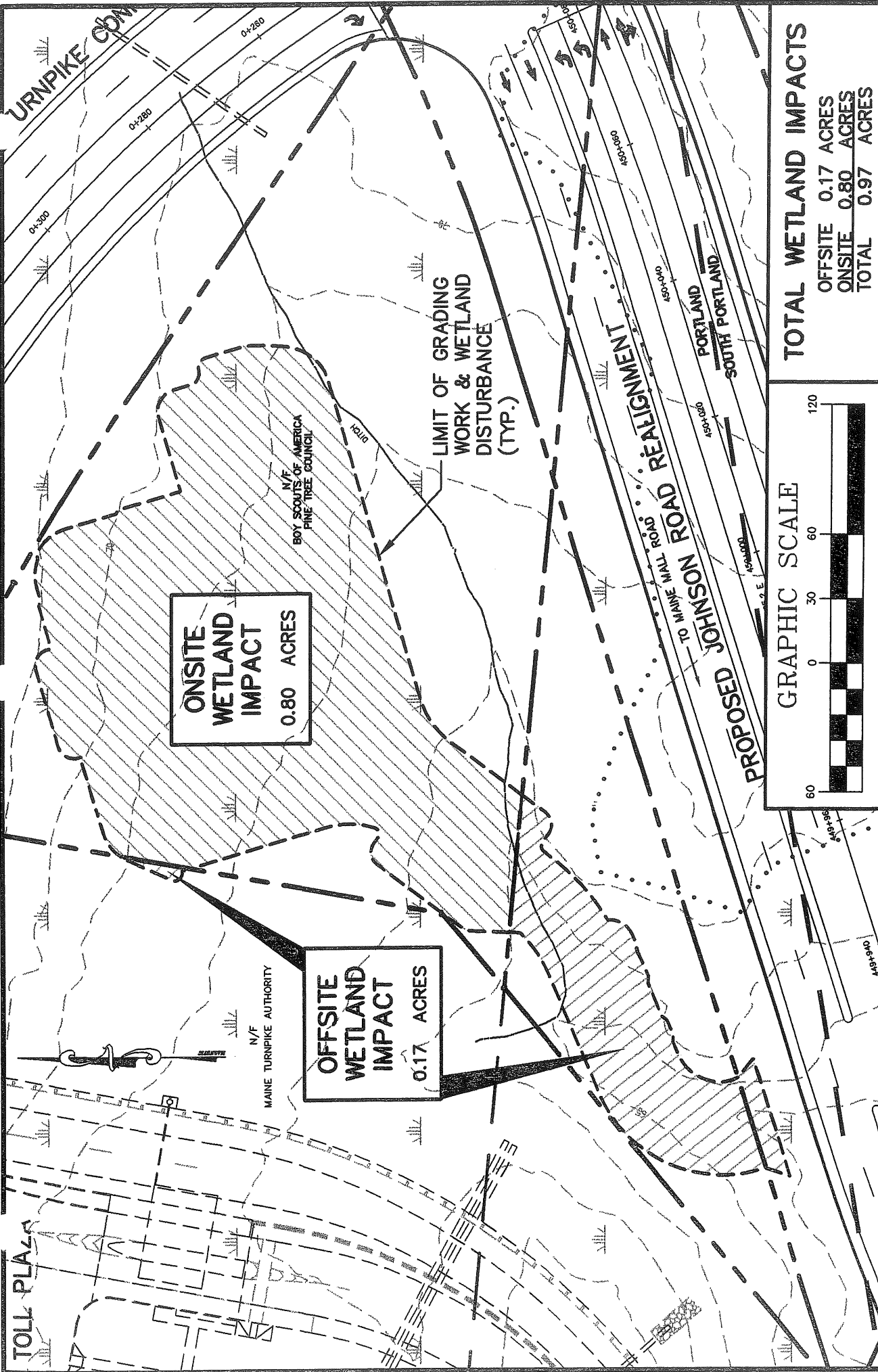


DeLUCA-HOFFMAN ASSOCIATES, INC.  
 CONSULTING ENGINEERS  
 778 MAIN STREET, SUITE 8  
 SOUTH PORTLAND, MAINE 04106  
 TEL. 207-775-1121  
 FAX 207-879-0896

DESIGNED	DDA	DATE	MAY 2000
DRAWN	JDL	SCALE	1" = 1667'+-
CHECKED	DDA	JOB NO.	1097

FIGURE

**3**

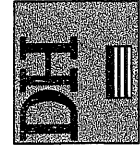


**ONSITE  
WETLAND  
IMPACT**  
0.80 ACRES

**OFFSITE  
WETLAND  
IMPACT**  
0.17 ACRES



**TOTAL WETLAND IMPACTS**  
OFFSITE 0.17 ACRES  
ONSITE 0.80 ACRES  
TOTAL 0.97 ACRES



**Deluca-Hoffman Associates, Inc.**  
Consulting Engineers  
778 Main Street, Suite 8  
South Portland, Maine 04106  
Tel. (207) 775-1121 Fax. (207) 879-0896

**WETLAND IMPACT AREA**  
BOY SCOUTS OF AMERICA  
PORTLAND, MAINE

Designed	DDA	Date	01/31/01
Drawn	CDD	Scale	1" = 60'
Checked	DDA	Job No.	1097

FIGURE

**4**

**EXHIBIT 2**

**PROJECT NEED**

**EXHIBIT 3**

**PROJECT LOCATION MAP**

**EXHIBIT 3**  
**PROJECT LOCATION MAP**

**3.0 USGS Topographic Map**

An excerpt from the USGS Portland West Quadrangle Map depicting the project location is attached to Exhibit 1 as Figure 2.

**EXHIBIT 4**

**PHOTOS OF WETLAND AREA**

## EXHIBIT 4

### PHOTOS OF WETLAND AREA

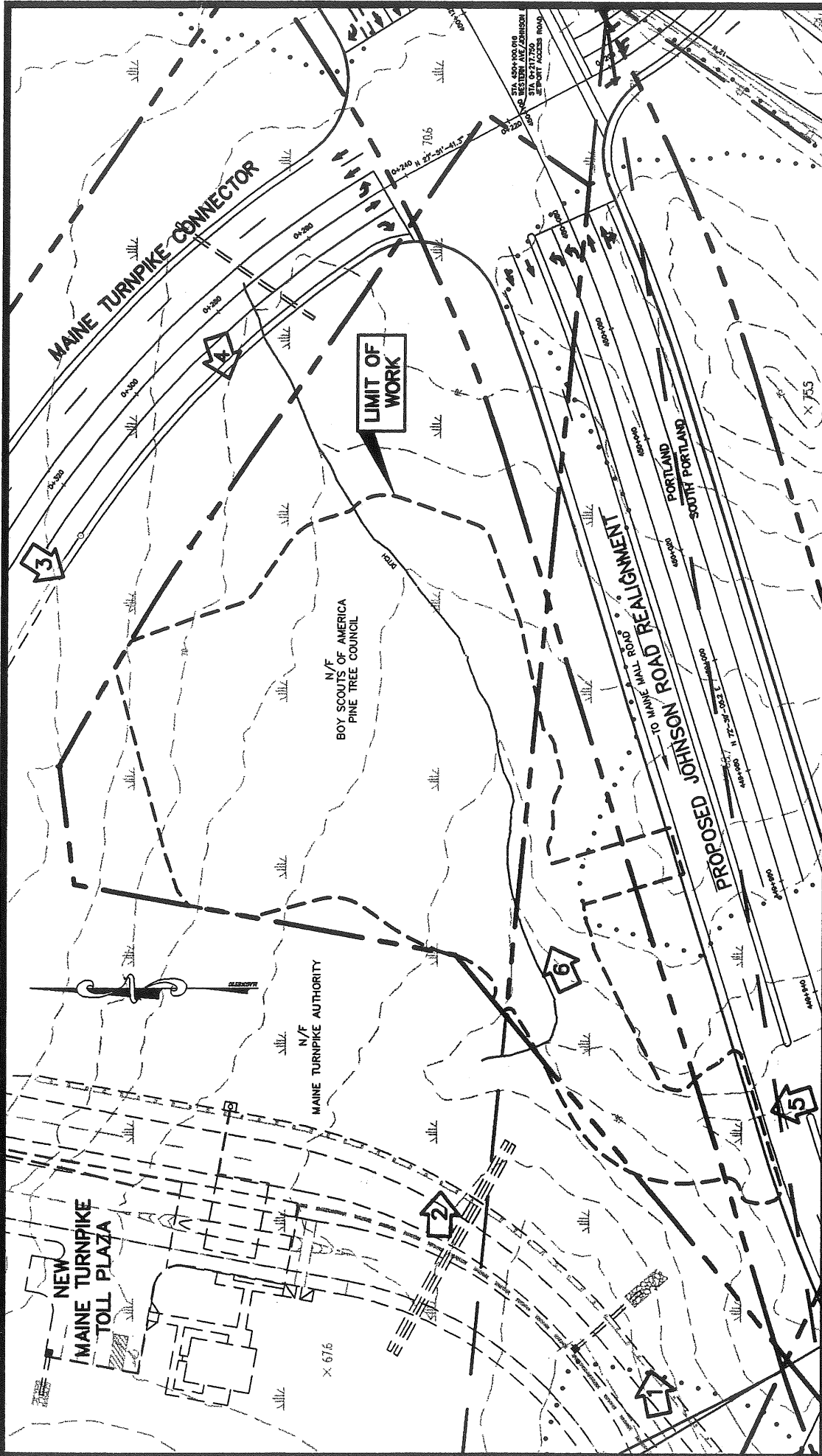
#### 3.0 Overview

Photographs of the wetland area proposed to be impacted by this project were taken in May of 2000. Wetland photos and a key map indicating photo locations and view points are attached to this section.

#### 4.1 Attachments

Wetland Photo Location Key Map

Wetland Photos



# WETLAND PHOTO LOCATION KEY MAP

PHOTO NUMBER & VIEWPOINT

Designed	DDA	Date	06/28/00
Drawn	CDD	Scale	1" = 80'
Checked	DDA	Job No.	1097

PINE TREE COUNCIL HEADQUARTERS  
PROJECT  
PORTLAND, MAINE

DeLuca-Hoffman Associates, Inc.  
Consulting Engineers  
778 Main Street, Suite 8  
South Portland, Maine 04106  
Tel. (207) 775-1121 Fax. (207) 879-0896

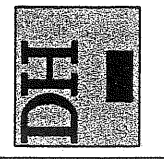






Photo 1: Looking easterly at proposed wetland impact area.



Photo 2: Looking easterly at proposed wetland impact area.



Photo 3: Looking southerly at proposed wetland impact area.



Photo 4: Looking westerly at proposed wetland impact area.



Photo 5: Looking northerly at proposed wetland impact area.



Photo 6: Looking easterly at proposed wetland impact area.

**EXHIBIT 5**

**PROJECT DRAWINGS**

**EXHIBIT 5**  
**PROJECT DRAWINGS**

**3.0 Overview**

Except as noted the following applicable 11 x 17 size drawings of the overall plan set are attached to this section.

<b><u>SHEET</u></b>	<b><u>DESCRIPTION</u></b>
C1	Cover Sheet
C2	General Notes/Index/Legend
C3	Existing Conditions and Demolition Plan
C4	Site Layout Plan
C5	Grading, Drainage & Erosion Control Plan
C6	Utility Plan
*C7	Landscape Plan
*C8	Utility Profiles
C9	Site Details
C10	Erosion Control Details
C11	Utility Details

\*Not included in this submission

Full size plan drawings are appended to this application.

**EXHIBIT 6**

**ADDITIONAL PLANS**

## EXHIBIT 6

### 3.0 Overview

An 8 1/2 x 11 figure for State and Federal reviews, which shows the wetland impact associated with the project is attached to Exhibit 1 as Figure 4.

**EXHIBIT 7**

**CONSTRUCTION PLAN**



**EXHIBIT 8**

**EROSION CONTROL PLAN**

EXHIBIT 8

EROSION AND SEDIMENTATION CONTROL REPORT

Prepared for:

The Pine Tree Council  
of the Boy Scouts of America  
125 Auburn Street  
Portland, Maine 04103

Prepared by:

DeLuca-Hoffman Associates, Inc.  
778 Main Street, Suite 8  
South Portland, Maine 04106

May 2001

**ATTACHMENT 8A**

**SEEDING PLAN**

**PERMANENT SEEDING PLAN NON-WETLAND AREAS**

Project Boy Scouts of America Pine Tree Council Headquarters Project

Site Location Johnson Road, Portland, Maine

X Permanent Seeding \_\_\_\_\_ Temporary Seeding

1. Area to be seeded: \_\_\_\_\_ acres, OR 8 M Sq. Ft.
2. Instructions on preparation of soil: Prepare a good seed bed for planting method used.
3. Apply lime as follows: \_\_\_\_\_ #/acres, OR 138#/M Sq. Ft.
4. Fertilize with \_\_\_\_\_ pounds of - - N-P-K/ac. OR  
18.4 pounds of 10 - 10 - 10 N-P-K/M Sq. Ft.
5. Method of applying lime and fertilizer: Spread and work into the soil before seeding.
6. Seed with the following mixture:
  - 40% SR 3000 Finleaf Fescue
  - 30% A-34 Kentucky Bluegrass
  - 20% Pennant Perennial Rye Grass
  - 10% Baron Kentucky Blue Grass

When using small grain as nurse crop seed it at one-half the normal seeding rate.

7. Mulching instructions: Apply at the rate of \_\_\_\_\_ tons per acre. OR  
115 pounds per M. Sq. Ft.

	<u>Amount</u>	<u>Unit #, Tons, Etc.</u>
8. TOTAL LIME.....	<u>138</u>	<u>#/1000 sq. ft.</u>
9. TOTAL FERTILIZER.....	<u>18.4</u>	<u>#/1000 sq. ft.</u>
10. TOTAL SEED.....	<u>2.30</u>	<u>#/1000 sq. ft.</u>
11. TOTAL MULCH.....	<u>115</u>	<u>#/1000 sq. ft.</u>
12. TOTAL other materials, seeds, etc.....	_____	

13. REMARKS

Spring seeding is recommended, however, late summer (prior to September 1) seeding can be made. Permanent seeding should be made prior to August 5 or as a dormant seeding after the first killing frost and before the first snowfall. If seeding cannot be done within these seeding dates, temporary seeding and mulching shall be used to protect the site. Permanent seeding shall be delayed until the next recommended seeding period.



SEEDING PLAN WETLAND AREAS

Project Boy Scouts of America Pine Tree Council Headquarters Project

Site Location Johnson Road, Portland, Maine

X Permanent Seeding \_\_\_\_\_ Temporary Seeding

1. Area to be seeded: \_\_\_\_\_ acres, OR 1 M Sq. Ft.
2. Instructions on preparation of soil: Prepare a good seed bed for planting method used.
3. Apply lime as follows: \_\_\_\_\_ #/acres, OR 138#/M Sq. Ft.
4. Fertilize with \_\_\_\_\_ pounds of - - N-P-K/ac. OR  
18.4 pounds of 10 - 10 - 10 N-P-K/M Sq. Ft.
5. Method of applying lime and fertilizer: Spread and work into the soil before seeding.
6. Seed with the following mixture:
  - 15% Annual Rye
  - 15% Red Top
  - 15% Wool Grass
  - 15% Blue Joint Grass
  - 40% Reed Canary Grass

When using small grain as nurse crop seed it at one-half the normal seeding rate.

7. Mulching instructions: Apply at the rate of \_\_\_\_\_ tons per acre. OR  
180 pounds per M. Sq. Ft.

	<u>Amount</u>	<u>Unit # Tons, Etc.</u>
8. TOTAL LIME.....	<u>138</u>	<u>#/1000 sq. ft.</u>
9. TOTAL FERTILIZER.....	<u>18.4</u>	<u>#/1000 sq. ft.</u>
10. TOTAL SEED.....	<u>3.0</u>	<u>#/1000 sq. ft.</u>
11. TOTAL MULCH.....	<u>180</u>	<u>#/1000 sq. ft.</u>
12. TOTAL other materials, seeds, etc.....	_____	

13. REMARKS

The above seed mix is required in all temporarily disturbed wetland areas.

**ATTACHMENT 8B**

**BEST MANAGEMENT PRACTICES CALCULATIONS**

**DeLUCA-HOFFMAN ASSOCIATES, INC.**

Consulting Engineers  
778 Main Street Suite 8  
SOUTH PORTLAND, MAINE 04106  
(207) 775-1121  
FAX (207) 879-0896

JOB BSA Headquarters Project  
SHEET NO. 1 OF 3  
CALCULATED BY D. Anderson DATE 7/6/00  
CHECKED BY \_\_\_\_\_ DATE \_\_\_\_\_  
SCALE NA

Task: Size Riprap and Vegetated Swale Channels for the BSA Headquarters Project.

Ref.: TY LIN included the developed area of the BSA site in with their calculations for the Johnson Road Relocation Project. Maximum flows from TY LIN'S calculations for the 25 and 50 year storm events remain below 11 cfs.

Attached: TY LIN'S calculations for the 50 year Storm Event through the BSA site.

Manning's Equation

Riprap Channel Reviewed

Bottom width 2ft  
Side Slopes 3:1  
Manning's n 0.045  
Slope 0.005  
Q<sub>50</sub> 11 cfs

Velocity 1.79 fps  
Depth 1.14 ft

Vegetated Swale Reviewed

Bottom width 2 ft  
Side Slopes 3:1  
Manning's n 0.025  
Slope 0.005  
Q<sub>50</sub> 11 cfs  
Velocity 2.76 fps ✓ < 3fps  
Depth 0.87 ft

↑  
Used for this Project



Data for MTA & Whited Drainage Areas ~~25~~-yr rev4/21/00

Page 3

TYPE III 24-HOUR RAINFALL= 6.00 IN

Prepared by DELUCA-HOFFMAN ASSOCIATES, INC.

8 May 00

HydroCAD 5.11 000734 (c) 1986-1999 Applied Microcomputer Systems

## REACH 202

Reach Cnt'g MTA Rd Culv to BSA Riprap chan

Qin = 10.86 CFS @ 12.92 HRS, VOLUME= 2.18 AF

Qout= 10.83 CFS @ 12.97 HRS, VOLUME= 2.18 AF, ATTEN= 0%, LAG= 2.8 MIN

DEPTH (FT)	END AREA (SQ-FT)	DISCH (CFS)	20' x .5' CHANNEL SIDE SLOPE= .1 '/' n= .027 LENGTH= 125 FT SLOPE= .0026 FT/FT	STOR-IND+TRANS METHOD PEAK DEPTH= .35 FT PEAK VELOCITY= 1.3 FPS TRAVEL TIME = 1.6 MIN SPAN= 10-20 HRS, dt=.1 HRS
0.00	0.00	0.00		
.05	1.03	.38		
.10	2.10	1.23		
.15	3.23	2.44		
.22	4.76	4.51		
.30	6.90	7.99		
.40	9.60	13.18		
.50	12.50	19.55		

## REACH 203

Riprap Channel Around BSA Complex

Qin = 10.83 CFS @ 12.97 HRS, VOLUME= 2.18 AF

Qout= 10.81 CFS @ 13.02 HRS, VOLUME= 2.17 AF, ATTEN= 0%, LAG= 3.3 MIN

DEPTH (FT)	END AREA (SQ-FT)	DISCH (CFS)	2' x 2' CHANNEL SIDE SLOPE= .33 '/' n= .033 LENGTH= 245 FT SLOPE= .0051 FT/FT	STOR-IND+TRANS METHOD PEAK DEPTH= .96 FT PEAK VELOCITY= 2.3 FPS TRAVEL TIME = 1.8 MIN SPAN= 10-20 HRS, dt=.1 HRS
0.00	0.00	0.00		
.20	.52	.49		
.40	1.28	1.78		
.60	2.29	3.95		
.86	3.96	8.33		
1.20	6.76	17.15		
1.60	10.96	32.78		
2.00	16.12	54.97		

50 yr

TY LIN Calcs.

50

Data for MTA & Whited Drainage Areas 25-yr rev4/21/00

TYPE III 24-HOUR RAINFALL= 6.00 IN

Prepared by DELUCA-HOFFMAN ASSOCIATES, INC.

8 May 00

HydroCAD 5.11 000734 (c) 1986-1999 Applied Microcomputer Systems

POND 202 Culvert under BSA drive

Qin = 10.81 CFS @ 13.02 HRS, VOLUME= 2.17 AF  
Qout= 9.81 CFS @ 13.38 HRS, VOLUME= 2.16 AF, ATTEN= 9%, LAG= 21.6 MIN

ELEVATION (FT)	AREA (SF)	INC.STOR (CF)	CUM.STOR (CF)	STOR-IND METHOD
66.8	0	0	0	PEAK STORAGE = 9595 CF
67.0	195	20	20	PEAK ELEVATION= 69.0 FT
68.0	4422	2309	2328	FLOOD ELEVATION= 69.0 FT
69.0	10211	7317	9645	START ELEVATION= 66.8 FT
				SPAN= 10-20 HRS, dt=.1 HRS
				Tdet= 14.5 MIN (2.14 AF)

#	ROUTE	INVERT	OUTLET DEVICES
1	P	66.8'	24" CULVERT n=.024 L=91' S=.0044'/' Ke=.9 Cc=.9 Cd=.47

50 YR

TY LIN Calcs.

**DeLUCA-HOFFMAN ASSOCIATES, INC.**

Consulting Engineers  
 778 Main Street Suite 8  
 SOUTH PORTLAND, MAINE 04106  
 (207) 775-1121  
 FAX (207) 879-0896

JOB BSA Headquarters Project  
 SHEET NO. 1 OF 2  
 CALCULATED BY D. Anderson DATE 6/22/00  
 CHECKED BY \_\_\_\_\_ DATE \_\_\_\_\_  
 SCALE NA

Task: Size Water Quality Unit for BSA Headquarters Project Site.

Ref: CSR Stormceptor Expert Design System - Run data from Mill Street

\* Drainage Area 0.85 Acres } Actual Drainage Area Less  $\approx$  0.65 Acres \*  
 70% Impervious 0.72 Acres }

US Stormceptor Model 450  
 Treatment Flow Rate 0.2 cfs

% Annual Runoff Treated 42.7% Particle Size  $\rightarrow$  Coarse 150  $\mu$ m - 2000  $\mu$ m  
 Total TSS Removal (Inc. By-Pass) = 86%

$\rightarrow$  Stormceptor Model 450 Selected  $\leftarrow$

Task: Size SD Pipe to and from WQ UNIT using Rational method

\* Drainage Area 0.35 Acres (Includes  $\frac{1}{2}$  All. Roof & Paved Area)  
 C Value 0.90  
 I<sub>25</sub> Method 6.2 inches

$$Q_{25} = CIA = 0.9 \times 6.2 \times 0.35 = 4.71 \text{ cfs}$$

Min. Pipe Size 15" SD  $n = 0.013$  Slope (cont.) = 0.005  $Q_{max} = 4.71 \text{ cfs}$

[12" SD would work @ Slope (cont.) = 0.016]

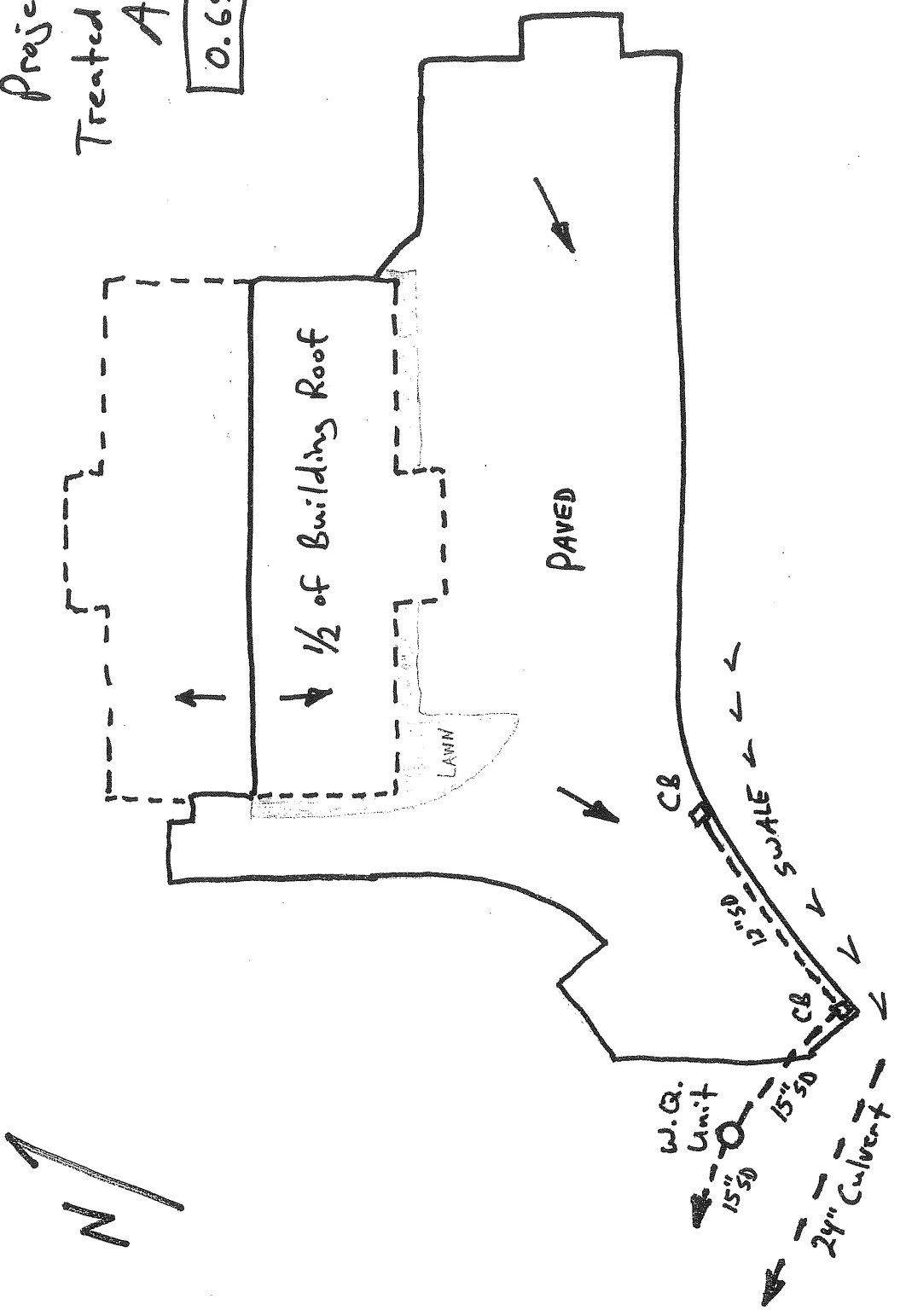
Water Quality Unit is required by the City of Portland for all new developments with  $> 20$  parking spaces - BSA proposes 50 spaces.

Sheet 2 of 2

# BSA Headquarters Project

Treated Drainage Area

0.65 Acres



Scale 1" = 40'

**EXHIBIT 10**

**COPY OF LETTERS FROM**  
**DELUCA-HOFFMAN ASSOCIATES, INC.**  
**TO RESOURCE AGENCIES AND AGENCY RESPONSES**

**EXHIBIT 10**  
**COPY OF LETTERS FROM**  
**DeLUCA-HOFFMAN ASSOCIATES, INC.**  
**TO RESOURCE AGENCY AND**  
**AGENCY RESPONSES**

**10.0 Overview**

Resource agencies were contacted during the preparation of this permit application. The resource agencies contacted include:

The Maine Historic Preservation Commission  
The Department of Inland Fisheries & Wildlife  
The U.S. Department of the Interior Fish and Wildlife Service

The Maine Historic Preservation Commission was contacted to determine if there are any structures or areas on the site with historic, architectural, or archaeological significance as determined by the Natural Historic Preservation Act of 1966. The Department of Inland Fisheries & Wildlife was contacted to gather information concerning threatened, endangered, or special status wildlife or fisheries habitat which may be impacted by the project. The U.S. Department of the Interior was contacted to gather information concerning the presence of any federally listed (or proposed to be listed) endangered or threatened species which might be impacted by the project.

**10.1 Findings**

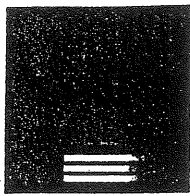
The Maine Historic Preservation Commission found no historic properties (historic, architectural or archaeological) affected by this project.

The Department of Inland Fisheries & Wildlife indicated that there are no identified wildlife habitats associated with this site.

The U.S. Department of the Interior indicated that no federally listed species under the jurisdiction of the Service are known to occur in the project area, with the exception of occasional, transient bald eagles.

**10.2 Attachments**

- Letter dated April 13, 2000 from DeLuca-Hoffman Associates, Inc. to the Maine Historic Preservation Commission
- Response letter from the Maine Historic Preservation Commission dated April 24, 2000
- Letter dated April 13, 2000 from DeLuca-Hoffman Associates, Inc. to the Department of Inland Fisheries & Wildlife
- Response report from the Department of Inland Fisheries and Wildlife dated April 24, 2000.
- Letter dated April 13, 2000 from DeLuca-Hoffman Associates, Inc. to the U.S. Department of the Interior
- Response letter from the U.S. Department of the Interior dated May 22, 2000.



DeLUCA-HOFFMAN ASSOCIATES, INC.  
CONSULTING ENGINEERS

778 MAIN STREET  
SUITE 8  
SOUTH PORTLAND, MAINE 04106  
TEL. 207 775 1121  
FAX 207 879 0896

- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

April 13, 2000

Mr. Earle G. Shettleworth, Jr.  
Maine Historic Preservation Commission  
State House Station 65  
Augusta, Maine 04333

**Subject: Boy Scouts of America – Pine Tree Council  
Proposed Headquarters Facility – Johnson Road  
Portland, Maine**

Dear Mr. Shettleworth:

The Pine Tree Council is proposing to construct a new 12,800 square foot headquarters building at the intersection of Johnson Road, the new Maine Turnpike Connector and the Jetport Access Road. The new Pine Tree Council Headquarters will be located to the northwest of the intersection and be accessed off the realigned Johnson Road.

The infrastructure and utility improvements planned to support the project include a 50-space vehicular parking area, an access drive, a sanitary sewer connected to an existing gravity main, and a water service connected to the relocated water main along Johnson Road. A USGS location map and headquarters layout plan are enclosed for your use.

We are requesting your review to determine if there are any structures or areas on the site with historic, architectural, or archaeological significance as defined by the Natural Historic Preservation Act of 1966.

If you have any questions concerning this request, please contact me.

Sincerely,

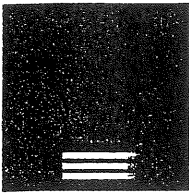
DeLUCA-HOFFMAN ASSOCIATES, INC.

Dwight D. Anderson, P.E.  
Design Engineer

DDA/sq/JN1097/Shettleworth4-12

Enclosure

c: Doris Brennan, Director of Support Services  
Tom Dunham, The Dunham Group



DeLUCA-HOFFMAN ASSOCIATES, INC.  
CONSULTING ENGINEERS

778 MAIN STREET  
SUITE 8  
SOUTH PORTLAND, MAINE 04106  
TEL. 207 775 1121  
FAX 207 879 0896

- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

April 13, 2000

Mr. Norman Trask, Deputy Commissioner  
Department of Inland Fisheries & Wildlife  
State House Station 41  
Augusta, Maine 04333

**Subject: Boy Scouts of America – Pine Tree Council  
Proposed Headquarters Facility – Johnson Road  
Portland, Maine**

Dear Mr. Trask:

The Pine Tree Council is proposing to construct a new 12,800 square foot headquarters building at the intersection of Johnson Road, the new Maine Turnpike Connector and the Jetport Access Road. The new Pine Tree Council Headquarters will be located to the northwest of the intersection and be accessed off the realigned Johnson Road.

The infrastructure and utility improvements planned to support the project include a 50-space vehicular parking area, an access drive, a sanitary sewer connected to an existing gravity main, and a water service connected to the relocated water main along Johnson Road. A USGS location map and headquarters layout plan are enclosed for your use.

We are requesting your review to determine if your Department has information concerning threatened, endangered, or special status wildlife or fisheries habitat which may be impacted by this project. We would also appreciate your routing this request to the Department Heads who can aid in this review. If a fee for your review is required, please invoice our office.

If you have any questions concerning this request, please contact me.

Sincerely,

DeLUCA-HOFFMAN ASSOCIATES, INC.

Dwight D. Anderson, P.E.  
Design Engineer

DDA/sq/JN1097/Trask4-12

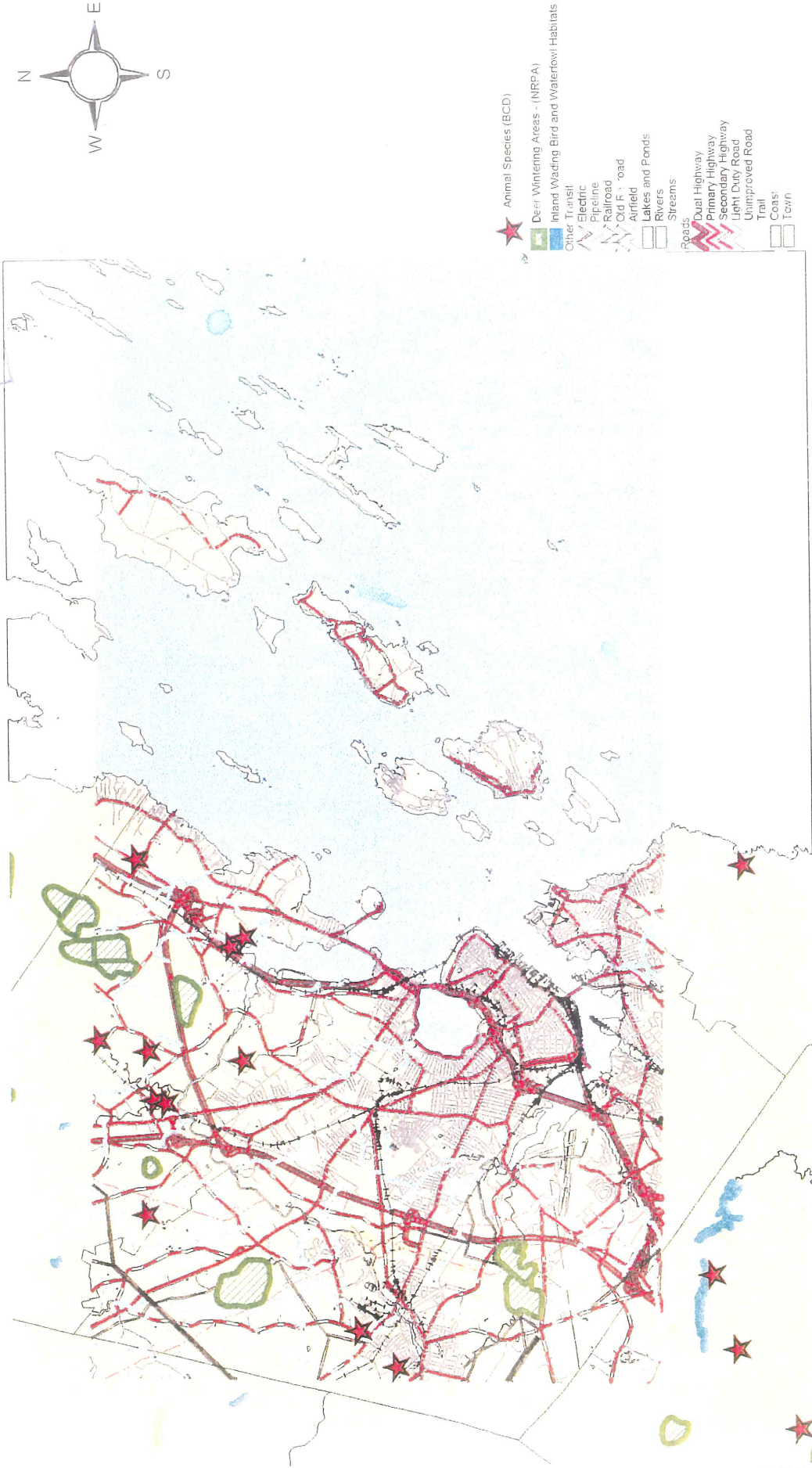
Enclosure

c: Doris Brennan, Director of Support Services  
Tom Dunham, The Dunham Group



# IF&W Report - Boy Scouts of America Proposed Headquarters Facility - Johnson Road

04/24/2000

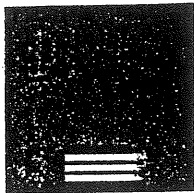


Department of Inland Fisheries and Wildlife

(207) 547-5318

Biologist Notes

No identified wildlife habitats associated with this site.



DeLUCA-HOFFMAN ASSOCIATES, INC.  
CONSULTING ENGINEERS

778 MAIN STREET  
SUITE 8  
SOUTH PORTLAND, MAINE 04106  
TEL. 207 775 1121  
FAX 207 879 0896

- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

April 13, 2000

Mr. Michael J. Bartlett, Supervisor  
U.S. Department of the Interior, NE Field Office  
Fish & Wildlife Service – Unit 1  
22 Bridge Street  
Concord, NH 03301-4986

**Subject: Boy Scouts of America – Pine Tree Council  
Proposed Headquarters Facility – Johnson Road  
Portland, Maine**

Dear Mr. Bartlett:

The Pine Tree Council is proposing to construct a new 12,800 square foot headquarters building at the intersection of Johnson Road, the new Maine Turnpike Connector and the Jetport Access Road. The new Pine Tree Council Headquarters will be located to the northwest of the intersection and be accessed off the realigned Johnson Road.

The infrastructure and utility improvements planned to support the project include a 50-space vehicular parking area, an access drive, a sanitary sewer connected to an existing gravity main, and a water service connected to the relocated water main along Johnson Road. A USGS location map and headquarters layout plan are enclosed for your use.

We are requesting your review to determine if your office has information concerning the presence of any federally listed (or proposed to be listed) endangered or threatened species which might be impacted by this project.

If you have any questions concerning this request, please contact me.

Sincerely,

DeLUCA-HOFFMAN ASSOCIATES, INC.

Dwight D. Anderson, P.E.  
Design Engineer

DDA/sq/JN1097/Bartlett4-12

Enclosure

c: Doris Brennan, Director of Support Services  
Tom Dunham, The Dunham Group

<u>Common Name</u>	<u>Scientific Name</u>	<u>Status</u>
Midget Snaketail Dragonfly	Ophiogomphus howei	FSC
Clayton's Copper Butterfly	Lycaena dorcas claytoni	FSC
Ceromatic Noctuid Moth	Pyreffera ceromatica	FSC
Regal Fritillary Butterfly	Speyeria idalia	FSC
Chestnut Clearwing Moth	Synanthedon castancae	FSC
Lateral Bluet Damselfly	Enallagma laterale	FSC

**PLANTS:**

Small Whorled Pogonia	Isotria medeoloides	T
Furbish's Lousewort	Pedicularis furbishiae	E
Eastern Prairie Fringed Orchid	Plantanthera leucophaea	T
Orono Sedge	Carex oronensis	FSC
Variable Sedge	Carex polymorpha	FSC
Hawkweed	Hieracium robinsonii	FSC
Blazingstar	Liatris borealis	FSC
Square-stemmed Monkeyflower	Mimulus rigens colpophilus	FSC
Pondweed	Potamogeton confervoides	FSC
Boott's Rattlesnake Root	Prenanthes boottii	FSC
Long's Bulrush	Scirpus longii	FSC
Gaspe Peninsula Arrow-grass	Triglochin gaspense	FSC

**Key:**

<u>Status</u>	<u>Definition</u>
E	Endangered: A taxon "in danger of extinction throughout all or a significant portion of its range".
T	Threatened: A taxon "likely to become endangered within the foreseeable future throughout all or a significant portion of its range."
P	Proposed: A taxon proposed for official listing as endangered or threatened.
FSC	Federal species of concern: Species which may or may not be listed in the future (formerly C2 candidate species, or species under consideration for listing for which there is insufficient information to support listing).
D	Delisted species, requiring 5 years of population monitoring.
*	Principal responsibility for these species is vested with the National Marine Fisheries Service

**FEDERALLY LISTED, PROPOSED, AND SPECIES OF FEDERAL CONCERN**  
**IN MAINE** (revised May 22, 2000)

<u>Common Name</u>	<u>Scientific Name</u>	<u>Status</u>
<b>FISHES:</b>		
Atlantic salmon	<i>Salmo salar</i>	P
Shortnose Sturgeon	<i>Acipenser brevirostrum</i>	E
<b>REPTILES:</b>		
Atlantic ridley turtle*	<i>Lepidochelys kempii</i>	E
Leatherback turtle*	<i>Dermochelys coriacea</i>	E
Loggerhead turtle*	<i>Caretta caretta</i>	T
Blanding's turtle	<i>Emydoidea blandingii</i>	FSC
<b>BIRDS:</b>		
American Peregrine Falcon	<i>Falco peregrinus anatum</i>	D
Bald Eagle	<i>Haliaeetus leucocephalus</i>	T
Bicknell's Thrush	<i>Catharus minimus bicknelli</i>	FSC
Black Tern	<i>Chlidonias niger</i>	FSC
Harlequin Duck	<i>Histrionicus histrionicus</i>	FSC
Loggerhead Shrike	<i>Lanius ludovicianus</i>	FSC
Northern Goshawk	<i>Accipiter gentilis</i>	FSC
Piping Plover	<i>Charadrius melodus</i>	T
Roseate Tern	<i>Sterna dougallii dougallii</i>	E
<b>MAMMALS:</b>		
Gray Wolf	<i>Canis lupus</i>	E
Eastern Cougar	<i>Felis concolor couguar</i>	E
Blue Whale*	<i>Balaenoptera musculus</i>	E
Finback Whale*	<i>Balaenoptera physalus</i>	E
Humpback Whale*	<i>Megaptera novaeangliae</i>	E
Right Whale*	<i>Eubalaena</i> spp. (All species)	E
Sei Whale*	<i>Balaenoptera borealis</i>	E
Sperm Whale*	<i>Physeter catodon</i>	E
Eastern Small-Footed Bat	<i>Myotis leibii</i>	FSC
New England Cottontail Rabbit	<i>Sylvilagus transitionalis</i>	FSC
Penobscot Meadow Vole	<i>Microtus pennsylvanicus shattaucki</i>	FSC
Northern Bog Lemming	<i>Synaptomys borealis</i>	FSC
Canadian Lynx	<i>Felis lynx canadensis</i>	T
<b>INVERTEBRATES:</b>		
Brook Floater	<i>Alasmidonta varicosa</i>	FSC
Yellow Lampmussel	<i>Lampsilis cariosa</i>	FSC
Tomah Mayfly	<i>Siphonisca aerodromia</i>	FSC

**EXHIBIT 15**

**PROOF OF TITLE, RIGHT OR INTEREST**

## EXHIBIT 15

### PROOF OF TITLE, RIGHT OR INTEREST

#### 15.0 Attachments

- License and Easement with City of Portland
- Avigation Easement for Portland International Jetport
- Draft of Land Transfer from Philip Cole to the Scarborough Land Trust
- Example of Conservation Easements to be prepared for Gringolet's 2.45 acre Parcel and Scarborough Land Trust's 10 Acre Parcel

## LICENSE FOR ROAD CONSTRUCTION

**WHEREAS**, the Pine Tree Council of the Boy Scouts of America (hereinafter "Licensee") located at 125 Auburn Street, Portland, Maine, plans to build new offices and road in the vicinity of the Portland International Jetport (hereinafter the "Airport"); and

**WHEREAS**, Licensee needs access to its property over Airport property and requires a license from the City of Portland (hereinafter "CITY"), as Airport owner, to authorize Licensee, its employees and contractors, to construct an Access Road over CITY property as described in Schedule A (hereinafter "Property"); and

**WHEREAS**, Licensee and CITY intend that this License Agreement shall be temporary and shall terminate and be superseded by an easement agreement between Licensee and CITY upon completion of the Access Road;

**NOW, THEREFORE**, in consideration of the foregoing and the covenants herein contained, CITY hereby grants to Licensee the following rights in and to the Property:

1. A license to enter in, over and under the Property for the purposes and on the terms and conditions set forth herein;

a. Purpose. The purpose shall be for Licensee, its contractors, subcontractors, representatives and agents, to construct a two-lane Access Driveway across the Property from Johnson Road to land owned by the Licensee.

(i) Licensee, its contractors, subcontractors, agents, and representatives shall be entitled to engage in all activities necessary or desirable to construct the Access Driveway, including but not limited to excavation of the Property to the extent necessary; the right to install and maintain underground utilities and above-ground signage and lighting, which signage and lighting shall be subject to the prior approval of the CITY and the Federal Aviation Administration or any successor agency thereto, over the Property for the passage of vehicular and pedestrian traffic to Licensee's property, which property is described in the deed recorded in the Cumberland County Registry of Deeds, Book 12998, Page 157,

(ii) CITY reserves all other rights not inconsistent or incompatible with the rights granted herein to Licensee; and

(iii) Licensee acquires no other rights in and to the Property, except as set forth herein.

b. Licensee will obtain any and all necessary federal, State or local permits required in connection with the construction of the Access Road.

2. The construction of the Access Road shall be accomplished by Licensee at its sole cost and expense in such manner as will not unreasonably interfere with CITY's current use of the Property or with use or operations of the Airport.

3. Indemnification. To the fullest extent permitted by law, Licensee shall defend, indemnify and hold CITY, its officers, agents and employees, harmless at all times from any claims, liability, losses, costs, expenses (including without limitation attorney's fees), fines, damages or judgments, just or unjust, that arise out of or in connection with the activities of Licensee under this License Agreement, said claims to include, without being limited to, claims for personal injury or property damage or for violation of any federal, state or local law or regulation, including, without limitation, all environmental and hazardous substance laws.

Without limiting the foregoing, any Mechanic's Lien or any other lien filed against the Property by reason of Licensee's activities under this License Agreement shall be defended (by counsel reasonably acceptable to CITY) or promptly discharged by Licensee at its own expense. If Licensee should fail either to defend CITY against the lien or to discharge it, then CITY may do so at Licensee's expense. In the event of such an undertaking by CITY, Licensee will promptly reimburse CITY for all of its reasonable costs and expenses in so doing, including, but not limited to, reimbursement of CITY's reasonable counsel fees, as well as costs which may be incurred by it in substituting a bond in place of the lien.

"Licensee" includes its officers, agents, employees, contractors, consultants, subcontractors, invitees and anyone for whose act Licensee is legally liable.

4. Insurance. Licensee shall procure and maintain, or provide through self-insurance, throughout this Agreement general comprehensive liability insurance covering claims on an occurrence basis in the minimum amount of Four Hundred Thousand Dollars (\$400,000) combined single limit for bodily injury and for property damage. Said policy of insurance shall name CITY, its officers, agents and employees, as an additional insured for purposes of Licensee's operations hereunder. All liability policies of contractors working under this License Agreement shall also name CITY, its officers, agents and employees, as an Additional Insured. Policies or certificates evidencing such policies shall be delivered to CITY and shall provide CITY with no less than thirty (30) days prior notice of cancellation or non-renewal.

All insurance policies hereunder shall be primary to any insurance, or self-insurance, maintained by CITY.

5. Licensee will repair any and all damage to the Property which may occur as a result of Licensee's activities under this License. All repairs shall be subject to prior approval of CITY.

6. This License Agreement shall expire on the earlier to occur of (i) December 31, 2001 or (ii) the completion of the Access Road. If the Access Road is not completed by December 31, 2001, the CITY's Director of Waterfront and Transportation Facilities may extend this License to permit completion of the Access Road, for a period of up to one year, provided



that the State of Maine has also extended Licensee's rights to the break in the control of access to Johnson Road.

7. Upon completion of the Access Road, CITY will convey to Licensee an easement over said Road substantially in the form attached as Exhibit A, based upon a survey description of the Road. Licensee shall provide CITY with said description at its own cost and expense.

8. In consideration for the grant of this License and upon its execution, Licensee will execute and deliver to CITY an avigation easement over Licensee's property in the form attached hereto as Exhibit B.

9. This permit is revocable only in the event Licensee fails to comply with any of the terms herein. Upon written notice from CITY to Licensee of a failure to comply, Licensee shall have thirty (30) days in which to cure said non-compliance, or if such non-compliance cannot reasonably be cured within 30 days, then Licensee shall proceed diligently to cure as soon as reasonably possible. If Licensee fails to cure or to proceed diligently to cure within said 30 days, then City may elect to revoke this License immediately upon written notice to Licensee. In such event, Licensee shall cause all equipment and workers from the site to be removed within a reasonable period of notice of revocation.

10. This instrument is a License Agreement and no provision hereof shall be construed as conveying an easement or other estate in land.

This License Agreement is signed this 15 day of MARCH, 2001, by the duly authorized representatives of Licensee and CITY.

WITNESS:

x E. D. Chubb

PINE TREE COUNCIL OF THE  
BOY SCOUTS OF AMERICA

By: Rees A. Falkner

Rees A. Falkner  
(Print Name)

Its: C. E. O.  
(Print Title)

WITNESS:

Ima Bean

CITY OF PORTLAND

By: Joseph E. Gray, Jr.  
Joseph E. Gray, Jr.  
Its Acting City Manager

Description of Parcel to be Licensed by the City of Portland  
to Pine Tree Council of the Boy Scouts of America  
Johnson Road, Portland, Maine

A certain lot or parcel of land located westerly of, but not adjacent to, Johnson Road in the City of Portland, County of Cumberland, State of Maine, bounded and described as follows:

Beginning at a point formed by the intersection of the westerly sideline of said Johnson Road and the Portland – South Portland City line, said point being the southeasterly corner of land now or formerly of the Maine Turnpike Authority as described in a deed recorded in the Cumberland County Registry of Deeds in Book 12998, Page 349 and on the northerly line of land now or formerly of the City of Portland as described in the City Clerk's Records in Volume 72, Page 256; thence S 80° 38' 38" W by said land of Maine Turnpike Authority and the City of Portland a distance of Twenty-Six and 35/100 (26.35) feet to a point; thence N 84° 34' 34" W by said land of Maine Turnpike Authority and the City of Portland and by land now or formerly of Pine Tree Council of the Boy Scouts of America as described in a deed recorded in said Registry in Book 12998, Page 157 a distance of Three Hundred Nineteen and 17/100 (319.17) feet to the true point of beginning. Thence:

- 1) S 72° 39' 05" W a distance of Three Hundred Fifty-Four and 98/100 (354.98) feet to a point;
- 2) N 01° 20' 56" W a distance of Forty-Six and 24/100 (46.24) feet to a point and land now or formerly of the Maine Turnpike Authority as described in a deed recorded in said Registry in Book 12998, Page 349;
- 3) N 50° 06' 36" E by said land of Maine Turnpike Authority a distance of One Hundred Twenty-Eight and 68/100 (128.68) feet to a point and the southwesterly corner of said land now or formerly of Pine Tree Council of the Boy Scouts of America;
- 4) S 84° 34' 34" E by land of said Pine Tree Council of the Boy Scouts of America a distance of Two Hundred Forty-Two and 27/100 (242.27) feet to the point of beginning.

The above-described parcel contains 18,971 square feet. Bearings are based on grid north as defined by the Maine State Plane Coordinate System, Western Zone, NAD 83. Reference is herein made to a plan entitled "Maine Turnpike Property and Right-of-Way Plan Jetport Interchange" made by HNTB, dated February 1997.

Meaning and intending to describe a portion of the property as described in the Records of the Clerk of the City of Portland in Volume 72, Page 256.

**QUITCLAIM EASEMENT DEED**

**WHEREAS**, the City of Portland, Maine, (hereinafter the Grantor) owns the Portland International Jetport (hereinafter the "Airport") and is in the process of reconstruction of one of the Airport runways; and

**WHEREAS**, the Grantor owns property which will abut the right of way for Johnson Road when said road is realigned as a result of said runway reconstruction; and

**WHEREAS**, the Pine Tree Council of the Boy Scouts of America (hereinafter the "Grantee") owns property near Johnson Road and wants access to Johnson Road from such property to the realigned Johnson Road; and

**WHEREAS**, the Grantor is willing to grant the Grantee an access easement over Grantor's property subject to the Grantor's aviation rights over said easement;

**NOW THEREFORE, KNOW ALL PERSONS BY THESE PRESENTS**, that the City of Portland, Maine, (Grantor) a body politic and corporate located in Cumberland County, State of Maine, for consideration paid, receipt whereof is hereby acknowledged, hereby bargains, conveys, grants and quitclaims to the Pine Tree Council of the Boy Scouts of America, a Maine nonprofit corporation with an office at 125 Auburn Street, Portland, Maine, its successors and assigns, an access easement, which shall include the right to install and maintain underground utilities and above-ground signage and lighting, which signage and lighting shall be subject to the prior approval of the Grantor and the Federal Aviation Administration or any successor agency thereto, over the property described in Schedule A (hereinafter the "Premises") for the passage of vehicular and pedestrian traffic and the right to construct and maintain a driveway over the Premises for said passage to Grantee's property which property is described in the deed recorded in the Cumberland County Registry of Deeds, Book 12998, Page 157, subject to the following terms and conditions:

1. The rights granted herein shall be exercised and used in such a manner as not to cause any damage or destruction of any nature whatsoever to or interruption of the use of the adjoining lands owned by Grantor;

2. The use hereby granted shall be limited exclusively to the purposes recited herein;

3. Grantor shall have the right to grant other nonexclusive easements over, along, or upon the Premises; provided, however, that any such other easements shall be subject to the easement hereby granted; and

4. The easement hereby granted is subject to the continuing right in the Grantor to cause in all airspace above the surface of the Premises such noise, vibrations, fumes, dust, fuel particles, and all other effects that may be caused by the operation of aircraft landing at, or taking off from, or operating at or on said Portland International Jetport; and Grantee does hereby fully waive, remise and release any right or cause of action which they may now have or which they may have in the future against Grantor, due to such noise, vibrations, fumes, dust, fuel particles, and all other effects that may be caused or may have been caused by the operation of aircraft landing at, or taking off from, or operating at or on said Portland International Jetport;

The easement and right of way hereby granted includes the continuing right in the Grantor to prevent the erection or growth upon the Premises of any building, structure, tree or other object, extending into the air space above the aforesaid imaginary surface, and to remove trees or top trees to ten (10) feet below the imaginary surfaces with the right of ingress to and egress from, and passage over Grantee's easement for the above purposes, said removal or topping, at the Grantor's expense.

The Grantee does hereby agree that for and during the life of said easement and right of way, it will not hereafter erect, permit the erection or growth of, or permit or suffer to remain upon Premises any building, structure, tree or other object extending into the aforesaid prohibited air space, and that it shall not hereafter use or permit or suffer the use of the Premises in such a manner as to create electrical interference with radio communication between any installation upon said Portland International Jetport and/or aircraft, or as to make it difficult for flyers of aircraft to distinguish between airport lights and others, or as to impair visibility in the vicinity of the Portland International Jetport or as otherwise to endanger the landing, taking off or maneuvering of aircraft.

"Airspace" shall mean and include airspace above the Grantee's property to an infinite height above the approach and transitional surfaces of said Grantor's Property. The approach surface, as defined in Title 14 CFR, Federal Aviation Regulation, Part 77, Section 77.25, begins 200 feet from the new end of the runway which begins 400 feet from Latitude: 43E38'44.732" North and Longitude: 070E19'28.460" West, and extends a distance of 10,000 feet outwardly away from the end of the runway. The elevation of the approach surface begins at the elevation of the end of the primary surface and extends upward and outward at a slope of 50:1 (1 foot vertically for every 50 feet horizontally), then an additional 40,000 feet at a slope of 40:1 (1 foot vertically for every 40 feet horizontally). The transitional surface begins at the edges of the primary and approach surfaces and extends upward and outward perpendicular to the extended runway centerline at a slope of 7:1 (1 foot vertically for every 7 feet horizontally). The portion of the Grantor's Property to be conveyed to the Grantee is

considered to be wholly encompassed within the boundaries of these approach and transitional surfaces; and

5. Grantee acknowledges that it is entitled to receive just compensation for the property rights conveyed to the Grantor by the foregoing avigation easement based upon an independent real estate appraisal. Grantee hereby waives its rights to an appraisal and just compensation under federal law.

It being understood and agreed that the aforesaid covenants and agreements shall run with the land and shall be forever to the benefit of and be binding upon the successors and assigns of the Grantor and Grantee.

IN WITNESS WHEREOF, Duane Kline, Finance Director of the City of Portland, has hereunto executed this easement deed on this \_\_\_\_\_ day of \_\_\_\_\_, 200\_.

**WITNESS**

**CITY OF PORTLAND**

\_\_\_\_\_

\_\_\_\_\_  
Duane Kline, Finance Director

**STATE OF MAINE  
CUMBERLAND, ss.**

Dated: \_\_\_\_\_, 200\_

Personally appeared the above-named Duane Kline, Director of Finance of the City of Portland, Maine, and acknowledged the foregoing instrument to be his free act and deed and the free act and deed of said City.

Before me,

\_\_\_\_\_  
Notary Public/Attorney-at-Law

(Note: To be executed upon completion of Access Road by Boy Scouts).

## SCHEDULE A

(To be provided based upon survey done upon completion of Access Road)

office\elizabet\BoyScoutsEas  
02.01.01

**AVIGATION EASEMENT**  
**for**  
**PORTLAND INTERNATIONAL JETPORT**

**WHEREAS**, the City of Portland (Grantee) is the owner and operator of Portland International Jetport, situated in the County of Cumberland, State of Maine, and in close proximity to the land of Grantor as hereinafter described, and Grantee desires to obtain and preserve for the use and benefit of the public a right of free and unobstructed flight for aircraft landing upon, taking off from, or maneuvering about the said Jetport;

**WHEREAS**, the Pine Tree Council of the Boy Scouts of America (Grantor) is the owner of property located near the Portland International Jetport and granted by deed recorded in the Cumberland County Registry of Deeds at Book 12998, Page 157, and as described in Schedule A attached hereto and incorporated herein, hereinafter called Grantor's Property;

**NOW, THEREFORE**, the Grantor, for itself, its successors and assigns, does hereby grant and convey unto the Grantee, its successors and assigns, for the use and benefit of the public, an easement and right of way, appurtenant to Portland International Jetport, for the unobstructed passage of all aircraft, ("aircraft" being defined for the purpose of this instrument as any contrivance now known or hereafter invented, used or designed for navigation of or flight in the air) by whomsoever owned and operated.

Grantor acknowledges that it is entitled to receive just compensation for the property rights conveyed to the Grantee by this easement deed based upon an independent real estate appraisal. By execution of this easement deed, Grantor hereby waives its rights to an appraisal and just compensation under federal law.

The easement and right of way shall be defined to include the following:

The airspace above the Grantor's property to an infinite height above the approach and transitional surfaces of said Grantor's Property. The approach surface, as defined in Title 14 CFR, Federal Aviation Regulation, Part 77, Section 77.25, begins 200 feet from the new end of the runway which begins 400 feet from Latitude: 43E38'44.732" North and Longitude: 070E19'28.460" West, and extends a distance of 10,000 feet outwardly away from the end of the runway. The elevation of the approach surface begins at the elevation of the end of the primary surface and extends upward and outward at a slope of 50:1 (1 foot vertically for every 50 feet horizontally), then an additional 40,000 feet at a slope of 40:1 (1 foot vertically for every 40 feet horizontally). The transitional surface begins at the edges of the primary and approach surfaces and extends upward and outward perpendicular to the extended runway centerline at a slope of 7:1 (1 foot vertically for every 7 feet horizontally). The portion of the Grantor's Property to be conveyed to the Grantee is considered to be wholly encompassed within the boundaries of these approach and transitional surfaces;

Together with the right to cause in all airspace above the surface of the portion of the Grantor's Property to be conveyed to the Grantee such noise, vibrations, fumes, dust, fuel particles, and all other effects that may be caused by the operation of aircraft landing at, or taking off from, or operating at or on said Portland International Jetport; and Grantor does hereby fully waive, remise and release any right or cause of action which they may now have or which they may have in the future against Grantee, due to such noise, vibrations, fumes, dust, fuel particles, and all other effects that may be caused or may have been caused by the operation of aircraft landing at, or taking off from, or operating at or on said Portland International Jetport;

The easement and right of way hereby granted includes the continuing right in the Grantee to prevent the erection or growth upon Grantor's Property of any building, structure, tree or other object, extending into the air space above the aforesaid imaginary surface, and to remove trees or top trees to ten (10) feet below the imaginary surfaces with the right of ingress to and egress from, and passage over Grantor's Property for the above purposes, said removal or topping, at the Grantee's expense.

To have and to hold said easement and right of way, and all rights appertaining thereto unto the Grantee, until said Portland International Jetport shall be abandoned and shall cease to be used for public airport purposes.

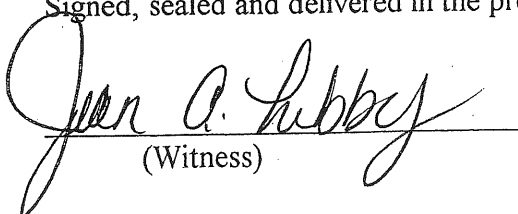
And for the consideration hereinabove set forth, the Grantor does hereby agree that for and during the life of said easement and right of way, it will not hereafter erect, permit the erection or growth of, or permit or suffer to remain upon Grantor's Property any building, structure, tree or other object extending into the aforesaid prohibited air space, and that it shall not hereafter use or permit or suffer the use of Grantor's Property in such a manner as to create electrical interference with radio communication between any installation upon said Portland International Jetport and/or aircraft, or as to make it difficult for flyers of aircraft to distinguish between airport lights and others, or as to impair visibility in the vicinity of the Portland International Jetport or as otherwise to endanger the landing, taking off or maneuvering of aircraft, it being understood and agreed that the aforesaid covenants and agreements shall run with the land.

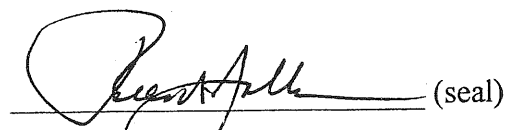
Grantor shall be liable to, and shall reimburse, Grantee for any and all reasonable legal costs, including but not limited to court costs and attorney's fees, which Grantee incurs in order to enforce its rights under this easement and is a prevailing party in such action.

"Grantor" and "Grantee" as used herein shall include each of their respective successors or assigns.

In witness whereof, the Grantor has hereunto set its hand and seal this 15<sup>th</sup> day of MARCH, 2001.

Signed, sealed and delivered in the presence of:

  
(Witness)

 (seal)  
REES FALKNER



STATE OF MAINE  
CUMBERLAND, ss.

Dated: March 15, 2001

Personally appeared the above-named Rees Falkner  
C.E.O. of the Pine Tree Council, Boy Scouts of America, and  
acknowledged the foregoing instrument to be his/her free act and deed and the free act and deed of  
said Council.

Before me,

Jean Libby  
Notary Public/Attorney-at-Law

JEAN A. LIBBY  
Notary Public, Maine  
My Commission Expires March 3, 2005

March 3, 2005

SEAL

## Schedule A

A certain lot or parcel of land situated in the City of Portland, County of Cumberland, State of Maine, bounded and described as follows:

A certain lot or parcel of land situated westerly of, but not abutting, Johnson Road, so-called, in the City of Portland, said true point of beginning being located as follows:

Beginning at a point formed by the intersection of the westerly sideline of said line Johnson Road and the Portland – South Portland City line;

Thence S 80° 38' 38" W along said city line and passing through a granite monument marking said line a total distance of twenty-six and thirty-five hundredths (26.35) feet to a point and land now or formerly owned by the City of Portland;

Thence N 84° 34' 34" W along the common boundary line between the said City of Portland and land now or formerly of Hacker Industries, Inc. eighty-eight and sixty-four hundredths (88.64) feet to the true point of beginning of the parcel as hereinafter described;

Thence N 84° 34' 34" W by the northerly line of land now or formerly of the City of Portland four hundred seventy-two and eighty hundredths (472.80) feet to a point, said point being 132.57 feet easterly from and as measured along a line normal to the North Bound Ramp base line of the proposed Jetport Interchange with the Maine Turnpike at Station 503+74.51, said point to be marked by a monument;

Thence N 50° 06' 36" E by a direct course forty-four and ninety-nine hundredths (44.99) feet to a point, said point being 154.27 feet easterly from and as measured along a line normal to the North Bound Ramp base line of the proposed Jetport Interchange with the Maine Turnpike at Station 503+48.85, said point marked by monument;

Thence N 10° 23' 47" E by a direct course which is 150.00 feet easterly from and parallel to the North Bound Ramp base line of the proposed Jetport Interchange, a distance of two hundred twenty and sixty-three hundredths (220.63) feet to a point 150.00 feet easterly from and as measured along a line at right angles to said base line a Station 501+50.00, said point also being 117.65 feet southwesterly from and as measured along a line normal to the connector highway base line, so-called, at Station 35+89.55, said point marked by a monument;

Thence N 82° 45' 24" E by a direct course a distance of sixty-seven and eighty-six hundredths (67.86) feet to a point 80.00 feet southwesterly from and as measured along a line normal to said connector highway base line at Station 36+50.00, said point to be marked by a monument;

Thence by a non-tangent curved line to the right having a radius of 1420.00 feet a distance of one hundred sixty-five and three hundredths (165.03) feet to a point 80.00 feet southwesterly from and as measured along a line at right angles to the connector highway base line at P.T. Station 38+24.32, said point marked by a monument;

Thence S 55° 44' 07" E by a direct course, being parallel to the connector highway base line and 80.00 feet southwesterly therefrom, a distance of two hundred seventy-five and sixty-eight hundredths (275.68) feet to a point that is 80.00 feet southwesterly from and as measured along a line at right angles to said connector highway base line at Station 41+00.00, said point to be marked by a monument;

Thence continuing southwesterly along said right angle line on a bearing of S 34° 15' 53" W a distance of seventy-one and fifty-three hundredths (71.53) feet to the point of beginning.

Said lot or parcel described herein contains 1.95 acres more or less.

The bearings herein are based on the Maine State Plane Coordinate System N.A.D. 83, Western Zone.

Meaning and intending to describe a part and part only of Parcel No. 1 as described in a deed from Sanborn's Motor Express, Inc. to Ballard Oil and Equipment Co. dated July 6, 1967 and recorded at the Cumberland County Registry of Deeds Book 3002, Page 279.

Ballard Oil and Equipment Co. filed a corporate name change with the Secretary of State dated March 30, 1984 and received by the Secretary of State April 2, 1984, their file no. 250002D, to change its name to Hacker Industries, Inc.

The above described parcel was further conveyed by Hacker Industries, Inc. to the Pine Tree Council of the Boy Scouts of America by deed recorded at the Cumberland County Registry of Deeds, Book 12998, Page 157.

The above described parcel is hereby conveyed subject to the restrictions contained in said above referred to deed, Book 3002, Page 279.

This parcel is not affected by the easement conveyed to Portland Pipeline Corporation, Book 2879, Page 212.

The parcel herein described does not abut or front on a public way, and there is no right-of-access conveyed or implied by this conveyance.

RECEIVED  
RECORDED REGISTRY OF DEEDS  
2001 MAR 19 PM 2:06  
CUMBERLAND COUNTY  
*John B. Abreu*

**DRAFT**

**QUITCLAIM DEED WITHOUT COVENANT**  
(Maine Statutory Short Form)

PHILIP E. COLE, with a mailing address of P.O. Box 871, Westbrook, Maine 04092 (the "Grantor"), for consideration paid, releases to SCARBOROUGH LAND CONVERSATION TRUST, a \_\_\_\_\_ (the "Grantee"), certain real property, together with all buildings and improvements thereon, situated on Route 1 so-called, in the Town of Scarborough, County of Cumberland and State of Maine, more particularly described in Schedule A attached hereto and made a part hereof.

Meaning and intending to convey and hereby conveying a portion of the same premises conveyed to the Grantor by deed of Suzanne M. Atlass, formerly Suzanne M. Meehan, dated January 21, 1986 and recorded in the Cumberland County Registry of Deeds in Book 7046, Page 172.

IN WITNESS WHEREOF, the said Philip E. Cole has executed this instrument, this \_\_\_\_\_ day of May, 2001.

WITNESS:

\_\_\_\_\_

\_\_\_\_\_  
Philip E. Cole

STATE OF MAINE  
COUNTY OF CUMBERLAND, ss.

May \_\_\_\_\_, 2001

Personally appeared the above-named Philip E. Cole, and acknowledged the foregoing instrument to be his free act and deed.

Before me,

\_\_\_\_\_  
Notary Public/Attorney at Law

\_\_\_\_\_  
Type or Print Name

\_\_\_\_\_  
My Commission Expires



FACSIMILE TRANSMITTAL COVER SHEET

DATE: May 4, 2001	PAGES SENT: 10, including cover
FROM: David L. Galgay, Jr., Esquire	CLIENT NO: 19728-4200
TO: Dwight Anderson	FAX NO: 286-3220
FIRM: DeLuca-Hoffman Associates, Inc.	TEL. NO: 286-8417
CITY: Saco	STATE: Maine

COMMENTS

Re: Gringolet Associates  
 Former Humpty Dumpty Plant, Scarborough, Maine

Following up on our discussion, I am attaching the Verrill & Dana land conservation easement form. As I informed you, we will prepare the Gringolet Associates grant of easement substantially in accordance with the attached specimen form subject to the facts specific to the property and the approval of my client.

THIS COMMUNICATION IS INTENDED FOR THE USE OF THE ADDRESSEE(S) NAMED HEREIN AND MAY CONTAIN LEGALLY PRIVILEGED AND CONFIDENTIAL INFORMATION. IF YOU ARE NOT THE INTENDED RECIPIENT OF THIS FACSIMILE, YOU ARE HEREBY NOTIFIED THAT ANY DISSEMINATION, DISTRIBUTION OR COPYING OF THIS COMMUNICATION IS STRICTLY PROHIBITED. IF YOU HAVE RECEIVED THIS COMMUNICATION IN ERROR, PLEASE NOTIFY US BY TELEPHONE AND DESTROY THE ORIGINAL COMMUNICATION AND ALL COPIES. WE WILL REIMBURSE COSTS YOU INCUR IN NOTIFYING US. THANK YOU.

If you do not receive this complete transmission, please call (207) 774-4000 ext. 4880

Original: Held on file \_\_\_\_ / Follow by Mail \_\_\_\_ / Follow by Courier \_\_\_\_

SPECIMEN

CONSERVATION EASEMENT TO LAND TRUST

SPECIMEN

THIS CONSERVATION EASEMENT made on this day of , 199 , by and between of County, (the "Grantor") and the LAND TRUST, a nonprofit corporation organized and existing under the laws of the State of Maine, with a mailing address of (the "Holder").

WITNESSETH

WHEREAS, the Grantor holds title to approximately ( ) acres, of real property situated [on/at] in the Town of Cumberland County, Maine (the "protected Property"), being more particularly described in the legal description attached as Exhibit A, and the sketch attached as Exhibit B, both attached hereto and made a part hereof by reference. {Reference is also made to the boundary survey prepared by , dated , and attached as Exhibit C}

WHEREAS, this Conservation Easement is created pursuant to the Uniform conservation Easement Act, Title 33, Maine Revised Statutes, Sections 476 through 479-B, inclusive, as amended; and

WHEREAS, this Conservation Easement is also created pursuant to the Internal Revenue Code of 1986 as amended (hereinafter referred to as the "Code"), Title 26, U.S.C.A., Section 170(h)(1)-(6) and Section 2255(d), as amended; and

WHEREAS, the Holder is qualified to hold conservation easements pursuant to Title 33, Maine Revised Statutes Annotated, Section 476(2)B, as amended, and is a "qualified organization" under Title 26 U.S.C.A. Section 170(h)(1)-(6), as amended, of the Code, namely: a publicly funded, non-profit 501(c)(3) organization operated primarily to accept lands, easements, and buildings for the purpose of preserving and protecting natural, scenic, educational, recreational and open space values of real property; and

WHEREAS, the Protected Portion is secluded and undisturbed by development, provides important habitat for wildlife, and possesses natural scenic beauty; and

WHEREAS, the grant of a conservation easement by Grantor to Holder, over and across the Protected Property referred to herein will assist in preserving and maintaining the [natural, scenic, educational, recreational, rural, agricultural and open space] characteristics of this area [while allowing restricted public access for the enjoyment of this area];

WHEREAS, the State of Maine has recognized the importance of preserving scenic open space, wildlife habitat, and important ecological areas in its Constitution at Article IX, Section 8, and by virtue of the Farm and Open Space Tax law at Title 36 M.R.S.A. Section 1101 et seq., which confers preferential property tax treatment for property that owners keep unbuilt and available for agricultural or open space uses.

NOW, THEREFORE, in consideration of the facts recited and of the terms, covenants and restrictions contained in this Easement, the Grantor hereby grants as an unconditional gift to the Holder, its successors and assigns forever, with WARRANTY COVENANTS, a Conservation Easement on, over and across the Protected Property, consisting of the following affirmative rights, terms, covenants and restrictions which will run with and bind the Protected Property in perpetuity:

#### AFFIRMATIVE RIGHTS

The affirmative rights of the Holder are as follows:

- a. The right of the Holder to identify, to preserve, and to protect in perpetuity the [natural, historic, rural, agricultural, open space, scenic, and wildlife habitat] features and rural character of the Protected Property.
- b. The right of the Holder, after providing Grantor with reasonable notice and an opportunity to cure, to enforce by proceedings at law and inequity the terms of this Conservation Easement, including the right to require the restoration of the Protected Property, at Grantor's cost, to its condition as of the date of this grant, subject to any permitted changes made after the date of this grant.
- c. The right of the Holder to enter upon the Protected Property at any reasonable time and in any reasonable manner which does not interfere with the uses permitted hereunder, for inspection and enforcement purposes [is grant of right-of-way needed?]
- d. The right of the Holder to require that the rights reserved hereunder by Grantor are exercised in a manner that avoids unnecessary harm to the conservation values to be protected by this Easement.
- e. The right of the Holder to hold this Easement in perpetuity and to assign the same, but only to an entity that as a condition of transfer agrees to uphold the conservation purposes of this grant, and satisfies the requirements for a "qualified organization" of Section 170(h)(3) of the Internal Revenue Code of 1986, (or successor provisions thereof) and the requirement of Section 476(2) of Title 33 of the Maine Revised Statutes Annotated (1989), as amended (or successor provisions thereof).

- f. The right of the Holder to allow restricted public access to the Protected Property. Use shall be restricted to low-impact outdoor recreation.
- g. The right of the Holder to install and maintain small, discrete signs visible from public roadways, public waters and/or abutting properties to inform the general public that the Protected Property is subject to this Conservation Easement, and to identify the Holder.

## TERMS, COVENANTS AND RESTRICTIONS

### 1. PURPOSE

It is the dominant purpose of this Conservation Easement to preserve and protect in perpetuity the [natural, historic, scenic, agricultural, open space ecological and wildlife habitat] features and rural character of the Protected Property, as identified hereinabove, to foster the continuation of responsible conservation practices, and to prevent any use of the Protected Property that would significantly impair or interfere with the scenic and conservation values of the Protected Property.

### 2. SUBDIVISION LIMITATION; COMMERCIAL USE PROHIBITION

The Protected Property may not be divided, subdivided, partitioned or otherwise conveyed in separate ownership. Commercial, industrial and quarrying or other surface mining activities are prohibited on the Protected Property.

### 3. PERMITTED STRUCTURES

As of the date of this grant, there are located on the Protected Property  
There are no other structures on the Protected Property on the date of this grant.

[No other structures, temporary or permanent, are permitted on the Protected Property except that Grantor and Holder retain the right to locate, use, remove from or maintain on the Protected Property the following: 1) fences and boundary markers; 2) benches walkways, bridges, rustic campsites, and small interpretive, educational or directional signs; 3) structures necessary to accomplish permitted forestry; and 4) temporary tents for camping or scientific study.]

### 4. SURFACE ALTERATIONS

There shall be no filling, dumping, excavation, or other alteration made to the surface of the Protected Property without prior written consent of the Holder.

### 5. VEGETATION MANAGEMENT



The use of herbicides, insecticides, fungicides, or other potentially harmful substances on the Protected Property must be controlled and limited so as not to have a demonstrable adverse effect on the waters or wildlife habitat associated with the Protected Property, [and shall be allowed only with the prior written consent of the Holder].

[Grantor retains the right to harvest [timber/produce] commercially [through light selective cutting, provided that any such harvesting shall be done pursuant to a forest management plan prepared in consultation with a registered professional forester, and] provided [further] that any such harvesting shall be approved in advance and in writing by the Holder, in its sole

discretion, which in approving or denying such harvesting shall consider its potential impact on the conservation values to be protected by this Conservation Easement.]

#### 6. WASTE DISPOSAL

It is forbidden to dispose of or store rubbish, garbage, debris, abandoned vehicles and equipment, or parts hereof, or other unsightly or offensive waste material on the Protected Property, except that manure, vegetative and household food waste and other organic compost materials may be composted, deposited or used on the Protected Property, and other waste generated by permitted uses on the Protected Property may be stored temporarily in appropriate containment for removal at reasonable intervals, subject to all applicable local, state, and federal laws and regulations.

#### 7. PUBLIC ACCESS

[Nothing contained herein should be construed as affording the general public physical access to any portion of the Protected Property. Any acquiescence or permission to enter the Protected Property shall not be construed as an invitation or license, and neither the Grantor nor the Holder assumes any liability to recreational users for accidents, injuries, acts, or omissions beyond the standard of care owed or beyond the limitations of liability for injury to the public under Title 14, M.R.S.A. Section 159-A, or successor provisions thereof, and other applicable law.]

OR

{Grantor agrees to refrain from posting the Protected Property against trespass, and from taking any action to discourage or prevent the general public from using the Protected Property to gain access for fishing, boating and swimming, or for daytime, quiet, non-motorized low-impact outdoor recreational uses, such as hiking and nature observation, and other forms of quiet outdoor recreation which have minimal impact on the natural and scenic character of the Protected Property.

Grantor reserves the right to control, limit or prohibit by posting and other means, (including the right to establish rules and regulations and to conditionally permit or license) any

of the following specific uses of the Protected Property; night use, fires, use of motor vehicles, snowmobile use, cross-country ski use, any use that interferes with or is harmful to other members of the public using the Protected Property or to owners and occupants of neighboring lands, and any public use that may have an adverse impact on the conservation values of the Protected Property. No act or omission of Grantor shall be deemed to constitute the act or omission of the Holder.

Notwithstanding the intent of this grant to preserve opportunities for outdoor public recreation and public access to the Protected Property, the public shall have no right or interest in the Protected Property or this Conservation Easement and no independent standing as a result of this grant. Notwithstanding any public use of the Protected Property and any insurance coverage here for, neither the Grantor nor the Holder assumes any greater obligation to maintain the Protected Property than due under Maine law, and Grantor and Holder claim immunity or limitation of liability to the fullest extent of the law under Title 14 M.R.S.A. §159-A, or successor provisions thereof, and of any other applicable protections of law or equity.]

#### 8. RESERVED RIGHTS OF GRANTOR AND NOTICES

Except as expressly limited herein, Grantor reserves all rights as owner of the Protected Property, including the right to convey and use the Protected Property for all purposes not inconsistent with this grant. Grantor must provide at least thirty-five (35) days advance written notice to Holder, before undertaking any permitted use of the Protected Property that may have a material adverse effect on the conservation purposes of this easement.

Notices to Holder: Any notice to Holder required hereunder must be made by certified mail, return receipt requested, addressed to: President, \_\_\_\_\_ Land Trust, \_\_\_\_\_; or other authorized person hereafter designated in writing by Holder.

Notices to Holder and requests for approval must include, at a minimum, sufficient information to enable Holder to determine whether proposed plans are consistent with the terms of this Conservation Easement and the conservation purposes hereof. Within thirty (30) days of receipt of grantor's notice made in compliance herewith, Holder will respond to said notice, stating any specific objections and including suggested changes to guide Grantor in modifying proposed plans to bring them into compliance with the terms of this Conservation Easement.

Notices to Grantor: Grantor shall designate one or two representative(s) to act on behalf of all owners for the purposes of sending and receiving any notice or other communication required or authorized under this Easement. Notices made or to be received from Grantor's designated representative shall be deemed to be notice to or from all the owners of the Protected Property. At the time of this grant, Grantor's designated representative is: name: \_\_\_\_\_ address: \_\_\_\_\_

#### 9. DISCRETIONARY CONSENT

Any discretionary consent by Holder, permitted by this Conservation Easement for uses that are conditional or not expressly reserved by grantor, may be granted only if the Holder has determined, in its reasonable discretion, that the proposed use substantially conforms to the intent of this grant, meets any applicable conditions expressly stated herein and is not inconsistent with the conservation purposes of this grant.

#### 10. MONITORING AND ENFORCEMENT OF RIGHTS OF HOLDER

Holder has the right to assure that the condition of the Protected Property is in compliance with all of the terms, covenants and restrictions herein. In connection with such efforts, Holder has the right to enter the Protected Property to make periodic inspections in any reasonable manner and at any reasonable time after attempting to provide Grantor with notice by first class mail or telephone. [Holder agrees to keep on file and provide to the Grantor, via first class mail, copies of any reports made in connection with inspections of the Protected Property.]

In the event Holder determines in its best judgment that a breach of this Easement has occurred or is in existence, Holder will notify Grantor via certified mail return receipt requested. Grantor must discontinue the breach and, at Holder's request, restore the Protected Property to its condition at the time of this grant, subject to permitted changes made subsequently.

If Grantor fails within a reasonable time to discontinue the breach or to continue requested corrective action to completion, Holder is entitled to pursue its remedies at law and in equity, including the right to seek an order requiring restoration at Grantor's cost as aforesaid. Requirement of written notice is waived in matters requiring more immediate action, in which case Holder is entitled immediately to pursue its remedies at law or in equity, ex parte as necessary, after making reasonable efforts to contact the then owners. Grantor and Holder agree that non-compliance with the terms of this Easement constitutes immediate and irreparable injury, loss and damage to the Protected Property and accordingly entitles Holder to such equitable relief as the Court deems just. If a Court, or other finder of fact chosen by the parties, determines that this Conservation Easement has been breached, Grantor must reimburse Holder for any reasonable costs of enforcement, including court costs, reasonable attorneys' fees, and any other payments ordered by such Court.

Grantor is not responsible for injury to or change in the Protected Property resulting from causes beyond the grantor's control, such as, but not limited to, fire, flood, storm, and earth movement, or from any prudent action taken by grantor under emergency conditions to prevent, abate, or mitigate significant injury to the Protected Property resulting from such causes. Nothing herein should be construed to preclude Grantor's and Holder's rights to recover damages from any third party for trespass or other violation of their respective rights in this Easement and the Protected Property. The failure or delay of the Holder, for any reason whatsoever, to enforce this conservation Easement shall not constitute a waiver of its rights. Grantor hereby waives any defense of laches, prescription or estoppel.

#### 11. MORTGAGE FORECLOSURE

The right of Holder to enforce the terms, restrictions and covenants created under this Easement shall not be extinguished by foreclosure of any mortgage or of any publicly or privately placed lien, and Holder's rights hereunder are paramount to any subsequently placed mortgage or lien except with respect to Holder's right to damages based upon a violation that occurs subsequent to recording of such mortgage or lien.

12. RESPONSIBILITY FOR MAINTENANCE AND TAXES.

Grantor agrees to pay and discharge when due any and all real property taxes and assessments levied on the Protected Property, and to bear all costs and responsibility of ownership, possession, control, operation, maintenance, and upkeep of the Protected Property, and does hereby agree to hold harmless, defend, and indemnify the Holder, its officers, directors, agents and employees therefrom, and from any claim for bodily injury, property damage or environmental harm arising from the use of the Protected Property, except where injury or damage is proximately caused by the negligent or intentional act of Holder, its officers, directors, agents or employees, in the course of or arising out of Holder's discharge of its obligations hereunder.

13. BINDING EFFECT; NOTICE OF CONVEYANCE.

The covenants agreed to and the terms, conditions, restrictions and purposes imposed with this Conservation Easement shall be binding upon the grantor, its heirs and assigns, any successor-in-interest to the Protected Property and its executors, administrators and legal representatives, and shall be binding upon Holder and its successors and assigns. The Grantor, its successors and assigns agree that the terms, conditions, restrictions, and purposes of the grant will be inserted in any subsequent conveyance of any interest in the Protected Property, and that the Grantor will notify Holder its successors and assigns, of any such conveyance in writing by certified mail within fifteen (15) days after closing.

14. MISCELLANEOUS

(a) If any provision of this Conservation Easement is found to be invalid, the remainder of the provisions of this Conservation Easement shall not be affected thereby.

(b) Any uncertainty in the interpretation of this Conservation Easement should be resolved in favor of conserving the Protected Property in its natural and open scenic state.

(c) The fact that any of the uses prohibited herein, or other uses not mentioned, may become more economically valuable than permitted uses, or that neighboring properties may in the future be put entirely to such non-permitted uses, has been considered by Grantor in granting this perpetual Easement. It is Grantor's belief that any such changes will increase the benefit to the public of the continuation of this Easement, and it is the intent of both the Grantor and Holder that any such changes should not be deemed to be changed conditions permitting termination of this Easement.

IN WITNESS WHEREOF, the Grantor has caused this Conservation Easement to be signed and witnessed this \_\_\_\_\_ day of \_\_\_\_\_, 199 .

Witness

**SPECIMEN**

State of \_\_\_\_\_  
County of \_\_\_\_\_

Dated: \_\_\_\_\_, 199

Personally appeared before me the above-named Grantor, and acknowledged the foregoing instrument to be his/her free act and deed.

\_\_\_\_\_  
Notary Public

My commission expires:

\_\_\_\_\_  
(Type or print name of Notary)

HOLDER ACCEPTANCE

The above and foregoing Conservation Easement was authorized to be accepted by \_\_\_\_\_ Land Trust, Holder as aforesaid, and the said Holder does hereby accept the foregoing Conservation Easement, by and through its President, hereunto duly authorized this \_\_\_\_\_ day of \_\_\_\_\_, 199 .

\_\_\_\_\_  
LAND TRUST

By: \_\_\_\_\_  
Its

Witness

State of  
County of

Dated: \_\_\_\_\_, 199

Personally appeared before me the above-named  
President of the above-named Holder, \_\_\_\_\_ Land Trust, and acknowledged the foregoing  
instrument to be his/her free act and deed in his/her said capacity, and the free act and deed of  
\_\_\_\_\_ Land Trust.

\_\_\_\_\_  
Notary Public  
My Commission Expires:

\_\_\_\_\_  
(Type or print name of Notary)



## Memorandum

Area Office:  
22 Free Street  
Portland, ME 04101  
(207) 775-3211

Fax: (207) 775-6434 E-Mail: [jpreble@dufresne-henry.com](mailto:jpreble@dufresne-henry.com)

To: Jonathan Spence

From: Jeffrey Preble, P.E. *JJP*

Date: May 25, 2001

Subject: Pine Tree Council Headquarters

We have completed our review of the May 4, 2001 Major site Plan Application for the new Pine Tree Headquarters Building located on the relocated Johnson Road. This project involves construction of a new 11,800 square foot building and associated parking facilities. A majority of the site involves construction in wetlands. Our review comments on the proposed project are summarized below.

### Sheet C4 - Site Layout Plan

- The entrance configuration prohibits a left hand turning movement leaving the facility. Is this a requirement from the MDOT?
- Is the entrance radius configuration sufficient for delivery trucks entering the facility?
- The parking spaces are designated as 8.5 feet by 15 feet, with 15 spaces designated at 10 feet by 20 feet. It appears the larger spaces are for the passenger vans used by the Pine Tree Council. The smaller spaces do not meet City guidelines. The plan lists these spaces as compact car parking, however, it is likely that larger vehicles will utilize the facility.
- Details are not provided for the granite block wall. In several areas the block wall encroaches on the property boundary.
- The curve data table needs to be completed.
- The entire parking area is curbed. Snow removal will be difficult.

### Sheet C5 - Grading, Drainage and Erosion Control Plan

- The grading near the dumpster area extends beyond the property line.
- The storm drain schedule needs to be completed.

## Round Tapered Steel Style RTS



Poles are made from a single piece of hot-rolled steel, having only a single longitudinal weld which is invisible in the finished product. Poles are cold

rolled over a mandrel to round cross-section resulting in increased strength. Rate of taper is .14" per foot.

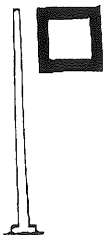
Pole Number	Pole Height	Wind Load at 60 mph	Pole Taper	Wall Thickness	Base Style	Base Square	Base Height	Conduit Opening	Anchor Bolt Size	Bolt Circle	Bolt Projection
RTS01	10.0'	23.0	4.40x3.00"	11 ga	H	9.00"	3.50"	4.00"	.75x16x2"	9.19"	2.50"
RTS02	12.0	21.3	4.68x3.00	11	H	9.00	3.50	4.25	.75x16x2	9.19	2.50
RTS03	16.0	14.9	5.25x3.00	11	H	9.00	3.50	4.75	.75x16x2	9.19	2.50
RTS04	20.0	14.6	5.92x3.12	11	H	9.00	3.50	5.50	.75x16x2	9.19	2.50
RTS25	25.0	14.6	6.88x3.24	11	H	13.50	4.50	6.50	1x36x4	10.00	3.75
RTS26	30.0	12.8	7.50x3.30	11	H	13.50	4.50	7.00	1x36x4	10.50	3.75
RTS27	35.0	12.4	8.00x3.24	11	H	13.50	4.50	7.50	1x36x4	11.00	3.75
RTS28	39.0	13.8	9.00x3.54	11	H	13.50	4.50	8.50	1x36x4	12.50	4.00
RTS29	50.0	17.7	11.0 x 4.2	*	H	17.50	5.50	10.50	1.25x42x6	15.00	5.00

\*This is a two piece, jam-ft pole. Bottom section is 7 gauge, top section 11 gauge.

### Pole Options

- Q - Single Weatherproof Receptacle
- T - Duplex Weatherproof Receptacle
- GFQ - Single Ground Fault Receptacle
- GFT - Duplex Ground Fault Receptacle

## Square Tapered Steel Style STS



Poles are made from a single piece of hot-rolled steel, having only one longitudinal weld. Poles are made in the round, and then cold-rolled over a mandrel to obtain the square cross-

section, resulting in increased strength and a smooth weld. Rate of taper: .10" per foot. Pole shafts have four radiused corners.

Pole Number	Pole Height	Wind Load at 60 mph	Pole Taper	Wall Thickness	Base Style	Base Square (B)	Base Height (H)	Conduit Opening	Anchor Bolt Size	Bolt Circle	Bolt Projection
STS01	10.0'	47.6	4.75x3.75"	11 ga	P	13.50"	4.50"	4.25"	.75x16x2"	11.00"	2.75"
STS02	12.5	41.2	5.00x3.75	11	P	13.50	4.50	4.50	.75x16x2	11.00	2.75
STS03	15.0	28.6	5.25x3.75	11	P	13.50	4.50	4.75	.75x16x2	11.00	2.75
STS24	20.0	19.3	5.25x3.25	11	P	13.50	4.50	4.75	.75x16x2	10.75	3.50
STS25	25.0	16.8	5.75x3.25	11	P	13.50	4.50	5.25	1x36x4	12.00	3.75
STS26	30.0	12.6	6.25x3.25	11	P	13.50	4.50	5.75	1x36x4	12.50	3.75
STS27	35.0	10.7	6.75x3.25	11	P	13.50	4.50	6.25	1x36x4	13.00	3.75
STS28	39.0	9.3	7.15x3.25	11	P	13.50	4.50	6.75	1x36x4	13.50	3.75

### Pole Options

- Q - Single Weatherproof Receptacle
- T - Duplex Weatherproof Receptacle
- GFQ - Single Ground Fault Receptacle
- GFT - Duplex Ground Fault Receptacle



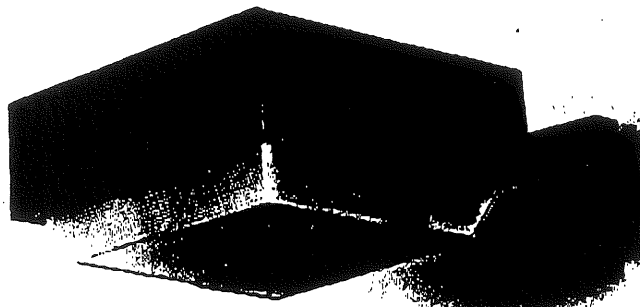
## Wall Mount

### Style L

For 2.25" x 6" rectangular arm furnished with luminaire. 8.50" x 10.00" x 2.00" cast aluminum face plate. Back plate mounts on four 3/8" N.C. anchor bolts furnished by contractor, in 4" x 6" rectangular pattern. Expansion anchors may be used.

### Style M

For 2" x 4" rectangular arm furnished with luminaire. 5" x 7" x 2" cast aluminum base box with aluminum cover plate. Back plate mounts on four 3/8" N.C. anchor bolts furnished by contractor in 3.5" x 5.5" rectangular pattern. Expansion anchors may be used.



## Poles

Wind Load is calculated for a 100 mph wind plus a 1.3 gust factor. If your project does not demand such requirements contact your Sterner representative for alternative pole data.

Poles include anchor base, prewiring, and anchor bolts.

To select correct pole size, specify pole that has a Wind Load Rating that meets or exceeds the Luminaire Arrangement Wind Load Rating listed in the table with each luminaire.

To order, add pole code, finish and options to luminaire order number.

	15'	20'	25'	30'	35'	40'
Round Tapered Aluminum	RTA06-B load rating 11.6	RTA11-B load rating 7.3	RTA13-B load rating 7.9	RTA16-B load rating 7.3	RTA20-B load rating 10.8	RTA23-B load rating 12.9
			RTA14-B load rating 11.7	RTA17-B load rating 10.7	RTA25-B load rating 7.9	
Square Straight Aluminum	SSA18-D load rating 5.8	SSA25-D load rating 8.0	SSA27-K load rating 12.0	SSA28-K load rating 7.5		
	SSA19-D load rating 11.2	SSA28-D load rating 15.4				
Square Tapered Aluminum	STA04-D load rating 10.4	STA05-D load rating 10.6	STA27-D load rating 9.3	STA18-D load rating 6.5	STA28-D load rating 9.7	
		STA06-D load rating 14.5	STA07-D load rating 13.1			
Round Tapered Steel	RTS03-H load rating 12.3	RTS04-H load rating 11.5	RTS25-H load rating 13.0	RTS26-H load rating 10.8	RTS27-H load rating 9.9	RTS28-H load rating 11.6
Square Tapered Steel	STS03-P load rating 18.8	STS24-P load rating 12.7	STS25-P load rating 11.5	STS26-P load rating 9.4	STS27-P load rating 8.8	STS28-P load rating 8.5

Example:

(Luminaire Order No.)

	Pole Code	Finish Code	Options Code
	RTS25-H	C	T

Pole options: Q — Single weatherproof receptacle  
 T — Duplex weatherproof receptacle  
 GFQ — Single ground fault receptacle  
 GFT — Duplex ground fault receptacle  
 N — No options desired

## Material Finishes

**Baked enamel:** An electro-statically applied acrylic finish deposited on the metal and baked in an oven to harden and cure the coating.

**Anodic:** An extremely hard finish indigenous to the metal.

If a finish coat is not required, insert the following code for the type of pole specified:

- AD — Red Oxide Primer For Steel
- AC — Brushed Satin Finish For Aluminum

If the color or finish is not known, insert the following in the catalog number:

- NS — Not Standard (furnish sample)
- NK — Not Known



A — Baked Enamel Light Bronze  
 M — Anodic Light Bronze (311)



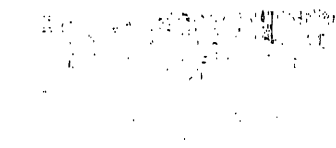
C — Baked Enamel Dark Bronze  
 P — Anodic Dark Bronze (313)



Q — Anodic Coffee Black (335/5140)  
 E — Baked Enamel Black



B — Baked Enamel Medium Bronze  
 N — Anodic Medium Bronze (312)

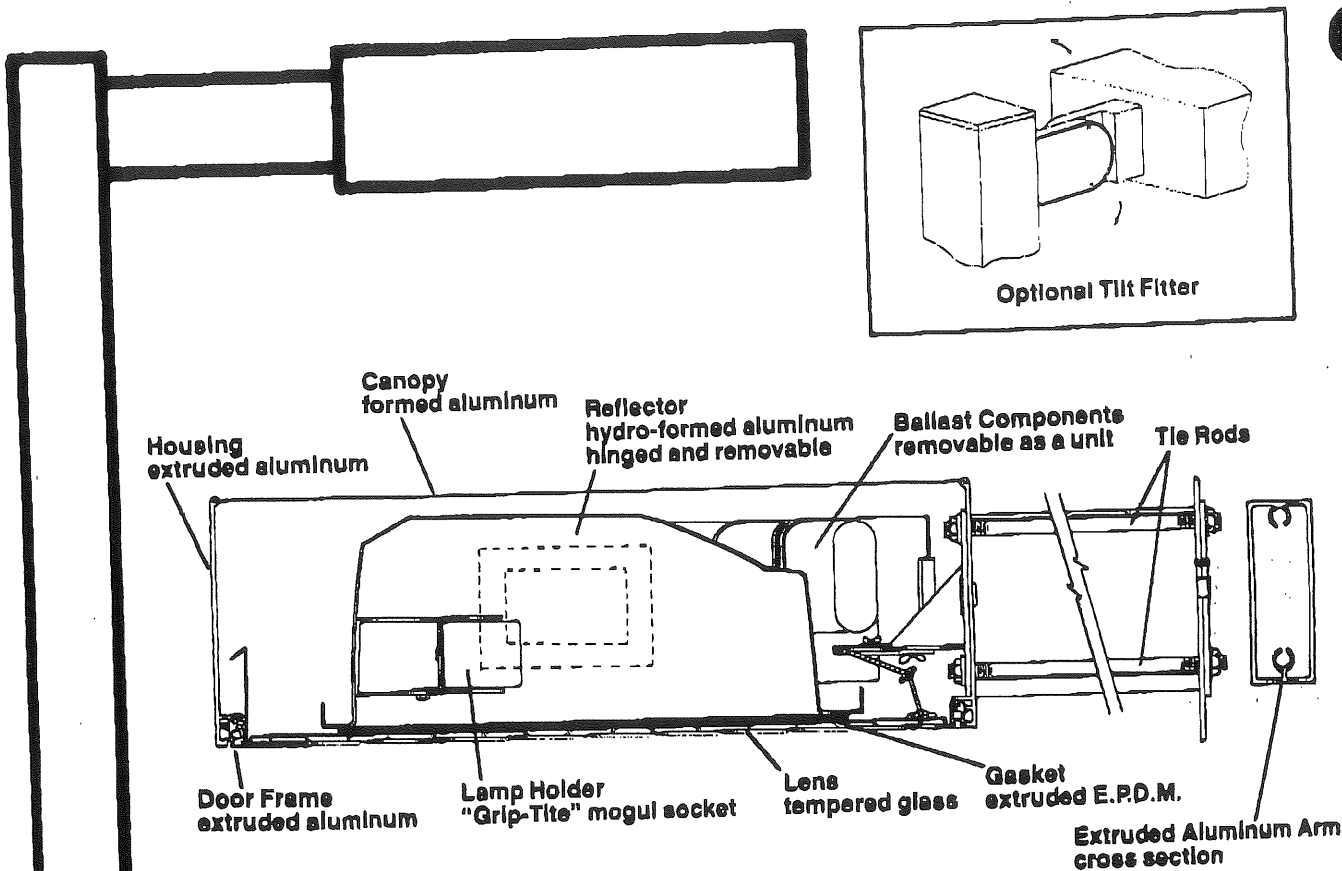


G — Baked Enamel Natural Aluminum  
 R — Anodic Natural Aluminum

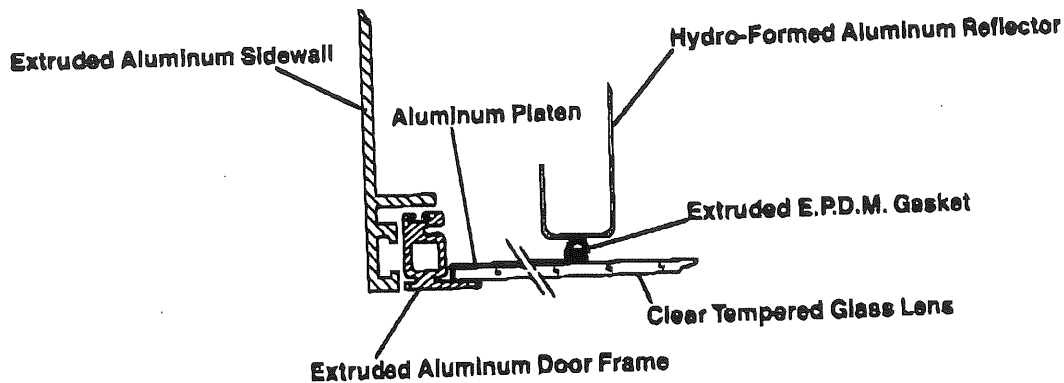
Note: The colors illustrated are as close to actual finishes as the printing process permits. However, these colors are ink and paper reproductions, not treated metals. Actual painted and anodic finishes, on steel and aluminum, will vary somewhat from these printed colors.

5 of 7

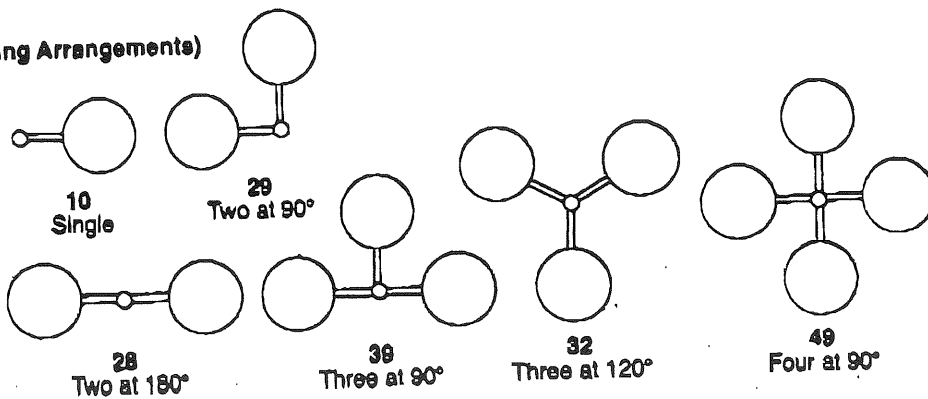
# Franklin



## LENS FRAME AND SEALED OPTICAL ASSEMBLY



### (Mounting Arrangements)



2 of 7

### HOW TO ORDER

Build the order number in the following sequence:

1. Series Code  
 — **FK**
2. Luminaire Size  
 — **20**  
 — **25**  
 — **30**
3. Diffuser Code  
 — **A** — Clear Glass
4. Luminaire Arrangement  
 — **10** — Single  
 — **28** — Two at 180°  
 — **29** — Two at 90°  
 — **32** — Three at 120°  
 — **39** — Three at 90°  
 — **49** — Four at 90°
5. Reflector Options Code  
 — **2** — IES Type II  
 — **3** — IES Type III  
 — **5** — IES Type V  
 — **F** — Forward Throw Distribution
6. Luminaire Options Code  
 — **P** — Photoelectric Control Receptacle  
 — **TF** — Tilt Fitter  
 — **SG** — Polycarbonate Stone Guard  
 — **N** — Options Not Required
7. Lamp Wattage
8. Lamp Type Code  
 — **M** — Mercury Vapor  
 — **H** — Metal Halide  
 — **S** — High-Pressure Sodium  
 — **I** — Incandescent
9. Primary Voltage  
 — **120** — **277**  
 — **208** — **480**  
 — **240** — **VND** (voltage not determined)
10. Luminaire Finish Code (from fold-out page 36)
11. Pole or Bracket Code  
 Cross-reference Luminaire Size (Step 2) and Luminaire Arrangement (Step 4) with the Wind Load Rating Table below to select the appropriate pole or bracket from fold-out page 36.

**Wind Load Rating Table**

Luminaire Size	Luminaire Arrangement Code					
	10	28	29	32	39	49
20	.8	1.6	1.6	2.0	2.0	2.4
25	1.5	3.0	3.0	3.6	3.6	4.3
30	1.9	3.8	3.8	4.9	4.9	6.0

### Sample Specification

The luminaire sidewalls shall be roll-formed construction from a single piece of aluminum extrusion, alloy 6063-T6. Crowned aluminum sheet canopy, crimped and sealed to housing<sup>1</sup>. Finishing on housing shall be \_\_\_\_\_ . The flat, tempered, clear glass lens is set into extruded aluminum lens frame, sealed with an EPDM gasket. Door frame assembly shall be removable. The door to be hinged and retained with three stainless steel quarter turn latches. FK20 available with choice of IES II or IES III light distribution pattern. FK25 available with IES II, IES III, IES V-Square, or F (Forward) pattern.<sup>2</sup> FK30 available with IES II, IES III, and F (Forward) pattern. Reflector is precision die-formed aluminum, chemically-brightened and anodized to semi-specular finish; and reflector system is sealed to prevent entrance of dust or moisture.<sup>3</sup> Reflector systems hinged and latched to gasketed door frame for easy cleaning or removal. A fused disconnect shall be furnished inside the fixture so that when the door frame is opened, the ballast primary circuit is broken, thereby allowing the fixture to be serviced without shock hazard. Lamp socket shall have nickel plated current carrying parts with lamp grip. Ballast components mounted on a separate plate having quick release fasteners. Ballast shall be capable of starting \_\_\_\_\_ type of lamp of \_\_\_\_\_ watts at \_\_\_\_\_ voltage down to -20° F. The 200° C., 600-volt insulated wiring shall be installed between the ballast components and the socket. The standard arm assembly shall be a rectangular aluminum extrusion complete with non-slip tie rod channels serving as a compression member with two threaded and galvanized steel tie rods and lock nuts in tension between pole and luminaire. The luminaire shall bear the listing mark of Underwriters Laboratory, "Fixtures suitable for wet locations."

**Footnotes:**

1. FK30 is sealed and spotwelded, not crimped.
2. Type F (Forward) reflector is bright pebbled aluminum sheet; not sealed.
3. FK30 reflector system is die-formed and not sealed.

SAMPLE ORDER NUMBER:	Series Code	Luminaire Size	Diffuser Code	Luminaire Arrangement	Reflector Options	Luminaire Options	Lamp Wattage	Lamp Type	Primary Voltage	Luminaire Finish	Pole or Bracket Code
FK	25	A	10	2	N	400	S	480	(E)	RTS25-HEN	

B3L...

4 of 7

**Dimensions**

	Wattage	Luminaire Diameter and Height	Standard Arm Dimensions	Recommended Mounting Height
FRANKLIN 20	up to 200 watts	20" x 6"	2" x 4" — 8"	7'6" to 20'
FRANKLIN 25	up to 400 watts	25" x 8"	2 1/4" x 6" — 12"	15' to 40'
FRANKLIN 30	up to 1000 watts	30" x 10"	2 1/4" x 6" — 12"	25' to 40'

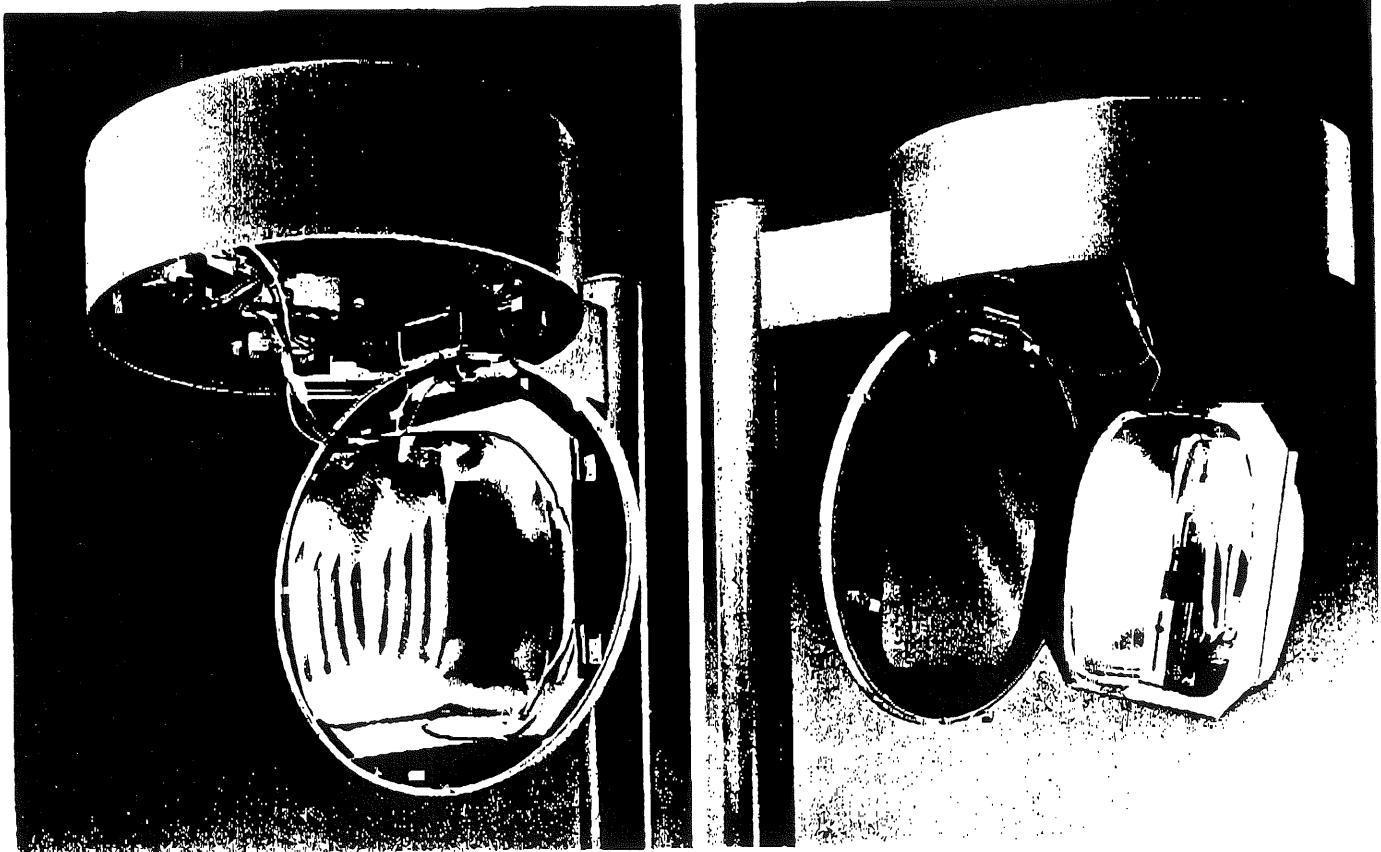
# Franklin

**Mechanical Features** • Unitized ballast system is hinged and removable for quick connect/disconnect, easy installation and servicing • Clear glass lens is thermal and impact-tempered. • Reflector is hinged and sealed against a one piece E.P.D.M. gasket. • Extruded aluminum arm has threaded, galvanized steel tie rods. • Door frame assembly features continuous extruded aluminum frame.

**Photometric Features** • Die-formed, semi-specular reflector system in standard IES distribution patterns II, III and V. A forward distribution reflector is also available. 1000 Watt Franklin has bilateral adjustable reflector. • Wattages from 50 to 400 in incandescent or high-intensity discharge

lamps. • Designed and manufactured to meet or exceed UL and NEC specifications. All fixtures bear the IBEW label.

**Options** • Photoelectric control receptacle • Single or duplex weatherproof receptacle • Wall-mounting brackets and arms • Baked enamel or anodic hard-coat finished in a wide range of colors.



2 of 7



DeLUCA-HOFFMAN ASSOCIATES, INC.  
CONSULTING ENGINEERS

778 MAIN STREET  
SUITE 8  
SOUTH PORTLAND, MAINE 04106  
TEL. 207 775 1121  
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- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

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**Boy Scouts of America Headquarters Public Informational Meeting  
Held at DeLuca-Hoffman Associates, Inc. in South Portland  
Sign In Sheet  
August 30, 2001 at 6:00 p.m.**

<u>Name</u>	<u>Address</u>	<u>Phone</u>
Rees Falkner	Boy Scouts of America	797-5252
Tom Dunham	The Dunham Group	773-7100
Bill Hoffman	DeLuca-Hoffman Associates, Inc.	775-1121
Dwight D. Anderson	DeLuca-Hoffman Associates, Inc.	286-8417

No members of the public attended the meeting. The meeting adjourned at 6:20 p.m.

Dwight D. Anderson / m/b  
Dwight D. Anderson, P.E.

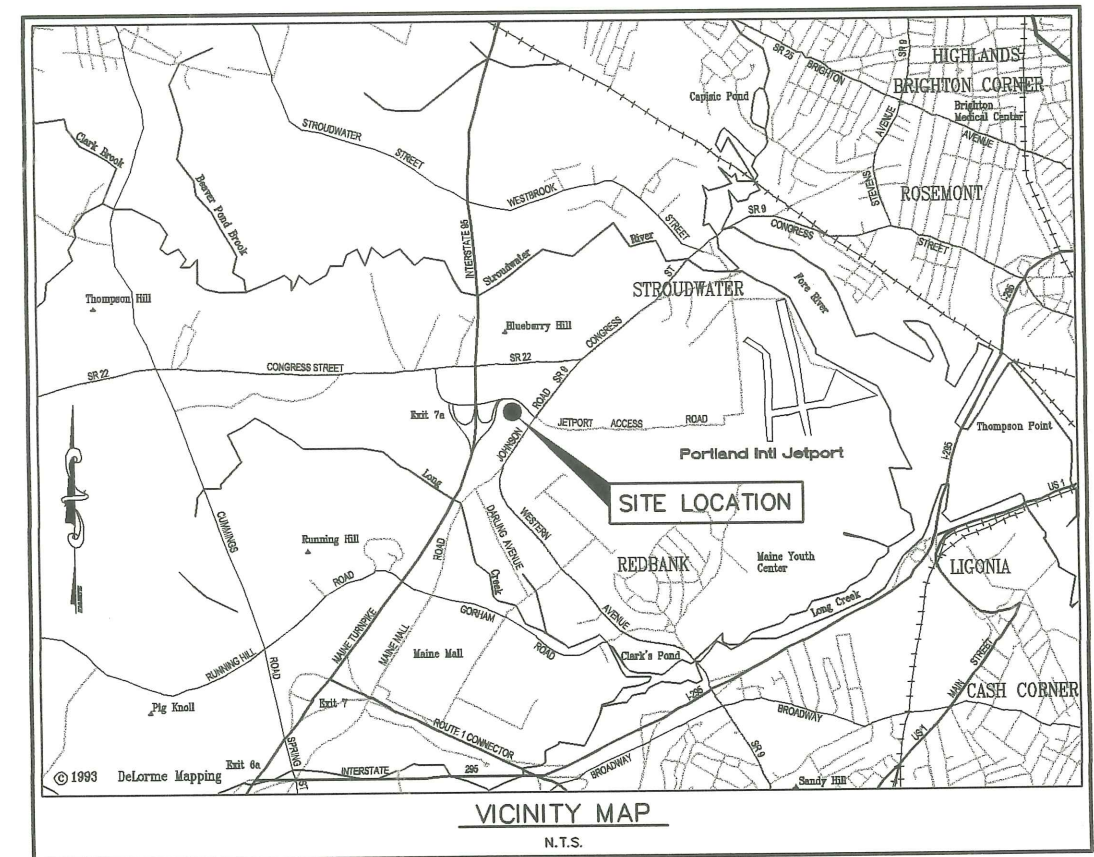
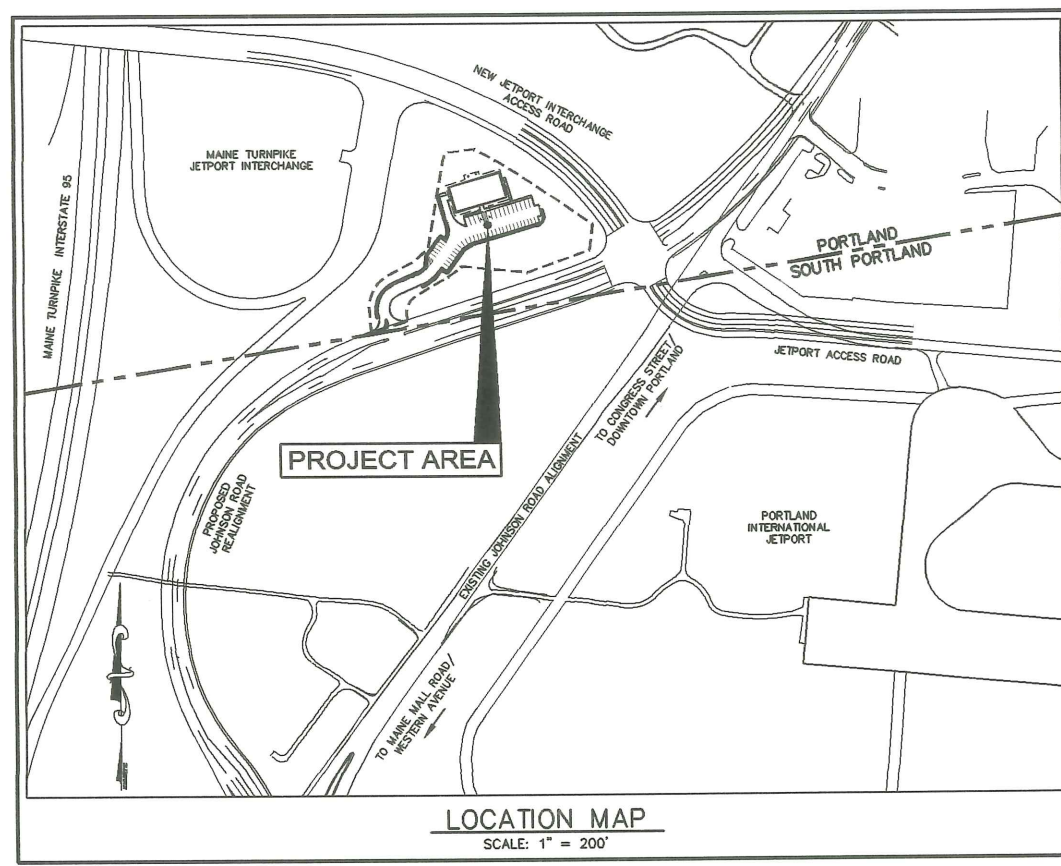
A# #13

# BOY SCOUTS OF AMERICA

## PINE TREE COUNCIL HEADQUARTERS PROJECT

JOHNSON ROAD  
PORTLAND, MAINE

### *MeDEP TIER 2 NRPA APPLICATION AND CITY OF PORTLAND MAJOR SITE PLAN APPLICATION*



MAY 2001

**PERMIT STATUS**

<p><b>SITE PLAN (MAJOR) :</b></p> <p><b>BUILDING PERMIT :</b></p> <p><b>NATURAL RESOURCE PROTECTION ACT - TIER 2 (NRPA) PERMIT :</b></p> <p><b>FEDERAL AVIATION ADMINISTRATION (FAA) AERONAUTICAL STUDY # 97-ANE-0865-OE</b></p>	<p>PORTLAND CITY HALL 389 CONGRESS STREET PORTLAND, ME 04101-3503 ATTN: MARGE SCHMUCKAL (207) 874-8300</p> <p>PORTLAND CITY HALL 389 CONGRESS STREET PORTLAND, ME 04101-3503 ATTN: MARGE SCHMUCKAL (207) 874-8300</p> <p>MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION 312 CANCO ROAD PORTLAND, ME 04103 ATTN: DOUG BURDICK (207) 822-6300</p> <p>NEW ENGLAND REGION AIR TRAFFIC DIVISION, ANE - 520 12 NEW ENGLAND EXECUTIVE PARK BURLINGTON, MA 01803-5299 (781) 238-7520</p>	<p>SUBMITTED - 05/04/01</p> <p>APPLICATION TO BE FILED AFTER REVIEW OF SITE PLAN &amp; NRPA PERMIT</p> <p>SUBMITTED - 05/04/01</p> <p>SUBMITTED - 12/03/97 APPROVED - 04/24/98 EXPIRED - 12/03/99 RESUBMITTED - 05/04/01</p>
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**UTILITIES**

<p><b>UTILITY</b></p> <p><b>WATER</b></p> <p><b>SANITARY SEWER</b></p> <p><b>POWER</b></p> <p><b>TELEPHONE</b></p> <p><b>GAS</b></p> <p><b>DIGSAFE</b></p>	<p><b>OWNER</b></p> <p><b>PORTLAND WATER DISTRICT</b> ATTN: MR. DAVID COFFIN ENGINEERING SUPERVISOR 225 DOUGLASS STREET PORTLAND, ME 04101 (207) 774-5961, EXT. 3041</p> <p><b>CITY OF SOUTH PORTLAND</b> ATTN: MR. PATRICK CLOUTIER POLLUTION ABATEMENT DEPARTMENT 25 COTTAGE ROAD SOUTH PORTLAND, ME 04106 (207) 787-7575</p> <p><b>CENTRAL MAINE POWER COMPANY</b> ATTN: MR. ROBERT STOREY 182 CANCO ROAD PORTLAND, ME 04103 (207) 828-2821</p> <p><b>VERIZON COMMUNICATIONS</b> ATTN: MR. JOSEPH RAYNES 13 DAVIS FARM ROAD PORTLAND, ME 04103 (207) 787-1587</p> <p><b>NORTHERN UTILITIES, INC.</b> ATTN: MR. PERRY ROBICHAUD DISTRIBUTION DEPARTMENT 1075 FOREST AVENUE PORTLAND, ME 04103 (207) 797-8002, EXT. 6242</p> <p>1-888-344-7233 (1-888-DIG-SAFE)</p>
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**PREPARED FOR:**

BOY SCOUTS OF AMERICA  
PINE TREE COUNCIL  
125 AUBURN STREET  
PORTLAND, MAINE 04103

**PREPARED BY:**

DeLUCA-HOFFMAN ASSOCIATES, INC.  
778 MAIN STREET, SUITE 8  
SOUTH PORTLAND, MAINE 04106  
Tel. (207) 775-1121 Fax. (207) 879-0896

REV	DATE	DESCRIPTION	REVISIONS
4	06/26/01	REVISED PER CITY COMMENTS & RESUBMITTED TO CITY AND MeDEP	
3	05/04/01	SUBMITTED TO CITY & TO MeDEP WITH TIER 2 NRPA APPLICATION	
2	02/19/99	SUBMITTED TO MeDEP WITH ALTERNATIVE ANALYSIS	
1	01/19/99	SUBMITTED TO BSA FOR REVIEW	

**DH** DeLuca-Hoffman Associates, Inc.  
Consulting Engineers  
778 Main Street, Suite 8  
South Portland, Maine 04106  
Tel. (207) 775-1121 Fax. (207) 879-0896

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# GENERAL NOTES

1. INFORMATION SHOWN IN THIS PLAN SET IS INHERENTLY LIMITED DUE TO CONFIDENTIALITY AND RESOURCE DATA LIMITATION. BASIC DATA USED FOR THESE PLANS INCLUDE:

- \* TOPO: HNTB FILE #14335-DS-001-001
- \* BOUNDARY: HNTB FILE #14335-DS-001-001
- \* WETLANDS: HNTB FILE #14335-DS-001-001

\* THE INFORMATION PROVIDED BY HNTB IS A PORTION OF THEIR WORK ASSOCIATED WITH THE JETPORT INTERCHANGE PROJECT FOR THE MTA. HNTB HAS PROVIDED THIS INFORMATION TO DHAI ON THE CONDITION THAT HNTB SHALL NOT BE HELD LIABLE TO ANY SUCH PERSON OR ENTITY FOR ANY CLAIM OF ANY NATURE WHATSOEVER RELATING TO OR ARISING OUT OF THEIR USE AND/OR RELIANCE UPON THE INFORMATION.

THE FOLLOWING BENCHMARK HAS BEEN ESTABLISHED FOR THIS PROJECT:

o TBM 'A' ?  
ELEVATION \_\_\_\_\_

2. THE LOCATIONS OF UNDERGROUND UTILITIES, AS SHOWN ON THE DRAWINGS, ARE APPROXIMATE ONLY AND ARE SHOWN ONLY AS A GUIDE TO THE CONTRACTOR. NO GUARANTEE IS MADE THAT ALL UTILITIES WILL BE ENCOUNTERED WHERE SHOWN OR THAT ALL UNDERGROUND UTILITIES ARE SHOWN. THE CONTRACTOR SHALL VERIFY ALL LOCATIONS IN THE FIELD AND SHALL BE COMPLETELY RESPONSIBLE FOR REPAIR OF ALL UTILITIES DISTURBED DURING CONSTRUCTION AT THE CONTRACTOR'S OWN EXPENSE.

3. TO PROVIDE GUIDANCE AS TO LOCATION OF UTILITIES, THE FOLLOWING UTILITIES AND CONTACTS HAVE BEEN PROVIDED:

UTILITY	OWNER
WATER	<b>PORTLAND WATER DISTRICT</b> ATTN: MR. DAVID COFFIN ENGINEERING SUPERVISOR 225 DOUGLASS STREET PORTLAND, ME 04101 (207) 774-5961, EXT. 3041
SANITARY SEWER	<b>CITY OF SOUTH PORTLAND</b> ATTN: MR. PATRICK CLUTIER POLLUTION ABATEMENT DEPARTMENT 25 COTTAGE ROAD SOUTH PORTLAND, ME 04106 (207) 767-7675
POWER	<b>CENTRAL MAINE POWER COMPANY</b> ATTN: MR. ROBERT STOREY 162 CANCO ROAD PORTLAND, ME 04103 (207) 828-2821
TELEPHONE	<b>VERIZON COMMUNICATIONS</b> ATTN: MR. JOSEPH RAYNES 13 DAVIS FARM ROAD PORTLAND, ME 04103 (207) 797-1857
GAS	<b>NORTHERN UTILITIES, INC.</b> ATTN: MR. PERRY ROBICHAUD DISTRIBUTION DEPARTMENT 1075 FOREST AVENUE PORTLAND, ME 04103 (207) 797-8002, EXT. 6242
DIGSAFE	1-888-344-7233 (1-888-DIG-SAFE)

4. THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE OWNERS OF ANY UTILITY (UNDERGROUND OR OVERHEAD) IN THEIR REMOVAL, REARRANGEMENT, OR REPAIR.

THE FOLLOWING UTILITY COORDINATION REQUIREMENTS APPLY TO THE PROJECT:

#### NORTHERN UTILITIES

A HIGH PRESSURE (125 psi) GAS MAIN EXISTS ALONG JOHNSON ROAD. THERE ARE NO PLANS TO RELOCATE THE GAS MAIN WITH THE REALIGNMENT OF JOHNSON ROAD.

#### PORTLAND WATER DISTRICT

A 12" WATER MAIN EXISTS ALONG THE WEST SHOULDER OF JOHNSON ROAD, WHICH WILL BE RELOCATED WITH THE REALIGNMENT OF JOHNSON ROAD. THIS PROJECT WILL TIE INTO THE 12" WATER MAIN AT THE LOCATION OF JOHNSON ROAD'S NEW ALIGNMENT. THE CONTRACTOR SHALL PROTECT ALL WATER MAINS AND SERVICES THROUGHOUT THE CONSTRUCTION PROCESS.

#### VERIZON COMMUNICATIONS

THE CONTRACTOR SHALL PROTECT OVERHEAD AND UNDERGROUND UTILITY LINES THROUGHOUT THE CONSTRUCTION PROCESS & COORDINATE WITH VERIZON COMMUNICATIONS FOR PROTECTION OF AERIAL WIRES AND SERVICES.

#### CENTRAL MAINE POWER

THE CONTRACTOR SHALL PROTECT THE OVERHEAD LINES THROUGHOUT THE CONSTRUCTION PROCESS AND COORDINATE WITH CMP FOR PROTECTION OF AERIAL WIRES AND SERVICES.

5. ALL NON-PAVED AREAS DISTURBED DURING CONSTRUCTION SHALL BE LOAMED, SEEDED, & MULCHED OR STABILIZED WITH RIPRAP AS INDICATED ON THE PLANS OR AS OTHERWISE DIRECTED BY THE ENGINEER.

6. PRIOR TO BID, THE CONTRACTOR SHOULD VISIT THE SITE TO REVIEW ACCESS TO THE CONSTRUCTION AREA.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ALL DAMAGES TO WORK AREAS DISTURBED DURING CONSTRUCTION.

8. THIS PROJECT SHALL BE GOVERNED BY THE "STATE OF MAINE, DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATIONS (FOR) HIGHWAYS AND BRIDGES, REVISIONS OF APRIL 1995", INCLUDING ALL CURRENT ADDITIONS OR MODIFICATIONS THEREOF.

THE CONTRACT AGREEMENT, SPECIAL PROVISIONS AND SUPPLEMENTAL SPECIFICATIONS CONTAINED HEREINAFTER SHALL TAKE PRECEDENCE AND SHALL GOVERN IN ANY CASE OF CONFLICT WITH THE STANDARD SPECIFICATIONS.

# INDEX

SHEET	DESCRIPTION
C1	COVER SHEET
C2	GENERAL NOTES/INDEX/LEGEND
C3	EXISTING CONDITIONS AND DEMOLITION PLAN
C4	SITE LAYOUT PLAN
C5	GRADING, DRAINAGE & EROSION CONTROL PLAN
C6	UTILITY PLAN
C7	LANDSCAPE PLAN
C8	LIGHTING PLAN WITH PHOTOMETRICS
C9	SITE DETAILS
C10	EROSION CONTROL DETAILS
C11	UTILITY DETAILS

#### GENERAL NOTES (CONTINUED)

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING RECORD INFORMATION:
  - A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AND SKETCHING A PLAN SHOWING THREE (3) TIES TO THE CAP OF THE SERVICE LEAD OR CONNECTION TO THE SANITARY SEWER.
  - B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE INVERT ELEVATION OF THE SERVICE CONNECTION.
  - C. A FORM TO PREPARE THE RECORD TIES WILL BE PROVIDED TO THE CONTRACTOR.
10. PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED AND, IF DISTURBED, SHALL BE REPLACED BY A LICENSED SURVEYOR AT THE CONTRACTOR'S EXPENSE.
11. ALL EXISTING CATCH BASINS, MANHOLES, CONNECTIONS, AND OUTLET PIPING SHALL BE CLEANED AND LEFT IN SATISFACTORY OPERATING CONDITION AFTER CONSTRUCTION HAS BEEN COMPLETED. NO SEPARATE PAYMENT WILL BE MADE FOR THIS WORK.
12. ALL LAWN AREAS, WALKWAYS, DRIVEWAYS, AND ROADWAYS OUTSIDE THE WORK AREA, DAMAGED BY THE CONTRACTOR, SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL TREES AND SHRUBS ON THE PROJECT WHICH ARE NOT TO BE REMOVED, AS NOTED ON THE CONTRACT DRAWINGS.
14. EXISTING PAVEMENT SHALL BE SAW CUT AND BUTTED TO THE NEW PAVEMENT. NO FEATHERING OF PAVEMENT WILL BE PERMITTED.
15. EXISTING DRAINAGE STRUCTURES SHALL NOT BE DISTURBED UNLESS OTHERWISE NOTED.
16. BEFORE CONNECTING NEW PIPES TO AN EXISTING SEWER LINE, THE CONTRACTOR SHALL NOTIFY THE SOUTH PORTLAND POLLUTION ABATEMENT DEPARTMENT. **NO WORK SHALL BE DONE WITHOUT THEIR APPROVAL.**
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY TRENCH PAVEMENT THAT HAS EXPERIENCED EXCESSIVE SETTLEMENT, CRACKING, OR OPENING OF JOINTS. REPAIRS MAY INCLUDE OVERLAY, REMOVAL OF UNACCEPTABLE MATERIALS, COMPLETE REPLACEMENT, JOINT SEALING, OR REBUTTING PAVEMENT AS REQUIRED. THIS WORK MAY BE NECESSARY AFTER THE FINAL ACCEPTANCE OF WORK OR PRIOR TO THE ONE YEAR GUARANTEE. THIS WORK SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.
18. ALL MANHOLE FRAMES SHALL BE SUPPLIED WITH SOLID MANHOLE COVERS.
19. NO ADDITIONAL PAYMENT WILL BE MADE FOR THE REMOVAL OF EXISTING PIPES.
20. ALL WORK SHALL BE CONFINED TO THE AREAS SHOWN ON THE PLANS.
21. THE CONTRACTOR SHALL SUBMIT A DETAILED TRAFFIC CONTROL PLAN FOR ACCESS DRIVE TIE-IN TO JOHNSON ROAD. SPECIFIC TRAFFIC CONTROL REQUIREMENTS ARE PROVIDED IN THE SUPPLEMENTARY GENERAL CONDITIONS. CLOSING OF JOHNSON ROAD SHALL NOT BE PERMITTED.
22. THIS PROJECT SHALL BE COORDINATED WITH ADJACENT CONSTRUCTION PROJECTS FOR THE MAINE TURNPIKE AUTHORITY AND THE PORTLAND INTERNATIONAL JETPORT.
23. BORINGS AND PROBES WERE PERFORMED FOR DESIGN PURPOSES ONLY. ANY BIDDER IS RESPONSIBLE FOR DETERMINING SOIL AND GROUNDWATER CONDITIONS IN THE CONTRACT AREA AND SHALL NOT RELY ON THIS DATA FOR DETERMINING SUBSURFACE CONDITIONS.

#### PORTLAND ZONING REQUIREMENTS:

ZONE: B-4, COMMERCIAL CORRIDOR ZONE

MINIMUM LOT FRONTAGE: 60'

MINIMUM SETBACKS:  
FRONT YARD - 20'  
SIDE YARD - 10'  
REAR YARD - 20'

MAXIMUM BUILDING HEIGHT: 65'

MAXIMUM FLOOR AREA RATIO: 0.65

#### FEDERAL AVIATION ADMINISTRATION REQUIREMENTS:

MAXIMUM BUILDING HEIGHT: 45' ABOVE GROUND  
119' ABOVE MEAN SEA LEVEL

#### DEED RESTRICTION:

MAXIMUM BUILDING HEIGHT: 30' ABOVE GROUND

# LEGEND

AH #14

EXISTING	DESCRIPTION	PROPOSED
	DIRECTION OF FLOW	
	UTILITY POLE	
	OVERHEAD UTILITY LINES	
	UNDERGROUND ELEC./TEL	— UGE —
	UNDERGROUND FIRE ALARM LINE	
	GUY WIRE	
	SIDEWALK	
	CURBING (AS LABELED)	
	BUILDING LINE	
	INDIVIDUAL TREE (TYPE/SIZE AS NOTED)	
	TREELINE	
	RETAINING WALL	
	FENCE LINE (TYPE AS NOTED)	
	GUIDERAIL	
	SIGN	
	LIGHT POST	
	APPROXIMATE R.O.W./PROPERTY LINE	
	TAX MAP NUMBER AND LOT NUMBER	
	NOW OR FORMERLY OWNER'S NAME	
	P.K. HAL TRAVERSE POINT #	0+00
	CONSTRUCTION BASELINE	— PT 1 —
	CONSTRUCTION BASELINE LAYOUT POINT #	Δ PT 1
	EDGE OF WATER	
	GRADING CONTOUR LINE	— 72 —
	SPOT GRADE	71.67
	RIPRAP	
	STONE SEDIMENT BARRIER	
	STORM DRAIN MANHOLE	DMH 1
	SANITARY SEWER MANHOLE	SMH 1
	CATCH BASIN	CB 1
	STORM DRAIN	— 12"SD —
	UNDERDRAIN	— 4"UD —
	SANITARY SEWER	— 12"SAN —
	TELEPHONE MANHOLE/VAULT	
	WATER MAIN	— 6"W —
	GAS MAIN	
	WATER VALVE	
	GAS VALVE	
	FIRE HYDRANT	

PINE TREE COUNCIL HEADQUARTERS PROJECT		DeLUCA-HOFFMAN ASSOCIATES, INC. 778 MAIN ST., SUITE 6 SO. PORTLAND, ME 04106 TEL. (207) 775-1121	
SHEET TITLE GENERAL NOTES/INDEX/LEGEND		DRAWN: CDD DESIGNED: DDA DATE: MAY 2001 SCALE: ---	
CLIENT BOY SCOUTS OF AMERICA		JOB NO. 1097 SHEET C2	
REV	DATE	DESCRIPTION	P.E. DWIGHT D. ANDERSON LIC. #9275
REVISIONS			

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NEW MAINE TURNPIKE TOLL PLAZA

N/F  
Maine Turnpike Authority

N/F  
Boy Scouts of America  
Pine Tree Council

MAINE TURNPIKE CONNECTOR

OFFSITE WETLAND IMPACT  
0.16 ACRES

ONSITE WETLAND IMPACT  
0.81 ACRES

ALTER EXISTING SMH

LIMIT OF IMPACT (TYP.)

PINE TREE COUNCIL ACCESS DRIVE & UTILITY EASEMENT FROM CITY OF PORTLAND

PARCEL TO BE CONVEYED FROM PINE TREE COUNCIL TO CITY OF PORTLAND

PROPOSED JOHNSON ROAD REALIGNMENT

SAWCUT PAVEMENT

TOTAL WETLAND IMPACTS

OFFSITE 0.16 ACRES  
ONSITE 0.81 ACRES  
TOTAL 0.97 ACRES

PINE TREE COUNCIL HEADQUARTERS PROJECT

SHEET TITLE  
EXISTING CONDITIONS AND DEMOLITION PLAN

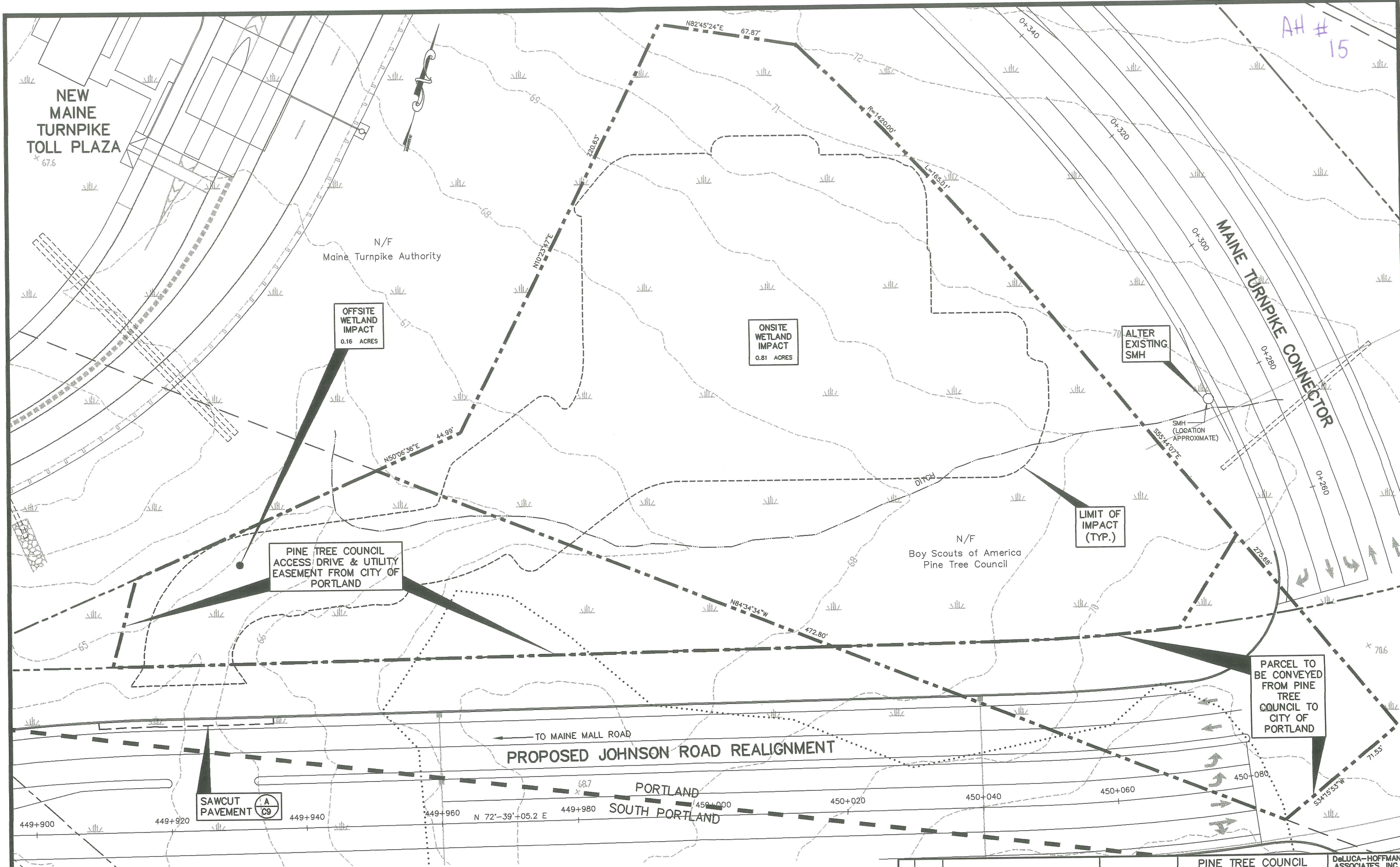
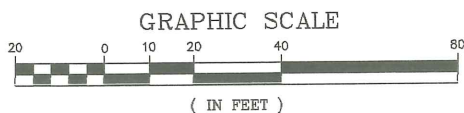
CLIENT  
BOY SCOUTS OF AMERICA

DeLUCA-HOFFMAN ASSOCIATES, INC.  
778 MAIN ST., SUITE 8  
SO. PORTLAND, ME 04106  
TEL. (207) 775-1121

DRAWN: CDD  
DESIGNED: DDA  
DATE: MAY 2001  
SCALE: 1" = 20'  
JOB NO. 1097  
SHEET C3

REV	DATE	DESCRIPTION
5	06/28/01	REVISED PER CITY COMMENTS & RESUBMITTED TO CITY AND M&DEP
4	05/04/01	SUBMITTED TO CITY & TO M&DEP WITH TIER 2 NRPA APPLICATION
3	02/06/01	SUBMITTED TO MAINE TURNPIKE AUTHORITY
2	02/19/99	SUBMITTED TO M&DEP WITH ALTERNATIVE ANALYSIS
1	01/19/99	SUBMITTED TO BSA FOR REVIEW

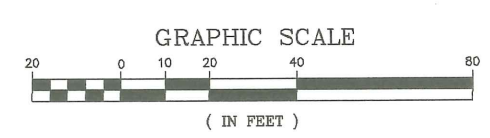
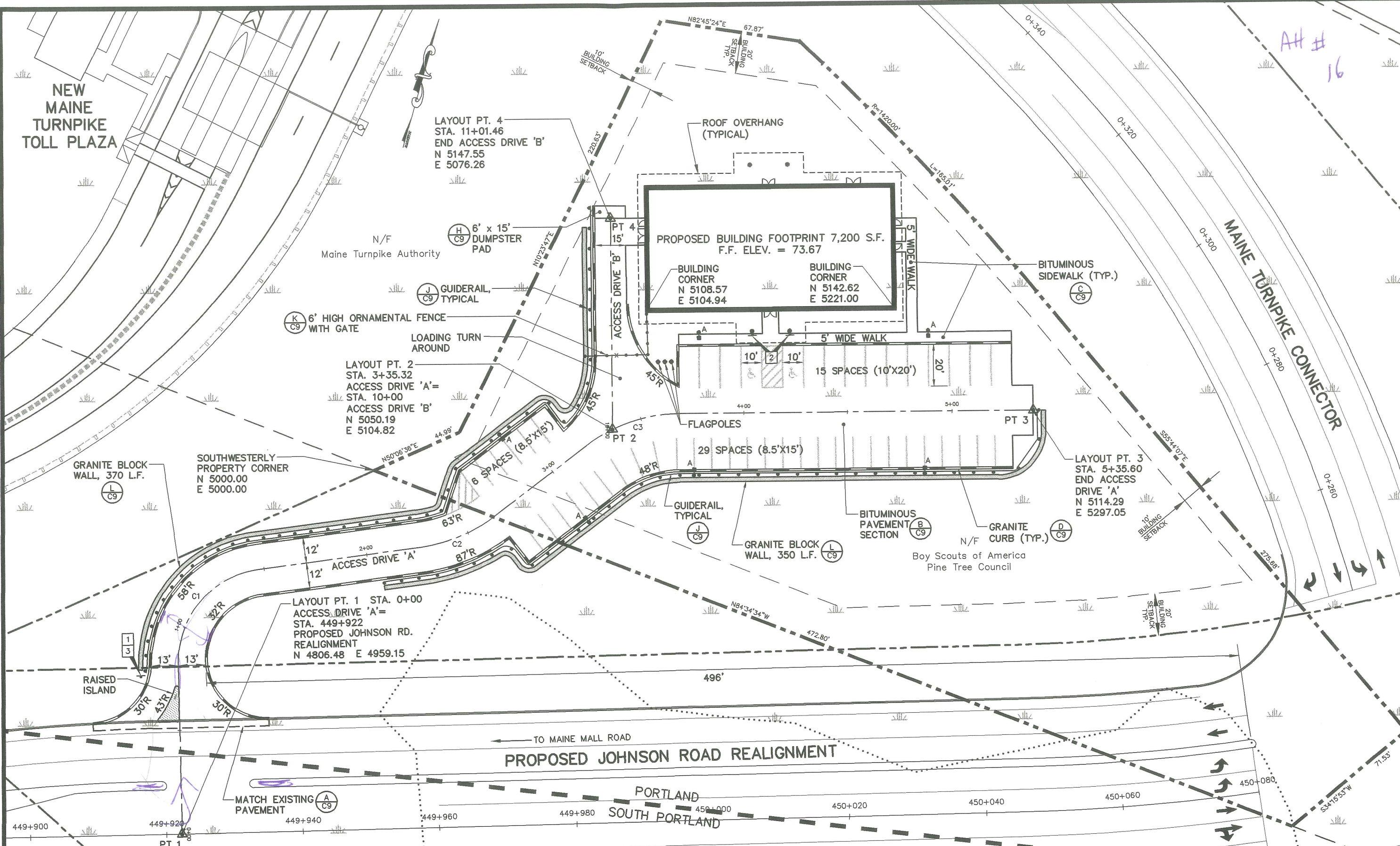
P.E. DWIGHT D. ANDERSON  
LIC. #9275



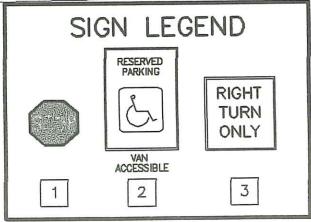


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Alt # 16



SIGNAGE & PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) REGARDING SIZE, INSTALLATION, LOCATION & REFLECTIVITY.



**CURVE DATA TABLE**

CURVE	LENGTH	RADIUS	TANGENT	DELTA	PC STATION	PT STATION
C1	65.75'	45.00'	40.32'	85°-43'-03"	0+81.75	1+47.50
C2	38.84'	75.00'	19.87'	29°-40'-19"	2+25.72	2+64.57
C3	48.37'	75.00'	25.06'	36°-57'-17"	3+20.53	3+68.91

10'x20' PARKING SPACES 15  
 8.5'x15' PARKING SPACES (COMPACT) 35  
 TOTAL PARKING SPACES 50

REV	DATE	DESCRIPTION	REVISIONS
5	06/26/01	REVISED PER CITY COMMENTS & RESUBMITTED TO CITY AND M&DEP	
4	06/04/01	SUBMITTED TO CITY & TO M&DEP WITH TIER 2 NRPA APPLICATION	
3	02/08/01	SUBMITTED TO MAINE TURNPIKE AUTHORITY	
2	02/19/99	SUBMITTED TO M&DEP WITH ALTERNATIVE ANALYSIS	
1	01/19/99	SUBMITTED TO BSA FOR REVIEW	

P.E. DWIGHT D. ANDERSON  
 LIC. #9275

**PINE TREE COUNCIL HEADQUARTERS PROJECT**

SHEET TITLE  
**SITE LAYOUT PLAN**

CLIENT  
**BOY SCOUTS OF AMERICA**

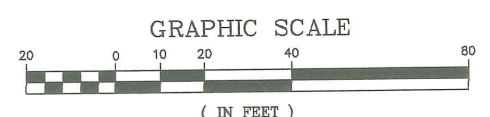
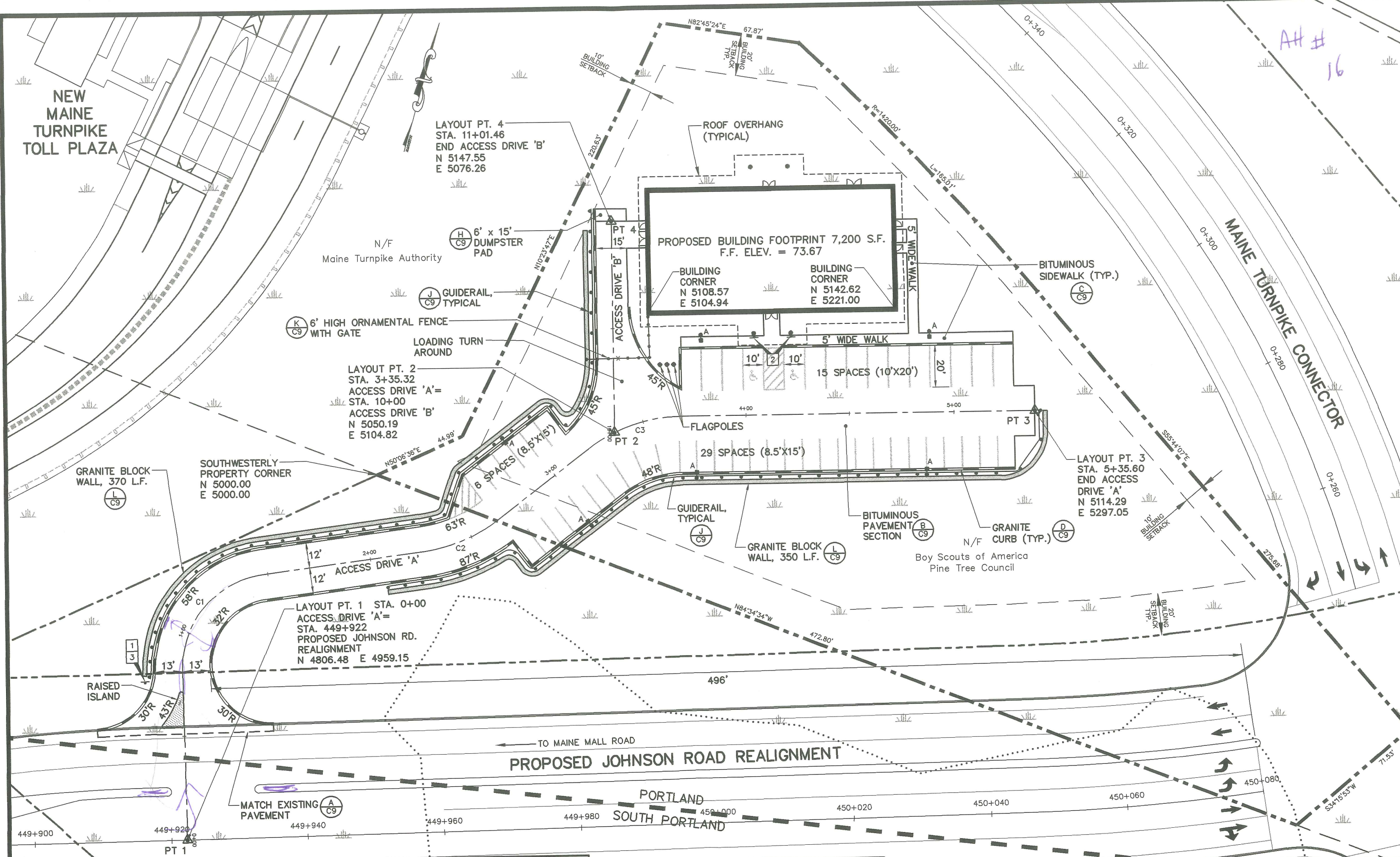
DRAWN: CDD  
 DESIGNED: DDA  
 DATE: MAY 2001  
 SCALE: 1" = 20'  
 JOB NO. 1097  
 SHEET **C4**

DelUCA-HOFFMAN ASSOCIATES, INC.  
 778 MAIN ST., SUITE 8  
 SO. PORTLAND, ME 04106  
 TEL: (207) 775-1121



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Att # 16



SIGNAGE & PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) REGARDING SIZE, INSTALLATION, LOCATION & REFLECTIVITY.

**SIGN LEGEND**

1	3

**CURVE DATA TABLE**

CURVE	LENGTH	RADIUS	TANGENT	DELTA	PC STATION	PT STATION
C1	65.75'	45.00'	40.32'	83°-43'-03"	0+81.75	1+47.50
C2	38.84'	75.00'	19.87'	29°-40'-19"	2+25.72	2+64.57
C3	48.37'	75.00'	25.06'	36°-57'-17"	3+20.53	3+68.91

10'x20' PARKING SPACES: 15  
 8.5'x15' PARKING SPACES (COMPACT): 35  
 TOTAL PARKING SPACES: 50

**REVISIONS**

REV	DATE	DESCRIPTION
5	06/26/01	REVISED PER CITY COMMENTS & RESUBMITTED TO CITY AND MADEP
4	05/04/01	SUBMITTED TO CITY & TO MADEP WITH TER 2 NRPA APPLICATION
3	02/06/01	SUBMITTED TO MAINE TURNPIKE AUTHORITY
2	02/19/99	SUBMITTED TO MADEP WITH ALTERNATIVE ANALYSIS
1	01/19/99	SUBMITTED TO BSA FOR REVIEW

P.E. DWIGHT D. ANDERSON  
 LIC. #9275

**PINE TREE COUNCIL HEADQUARTERS PROJECT**

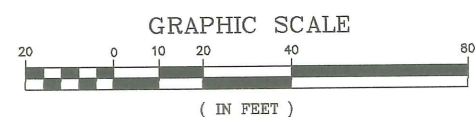
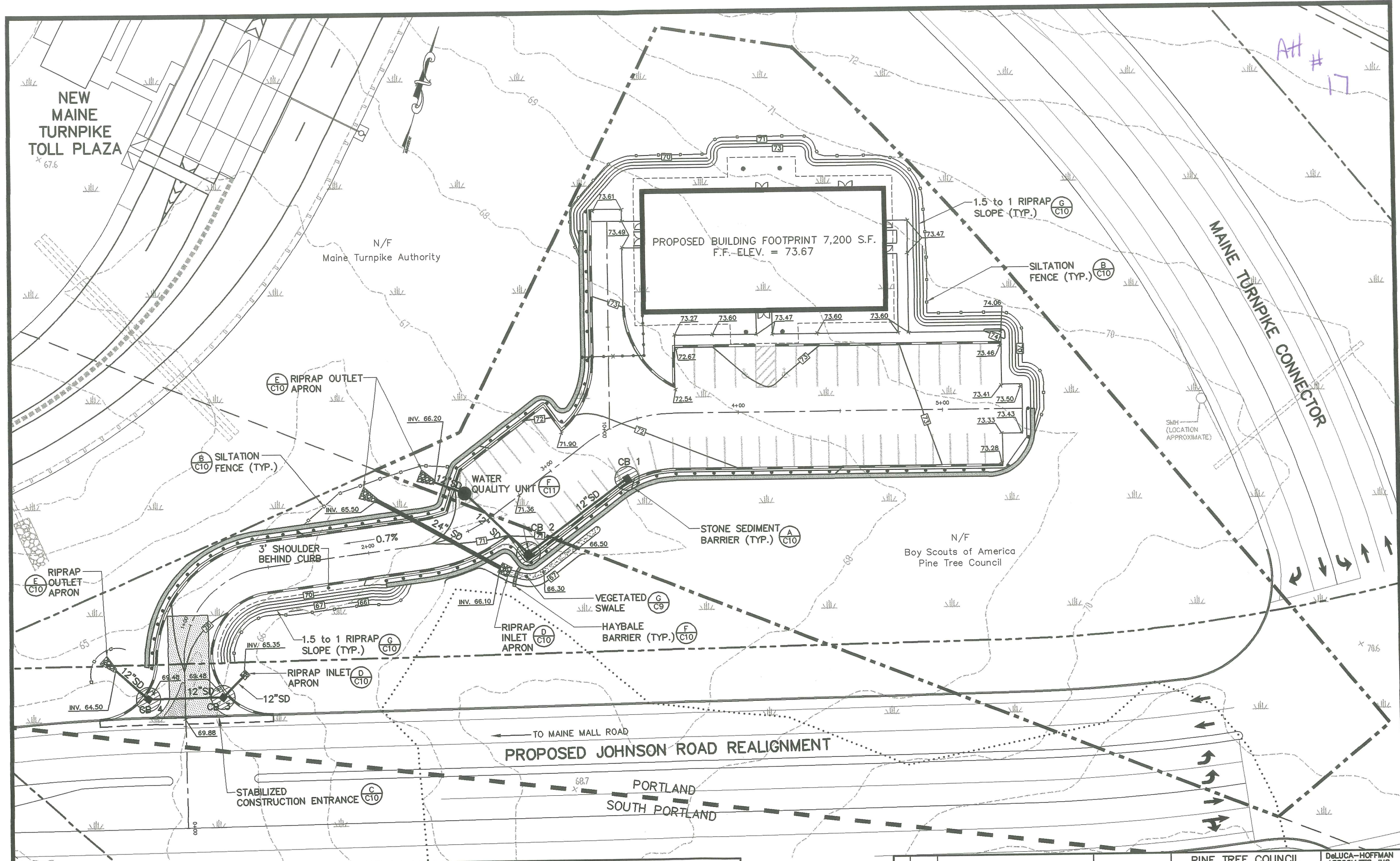
SHEET TITLE: **SITE LAYOUT PLAN**

CLIENT: **BOY SCOUTS OF AMERICA**

DESIGNED: DDA  
 DATE: MAY 2001  
 SCALE: 1" = 20'  
 JOB NO. 1097  
 SHEET **C4**

DeLUCA-HOFFMAN ASSOCIATES, INC.  
 778 MAIN ST., SUITE 8  
 SO. PORTLAND, ME 04106  
 TEL. (207) 775-1121

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STORM DRAIN APPURTENANCE SCHEDULE						
STRUCTURE	SIZE	NORTHING	EASTING	RIM ELEV.	INV. IN (SIZE)/FROM	INV. OUT (SIZE)/TO
WATER QUALITY UNIT	4'φ	5000.80	5044.96	71.11	66.35 (12'')/CB 2	66.35 (12'')/OUTLET
CB 1	4'φ	5029.23	5119.58	71.46	N/A	67.43 (12'')/CB 2
CB 2	4'φ	4980.89	5082.97	70.83	66.85 (12'')/CB 1	66.75 (12'')/W.Q. UNIT
CB 3	4'φ	4872.77	4957.93	68.78	65.23 (12'')/INLET	65.13 (12'')/CB 4
CB 4	4'φ	4861.87	4923.02	68.78	64.80 (12'')/CB 2	64.70 (12'')/OUTLET

REV	DATE	DESCRIPTION	P.E. DWIGHT D. ANDERSON LIC. #9275
5	06/28/01	REVISED PER CITY COMMENTS & RESUBMITTED TO CITY AND M&D	
4	05/24/01	SUBMITTED TO CITY & TO M&D WITH TER 2 NRPA APPLICATION	
3	02/05/01	SUBMITTED TO MAINE TURNPIKE AUTHORITY	
2	02/19/99	SUBMITTED TO M&D WITH ALTERNATIVE ANALYSIS	
1	01/19/99	SUBMITTED TO BSA FOR REVIEW	

**PINE TREE COUNCIL HEADQUARTERS PROJECT**

SHEET TITLE  
**GRADING, DRAINAGE & EROSION CONTROL PLAN**

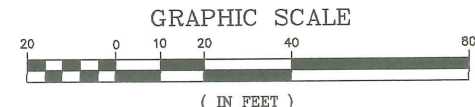
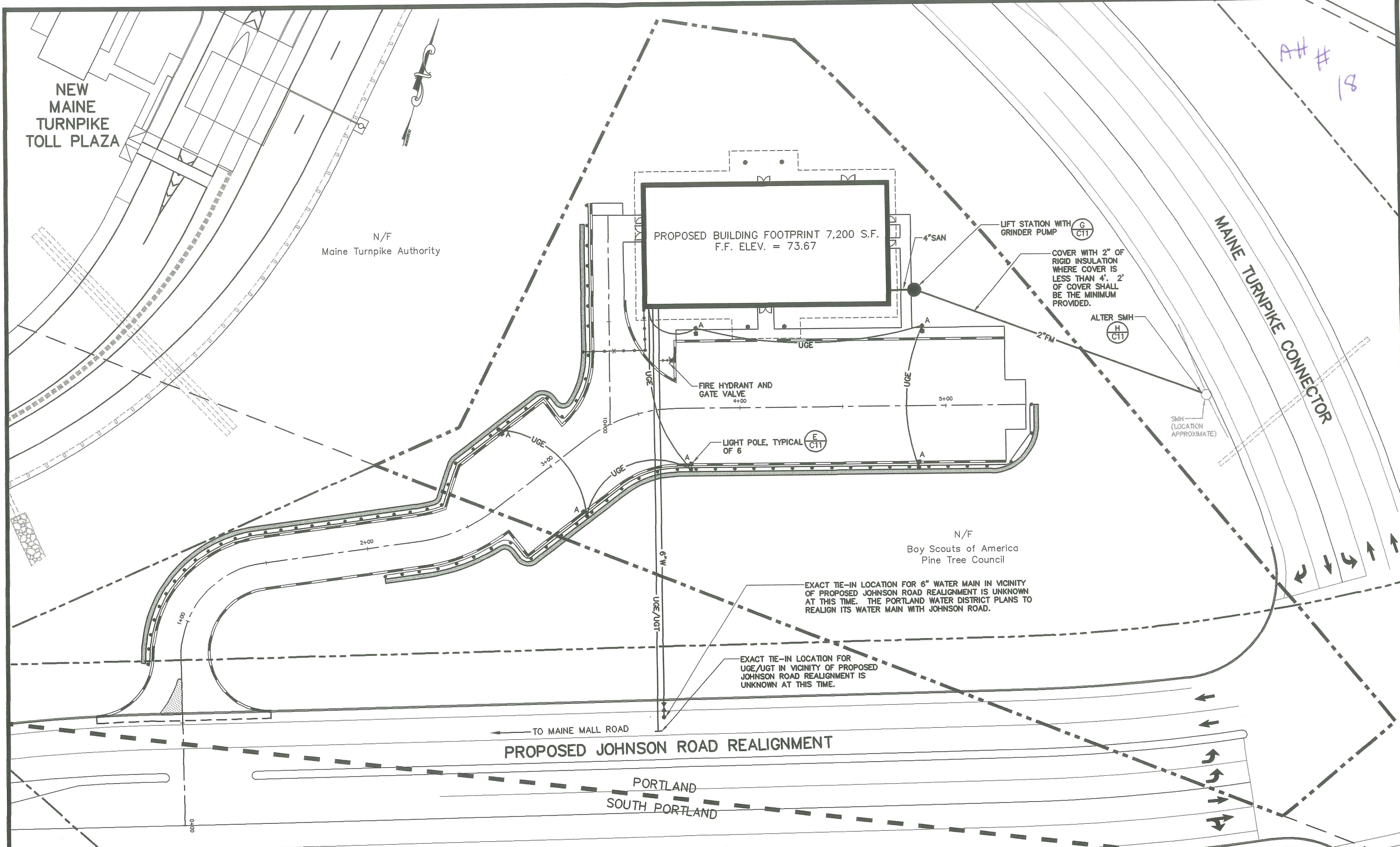
CLIENT  
**BOY SCOUTS OF AMERICA**

DeLUCA-HOFFMAN ASSOCIATES, INC.  
778 MAIN ST., SUITE 8  
SO. PORTLAND, ME 04106  
TEL. (207) 775-1121

DRAWN: CDD  
DESIGNED: DDA  
DATE: MAY 2001  
SCALE: 1" = 20'  
JOB NO. 1097  
SHEET **C5**

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A# # 18



SANITARY SEWER APPURTENANCE SCHEDULE						
STRUCTURE	SIZE	NORTHING	EASTING	RIM ELEV.	INV. IN (SIZE)/FROM	INV. OUT (SIZE)/TO
LIFT STATION	4"	5153.33	5229.82	73.54	69.21 (4")/BUILDING	68.83 (2")/EX. SMH
EXIST. SMH	4"	5142.66 (APPROX.)	5380.26 (APPROX.)	*	*	*

\* FIELD SURVEY REQUIRED

REV	DATE	DESCRIPTION
5	06/26/01	REVISED PER CITY COMMENTS & RESUBMITTED TO CITY AND M&DEP
4	05/04/01	SUBMITTED TO CITY & TO M&DEP WITH TIER 2 NRPA APPLICATION
3	02/06/01	SUBMITTED TO MAINE TURNPIKE AUTHORITY
2	02/19/99	SUBMITTED TO M&DEP WITH ALTERNATIVE ANALYSIS
1	01/19/99	SUBMITTED TO BSA FOR REVIEW

PINE TREE COUNCIL HEADQUARTERS PROJECT	
SHEET TITLE	
UTILITY PLAN	
CLIENT	
BOY SCOUTS OF AMERICA	

DeLUCA-HOFFMAN ASSOCIATES, INC.  
778 MAIN ST., SUITE 8  
SO. PORTLAND, ME 04106  
TEL. (207) 775-1121

DRAWN: CDD  
DESIGNED: DDA  
DATE: MAY 2001  
SCALE: 1" = 20'  
JOB NO. 1097  
SHEET C6

P.E. DWIGHT D. ANDERSON  
LIC. #9275

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Att # 19

NEW MAINE  
TURNPIKE  
TOLL PLAZA

N/F  
Maine Turnpike Authority

TO  
SHRUB  
(TYP. OF 4)

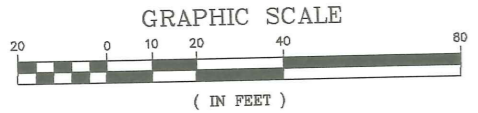
PROPOSED BUILDING FOOTPRINT 7,200 S.F.  
F.F. ELEV. = 73.67

MAINE TURNPIKE CONNECTOR

N/F  
Boy Scouts of America  
Pine Tree Council

TO MAINE MALL ROAD  
PROPOSED JOHNSON ROAD REALIGNMENT

PORTLAND  
SOUTH PORTLAND



LANDSCAPE PLANTING SCHEDULE				
SYMBOL	QUANTITY	COMMON NAME	SIZE	CONDITION
TO	4	TECHNY ARBORVITAE	6" HIGH	*CONTAINER
*ACCORDING TO THE AMERICAN STANDARD FOR NURSERY STOCK				

REV	DATE	DESCRIPTION
5	06/28/01	REVISED PER CITY COMMENTS & RESUBMITTED TO CITY AND MADEP
4	05/04/01	SUBMITTED TO CITY & TO MADEP WITH TIER 2 NRPA APPLICATION
3	02/06/01	SUBMITTED TO MAINE TURNPIKE AUTHORITY
2	02/19/99	SUBMITTED TO MADEP WITH ALTERNATIVE ANALYSIS
1	07/19/98	SUBMITTED TO BSA FOR REVIEW

**PINE TREE COUNCIL  
HEADQUARTERS PROJECT**

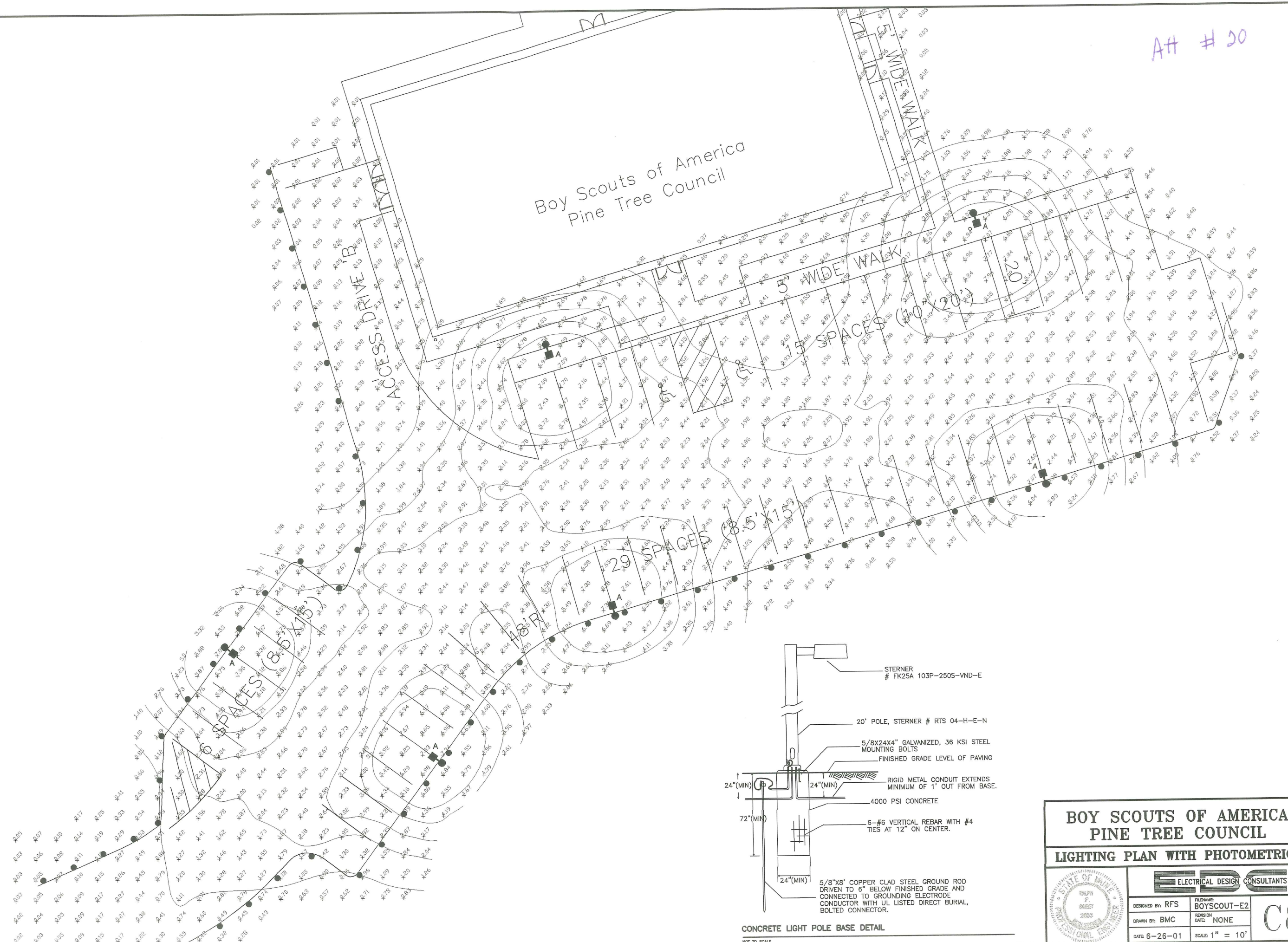
SHEET TITLE  
**LANDSCAPE PLAN**

CLIENT  
**BOY SCOUTS OF AMERICA**

P.E. DWIGHT D. ANDERSON  
LIC. #9275

DeLUCA-1  
ASSOCIAT  
778 MAIN S  
SO. PORTLAND  
TEL. (207)  
DRAWN:  
DESIGNED:  
DATE:  
SCALE:  
JOB NO.  
SHEET

A# # 20



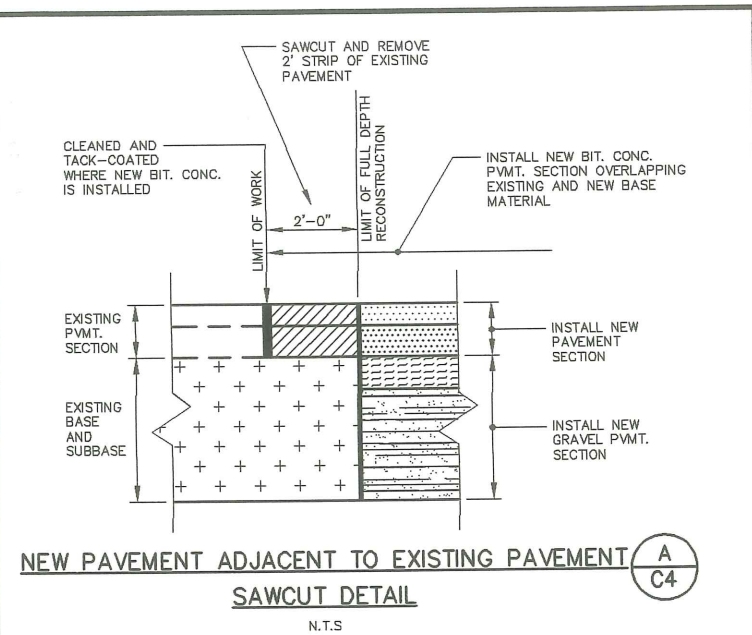
**BOY SCOUTS OF AMERICA  
PINE TREE COUNCIL**

**LIGHTING PLAN WITH PHOTOMETRICS**

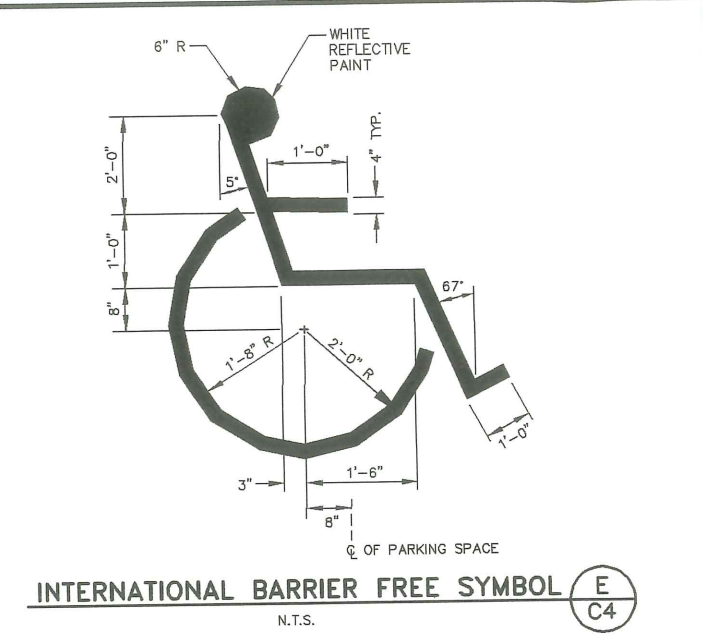
			<b>C8</b>
DESIGNED BY: RFS	FILENAME: BOYSCOUT-E2		
DRAWN BY: BMC	REVISION DATE: NONE		
DATE: 6-26-01	SCALE: 1" = 10'		

10/10/01  
 1. This drawing is an integral part of the contract documents for the project.  
 2. It is the responsibility of the contractor to verify all dimensions and conditions shown on this drawing against the actual site conditions.  
 3. The contractor shall be responsible for obtaining all necessary permits and approvals for the installation of the lighting system.  
 4. The contractor shall be responsible for the protection of all existing utilities and structures on the site.  
 5. The contractor shall be responsible for the safe installation and operation of the lighting system.

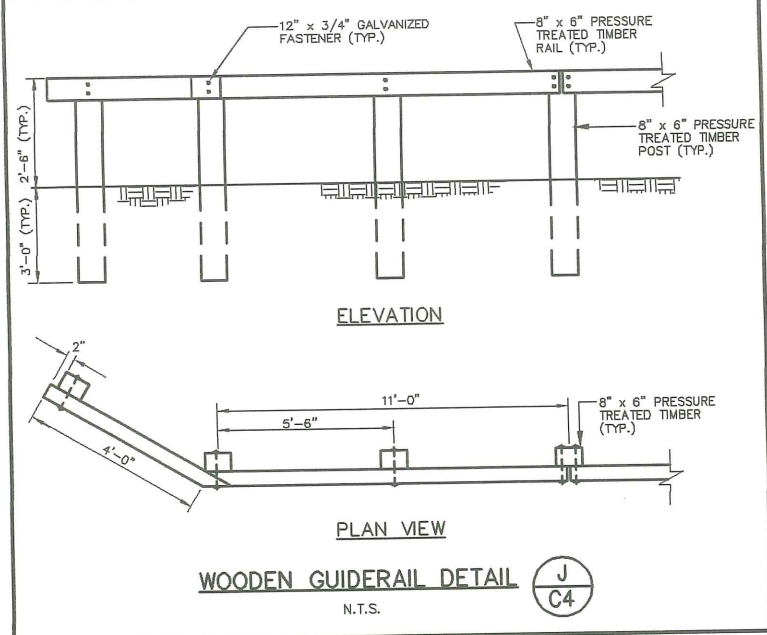
AH #21



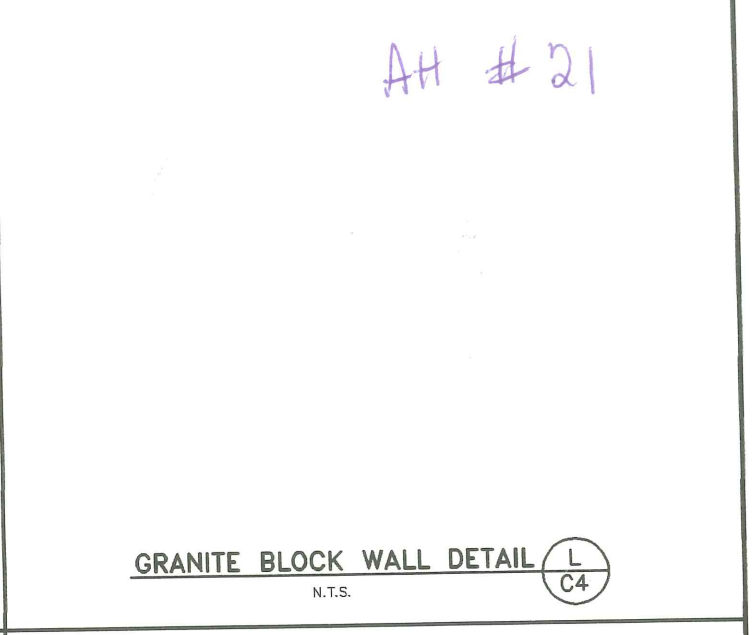
**NEW PAVEMENT ADJACENT TO EXISTING PAVEMENT**  
**SAWCUT DETAIL**  
 N.T.S. (A) C4



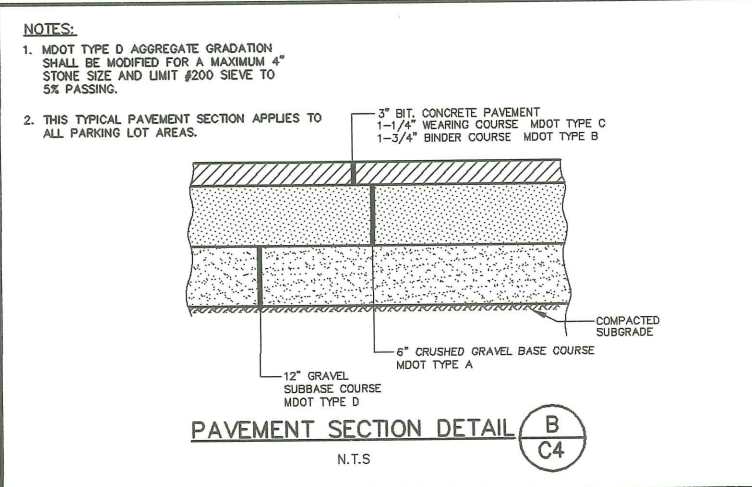
**INTERNATIONAL BARRIER FREE SYMBOL**  
 N.T.S. (E) C4



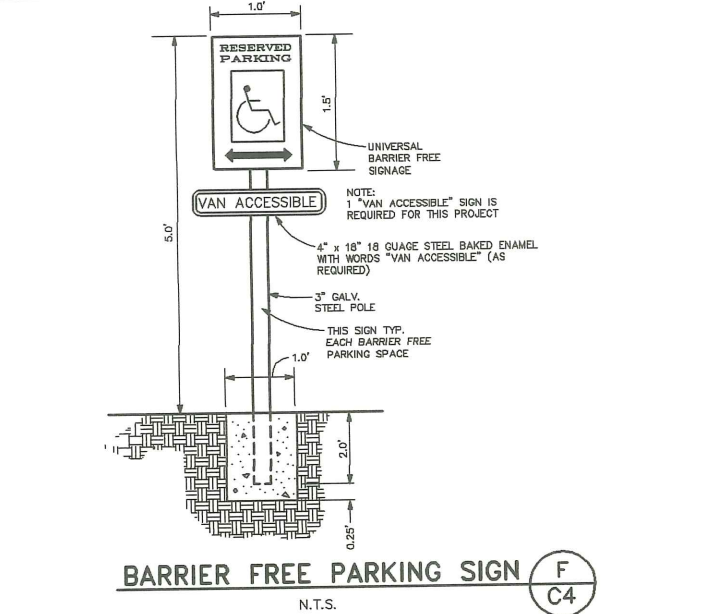
**WOODEN GUIDERAIL DETAIL**  
 N.T.S. (J) C4



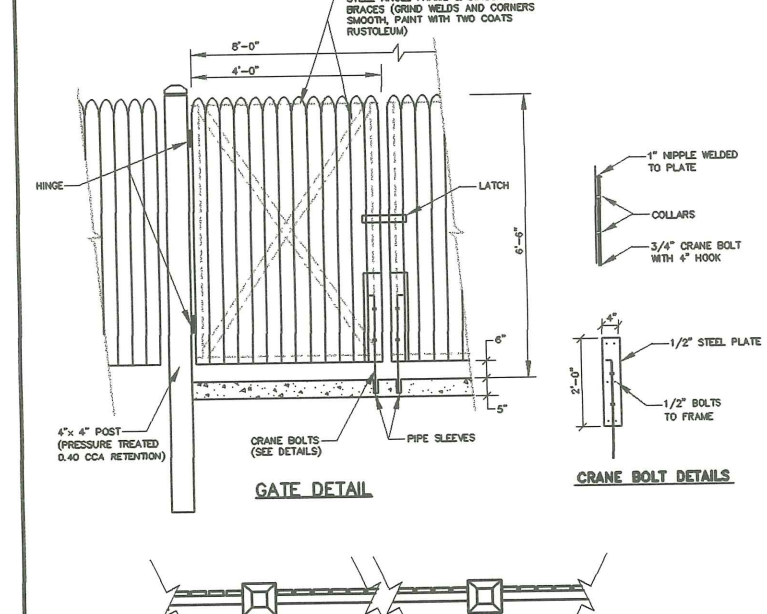
**GRANITE BLOCK WALL DETAIL**  
 N.T.S. (L) C4



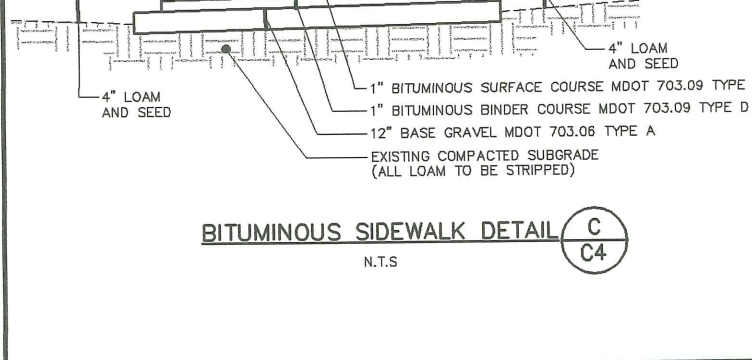
**PAVEMENT SECTION DETAIL**  
 N.T.S. (B) C4



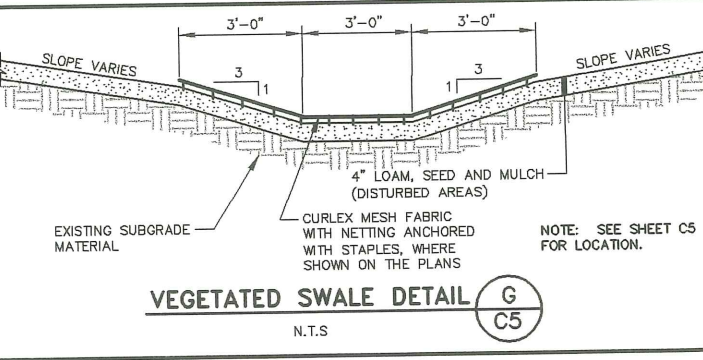
**BARRIER FREE PARKING SIGN**  
 N.T.S. (F) C4



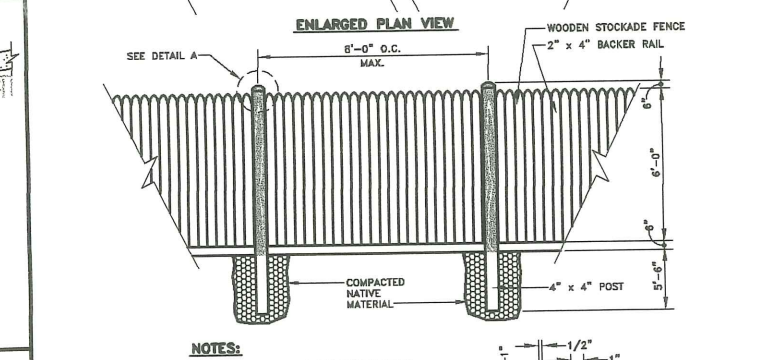
**GATE DETAIL**  
 ENLARGED PLAN VIEW



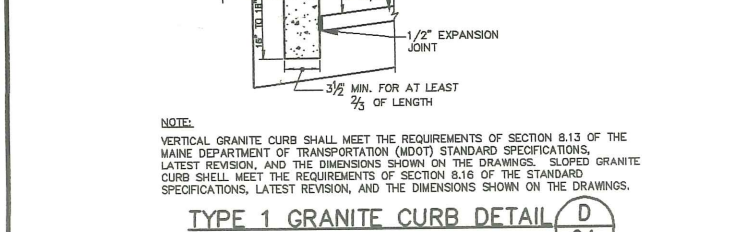
**BITUMINOUS SIDEWALK DETAIL**  
 N.T.S. (C) C4



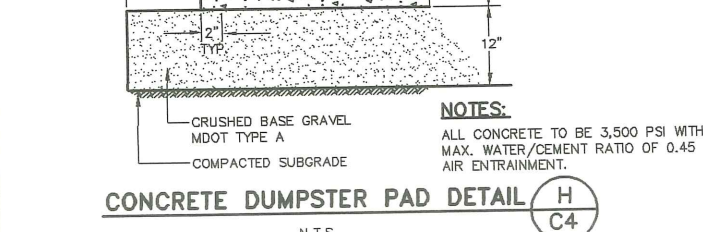
**VEGETATED SWALE DETAIL**  
 N.T.S. (G) C5



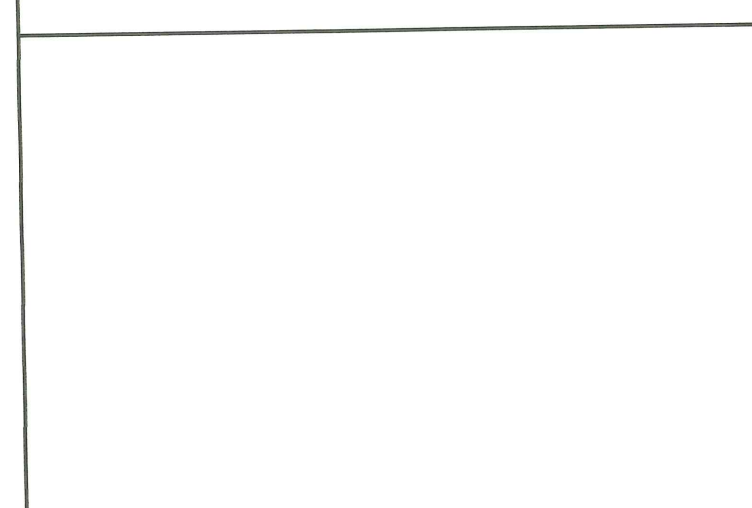
**WOODEN FENCE AND GATE DETAIL**  
 N.T.S. (K) C4



**TYPE 1 GRANITE CURB DETAIL**  
 N.T.S. (D) C4



**CONCRETE DUMPSTER PAD DETAIL**  
 N.T.S. (H) C4



**WOODEN STOCKADE FENCE**  
 N.T.S. (I) C4

**NOTE:**  
 VERTICAL GRANITE CURB SHALL MEET THE REQUIREMENTS OF SECTION 8.13 OF THE MAINE DEPARTMENT OF TRANSPORTATION (MDOT) STANDARD SPECIFICATIONS, LATEST REVISION, AND THE DIMENSIONS SHOWN ON THE DRAWINGS. SLOPED GRANITE CURB SHALL MEET THE REQUIREMENTS OF SECTION 8.16 OF THE STANDARD SPECIFICATIONS, LATEST REVISION, AND THE DIMENSIONS SHOWN ON THE DRAWINGS.

**NOTES:**  
 ALL CONCRETE TO BE 3,500 PSI WITH MAX. WATER/CEMENT RATIO OF 0.45 & AIR ENTRAINMENT.

**NOTES:**

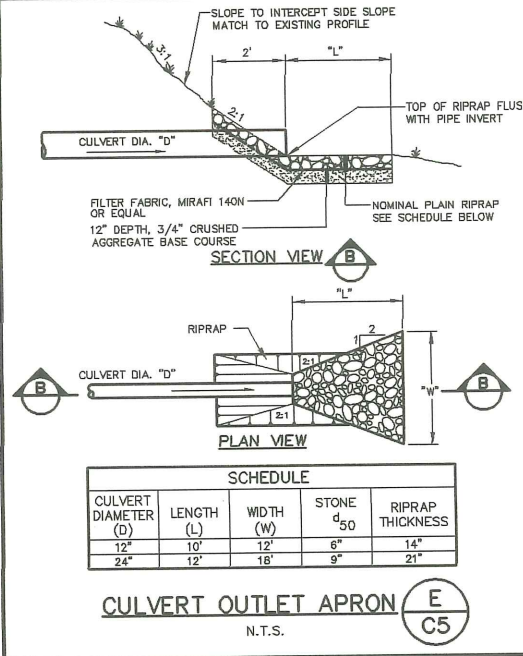
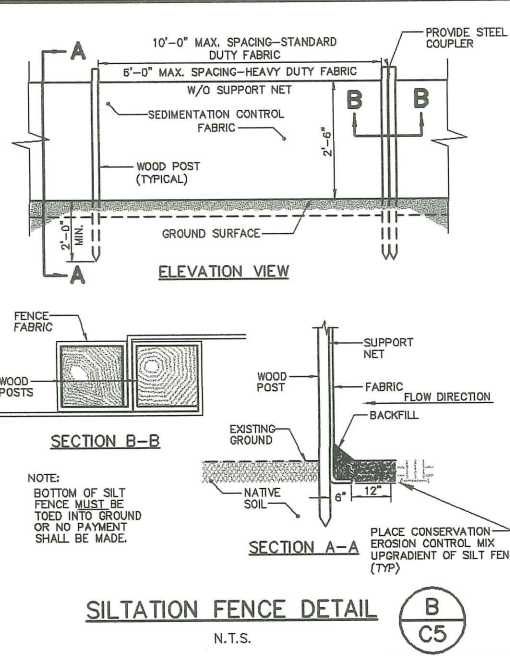
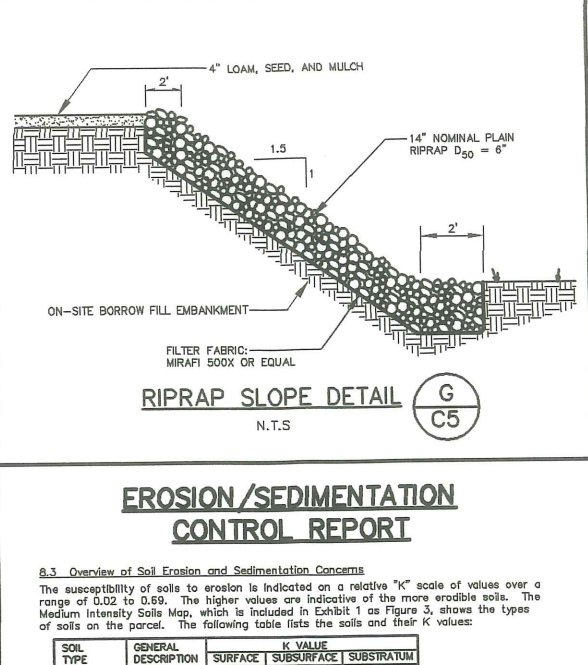
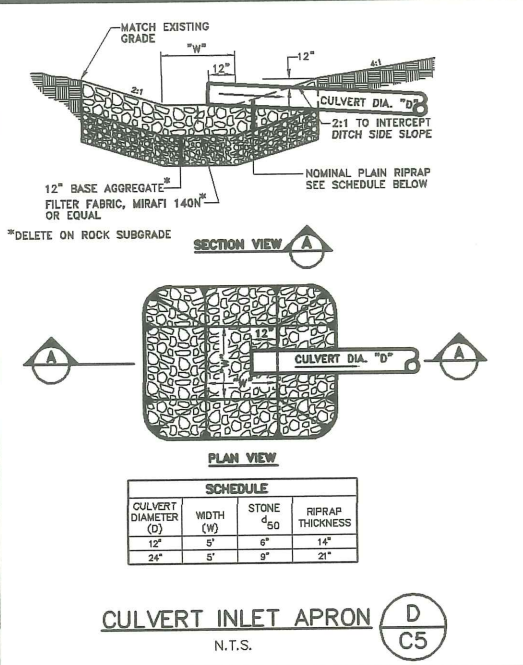
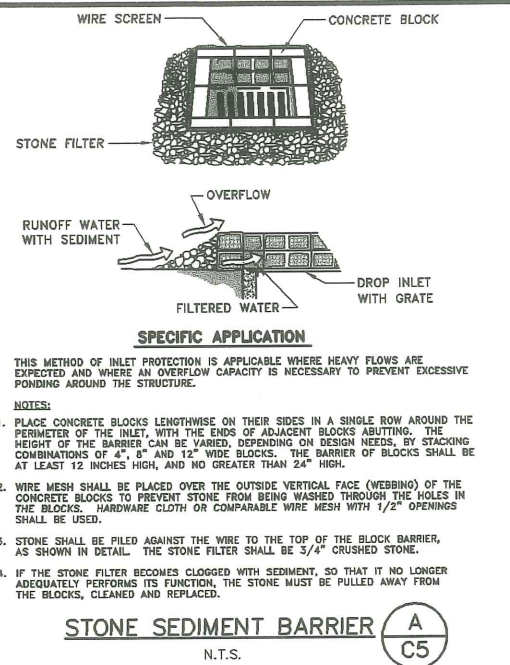
- ALL WOOD DIMENSIONS ARE ROUGH FINISH.
- ALL WOOD TO BE #1 GRADE, NORTHERN WHITE CEDAR.
- ALL WOOD SHALL BE PAINTED WITH TWO COATS OF CEDAR WOOD FINISH BY SHERWIN-WILLIAMS.
- PRE-MANUFACTURED FENCE OF SIMILAR DIMENSION MAY BE SUBSTITUTED TO ENGINEER FOR APPROVAL, PRIOR TO CONSTRUCTION.

REV	DATE	DESCRIPTION
4	08/26/01	REMOVED PER CITY COMMENTS & RESUBMITTED TO CITY AND MADEP
3	02/04/01	SUBMITTED TO CITY & TO MADEP WITH TIER 2 NRPA APPLICATION
2	02/18/99	SUBMITTED TO MADEP WITH ALTERNATIVE ANALYSIS
1	01/19/99	SUBMITTED TO BSA FOR REVIEW

<b>PINE TREE COUNCIL HEADQUARTERS PROJECT</b> SHEET TITLE <b>SITE DETAILS</b>		<b>DeLUCA-HOFFMAN ASSOCIATES, INC.</b> 778 MAIN ST., SUITE 8 SO. PORTLAND, ME 04106 TEL. (207) 775-1121
CLIENT <b>BOY SCOUTS OF AMERICA</b>		DRAWN: CDD DESIGNED: DDA DATE: MAY 2001 SCALE: AS SHOWN JOB NO. 1097 SHEET <b>C9</b>
P.E. DWIGHT D. ANDERSON LIC. #9275		

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**8.3 Overview of Soil Erosion and Sedimentation Concerns**

The susceptibility of soils to erosion is indicated on a relative "K" scale of values over a range of 0.02 to 0.69. The higher values are indicative of the more erodible soils. The Medium Intensity Soil Map, which is included in Exhibit 1 as Figure 3, shows the types of soils on the parcel. The following table lists the soils and their K values:

SOIL TYPE	GENERAL DESCRIPTION	SURFACE	SUBSURFACE	STRATUM
BIDEFORD	SILT LOAM	0.32	0.49	0.49
BUXTON	SILT LOAM	0.32	0.49	0.49
SCANTIC	SILT LOAM	0.32	0.49	0.49

Based on a review of the K values, the onsite soils are moderately susceptible to erosion.

The primary emphasis of the erosion/sedimentation control plan for this project is as follows:

- Development of a careful construction sequence.
- Rapid revegetation, paving, or riprap stabilization of denuded areas to minimize the period of soil exposure.
- Rapid stabilization of drainage paths to avoid fill and gully erosion.
- The use of onsite measures to capture sediment (silt fence, check dams, etc.)

**8.4 Description and Location of Limits of All Proposed Earth Movements**

Construction of the project will require the following onsite improvements:

- Construction of a site access/haul road from Johnson Road.
- Placement of the site fill for the building and parking areas.
- Construction of the building and completion of peripheral site work.

**8.5 Existing and Proposed Drainage Features**

As described above, the site consists of wetlands surrounded by roads and road construction. A drainage swale transects the site northeast to southwest, from a newly installed culvert on the MTA turnpike interchange access road. Just below the site, this swale intersects a drainage swale from the northwest that is mapped as a stream on the USGS 7.5 minute series Portland West quadrangle. No streams exist on the project parcel.

Development of the site will result in the construction of a fill across the existing drainage swale. Upstream drainage will be conveyed around the fill in a vegetated channel at the toe of the fill, and will be conveyed through a culvert under the access drive. Onsite drainage will be accomplished by collecting parking lot runoff to catch basins for sediment retention, before discharge to the wetlands at the existing swale.

**8.6 Erosion/Sedimentation Control Devices**

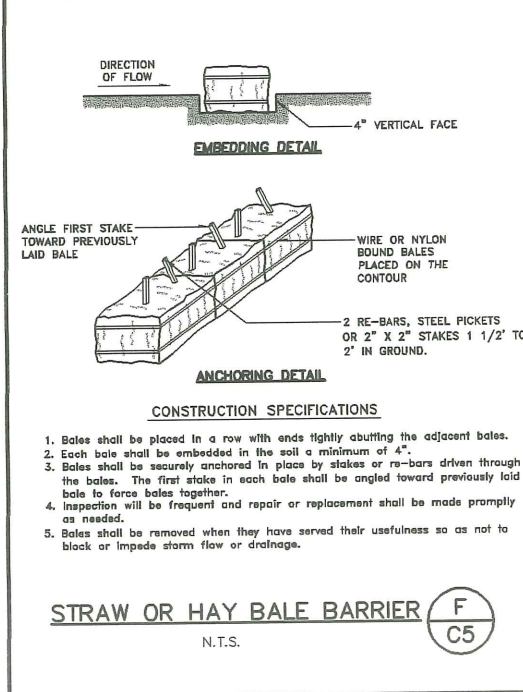
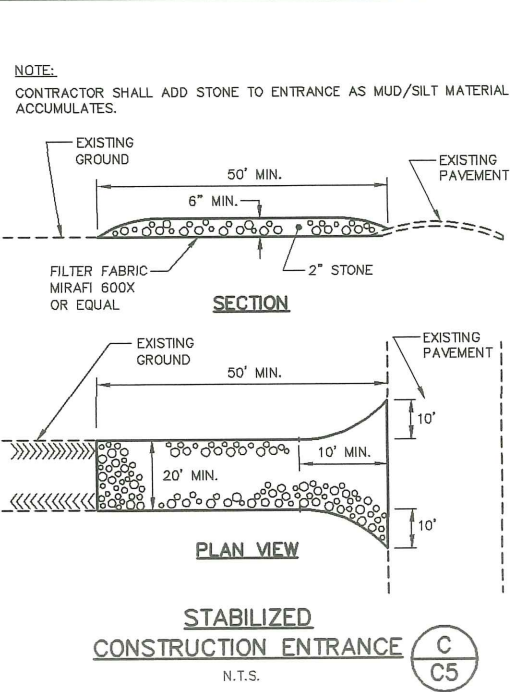
The following erosion and sediment control devices will be implemented as part of the site development. These devices shall be installed as indicated on the plans or as described within this report. For further reference, see the Maine Erosion and Sediment Control Handbook for Construction: Best Management Practices.

- Siltation fence shall be installed downstream of any disturbed areas to trap runoff-borne sediments until the site is stabilized by paving, riprap, or revegetation. The silt fence shall be installed per the detail provided in the plan set and inspected immediately after each rainfall and at least daily during prolonged rainfall. Repairs shall be made if there are any signs of erosion or sedimentation below the fence line. If there are signs of undercutting at the center or the edges, or impounding of large volumes of water behind the fence, the barrier shall be replaced with a stone check dam.
- Straw or hay mat is intended to provide cover for denuded or seeded areas until revegetation is established. Mulch placed on slopes of less than 10 percent shall be anchored by applying water; mulch placed on slopes steeper than 10 percent shall be covered with a fabric netting and anchored with staples in accordance with the manufacturer's recommendations. Mulch application rates are provided in the attachments to this section.
- Riprap slopes are intended to stabilize the steep embankments used to reduce the wetland fill area. Installation details and stone sizes are provided in the plan set on the erosion and sedimentation control detail sheet.
- Riprap culvert inlet and outlet aprons are intended to reduce stormwater flow velocities and protect the underlying soil surfaces from concentrated flows. Installation details and stone sizes are provided in the construction plan set on the erosion control detail sheet.
- A construction entrance will be constructed at the site access points to prevent tracking of soil onto Johnson Road.
- Sediment traps will be installed at catch basin inlets to reduce the amount of silt entering the storm drain system. Installation details are provided in the plan set on the erosion control detail sheet.
- Loam and seed is intended to serve as the primary permanent revegetative measure for all denuded areas not provided with other erosion control measures, such as riprap. Application rates are provided in the attachments to this section for temporary and permanent seeding in non-wetland areas as well as for temporarily disturbed wetlands.

**8.7 Temporary Erosion/Sedimentation Control Measures**

The following are planned as temporary erosion/sedimentation control measures during construction:

- A crushed stone stabilized construction entrance shall be placed at the site access onto Johnson Road.
- Siltation fence shall be installed along the down gradient side of all construction disturbance. Siltation fence will be maintained in place until the tributary area served by the fence is revegetated or stabilized by paving or riprap. Silt fencing with a minimum stake spacing of 6 feet should be used, unless the fence is supported by wire fence reinforcement of minimum 14 gauge and with a maximum mesh spacing of 6 inches, in which case stakes may be spaced a maximum of 10 feet apart. The bottom of the fence shall be anchored.
- Temporary stockpiles of stumps, grubbing, or common excavation will be protected as follows:
  - Temporary stockpiles shall be located away from drainage swales and shall be surrounded by siltation fence, in addition to that provided at the site perimeter.
  - Stockpiles shall be stabilized within 7 days of placement by either temporarily seeding the stockpile with a hydroseed method containing an emulsified mulch tackifier or by covering the stockpile with mulch.
- All rough graded areas that are not located within the building pad or parking and roadway subbase areas, shall receive mulch or erosion control mesh fabric within 7 days of initial disturbance of soil.
- For work which is conducted between November 1 and April 15 of any calendar year, all denuded areas will be covered with hay mulch, applied at twice the normal application rate and anchored with a fabric netting. The time period for applying mulch as noted in Paragraph 8.7.4 shall be limited to 7 days for all areas.
- Johnson Road shall be swept to control mud and dust as necessary.
- During grubbing operations stone check dams will be installed at any evident concentrated flow discharge points.
- Storm drain catch basin inlet protection shall be provided through the use of stone sediment barriers. Installation details are provided in the plan set. The barriers shall be inspected after each rainfall and repairs made as necessary. Sediment shall be removed and the barrier restored to its original dimensions when the sediment has accumulated to < the design depth of the barrier. The barrier shall be removed when the tributary drainage area has been stabilized.



**8.8 Permanent Erosion Control Measures**

The following permanent erosion control measures have been designed as part of the Erosion/Sedimentation Control Plan:

- Any storm drain pipe shall have a riprap apron or plunge pool at its outlet to protect the outlet and receiving channel from scour and deterioration. Installation details are provided in the plan set. The aprons and plunge pools shall be installed and stabilized prior to directing runoff to the tributary pipe or culvert.
- Riprap slopes will control erosion of the steep slopes around the site perimeter that are included to reduce the extent of wetland filling.
- The vegetated channel along the southeastern side of the site will convey off-site runoff around the site while protecting the site side slopes and wetlands from the concentrated flow. This channel is to be constructed and stabilized prior to site filling and diversion of stormwater from the existing wetland swale.
- All areas disturbed during construction, but not subject to other restoration (paving, riprap, sod, etc.) will be loamed, limed, fertilized, mulched, and seeded. Fabric netting, anchored with staples, shall be placed over the mulch in areas where the finish grade slope is greater than 10 percent. All areas shall receive protection within 7 days. Native topsoil shall be stockpiled and reused for final restoration when it is of sufficient quality.
- Catch basins will be provided with sediment sumps, and inlet hoods for all outlet pipes that are 12" in diameter.

**8.9 Timing and Sequence of Erosion/Sedimentation Control Measures**

The following construction sequence shall be required to insure the effectiveness of the erosion and sedimentation control measures are optimized:

Note: For all grading activities, the contractor shall limit the area disturbed at any time, and exercise extreme caution not to overexpose the site.

- Provide crushed stone stabilized construction entrance at Johnson Road.
- Provide perimeter siltation fence and check dams.
- Clear and grub areas required, and construct the vegetated channel at the southeast site perimeter, and the riprap outlet aprons.
- Clear and grub the site.
- Regrade with imported offsite borrow material.
- Install the storm drain system as grading and filling proceeds, and direct construction site runoff to the inlet sediment barriers and catch basins for sediment retention.
- Stabilize the steep slopes with riprap as the filling proceeds. Place fill in a manner to direct building pad runoff away from the exterior slopes and into the storm drains.
- Commence construction of the sanitary sewer structures and piping.
- Commence construction of the building work.
- Complete building foundations; commence superstructure construction.
- Complete underground utility installation to within 5 feet of the building.
- Complete earthwork to subgrade. Stabilize with gravel base in areas to be paved, and with loam, seed, and mulch or riprap, as indicated for non-paved areas.
- Construct curbing.
- Construct base course paving.
- Complete building.
- Install surface course paving and stripe per plans.
- Remove accumulated sediment from ahead of any sediment barriers as necessary.
- Once the site is stabilized and a 75% catch of vegetation has been obtained, remove all temporary erosion control measures.
- Touch up loam and seed.

Note: All denuded areas not subject to final paving, riprap or gravel shall be revegetated with loam and seed.

The Contractor shall submit a schedule for the completion of the work which will satisfy the following criteria:

- The above construction sequence should generally be completed in the specified order; however, several separate items may be constructed simultaneously. Work must also be scheduled or phased to limit the extent of the exposed areas as specified below. The intent of this sequence is to provide for erosion control and to have structural measures such as silt fence and construction entrances in place before large areas of land are denuded.
- The work shall be conducted in sections which will:
  - Limit the amount of exposed area to those areas in which work is expected to be undertaken during the preceding 30 days.
  - Revegetate disturbed areas as rapidly as possible. All areas shall be permanently stabilized within 7 days of final grading or before a storm event; or temporarily stabilized within 7 days of initial disturbance of soil.
  - Incorporate planned inlets and drainage systems as early as possible into the construction phases. The ditch shall be lined with riprap immediately following subgrade preparation.
- All work which will be conducted between November 1 and April 15 of the calendar year, the Contractor shall submit a schedule which will satisfy the following criteria:
  - Limit the amount of exposed area to those areas in which work is expected to be undertaken during the preceding 15 days.
  - During the construction process, all disturbed areas shall be covered with mulch within 7 days of final grading.
  - Once final grade has been established, the contractor may choose to dormant seed the disturbed areas prior to placement of mulch and placement of fabric netting anchored with staples.
  - The area of denuded non-stabilized construction shall be limited to the minimum area practicable. An area shall be considered to be denuded until the subbase gravel is installed in parking areas, the base slab gravel is installed in building areas, and seed is scheduled or phased to limit the extent of the exposed area for an adequate catch of grass. All areas insufficiently vegetated (less than 75 percent catch) shall be revegetated by replacing loam, seed and mulch.
  - If dormant seeding is not used for the site, all disturbed areas shall be revegetated in the spring.
  - The area of denuded non-stabilized construction shall be limited to the minimum area practicable. An area shall be considered to be denuded until the subbase gravel is installed in parking areas, the base slab gravel is installed in building areas, and seed is scheduled or phased to limit the extent of the exposed area for an adequate catch of grass. All areas insufficiently vegetated (less than 75 percent catch) shall be revegetated by replacing loam, seed and mulch.

The Contractor shall note that the entire site is on or within 100 feet of a wetland, and that therefore no area shall remain denuded for a period of over 7 days before it is temporarily stabilized. Temporary stabilization shall be the installation of gravel or mulching.

**8.10 Preconstruction Conference**

Prior to any construction at the site, representatives of the Contractor and the site design engineer shall arrange for and meet with the Owner's Representative to discuss the scheduling of the site construction. On or before that meeting, the Contractor will prepare a detailed schedule and a marked-up site plan indicating areas and components of the work and key dates showing date of disturbance and completion of the work. If disturbed areas are not to be finished (loamed, seeded, and mulched) within seven (7) days, the scheduling shall indicate those areas to be protected with temporary seeding/mulch. Three copies of the schedule and marked-up site plan shall be provided to the Owner.

**PERMANENT SEEDING PLAN NON-WETLAND AREAS**

Project: Pine Tree Council of the Boy Scouts of America  
Site Location: Johnson Road, Portland, Maine

Area to be seeded: \_\_\_\_\_ acres, OR \_\_\_\_\_ M Sq. Ft.  
Permanent Seeding: \_\_\_\_\_ Temporary Seeding: \_\_\_\_\_

- Area to be seeded: \_\_\_\_\_ acres, OR \_\_\_\_\_ M Sq. Ft.
- Instructions on preparation of soil: Prepare a good seed bed for planting method used.
- Apply lime as follows: \_\_\_\_\_ #/acres, OR \_\_\_\_\_ #/M Sq. Ft.
- Fertilize with \_\_\_\_\_ pounds of \_\_\_\_\_ N-P-K/ac. OR \_\_\_\_\_ pounds of \_\_\_\_\_ N-P-K/M Sq. Ft.
- Method of applying lime and fertilizer: Spread and work into the soil before seeding.
- Seed with the following mixture:
  - 40% SR 3000 Fineleaf Fescue
  - 30% A-34 Kentucky Bluegrass
  - 20% Pennant Perennial Rye Grass
  - 10% Baron Kentucky Bluegrass
 When using small grain as nurse crop seed it at one-half the normal seeding rate.
- Mulching instructions: Apply at the rate of \_\_\_\_\_ tons per acre. OR \_\_\_\_\_ pounds per M. Sq. Ft.

Amount Unit# Tons, Etc.

8. TOTAL LIME.....138#/1000 sq. ft.  
9. TOTAL FERTILIZER.....18.4#/1000 sq. ft.  
10. TOTAL SEED.....2.30#/1000 sq. ft.  
11. TOTAL MULCH.....115#/1000 sq. ft.  
12. TOTAL other materials, seeds, etc.....

**REMARKS**

Spring seeding is recommended, however, late summer (prior to September 1) seeding can be made. Permanent seeding should be made prior to August 5 or as a dormant seeding after the first killing frost and before the first snowfall. If seeding cannot be done within these seeding dates, temporary seeding and mulching shall be used to protect the site. Permanent seeding shall be delayed until the next recommended seeding period.

**TEMPORARY SEEDING PLAN NON-WETLAND AREAS**

Project: Pine Tree Council of the Boy Scouts of America  
Site Location: Johnson Road, Portland, Maine

Area to be seeded: \_\_\_\_\_ acres, OR \_\_\_\_\_ M Sq. Ft.  
Permanent Seeding: \_\_\_\_\_ Temporary Seeding: \_\_\_\_\_

- Area to be seeded: \_\_\_\_\_ acres, OR \_\_\_\_\_ M Sq. Ft.
- Instructions on preparation of soil: Prepare a good seed bed for planting method used.
- Apply lime as follows: \_\_\_\_\_ #/acres, OR \_\_\_\_\_ #/M Sq. Ft.
- Fertilize with \_\_\_\_\_ pounds of \_\_\_\_\_ N-P-K/ac. OR \_\_\_\_\_ pounds of \_\_\_\_\_ N-P-K/M Sq. Ft.
- Method of applying lime and fertilizer: Spread and work into the soil before seeding.
- Seed with the following mixture:
  - 100% Winter Rye (Fall)
  - 100% Oats (Spring)
 When using small grain as nurse crop seed it at one-half the normal seeding rate.
- Mulching instructions: Apply at the rate of \_\_\_\_\_ tons per acre. OR \_\_\_\_\_ pounds per M. Sq. Ft.

Amount Unit# Tons, Etc.

8. TOTAL LIME.....138#/1000 sq. ft.  
9. TOTAL FERTILIZER.....18.4#/1000 sq. ft.  
10. TOTAL SEED.....2.6 Rye, 1.8 Oats #/1000 sq. ft.  
11. TOTAL MULCH.....115#/1000 sq. ft.  
12. TOTAL other materials, seeds, etc.....

**REMARKS**

Recommended seeding dates after August 15.  
For areas with slopes >10%, waterways, areas within 100 feet of the stream, and fall and winter erosion control areas, mulch netting shall be used per manufacturer's specifications.  
For seeding between November 1 and April 15 the mulching application rate should be doubled.

**SEEDING PLAN WETLAND AREAS**

Project: Pine Tree Council of the Boy Scouts of America  
Site Location: Johnson Road, Portland, Maine

Area to be seeded: \_\_\_\_\_ acres, OR \_\_\_\_\_ M Sq. Ft.  
Permanent Seeding: \_\_\_\_\_ Temporary Seeding: \_\_\_\_\_

- Area to be seeded: \_\_\_\_\_ acres, OR \_\_\_\_\_ M Sq. Ft.
- Instructions on preparation of soil: Prepare a good seed bed for planting method used.
- Apply lime as follows: \_\_\_\_\_ #/acres, OR \_\_\_\_\_ #/M Sq. Ft.
- Fertilize with \_\_\_\_\_ pounds of \_\_\_\_\_ N-P-K/ac. OR \_\_\_\_\_ pounds of \_\_\_\_\_ N-P-K/M Sq. Ft.
- Method of applying lime and fertilizer: Spread and work into the soil before seeding.
- Seed with the following mixture:
  - 15% Annual Rye
  - 15% Red Top
  - 15% Wool Grass
  - 15% Blue Joint Grass
  - 40% Reed Canary Grass
 When using small grain as nurse crop seed it at one-half the normal seeding rate.
- Mulching instructions: Apply at the rate of \_\_\_\_\_ tons per acre. OR \_\_\_\_\_ pounds per M. Sq. Ft.

Amount Unit# Tons, Etc.

8. TOTAL LIME.....138#/1000 sq. ft.  
9. TOTAL FERTILIZER.....18.4#/1000 sq. ft.  
10. TOTAL SEED.....3.0#/1000 sq. ft.  
11. TOTAL MULCH.....180#/1000 sq. ft.  
12. TOTAL other materials, seeds, etc.....

**REMARKS**

The above seed mix is required in all temporarily disturbed wetland areas.

REV	DATE	DESCRIPTION	P.E. DWIGHT D. ANDERSON
4	06/26/01	REVISED PER CITY COMMENTS & RESUBMITTED TO CITY AND M&DEP	
3	05/04/01	SUBMITTED TO CITY & TO M&DEP WITH TIER 2 NRPA APPLICATION	
2	02/19/99	SUBMITTED TO M&DEP WITH ALTERNATIVE ANALYSIS	
1	01/19/99	SUBMITTED TO BSA FOR REVIEW	

REVIEWS

PROJECT	PINE TREE COUNCIL HEADQUARTERS PROJECT
CLIENT	BOY SCOUTS OF AMERICA
DRAWN	CDD
DESIGNED	DDA
DATE	MAY 2001
SCALE	AS SHOWN
JOB NO.	1097
SHEET	C10