

Wall Types

Exterior walls 2x6 wood stud
Interior walls 2x4 wood stud, unless noted otherwise

Wall Keys

- 2 2x wood studs on the flat
 - 3 2x3 wood stud wall, 16" oc
 - 6 2x6 wood stud wall, 16" oc
- Note: 2x4 wood stud wall, 16" oc unless otherwise noted

Key Notes

- A 30" x 22" Minimum Attic Access Panel - Insulated (RO 34" x 26")
- F Field locate for plumbing or mechanical
- V Verify size of fixture or appliance Adjust dimensions to accommodate
- S Snug - Door or Window trim will be snug and may need to be cut down
- C Center - Place door or window centered on wall
- D Double Stud or structural mull - adapt to suit chosen window brand. Object is to have some "bite" for curtain hardware and exterior aesthetics.
- SD Smoke Detector
- CO Carbon Monoxide Detector
- HD Heat Detector

Dimensions

Dimensions are to face of stud, unless noted otherwise. Closets are 24" clear inside, unless dimensioned otherwise.

Square Footages

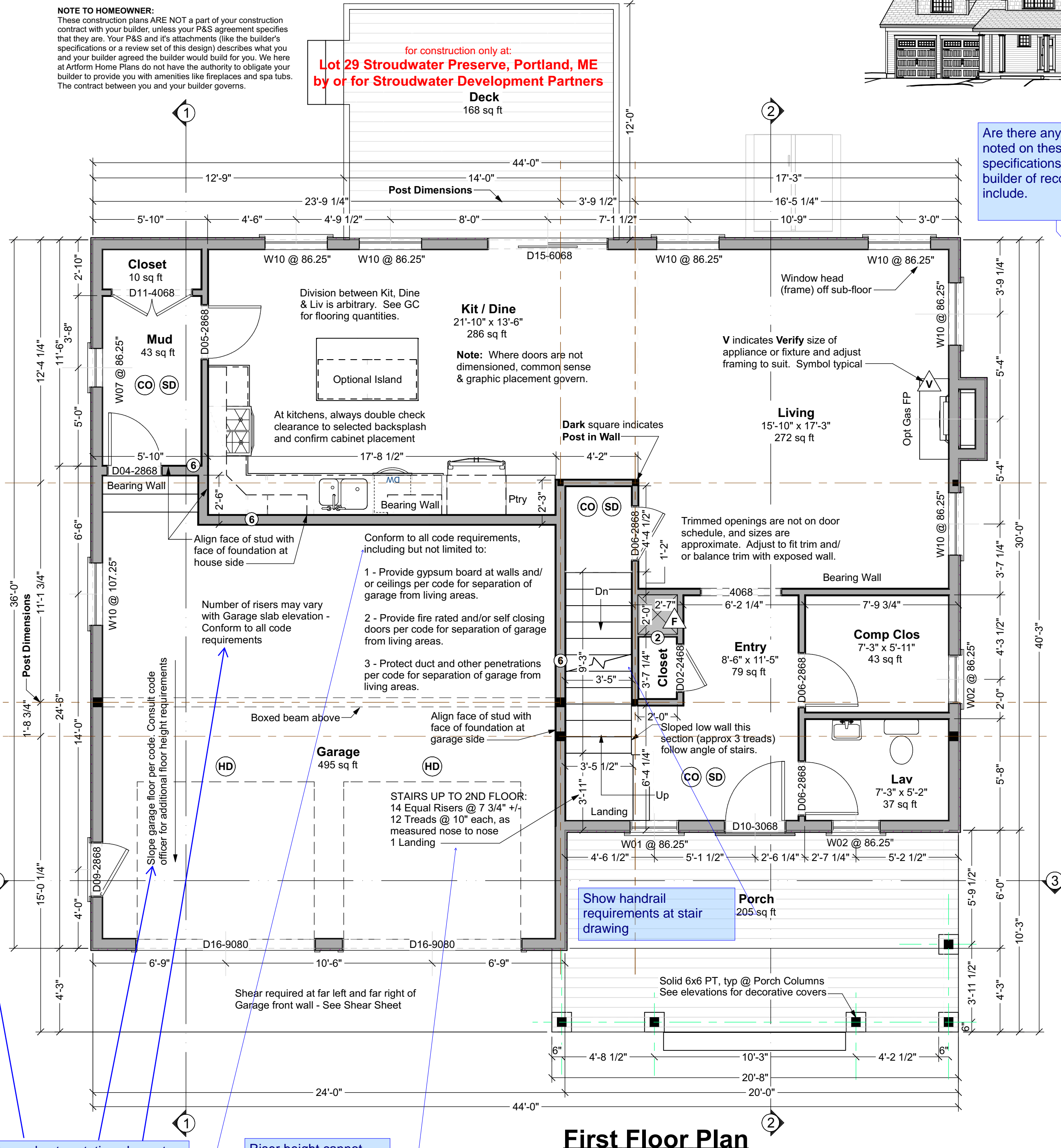
- 1. Sq ft numbers are interior to room for use in calculating finishes.
- 2. Cabinets and fixtures not subtracted.
- 3. Add for doorways when floor finishes run through.

Notes

- 1 - Exterior walls 2x6 wood stud @ 16" oc. Provide insulation & vapor barrier conforming to state or local codes. Interior sheathing 1/2" gypsum board. Provide 1/2" exterior rated sheathing, house wrap with drainage plane and siding. Provide step flashing at walls adjacent to roof planes.
- 2 - Interior walls 2x4 wood stud @ 16" oc, unless noted otherwise.
- 3 - Roof - see structural for rafter sizes. Provide 5/8" exterior rated roof sheathing 15# roofing felt, ice & water shield at eaves and valleys, aluminum drip edge and asphalt shingles or metal roofing. Structure not calculated to support slate or tile. Flash all penetrations. Provide cricket at any added chimneys.
- 4 - Provide roof and/or ceiling insulation per code. Provide soffit and ridge vents where required for insulation strategy. (Verify with code officer - closed cell spray foam or dense-pack cellulose installed at rafters and filling ridge and eaves generally contra-indicates venting, batt insulation always requires venting).
- 5 - Provide smoke detectors where shown, where required by code and where required by local authorities.
- 6 - Provide fire resistive materials where required by code, including but not limited to, firestopping at penetrations, 5/8" Type X drywall on walls and ceilings to separate garage (where garage present in design) from dwelling, and separation of dwellings (where more than one dwelling present in design), and protection of flammable insulation materials. See Table R306.6 IRC 2015.
- 7 - Note not applicable
- 8 - Compliance with code requirements for rooms size and clearances, (hallway widths, room sizes, etc) assume 1/2" drywall on walls and 1/2" drywall on 3/4" strapping on ceilings. Adjust as required if materials differ.
- 9 - Some windows must be installed with a head height greater or lesser than the standard 80" or 82 1/2" to provide clearance at kitchen counters, to meet code sill height or to clear roofs. Where approx 84" head height is called for, install 2x10 header tight to double top plate, frame window RO tight to header.
- 10 - Shear is only called out where Continuous Portal Frame will not suffice. See Section R602.10.4 (Pages 177 - 188) of the IRC 2015.

These drawings are intended for use by an experienced professional builder in responsible charge of the entire project, including but not limited to mechanical, electrical and sitework. Any additional adaptation for these trades or other trades must be determined prior to start of construction. Contact Artform for any adjustments needed.

Sweet Cherry Pie



Are there any changes noted on these plans and specifications per the builder of record? Please include.

General notes stating elements will be to code are insufficient. Specific information relevant to this dwelling unit/site is required.

Riser height cannot exceed 7 3/4". Please show actual riser height for this stair.

Indicate a minimum 13D sprinkler protection system to be installed

First Floor Plan
Living Area this Floor: 946 sq ft
8'-0" Finished Ceiling Height

Dear Code Officer.

These are pre-designed home plans, designed to bring good design and construction drawings to people at more affordable prices and faster time frames than traditional architecture. Where traditional "internet" home plans disclaim all responsibility, we split responsibility between us (Artform) and the owner. We encourage the future homeowners to use a quality builder who can assist them with this. They are responsible for thermal and moisture decisions and for meeting code in ways that a quality builder should know without an explicit detail. We are responsible for things that are directly related to the design and/or that a quality builder couldn't reasonably figure out on their own - specifically the following IRC 2015 code sections:

- 1 - Room sizes (Section R304)
- 2 - Ceiling Height (Section R305)
- 3 - Floor space & ceiling height at Toilet, Bath and Shower Spaces (Section R307)
- 4 - Hallway widths (Section R311.6)
- 5 - Door types & sizes (Section R311.2)
- 6 - Floor space in front of doors (Section R311.3)
- 7 - Stair width - The stairs in our designs will be a minimum of 36" wide measured wall surface to wall surface, allowing compliance with R311.7.1 with installation of correct handrail.
- 8 - Stairway headroom (Section R311.7.2)
- 9 - Stair treads and risers (Section R311.7.5)
- 10 - Landings for stairways (Section R311.7.6)
- 11 - Emergency Escape Window Sizes (Section R310.2.1, R310.2.2, R310.2.3 and R310.2.4). Casement windows may require manufacturer's emergency escape window hardware. Will also comply with NFPA 101.
- 12 - Structural Floor Framing (Section R502.3) Where dimensional lumber is shown, framing members will be sized according to this section of the code. Where engineered wood products are shown, those framing members will be sized according to the manufacturer's tables for loads and spans, or sizes will have been calculating using manufacturer's published materials properties.
- 13 - See structural sheets for additional notes.

The builder can and should add information to this set, such as Rescheck, a hand markup of our generic thermal and moisture section, additional information about doors and windows (such as fire rating, tempering, etc), foundation drops relative to site grading, and sometimes their chosen method of basement egress. These drawings are not intended to be used without that additional information.

Where a construction address is shown on the drawings, it is for copyright control only. We have not inspected the site, adapted the design to state specific laws (except where it says so in the drawings) or site or region specific climate conditions. Homeowner and/or Builder shall be responsible for thermal and moisture control strategies, materials choices and compliance with applicable laws and ordinances.

Please do feel free to call us with any questions. We can and do update our drawings and standard notes to address specific concerns, especially in jurisdictions where our clients will be building again.

Dear Everybody.

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Permissible uses of these drawings:
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- Pricing or preliminary discussions with zoning or code officials for construction at other addresses, with prior notification to Artform Home Plans - just use the Contact form on the web site - <http://www.artformhomeplans.com/contact.a5w>

Not Permitted:
- Application for any permits or other approvals for construction at properties other than the listed address, including but not limited to construction, zoning, conservation, or design review.
- Modification of the basic design.

Use of these drawings outside these parameters is a violation of federal copyright law, punishable by both civil action and criminal prosecution. It's also stealing or enabling theft, which doesn't suddenly become less bad just because it's "intellectual property". Making changes, even significant changes, does not change this. Under copyright law, that's "derivative works". You still used our work, and we still spent significant time preparing it, quite possibly in the wee hours when everybody else was sleeping!

We can provide drawings suitable for use in obtaining design or zoning approvals without incurring the expense of a full set of construction drawings. Contact us for more information. We want to allow reasonable use at reasonable costs, just not have our work stolen. AFHP CD Commons 17.3 X9. IRC

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Structural General Notes:

1. Builder shall consult and follow the building code and other regulations in effect for the building site for all construction details not shown in these drawings. Requirements described here are specific to this design and/or are provided as reference. Additional building code or local requirements may apply.
2. Builder shall maintain a safe worksite, including but not limited to, provision of temporary supports where appropriate and adherence to applicable safety standards.
3. Design is based on the snow load listed on the framing plans, 90 mph basic wind speed, Exposure type B, soil bearing capacity of 2000 psf, and Seismic Category C, unless otherwise noted on the framing plans. Builder shall promptly inform Artform Home Plans of differing conditions.

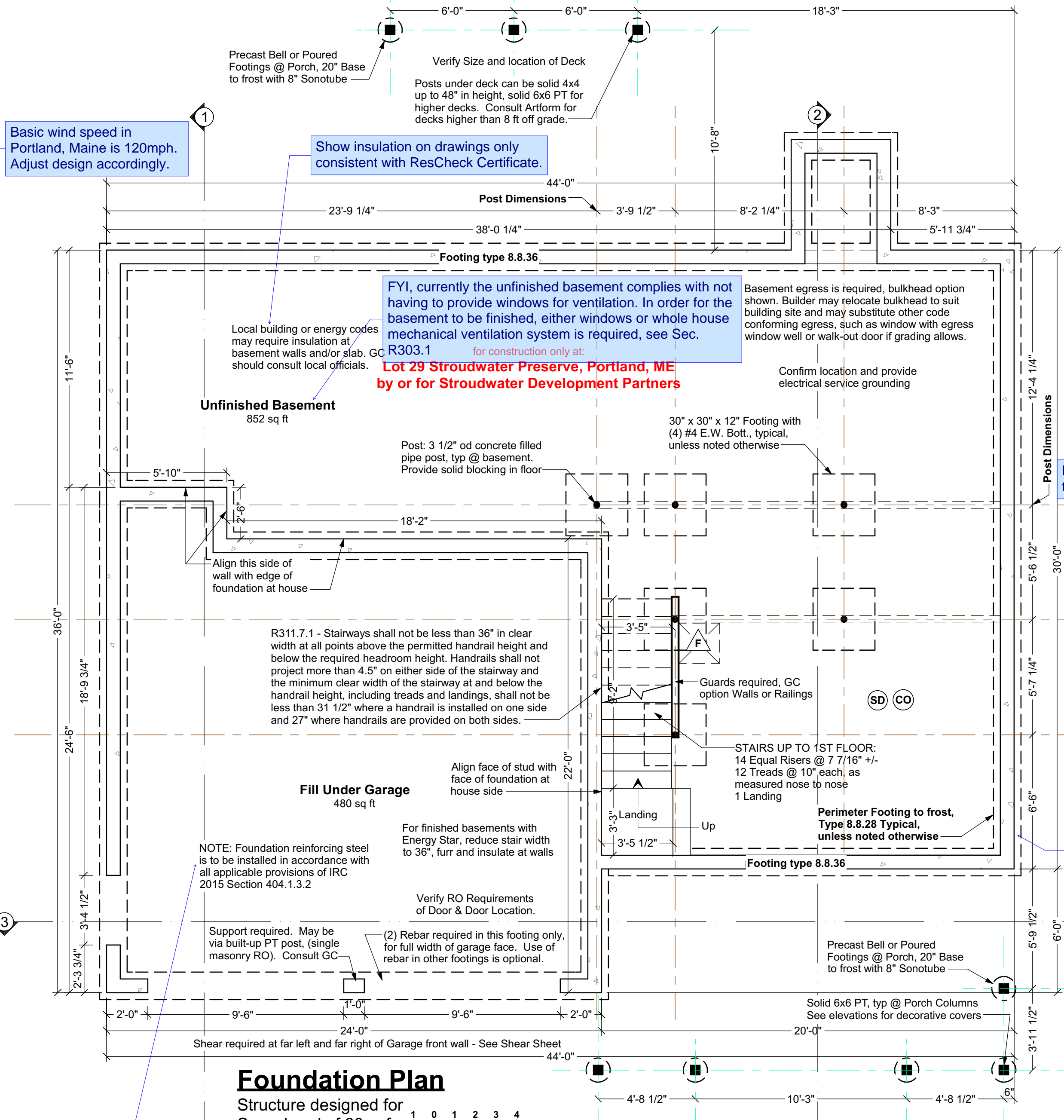
Foundations

1. No footing shall be poured on loose or unsuitable soils, in water or on frozen ground.
2. All exterior footings to conform to all applicable code requirements for frost protection.
3. All concrete shall have a minimum compressive strength of at least 3000 PSI at 28 days.
4. Foundation anchorage to comply with IRC 2015 Section R403.1.6, it shall consist of minimum size 1/2" diameter anchor bolts with 3/16" x 2" x 2" washers at a maximum of 72" oc for two stories or 48" oc for more than two stories, max of 12" from each corner, min of 2 bolts per wall. Anchor bolt shall extend 7" into concrete or grouted cells of concrete masonry units. Be aware that a garage under may be counted by your code officer as a story. Additional anchorage may be required at braced walls.

Wood Framing

1. All structural wood shall be identified by a grade mark or certificate of inspection by a recognized inspection agency.
2. Structural wood shall be Spruce-Pine-Fir (SPF) #2 or better.
3. When used, LVL or PSL indicate Laminated Veneer Lumber or Parallel Strand Lumber, respectively. Products used shall equal or exceed the strength properties for the size indicated as manufactured by TrusJoist.
4. When used, AJS indicates wood I-joists as manufactured by Boise Cascade. Products of alternate manufacturers may be substituted provided they meet or exceed the strength properties for the member specified.
5. All floor joists shall have bridging installed at mid-span or at 8'-0" oc maximum.
6. Floor systems are designed for performance with subfloor glued and screwed.
7. At posts, provide solid framing/blocking to supports below. Provide minimum 1 1/2" bearing length for all beams and headers, unless noted otherwise.
8. All wood permanently exposed to the weather, in contact with concrete or in contact with the ground shall meet code requirements for wood in these environments.
9. Deck ledgers shall be securely attached to the structure and/or independently supported, including against lateral movement, per building code requirements and best practices. Unless otherwise noted, decks shall have solid 4x4 pt posts up to 6 ft above grade, and solid 8x8 for heights above that.
10. Wherever beams are noted as Flush framed, install joint hangers at all joists, sized appropriately for the members being connected.
11. Support the lower end of roof beams via minimum 2" horizontal bearing on a post, ledger or via an appropriately sized and configured hanger.
12. Where multiple beams are supported on one post, provide min 2" bearing for each, via either appropriately sized post cap or additional post(s).
13. Hangers, post caps, ties and other connectors shall be as manufactured by Simpson Strong Tie, as designed to connect the members shown, and shall be installed per manufacturer's instructions.

General notes stating elements will be to code are insufficient. Specific information relevant to this dwelling unit/site is required.



Foundation Contractor Check List

Confirm or review the following prior to forming & pouring foundation

Initials Date Checked

- _____ Confirmed soil bearing
- _____ Checked w/GC for added foundation steps to suit grade
- _____ Confirm sill plate thickness (foundation bolts to extend through all)
- _____ Confirmed garage door size
- _____ Checked w/GC for added basement windows
- _____ Checked w/GC for added basement man doors
- _____ Confirmed sizes & locations mech/plbg penetrations
- _____ Confirmed sizes and locations of beams w/GC, added or adjusted beam pockets
- _____ Confirmed location and installed electrical service grounding - See GC for location

TYPICAL PERIMETER FOUNDATION WALL:

- 8" poured concrete, 8 ft forms, min 7'-10" finished, with total of 3 rebar, as follows:
- (1) #4 rebar, 4" from top
- (1) #4 rebar @ vertical midpoint. Omit this rebar at walls 4 ft high or less.
- (1) #4 rebar, min 3" from bottom or per code
- Lap corners & splices of rebar per code.
- Secure sill to foundation with 1/2" diameter anchor bolts that extend 7" into concrete and tightened with a nut and washer @ 6' oc & max 12" from each corner & each end @ wood sill splices - if built-up sill, bolts must extend through all sill plates or straps must secure all sill plates.

TYPICAL PERIMETER FOOTING:

1. Verify that depth of home matches chart. Depth is foundation dimension eave to eave. Contact Artform Home Plans if you believe the chart does not match the plan.
 2. Select column for snow load shown on the structural plans.
 3. Select soil bearing pressure based on soil type and/or consultation with code officer.
 4. The required footing size is at the intersection of the Snow Load and Soil PSI. Rebar is not required. Key or pin foundation wall to footing per code. For the purposes of permitting, soil bearing for New England is assumed to be 2,000 PSI.
- FAQ - Adding rebar to footings does not reduce the required width. Rebar affects performance with earth movement, like an earthquake and has near zero effect on bearing capacity.

Guide to Soil PSI

3,000	Sandy gravel and/or gravel (GW and GP)
2,000	Sand, silty sand, clayey sand, silty gravel and clayey gravel (SW, SP, SM, SC, GM and GC)
1,500	Clay, sandy clay, silty clay, clayey silt, silt and sandy silt (CL, ML, MH and CH)

Footing Size Type 8.8.28	Snow Load				
	50	60	70	80	
up to 28 ft plan depth 8 ft nominal basement height 8" foundation wall Full basement plus 2 stories	3,000	16" x 8"	16" x 8"	16" x 8"	16" x 8"
Soil PSI	2,000	18" x 8"	18" x 8"	18" x 8"	20" x 8"
	1,500	22" x 8"	22" x 8"	24" x 8"	24" x 8"

Footing Size Type 8.8.36	Snow Load				
	50	60	70	80	
33-36 ft plan depth 8 ft nominal basement height 8" foundation wall Full basement plus 2 stories	3,000	16" x 8"	16" x 8"	16" x 8"	16" x 8"
Soil PSI	2,000	20" x 8"	20" x 8"	22" x 8"	24" x 8"
	1,500	26" x 8"	28" x 8"	30" x 8"	30" x 8"

Foundation Plan

Structure designed for Snow Load of 60 psf

MINIMUM VERTICAL REINFORCEMENT FOR 8-INCH (203MM) NOMINAL FLAT CONCRETE BASEMENT WALL

MAXIMUM UNSUPPORTED WALL HEIGHT (feet)	MAXIMUM UNBALANCED BACKFILL HEIGHT (feet)	MINIMUM VERTICAL REINFORCEMENT - BAR SIZE AND SPACING (inches)		
		Soil classes and design lateral soil (psf per foot of depth)		
		GW, GP, SW, SP 30	GM, GC, SM, SM-SC and ML 45	SC, ML-CL and Inorganic CL 60
8	4	NR	NR	NR
	5	NR	NR	NR
	6	NR	NR	6 @ 37
	7	NR	6 @ 36	6 @ 35
	8	6 @ 41	6 @ 35	6 @ 26

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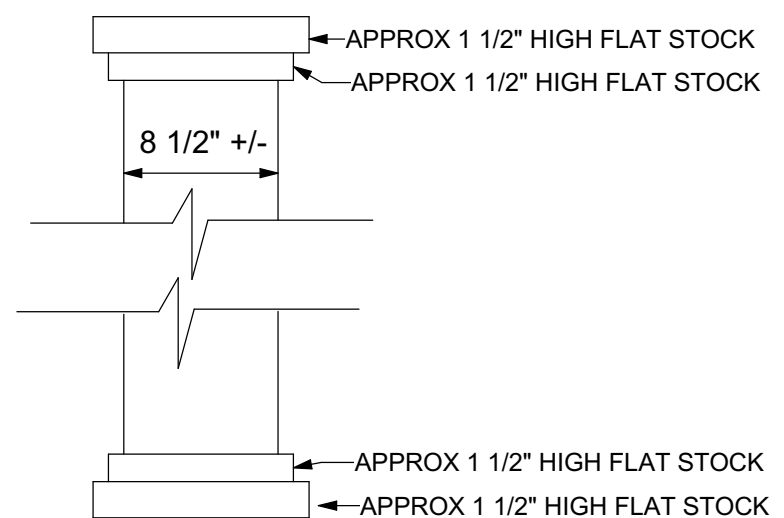
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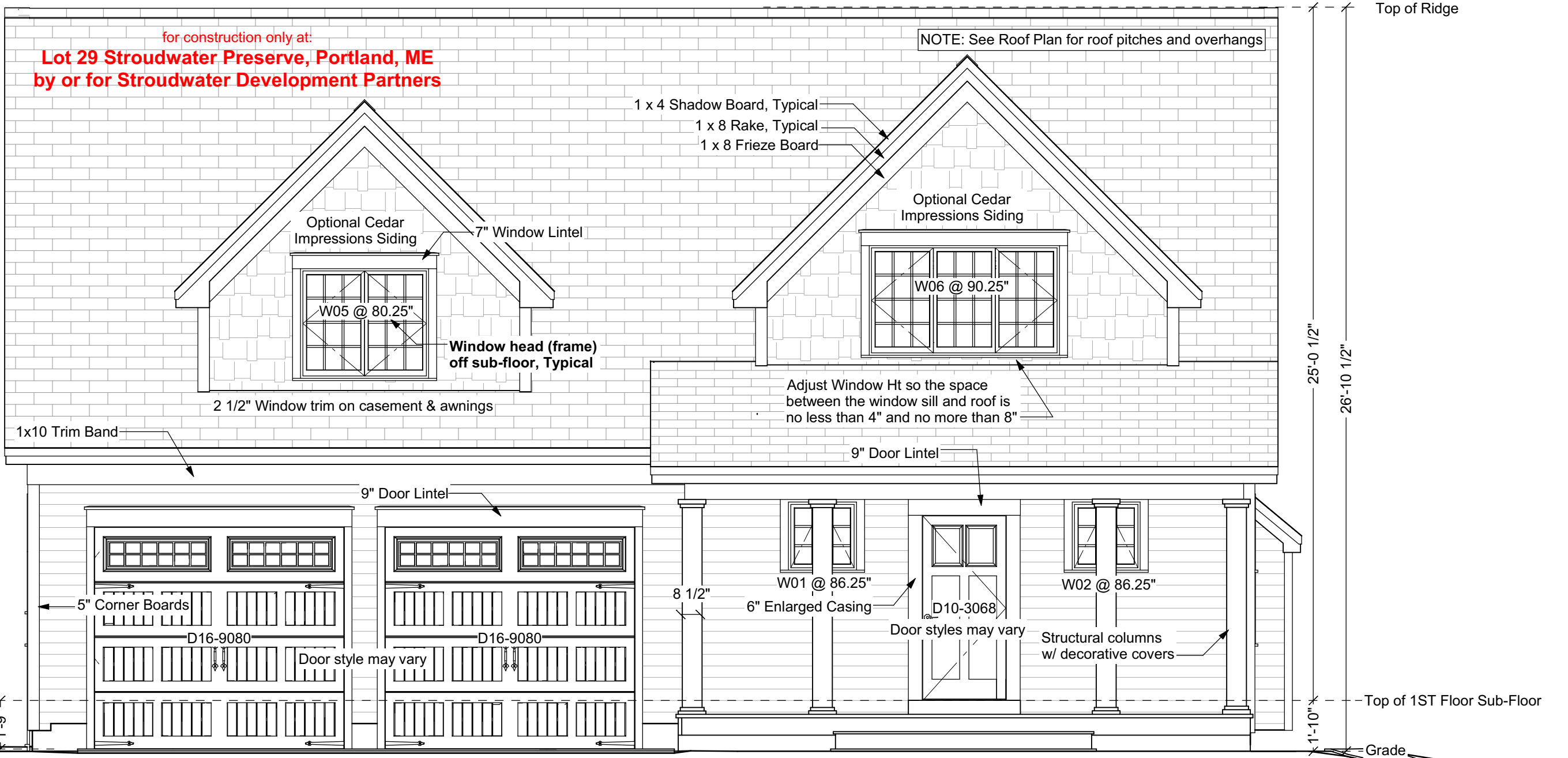
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Column Detail

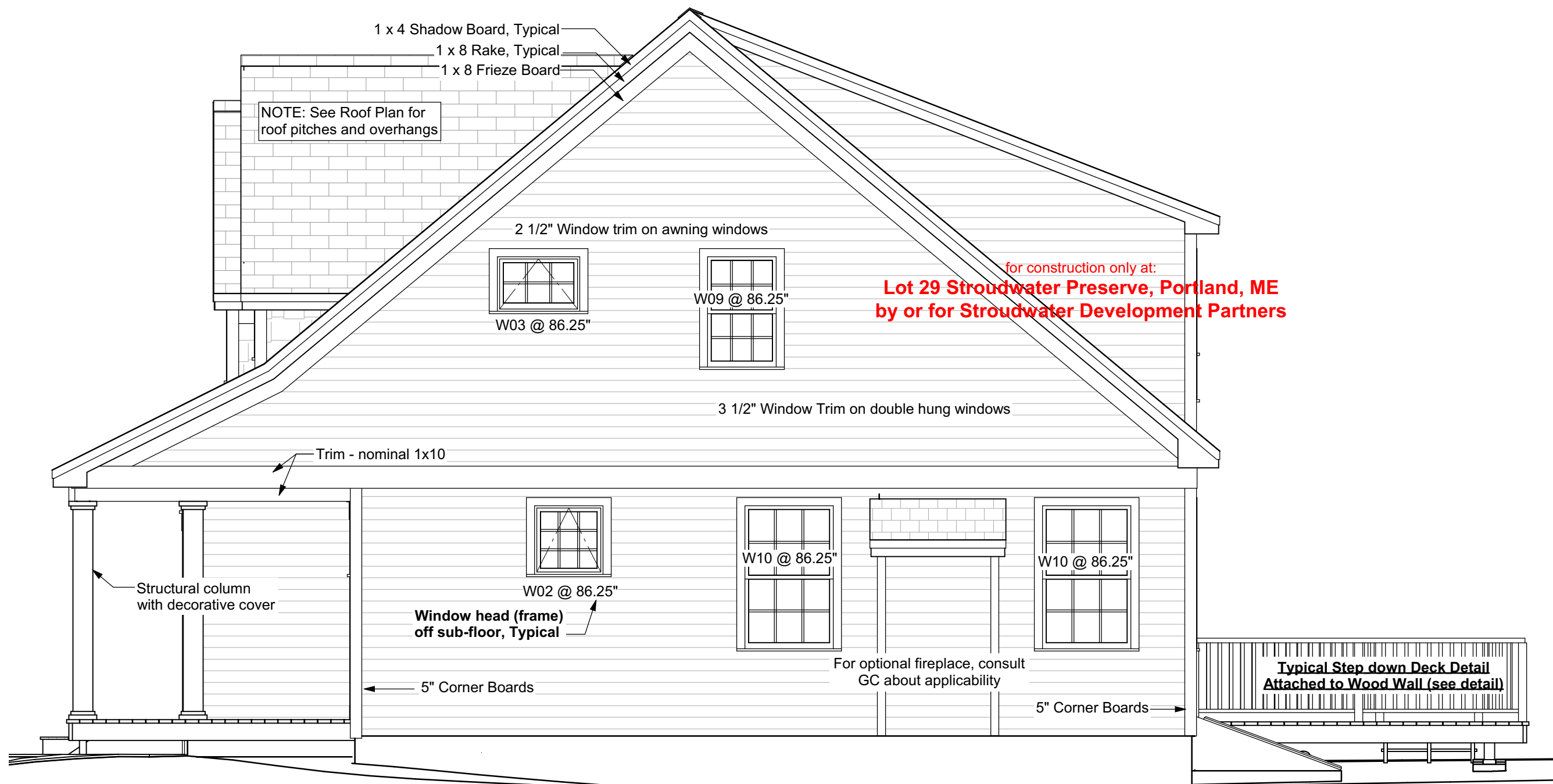


Garage slab height may vary. If garage slab height is lower than shown, consult Artform for aesthetic direction. Taller garage doors, transoms, lintels and/or additional frieze boards may be required to achieve desired look.

Not shown - number of steps may vary - handrail may be required per code.

Front Elevation

Note - Actual grade level may vary. Where zoning height restrictions apply, builder shall verify conformance. Manual markup of drawings to demonstrate compliance is recommended.



Foundation steps and/or use of cripple walls may be added to suit grade.

Right Elevation

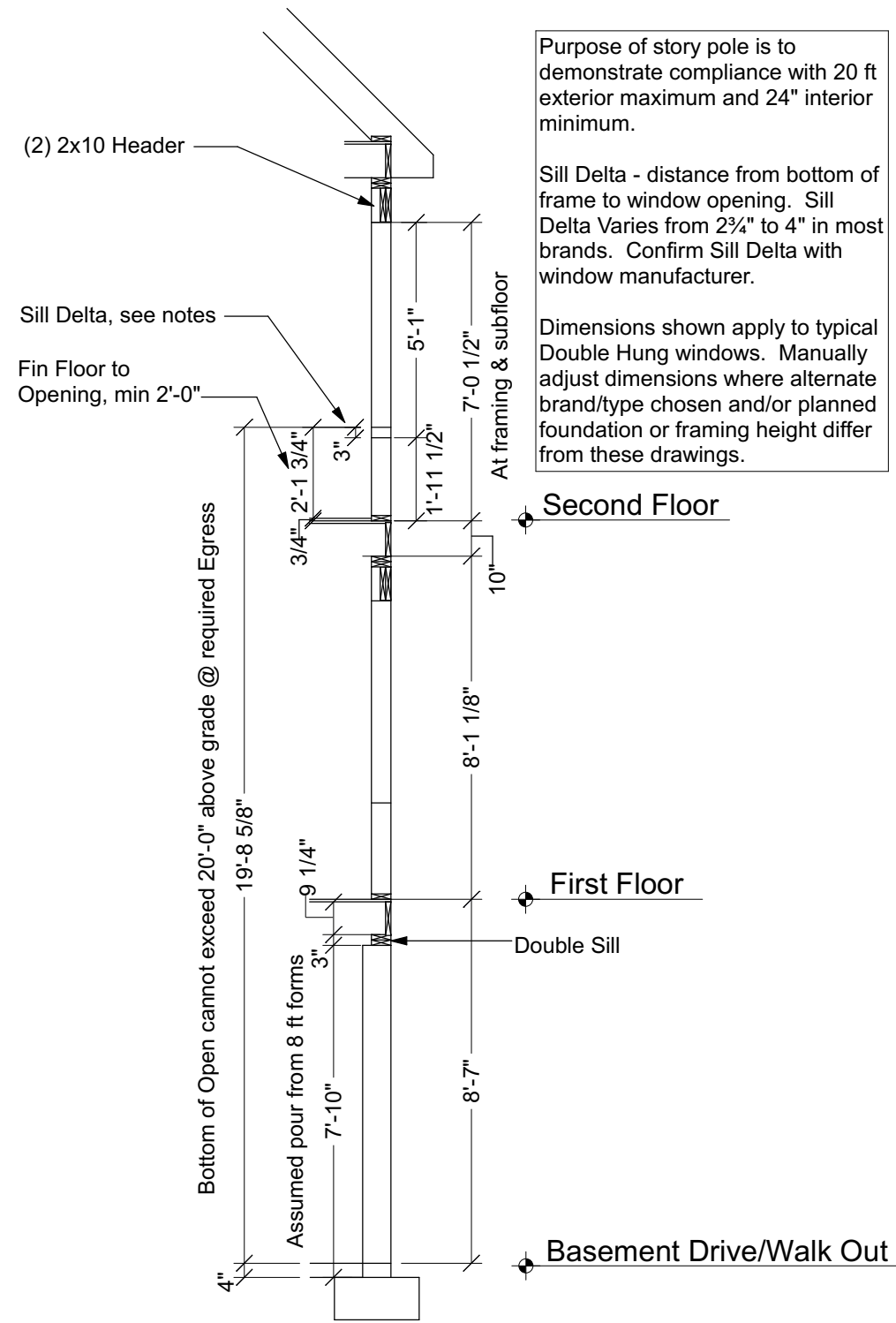
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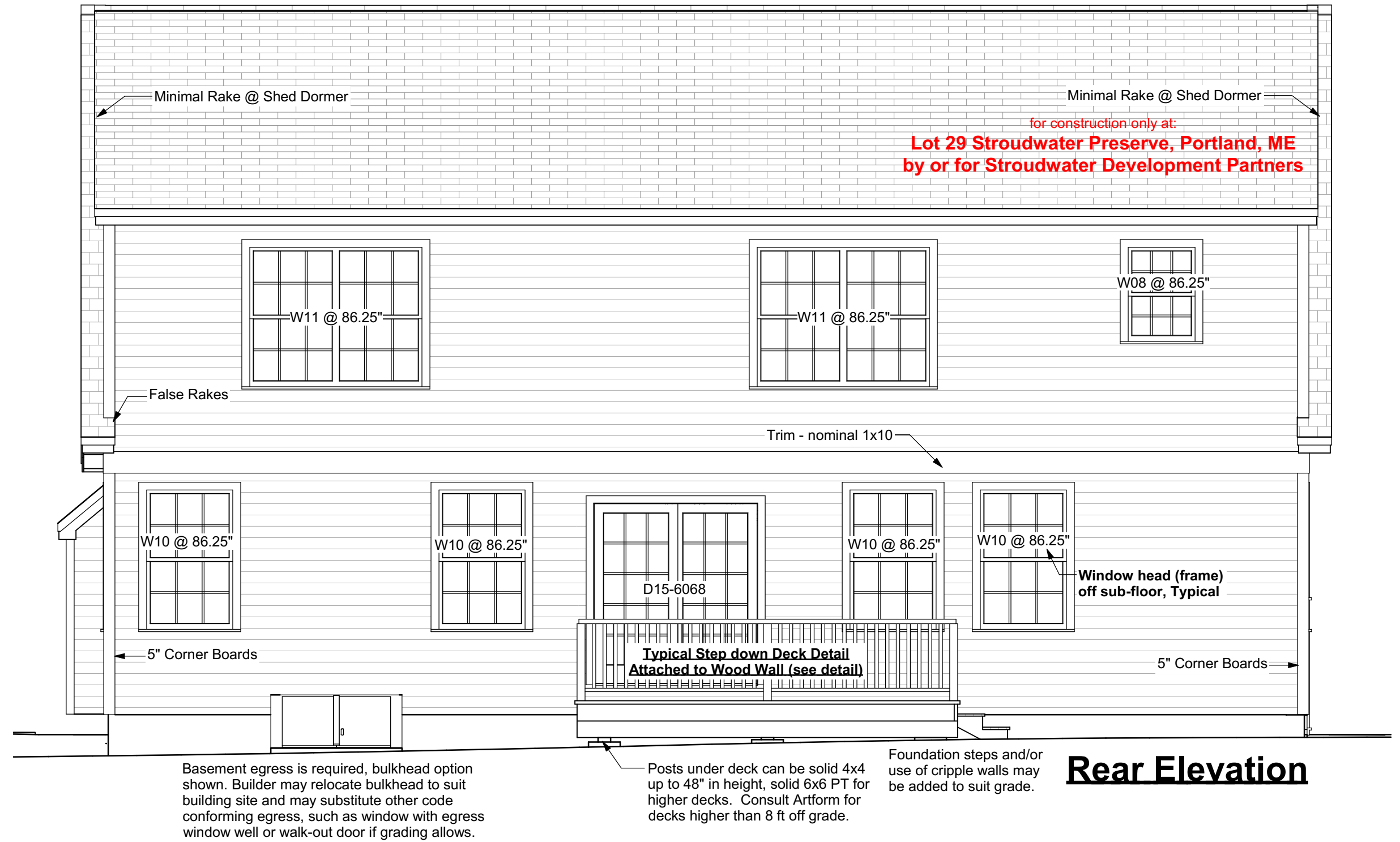
Purpose of story pole is to demonstrate compliance with 20 ft exterior maximum and 24\"/>

Sill Delta - distance from bottom of frame to window opening. Sill Delta Varies from 2 3/4\"/>

Dimensions shown apply to typical Double Hung windows. Manually adjust dimensions where alternate brand/type chosen and/or planned foundation or framing height differ from these drawings.

Window Story Pole

Scale 1/4"=1'-0"

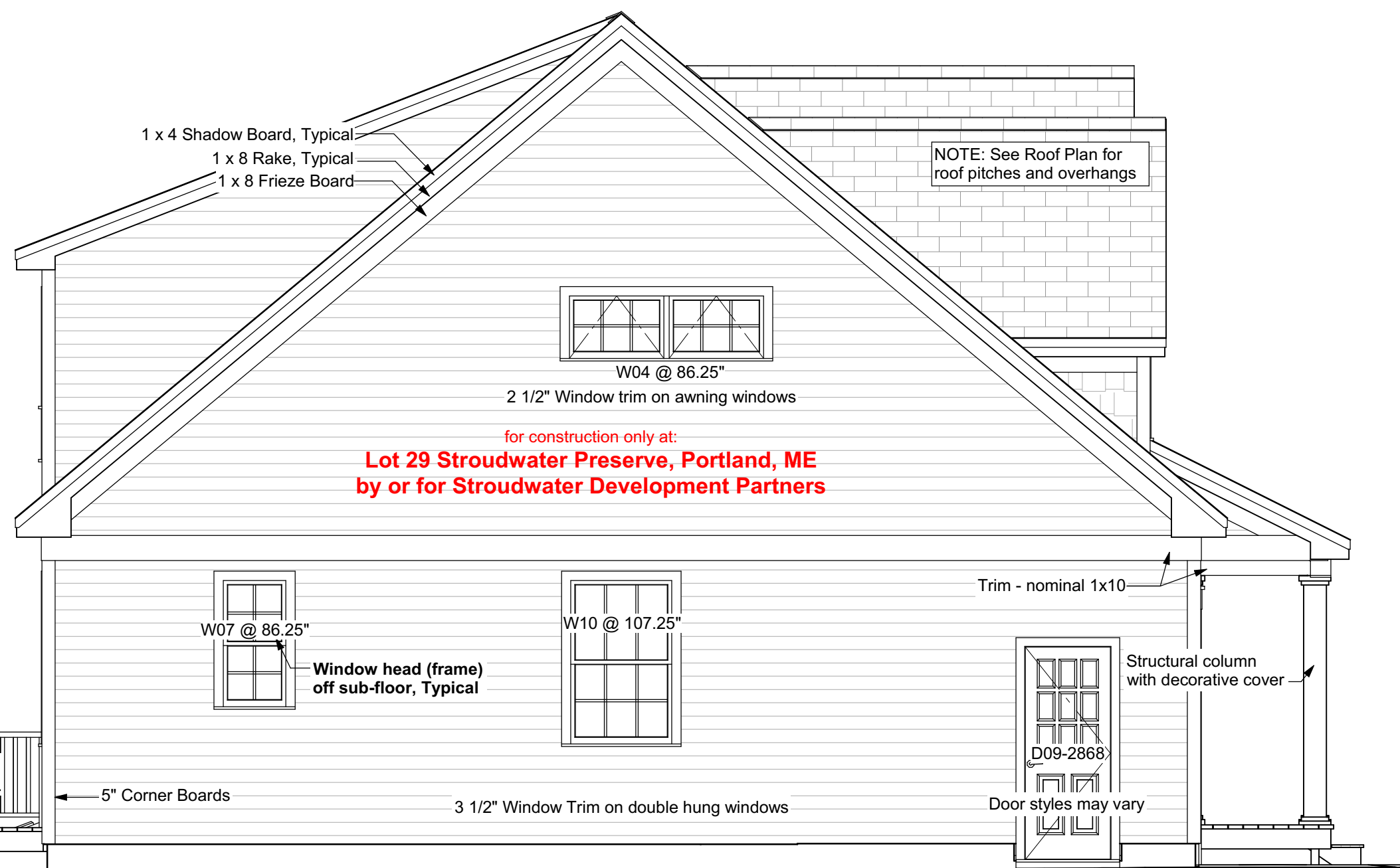


Rear Elevation

Basement egress is required, bulkhead option shown. Builder may relocate bulkhead to suit building site and may substitute other code conforming egress, such as window with egress window well or walk-out door if grading allows.

Posts under deck can be solid 4x4 up to 48\"/>

Foundation steps and/or use of cripple walls may be added to suit grade.



Left Elevation

Foundation steps and/or use of cripple walls may be added to suit grade.

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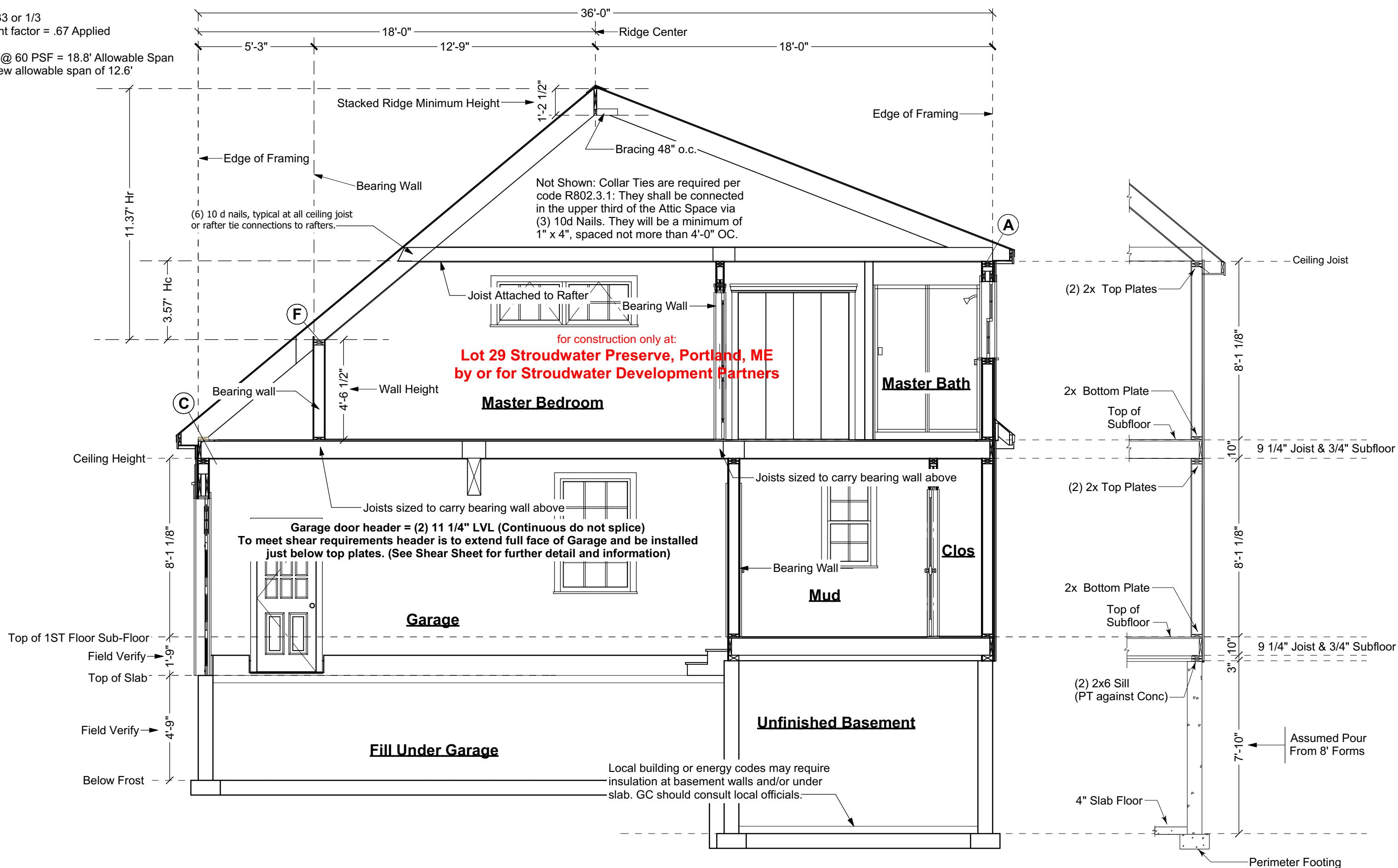
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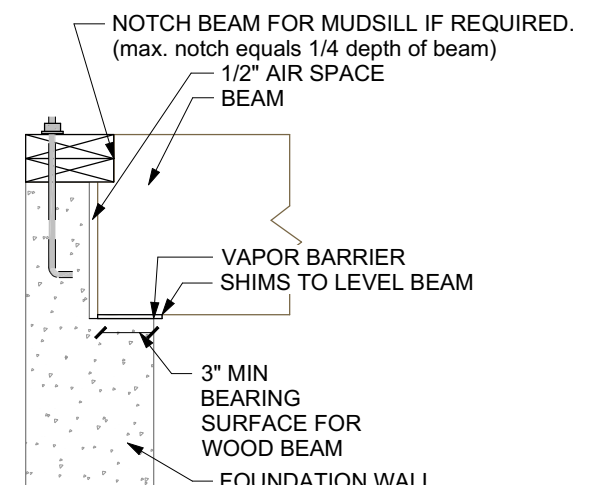
Rafter Adjustment:

Hc/Hr
3.57' / 11.37' = .33 or 1/3
Rafter adjustment factor = .67 Applied

2x12 @ 12" OC @ 60 PSF = 18.8' Allowable Span
18.8' x 0.67 = New allowable span of 12.6'

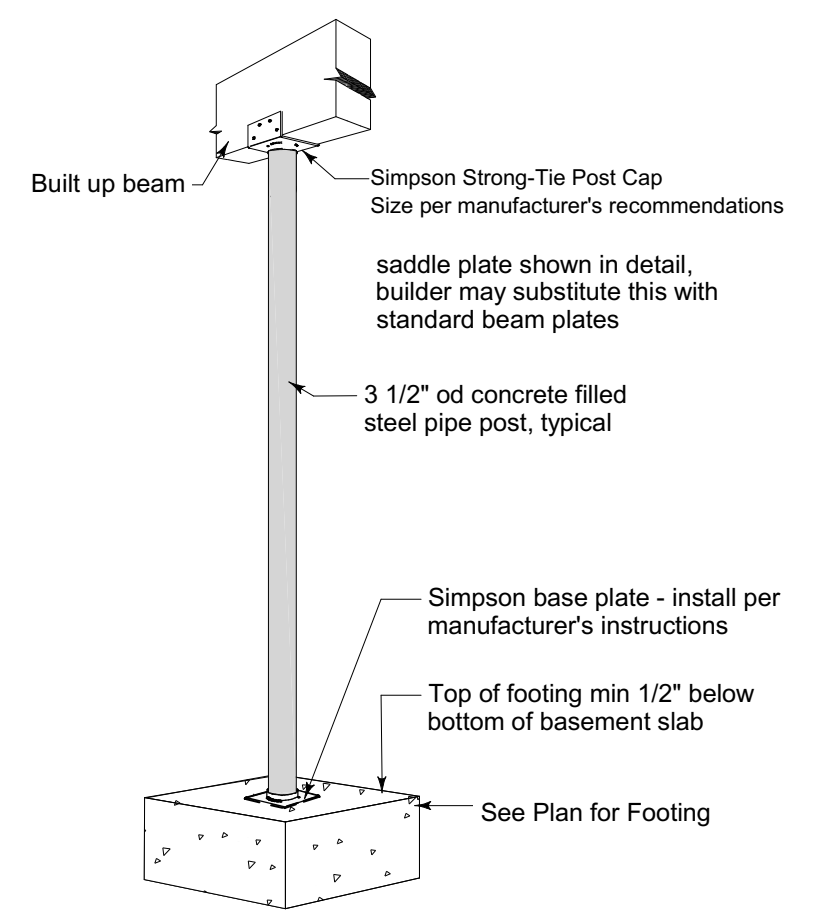


1 Cross Section @ Garage Gable End



Beam Pocket

Scale 1/2"=1'-0"



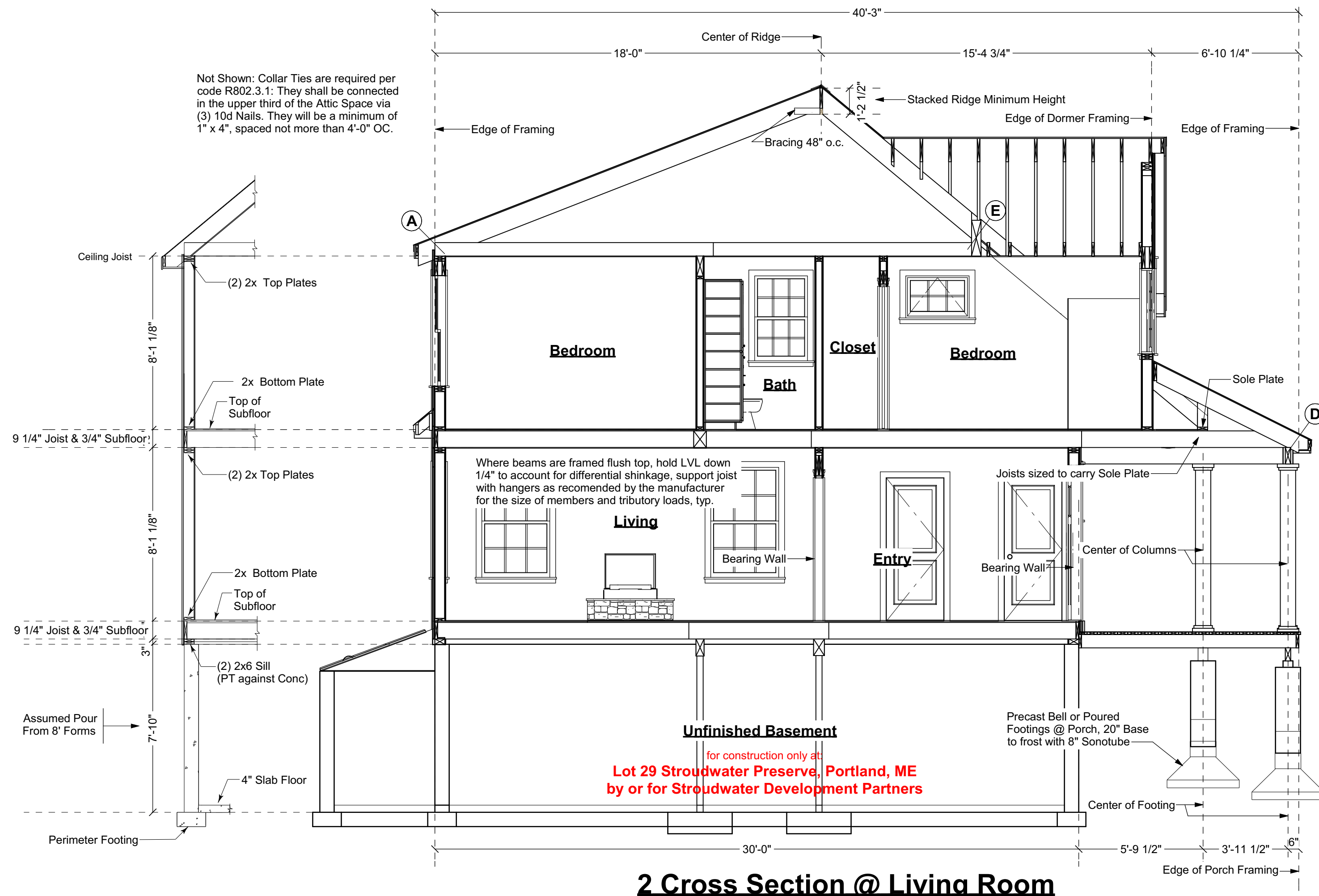
Typical Basement Post

Not to Scale

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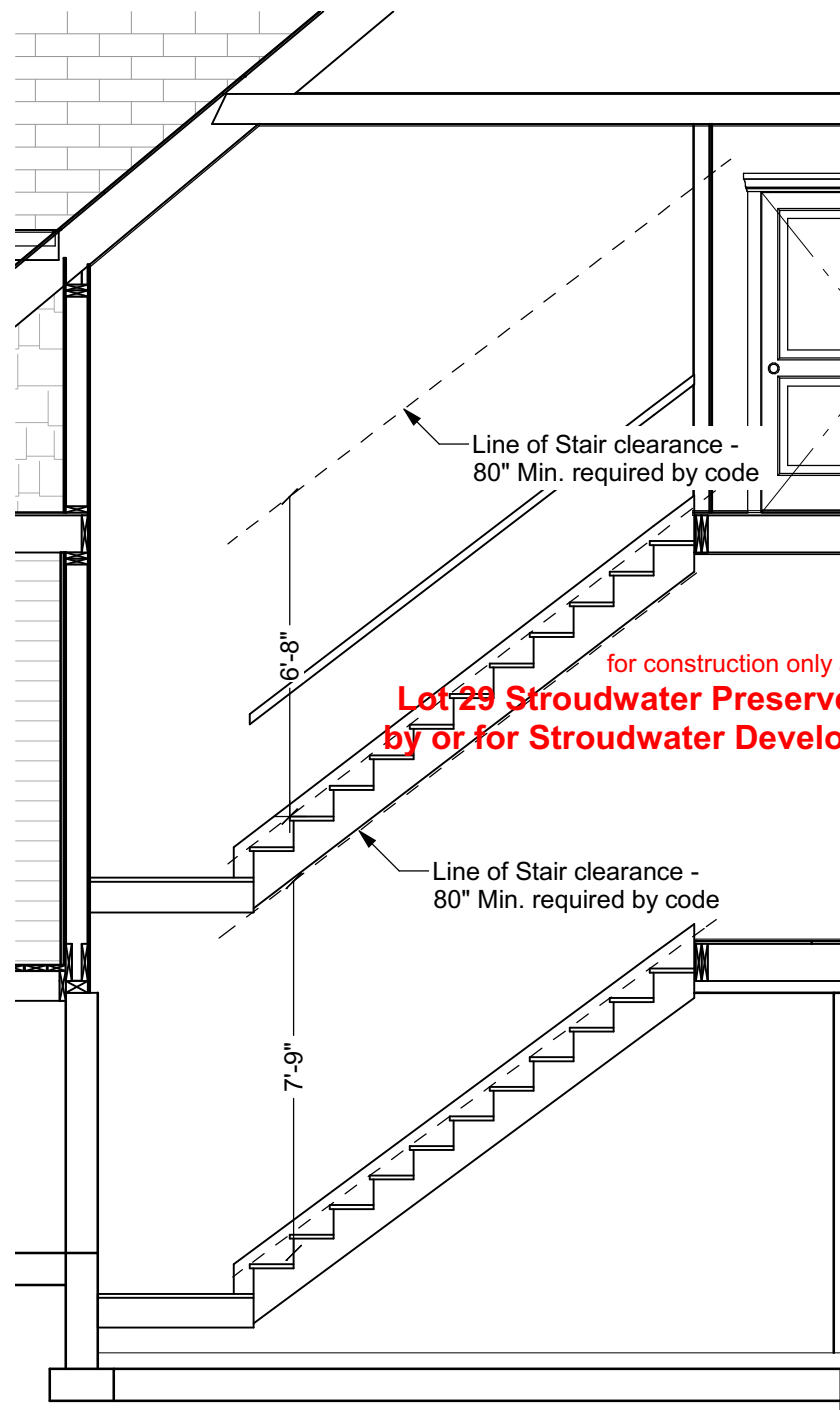
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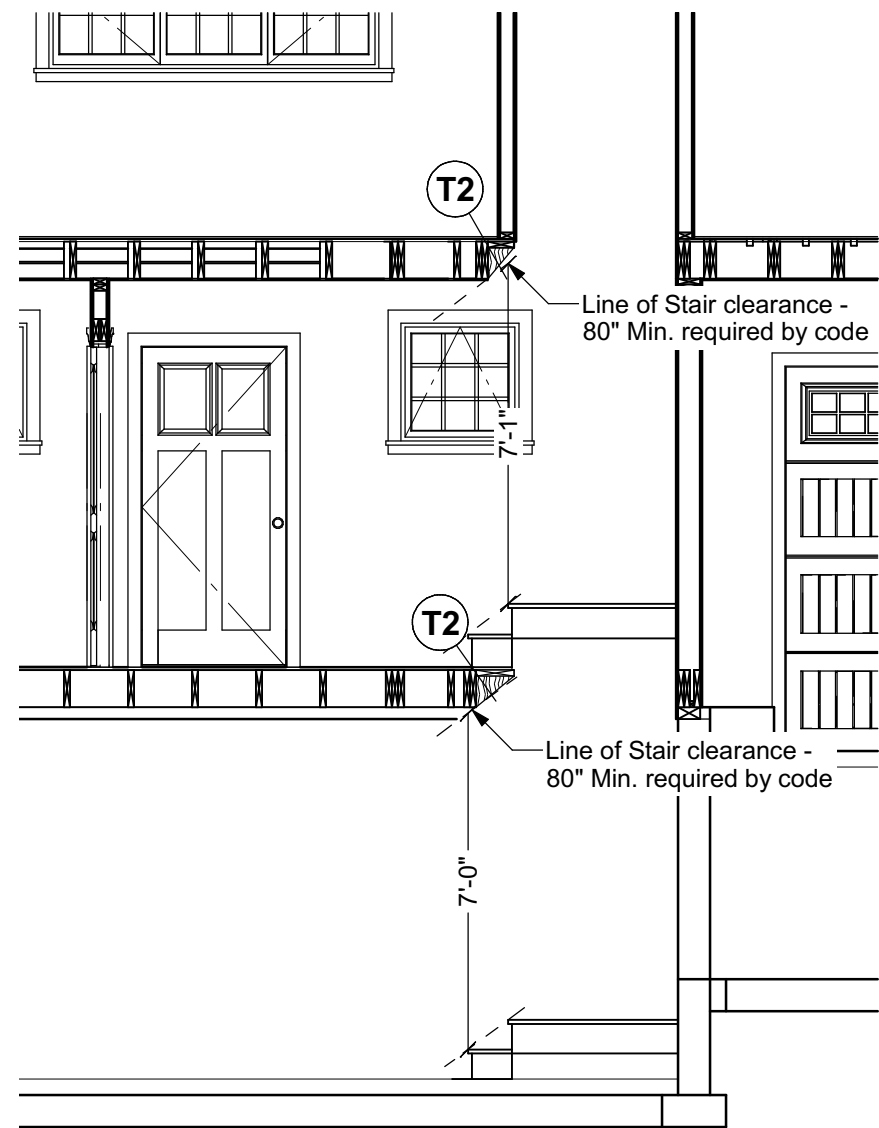
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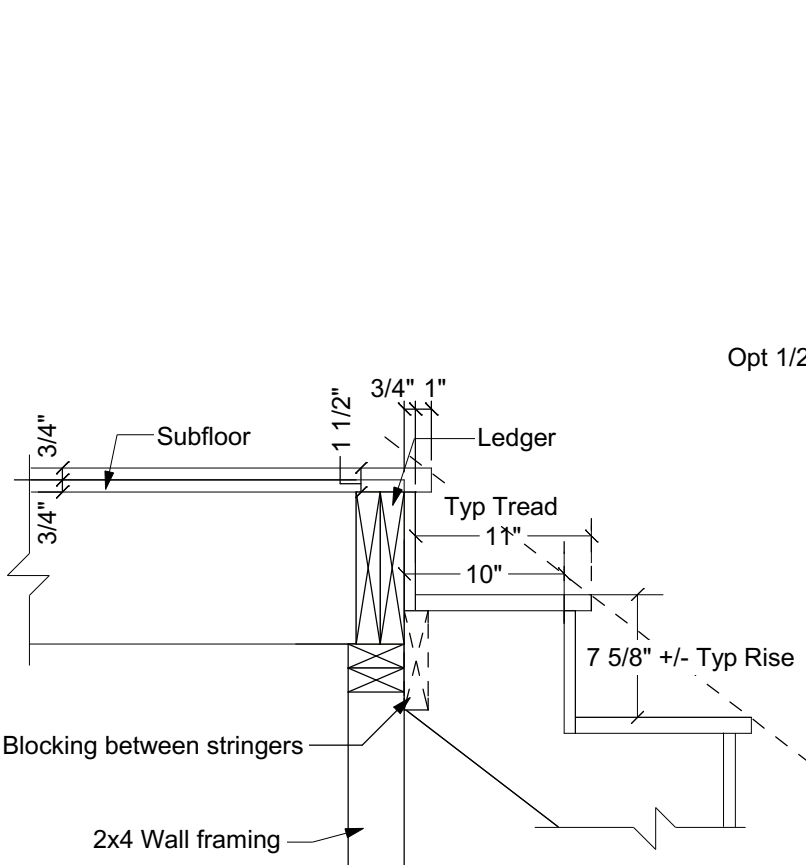
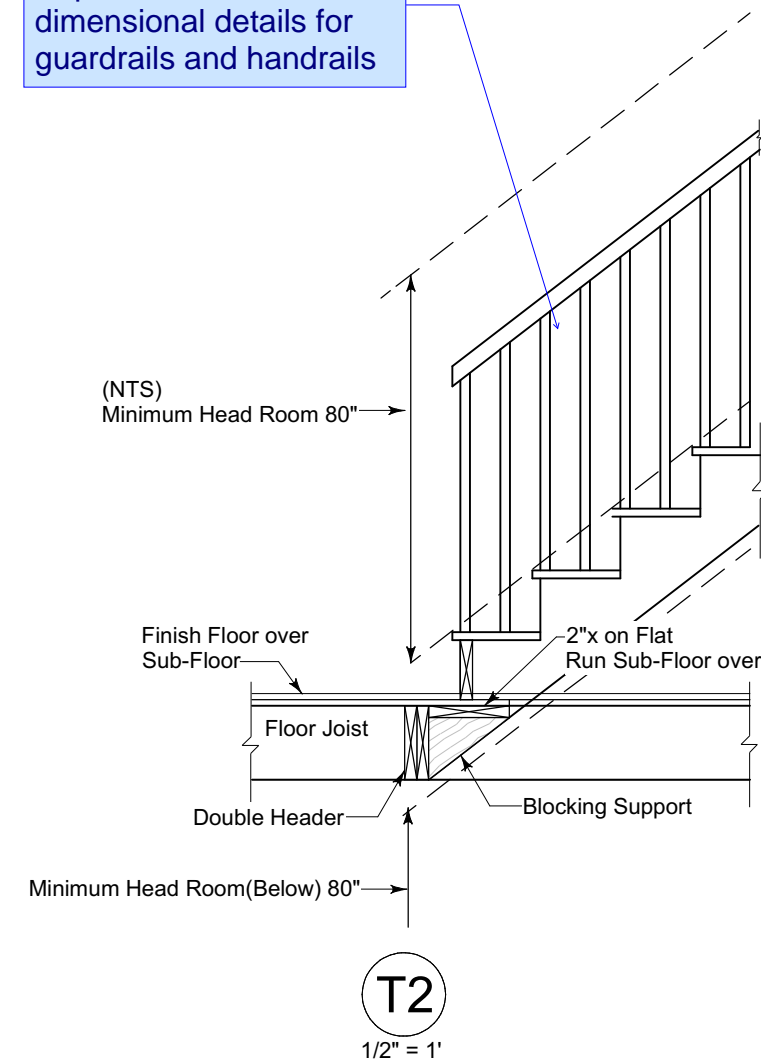


Line of Stair Clearance (Upper)



Line of Stair Clearance (Lower)

Provide code specific requirements and dimensional details for guardrails and handrails



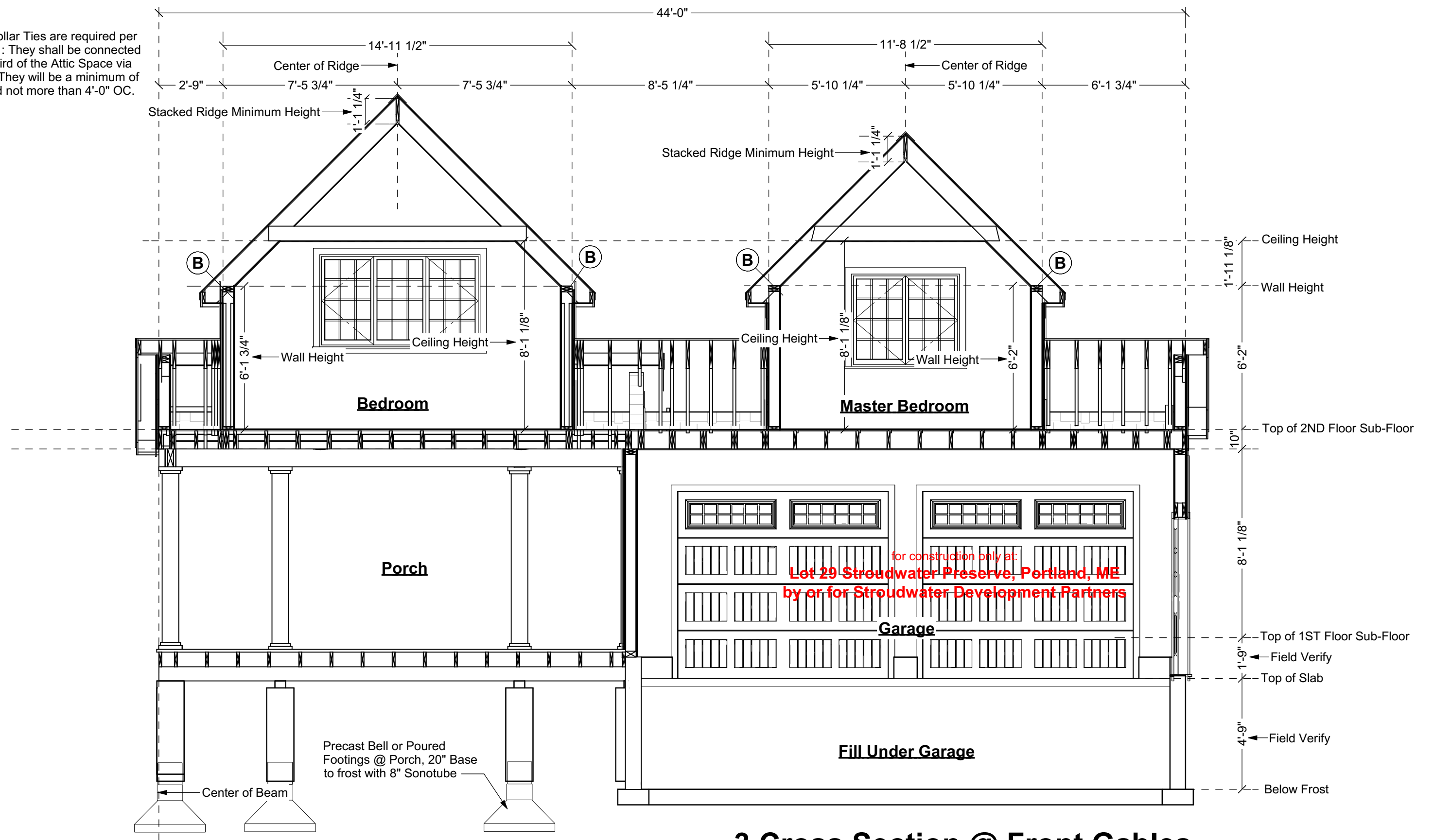
Detail shows assumptions used for framing plan RO
Framer may adjust to suit different head support methods

Top of Carriage (C)
Scale: 1" = 1'-0"

Detail shows assumptions used for framing plan RO
Framer may adjust to suit different head support methods

Top of Carriage (B)
Scale: 1" = 1'-0"

Not Shown: Collar Ties are required per code R802.3.1: They shall be connected in the upper third of the Attic Space via (3) 10d Nails. They will be a minimum of 1" x 4", spaced not more than 4'-0" OC.



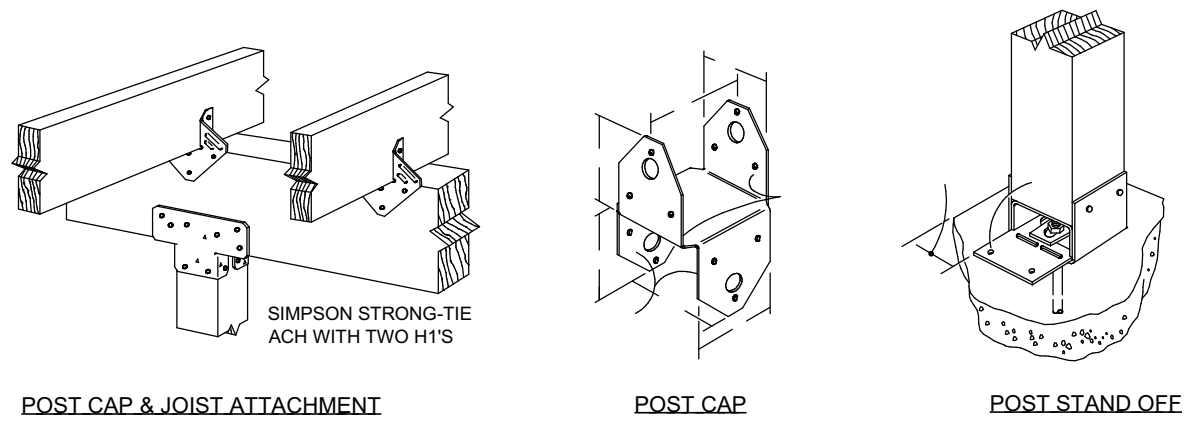
3 Cross Section @ Front Gables

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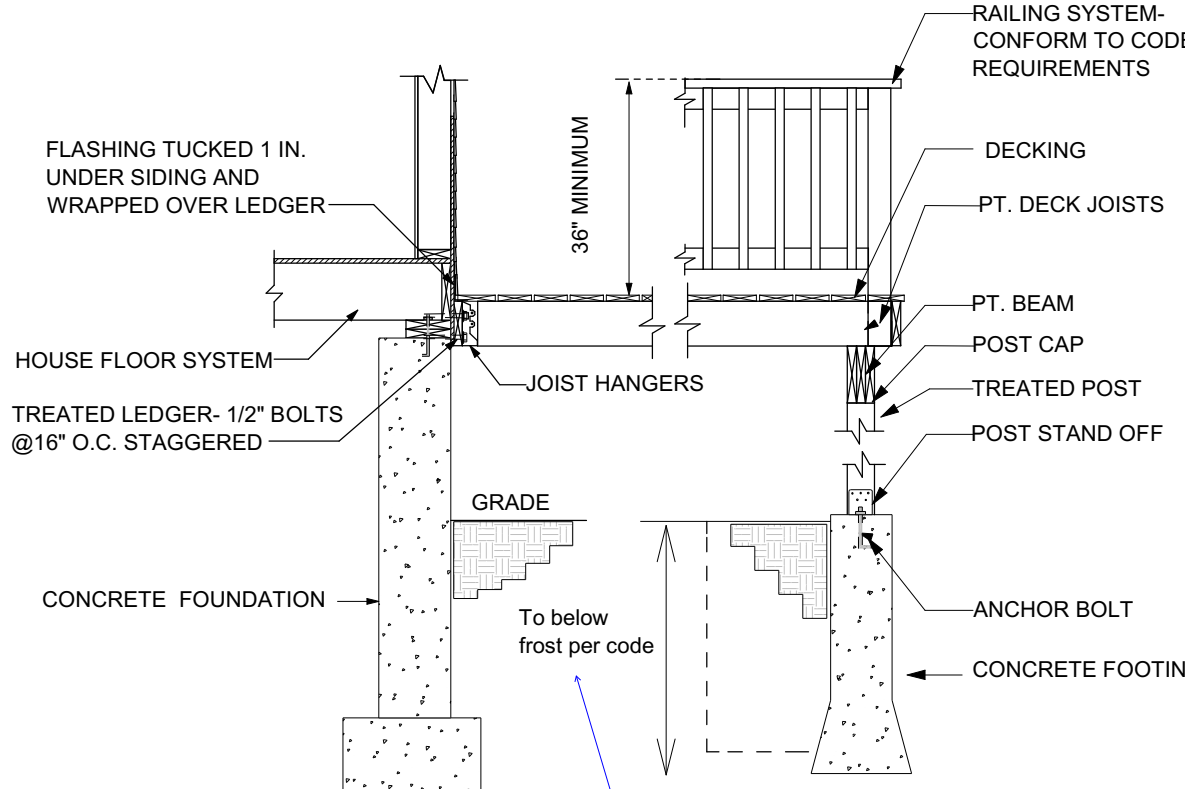
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POST CAP & JOIST ATTACHMENT POST CAP POST STAND OFF

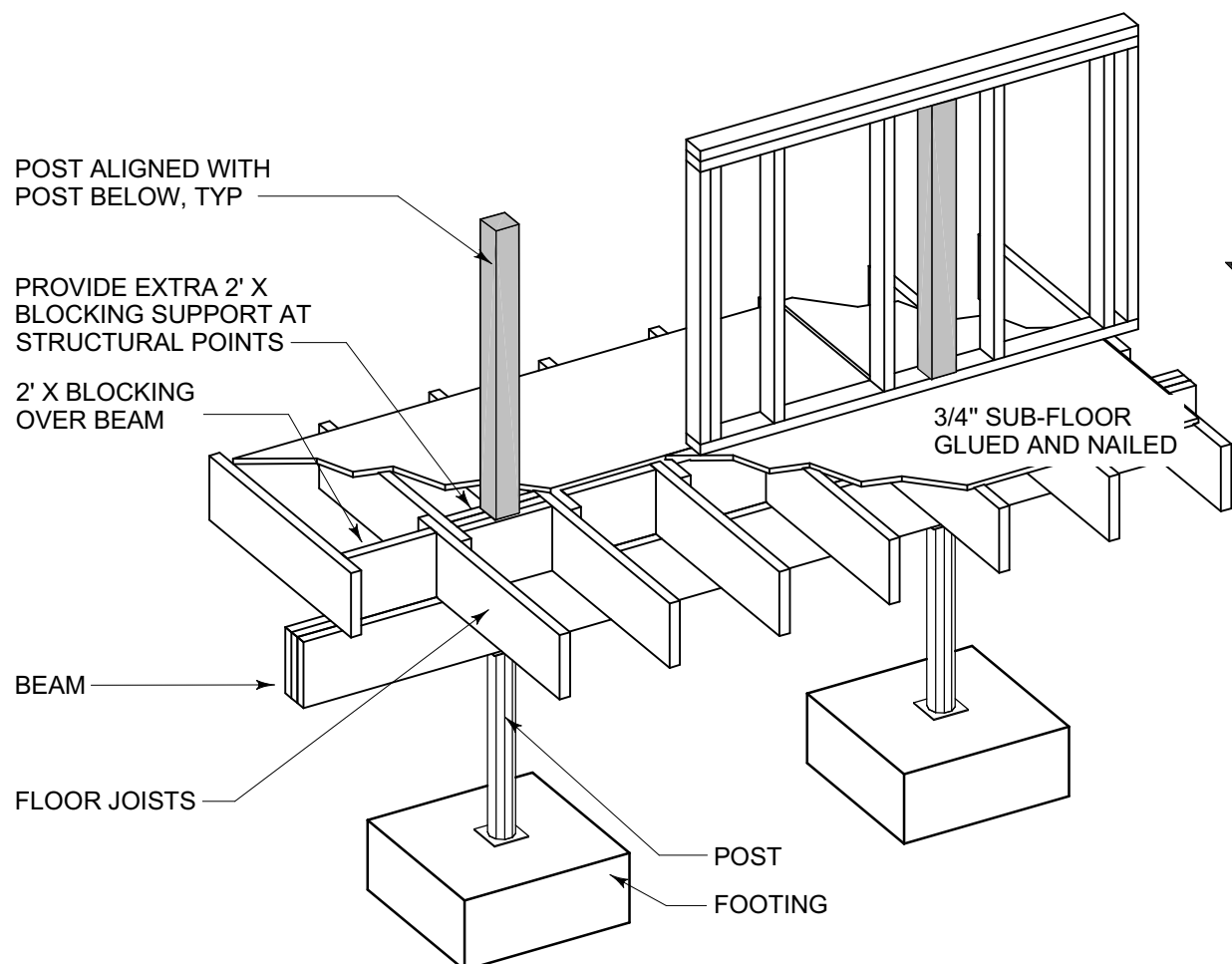


Typical Deck

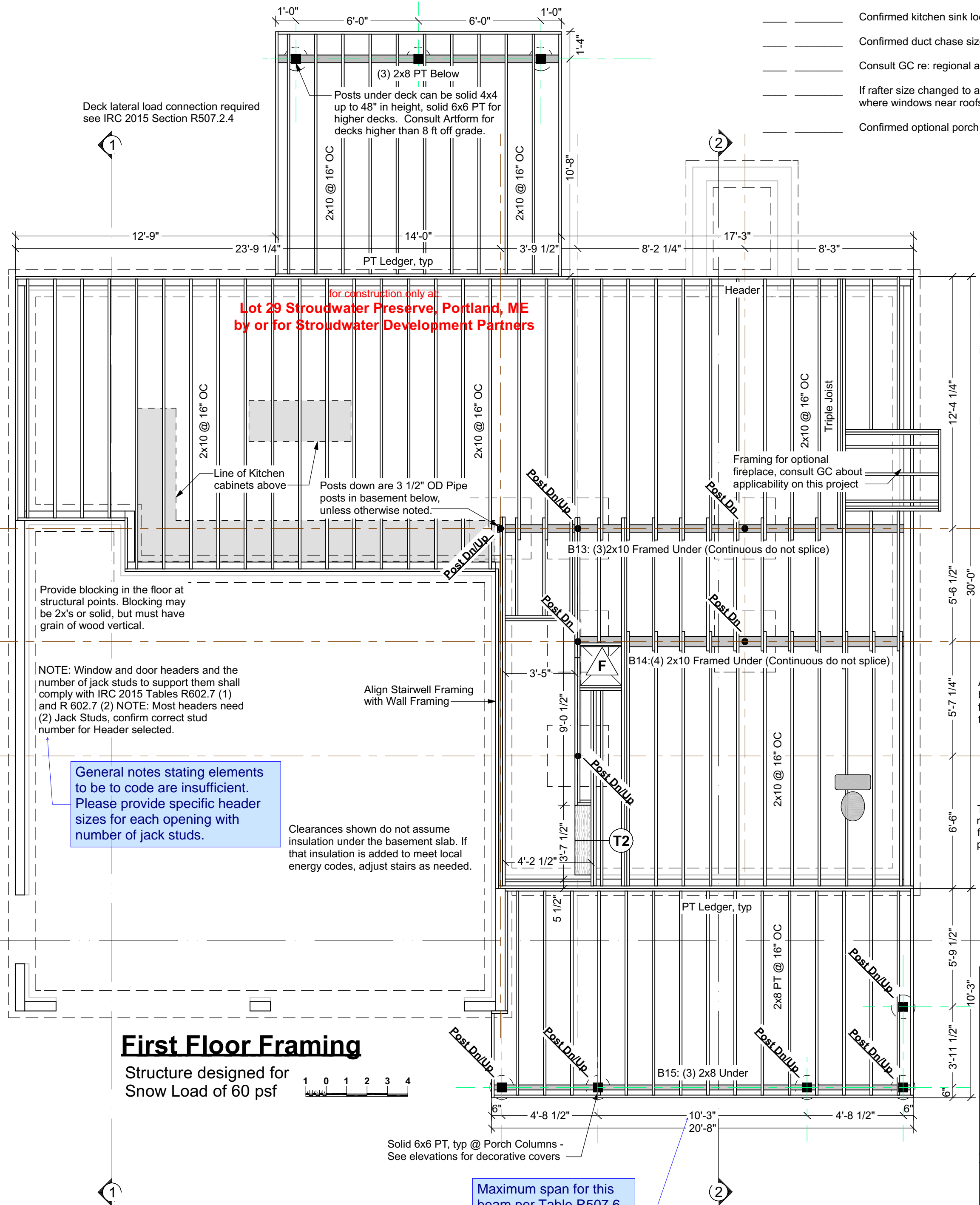
Not to Scale Show site specific frost depth on drawings (4'-0").

Follow manufacturer's instructions both for installation of joist hangers to joist and to beam. The illustration below, by Simpson Strong Tie, is provided as a courtesy. Consult their full manual for acceptable fastener sizes and other important instructions.

SHORT NAILS Do not use short (1 1/2") nails for double shear nailing.



Deck lateral load connection required see IRC 2015 Section R507.2.4



for construction only at: Lot 29 Stroudwater Preserve, Portland, ME by or for Stroudwater Development Partners

NOTE: Window and door headers and the number of jack studs to support them shall comply with IRC 2015 Tables R602.7 (1) and R 602.7 (2) NOTE: Most headers need (2) Jack Studs, confirm correct stud number for Header selected.

General notes stating elements to be to code are insufficient. Please provide specific header sizes for each opening with number of jack studs.

Clearances shown do not assume insulation under the basement slab. If that insulation is added to meet local energy codes, adjust stairs as needed.

First Floor Framing

Structure designed for Snow Load of 60 psf



Maximum span for this beam per Table R507.6 is 8'-6"

Framers Check List

Confirm or review the following prior to framing:

- Initials Date Checked
- _____ Framing Plans, floor plans, elevations & sections on-site & reviewed
- _____ Confirmed window brand and sizes, adjusted RO's
- _____ Confirmed kitchen sink location & assoc. window
- _____ Confirmed duct chase sizes
- _____ Consult GC re: regional adjustments to framing member sizes per lumber yard calculations
- _____ If rafter size changed to accommodate snow load different, reviewed details, particularly where windows near roofs, for needed adjustments
- _____ Confirmed optional porch and/or deck sizes

NOTE: Our beams sizes often differ from prescriptive code, because our designs are rarely the old style box colonial or cape with a center bearing wall upon which prescriptive code is based. We size our beams via calculations for this specific design, which may carry those loads separately via second floor beams and/or roof transfer beams. Beam sizes may not be reduced or alternates substituted without our express permission. In states where the designer is a licensed architect, (NH, MA, ME & NY as of the date of issue) we are happy to stamp our drawings at no additional charge. In other states we are happy to provide calculations. Administration fees apply with provision of calculations. Code officer is encouraged to call with any questions about our methodology.

Provide a structural design report for each manufactured beam showing beam span with site specific applied loads and approved beam size, posts and connections. Or, provide stamp on plans by a State of Maine registered structural engineer.

Assess clearance between bottom of beams and basement slab prior to framing. Flush frame beams if required to provide minimum of 81" clearance.

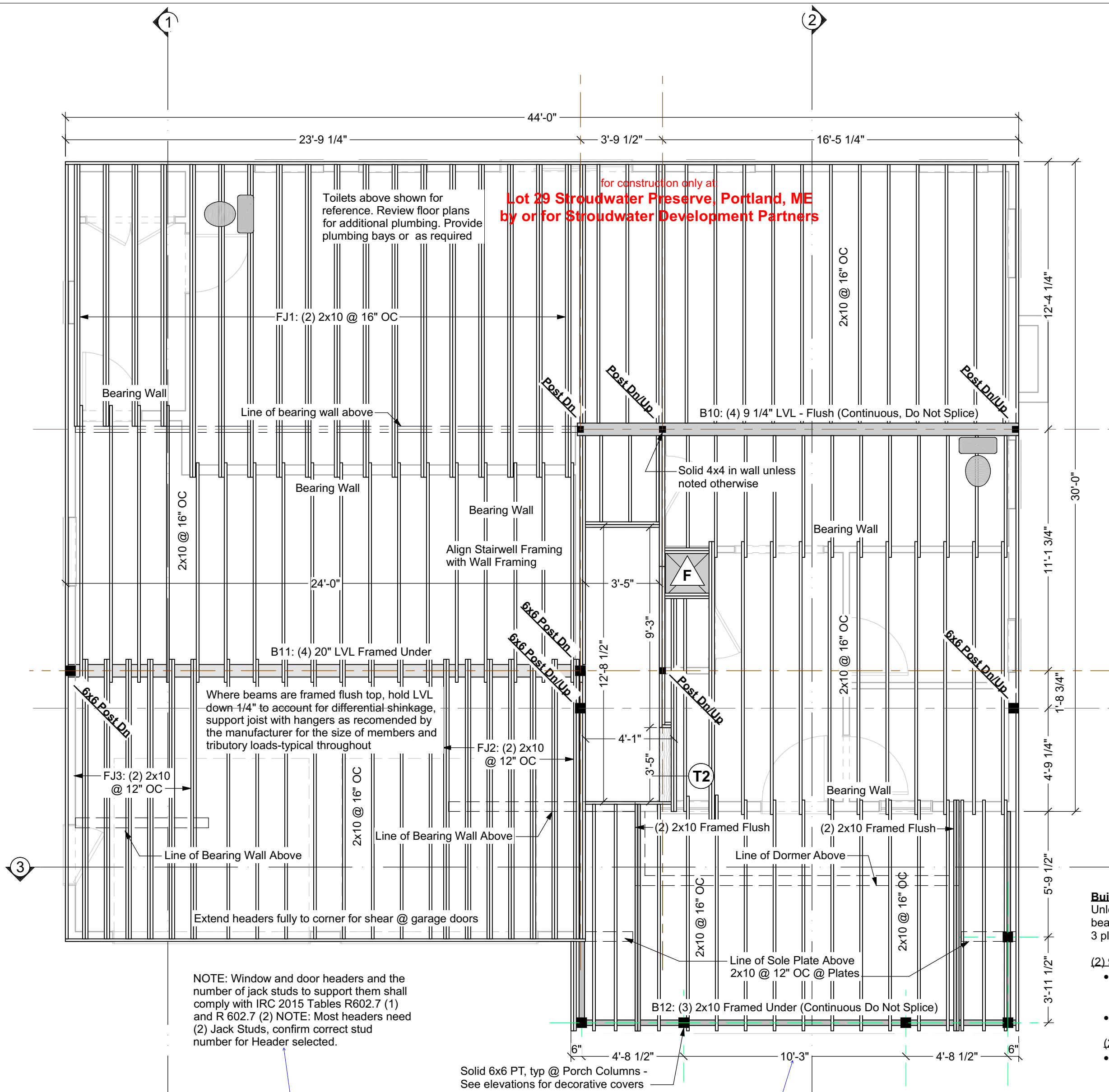
Toilets above shown for reference. Review floor plans for additional plumbing. Provide plumbing bays or as required

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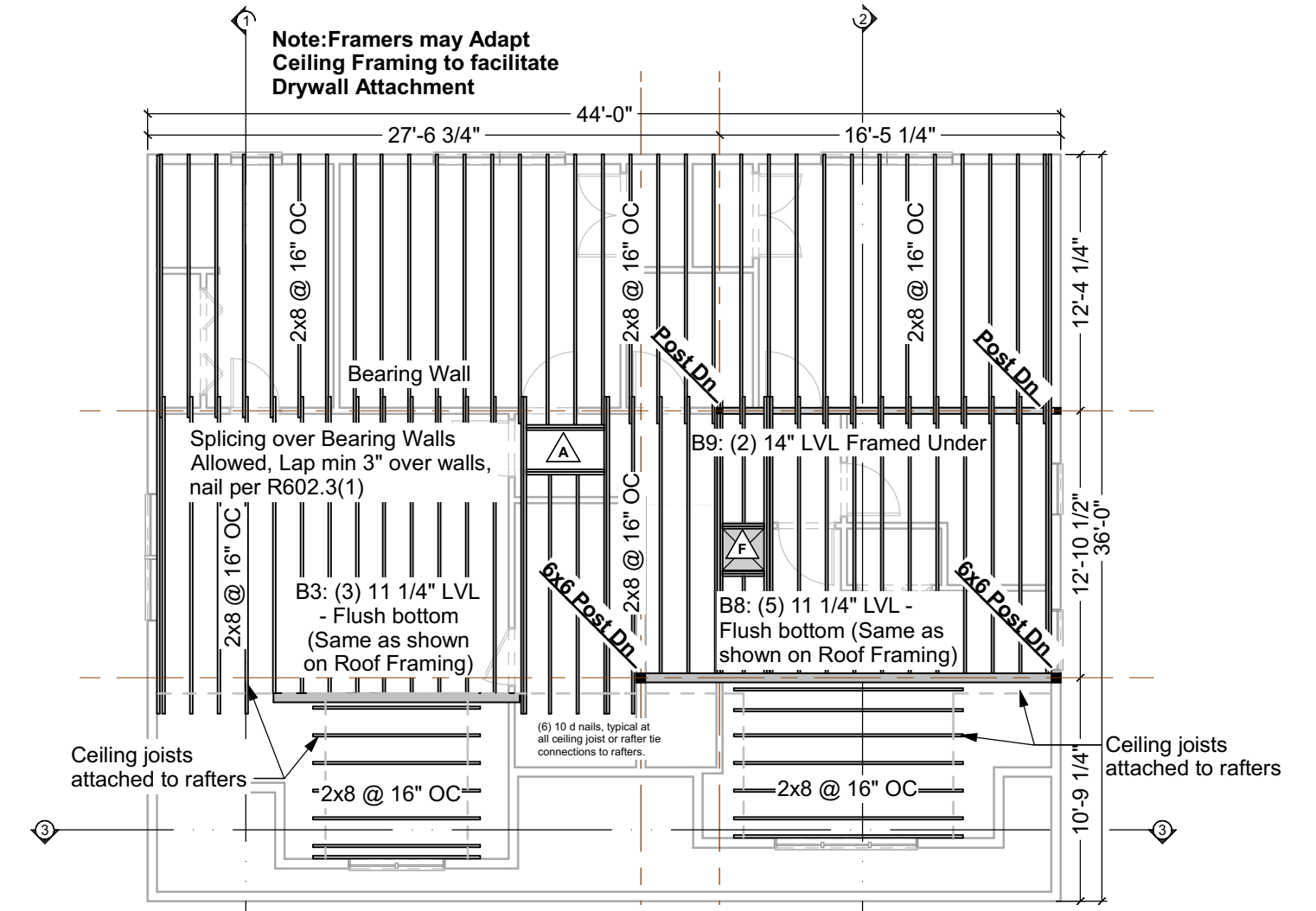
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 Lot 29 Stroudwater Preserve
 Portland, ME

1/4"=1'-0" unless noted otherwise / Print @ 1:1
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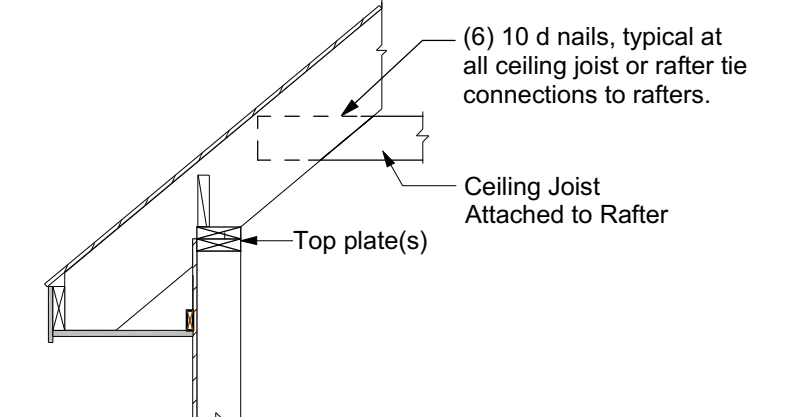
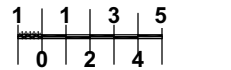
Second Floor Framing

Structure designed for Snow Load of 60 psf



Ceiling Framing

Structure designed for Snow Load of 60 psf



Joist Attached to Rafter

Built-up Beams:
Unless otherwise noted, connect multiple 1 3/4" ply beams as follows:
3 ply & up, fasteners are per side

(2) 9 1/4" LVL:
• Flush framed
o (2) rows 3 3/8" TrussLock @ 24" oc, or
o (2) rows SDS 1/4x3 1/2 @ 24" oc
• Framed under (2) rows 10d nails @ 24" oc

(2) 11 1/4" LVL:
• Flush framed
o (2) rows 3 3/8" TrussLock @ 19.2" oc, or
o (2) rows SDS 1/4x3 1/2 @ 19.2" oc
• Framed under (2) rows 10d nails @ 24" oc

(2) 16" LVL or greater:
• Flush framed
o (3) rows 3 3/8" TrussLock @ 19.2" oc, or
o (3) rows SDS 1/4x3 1/2 @ 19.2" oc
• Framed under (2) rows 10d nails @ 24" oc

(3) 9 1/4" LVL:
• Flush framed
o (2) rows 3 3/8" TrussLock @ 19.2" oc, or
o (2) rows SDS 1/4x3 1/2 @ 19.2" oc
• Framed under (2) rows 10d nails @ 24" oc

(3) 11 1/4" LVL:
• Flush framed
o (2) rows 3 3/8" TrussLock @ 16" oc, or
o (2) rows SDS 1/4x3 1/2 @ 16" oc
• Framed under (2) rows 10d nails @ 24" oc

(3) 16" LVL or greater:
• Flush framed
o (3) rows 3 3/8" TrussLock @ 16" oc, or
o (3) rows SDS 1/4x3 1/2 @ 16" oc
• Framed under (2) rows 10d nails @ 24" oc

(4) 9 1/4" LVL:
• Flush framed
o (2) rows 5" TrussLock @ 16" oc, or
o (2) rows SDS 1/4x6 @ 16" oc
• Framed under (2) rows 10d nails @ 24" oc

(4) 11 1/4" LVL:
• Flush framed
o (2) rows 5" TrussLock @ 16" oc, or
o (2) rows SDS 1/4x6 @ 16" oc
• Framed under (2) rows 10d nails @ 12" oc

(4) 16" LVL or greater:
• Flush framed
o (3) rows 5" TrussLock @ 16" oc, or
o (3) rows SDS 1/4x6 @ 16" oc
• Framed under (2) rows 10d nails @ 12" oc

Beam Substitutions:

(2) 9 1/4" LVL may replace a double or triple 2x10 beam. No other substitutions are allowed. Conventional lumber beams MAY NOT be substituted for LVL beams by any "rule of thumb". Substitutions must be calculated by either Artform or a structural engineer. If calculated by a structural engineer, provide stamped plans and/or calculations.

We specify LVL beams as built up members to allow framers to use existing stock. You may substitute single piece LVLs of equivalent overall size for built-up members, unless otherwise noted.

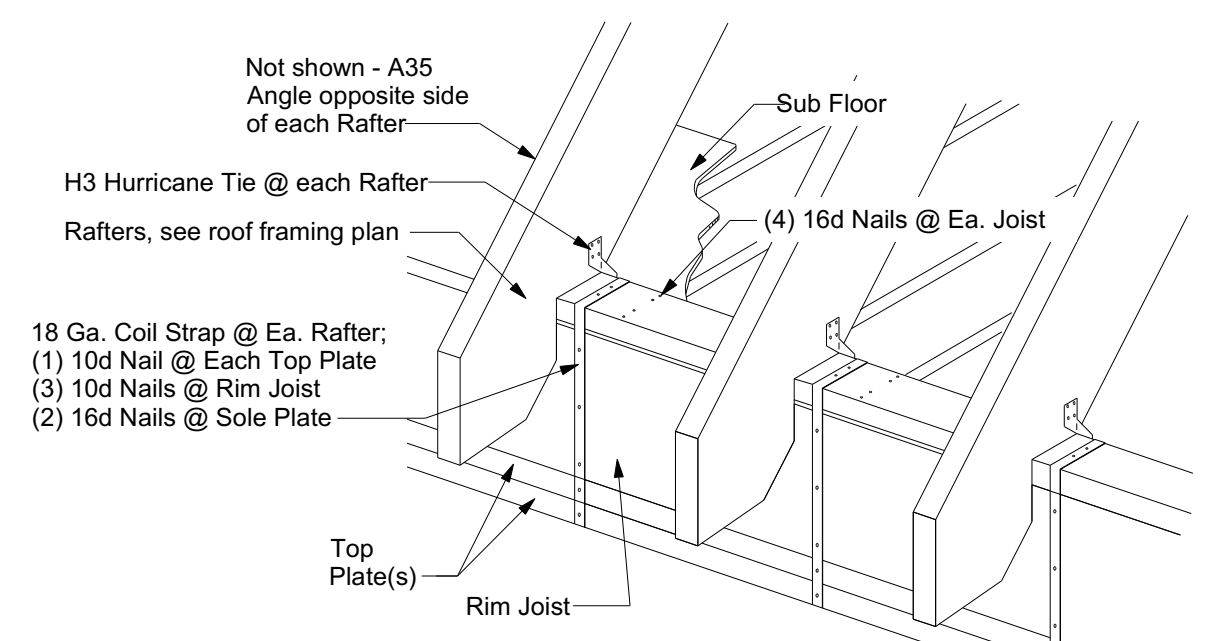
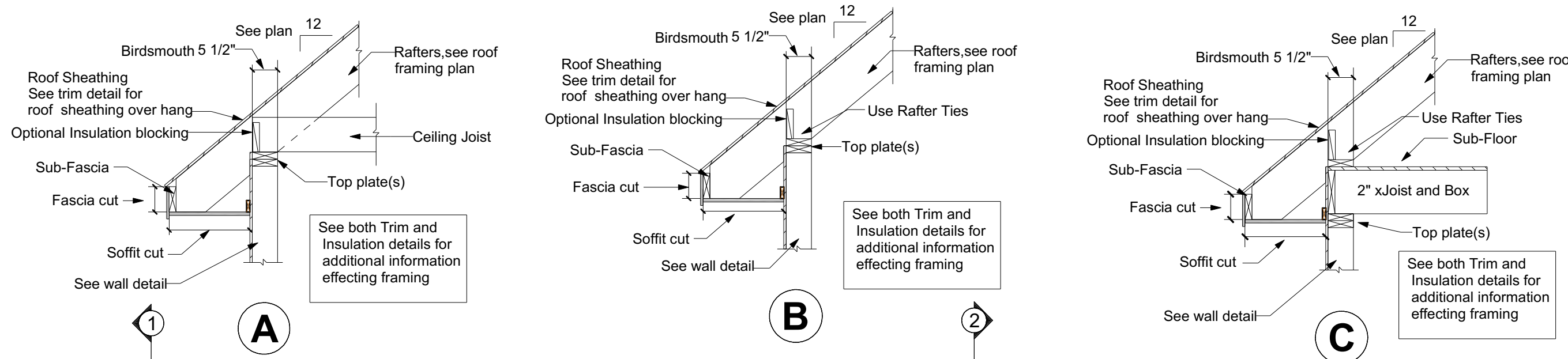
Built-up members MAY NOT replace single piece LVL's where specified.

Where a beam of 1 3/4" or less in width is specified as framed under, either brace at 48" or double member for lateral stability.

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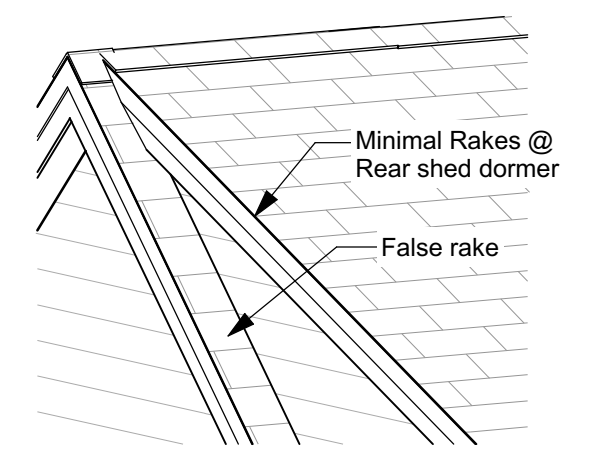
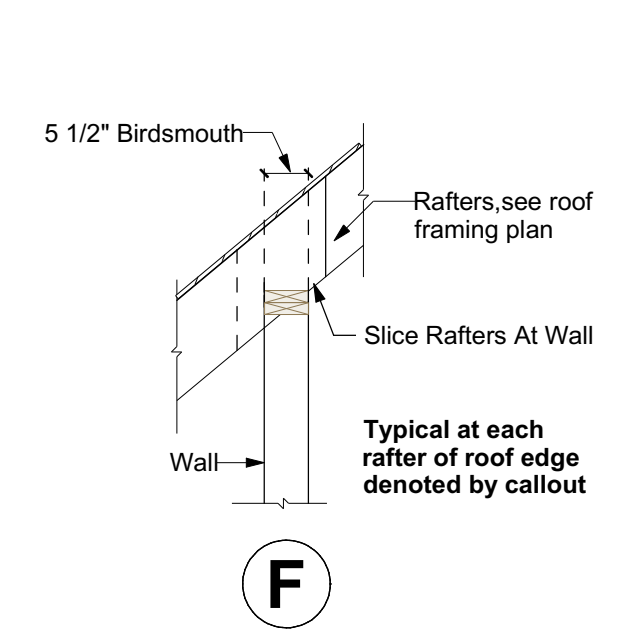
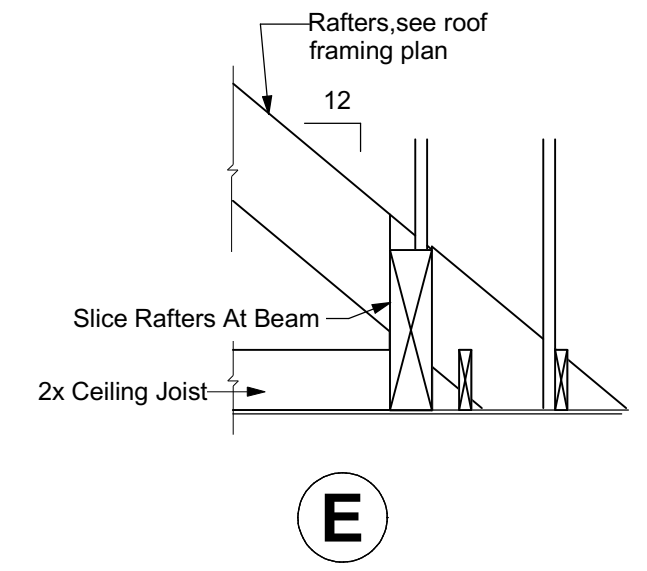
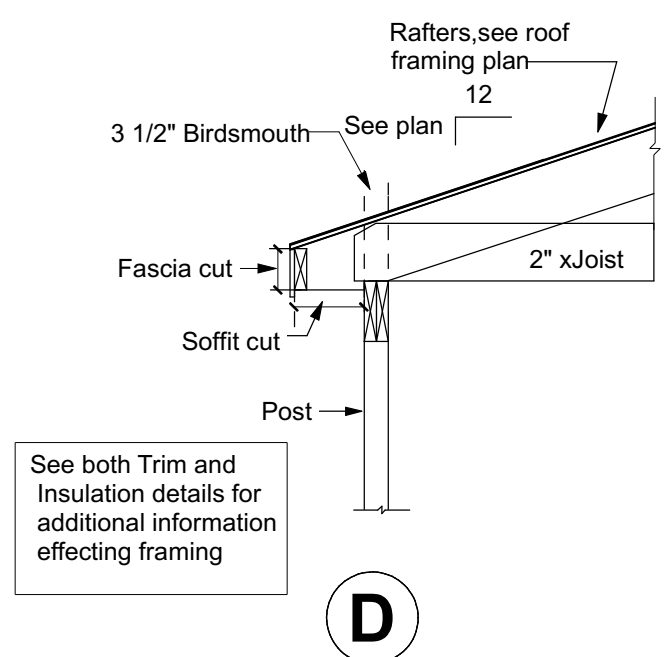
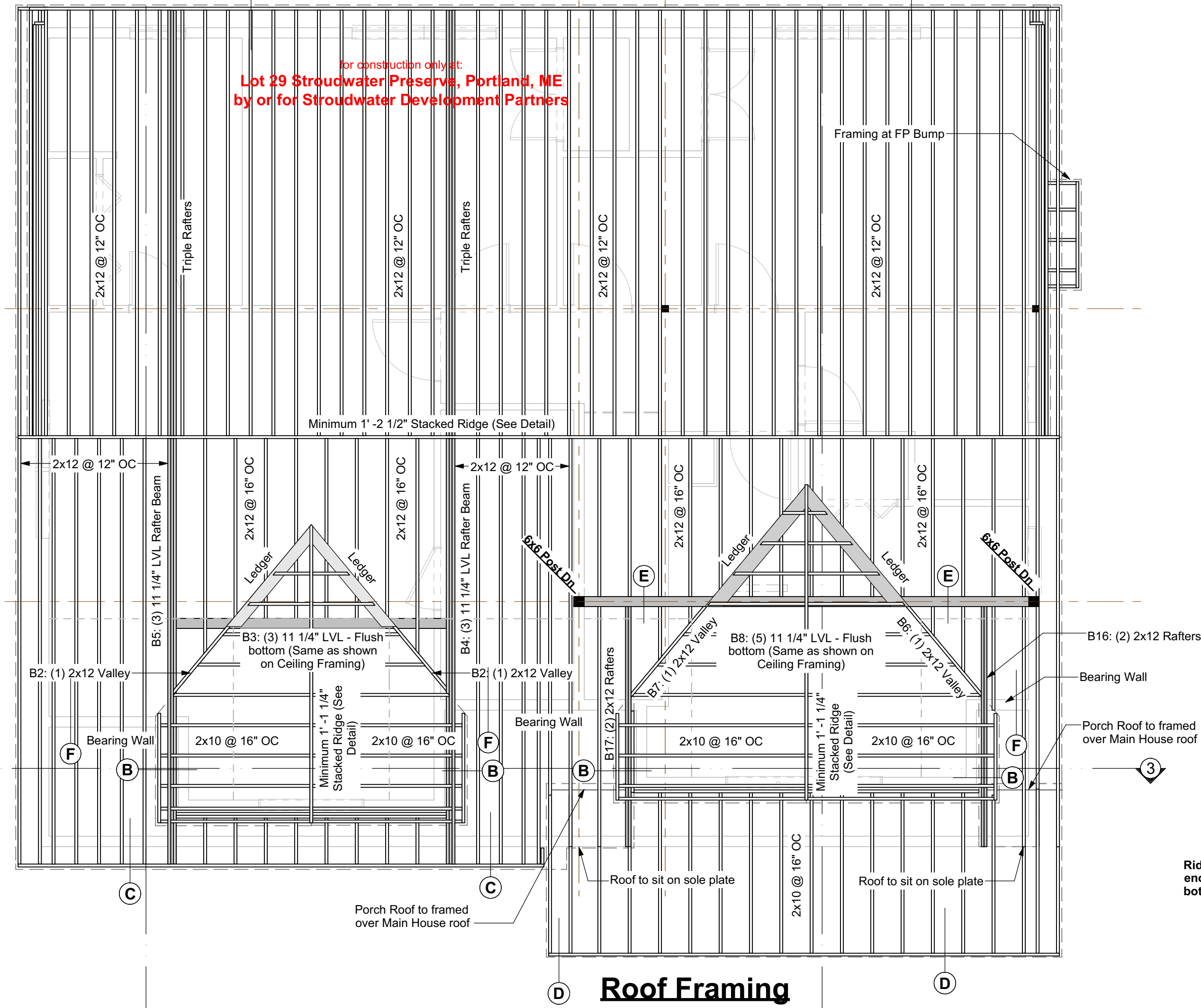
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<p>Artform Home Plans AFHP Design # 481.124.v2 KR © 2012-2018 Art Form Architecture 603.431.9559</p>	<p>Sweet Cherry Pie Lot 29 Stroudwater Preserve Portland, ME</p>	<p>10</p> <p>Issued for: Construction</p>
	<p>1/4"=1'-0" unless noted otherwise / Print @ 1:1 PDF created on: 7/19/2018, drawn by ACJ</p>	

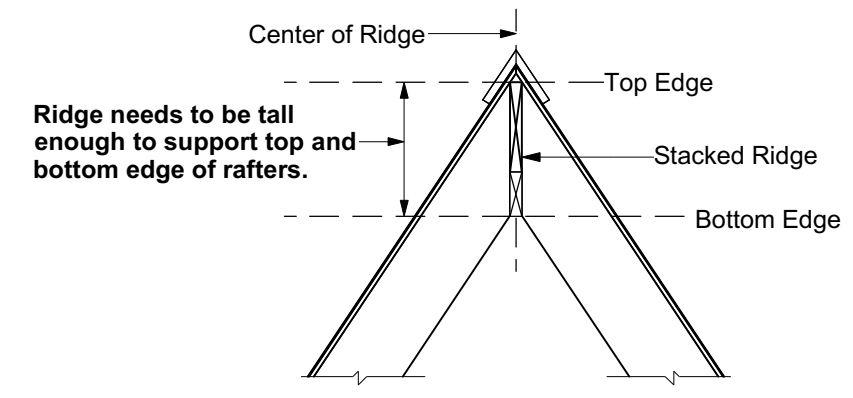


Perspective View of Detail C

for construction only at:
Lot 29 Stroudwater Preserves, Portland, ME
by or for Stroudwater Development Partners

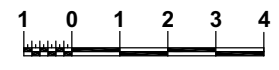


Alternate:
12" False Rake and a 6" Shed Dormer Rake



Stacked Ridge Detail

Roof Framing
Structure designed for Snow Load of 60 psf



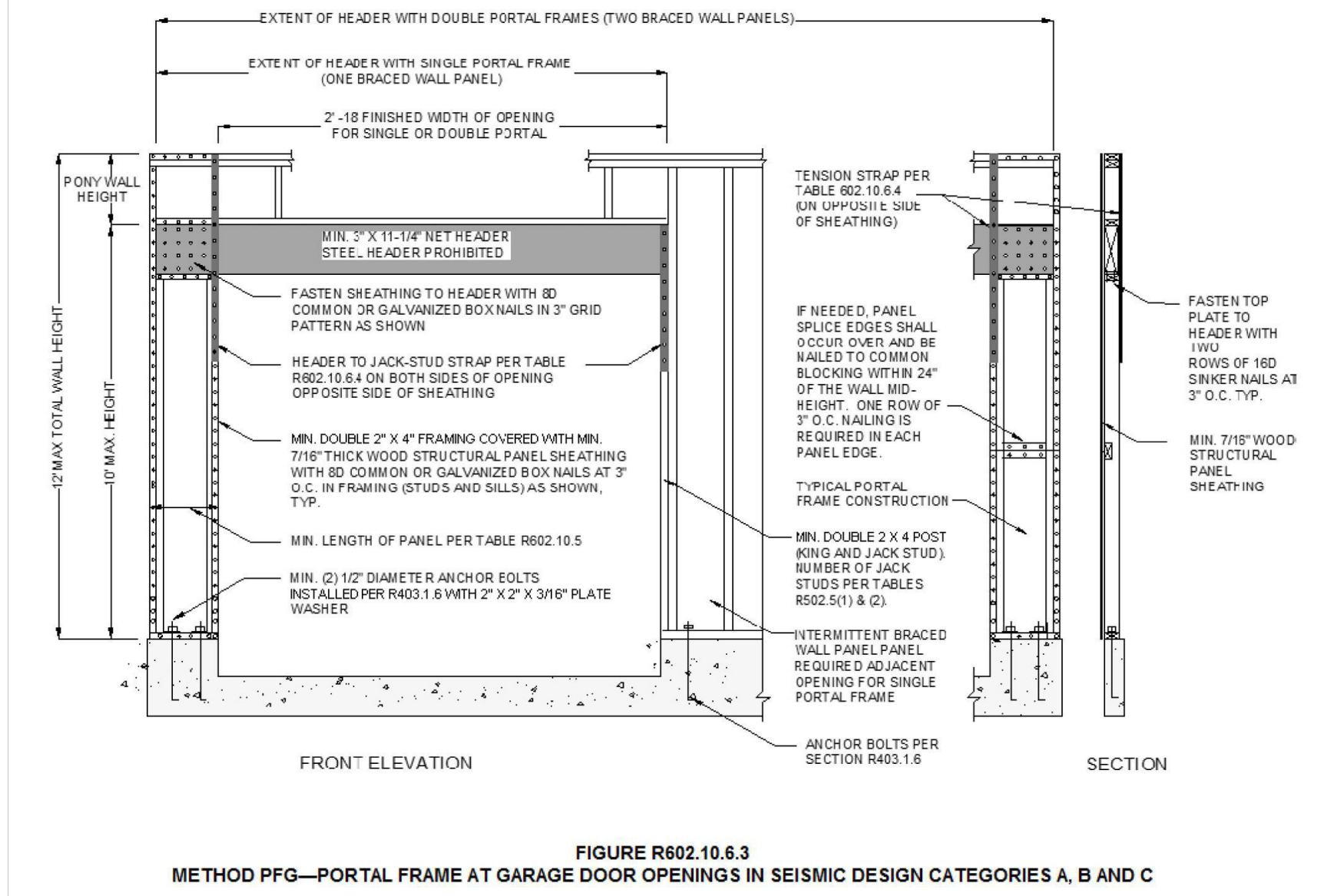
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Sweet Cherry Pie
Lot 29 Stroudwater Preserve
Portland, ME

Method PFG: Portal frame at garage door openings shall be constructed in accordance with Figure R602.10.6.3. Note this method is allowed on either side of garage door openings.



Shear Wall Details

Not to Scale

Notes:

- See plans for locations where shear panels are required.
- Details shown here are for one method and for typical conditions. An alternate shear method allowed per code or approved by the code officer may be substituted.
- If the method at left is used at Garages where width of panel is 20\"/>

Method CS-PF: Continuously sheathe portal frame shall be constructed in accordance with Figure 602.10.6.4. The number of continuously sheathed portal frame panels in a single braced wall line shall not exceed four.

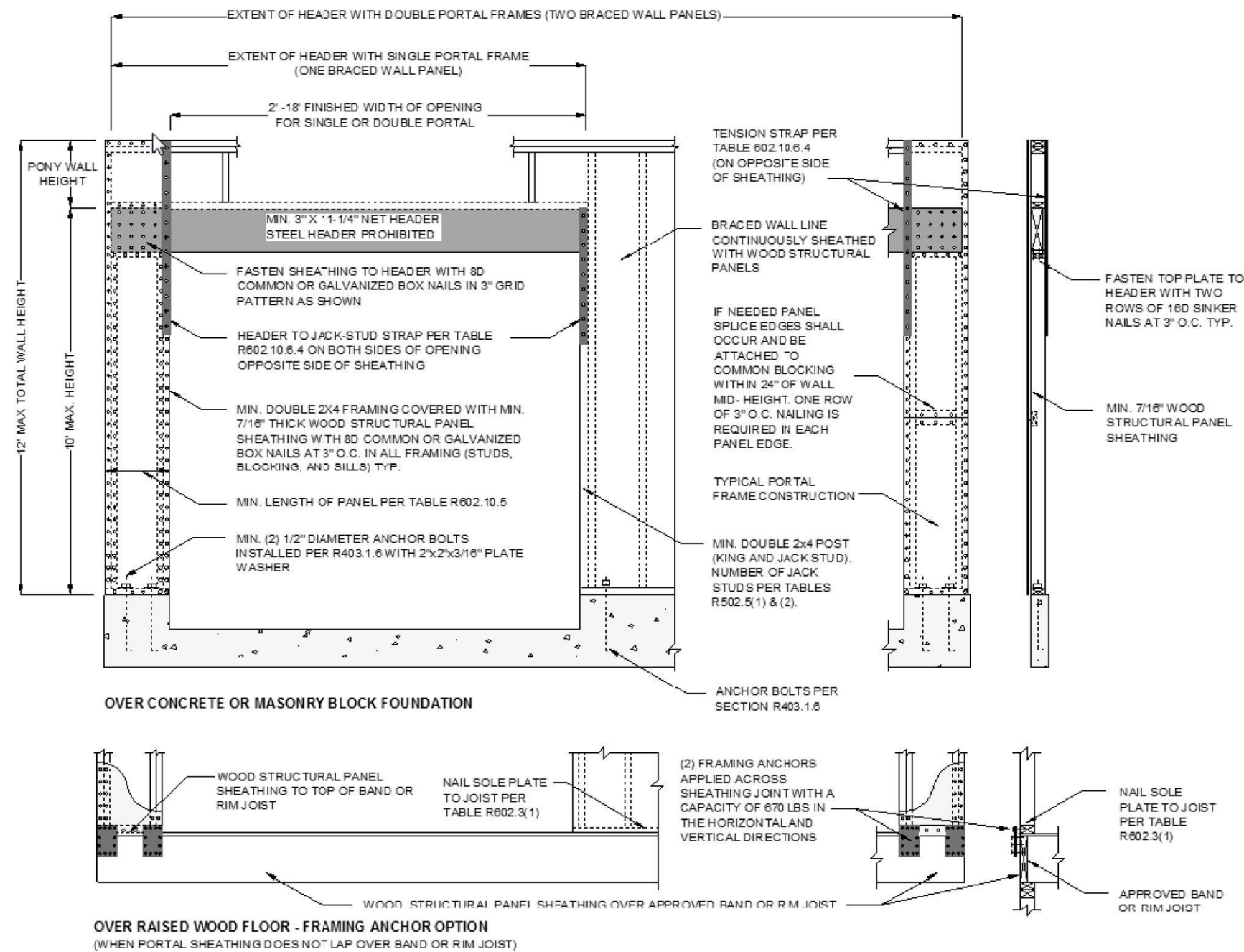


TABLE R602.10.4 BRACING METHODS

METHODS, MATERIAL	MINIMUM THICKNESS	FIGURE	CONNECTION CRITERIA ^a	
			Fasteners	Spacing
Continuous Sheathing Methods	CS-WSP Continuously sheathed wood structural panel		Exterior sheathing per Table R602.3(3)	6\"/>
			Interior sheathing per Table R602.3(1) or R602.3(2)	Varies by fastener

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Lot 29 Stroudwater Preserve
Portland, ME

12

1/4\"/>

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Construction

WINDOW FLASHING: FOLLOW WINDOW MANUFACTURER'S INSTRUCTIONS FOR WINDOW INSTALLATION FOR WIND LOAD AT THIS PROJECT

VAPOR BARRIER AT INTERIOR OR EXTERIOR SIDE OF FRAMING *3

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by or for Stroudwater Development Partners

OPTIONAL CONTINUOUS SEALANT AT BOTTOM OF GYP BD *1

FINISHED FLOOR

INTERIOR SUBFLOOR, GLUED AND SCREWED (INCLUDING AT RIM)

OPTIONAL SEALANT *1

OPTIONAL ADHESIVE *1

RIM

PROVIDE CODE REQUIRED FIRE PROTECTION AT ALL SPACES OF SUFFICIENT SIZE AND WITH SUFFICIENT ACCESS (FULL HEIGHT DOOR) TO BE HABITABLE JOISTS - SEE STRUCTURAL DRAWINGS

RIM INSULATION - FILL CAVITY TO FLUSH WITH INSIDE OF FOUNDATION

(2) 2X6 SILL PLATES, PT AGAINST CONCRETE *7

OPTIONAL SEALANT *1

ALL WOOD MIN 6" FROM SOIL OR ORGANIC MATTER, 9" RECOMMENDED

SILL SEALER (REQUIRED)

OPTIONAL INTERIOR FOUNDATION INSULATION *4

ANCHOR BOLTS

SEE FOUNDATION PLAN

INTERIOR FINISH

SLOPE GRADE FROM HOUSE

VAPOR BARRIER AT INTERIOR OR EXTERIOR SIDE OF FRAMING *3

OPTIONAL EXTERIOR FOUNDATION INSULATION *4

FOUNDATION COATING

CONCRETE WALL

KEY OR PIN - SEE FOUNDATION PLAN

VAPOR BARRIER AT INTERIOR OR EXTERIOR SIDE OF FRAMING *3

SEE FOUNDATION PLAN

FINISHED FLOOR (OPTIONAL)

CONCRETE SLAB

6 MIL POLYETHYLENE VAPOR BARRIER

OPTIONAL UNDER-SLAB INSULATION *5

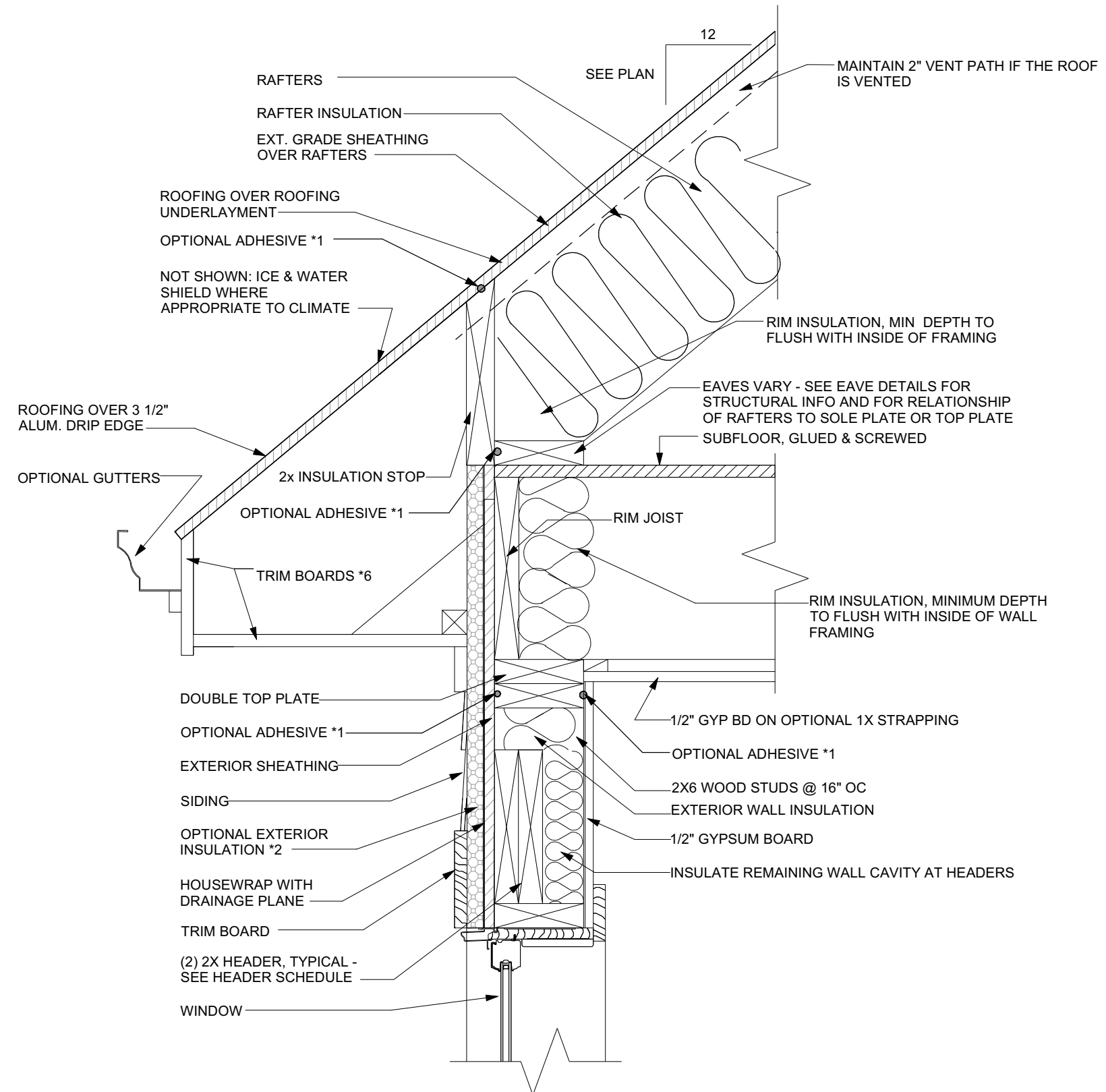
FOUNDATION DRAINS AND SITEWORK AS IS APPROPRIATE TO CLIMATE AND SOIL CONDITIONS

CONCRETE FOOTING - SEE FOUNDATION PLAN FOR SIZE

UNDISTURBED SOIL, CONFIRM BEARING - SEE FOUNDATION PLAN

Thermal and Moisture ONLY

1 1/2" = 1'-0"



NOTES:

RESPONSIBILITY FOR THERMAL AND MOISTURE DESIGN LIES WITH THE BUILDER AND/OR HOMEOWNER. IF THESE DETAILS, IN COMBINATION WITH BUILDER-PROVIDED SPECIFICATIONS AND MANUFACTURER'S CUT SHEETS ARE INSUFFICIENT FOR PERMITTING, CONTACT ARTFORM HOME PLANS @ 603-431-9559 TO HAVE DETAILS ADJUSTED PER YOUR MARK-UP.

NOTE THAT SPRAY FOAM INSULATION PERFORMS THE SAME FUNCTION AS THE OPTIONAL SEALANTS SHOWN HERE.

*1 OPTIONAL SEALANTS AND ADHESIVES ARE RECOMMENDED FOR ADVANCED ENERGY PERFORMANCE.

*2 OPTIONAL EXTERIOR INSULATION IS RECOMMENDED FOR ADVANCED ENERGY PERFORMANCE.

*3 PROVIDE VAPOR BARRIER APPROPRIATE TO CLIMATE AND TO SELECTED INSULATION. LOCATE VAPOR BARRIER WITHIN WALL ASSEMBLY AS IS APPROPRIATE TO CLIMATE. BUILDER TO PROVIDE SPECIFIC MATERIAL CHOICES ON SEPARATE SPECIFICATIONS SHEET.

*4 OPTIONAL FOUNDATION INSULATION IS RECOMMENDED FOR ADVANCED ENERGY PERFORMANCE. IF EXTERIOR INSULATION IS SELECTED PROVIDE PROTECTION FROM WEATHER DAMAGE, INSECTS, ETC AS IS APPROPRIATE TO CLIMATE AND BUILDING SITE. IF INTERIOR FOUNDATION INSULATION IS CHOSEN, PROVIDE FIRE PROTECTION WHERE APPROPRIATE.

*5 OPTIONAL UNDERSLAB INSULATION IS RECOMMENDED FOR ADVANCED ENERGY PERFORMANCE. COORDINATE HEIGHTS WITH MECHANICAL, FOUNDATION AND FRAMING TO ENSURE CODE CLEARANCE WHERE BASEMENT SPACE IS HABITABLE.

*6 FINISHING OF EAVES MAY VARY - SEE PROJECT DETAILS.

*7 DOUBLE SILL PLATE IS OPTIONAL IF BASMENT IS NOT HABITABLE. DOUBLE SILL IS INTEGRAL PART OF DESIGN WHERE BASEMENT IS HABITABLE, PARTICULARLY IF UNDER SLAB INSULATION IS INSTALLED. DESIGN ASSUMES 8 FOOT FORMS ACHIEVING 7'-10" POUR.

The thermal and moisture details need to be provided per the buider of record and the ResCheck certificate

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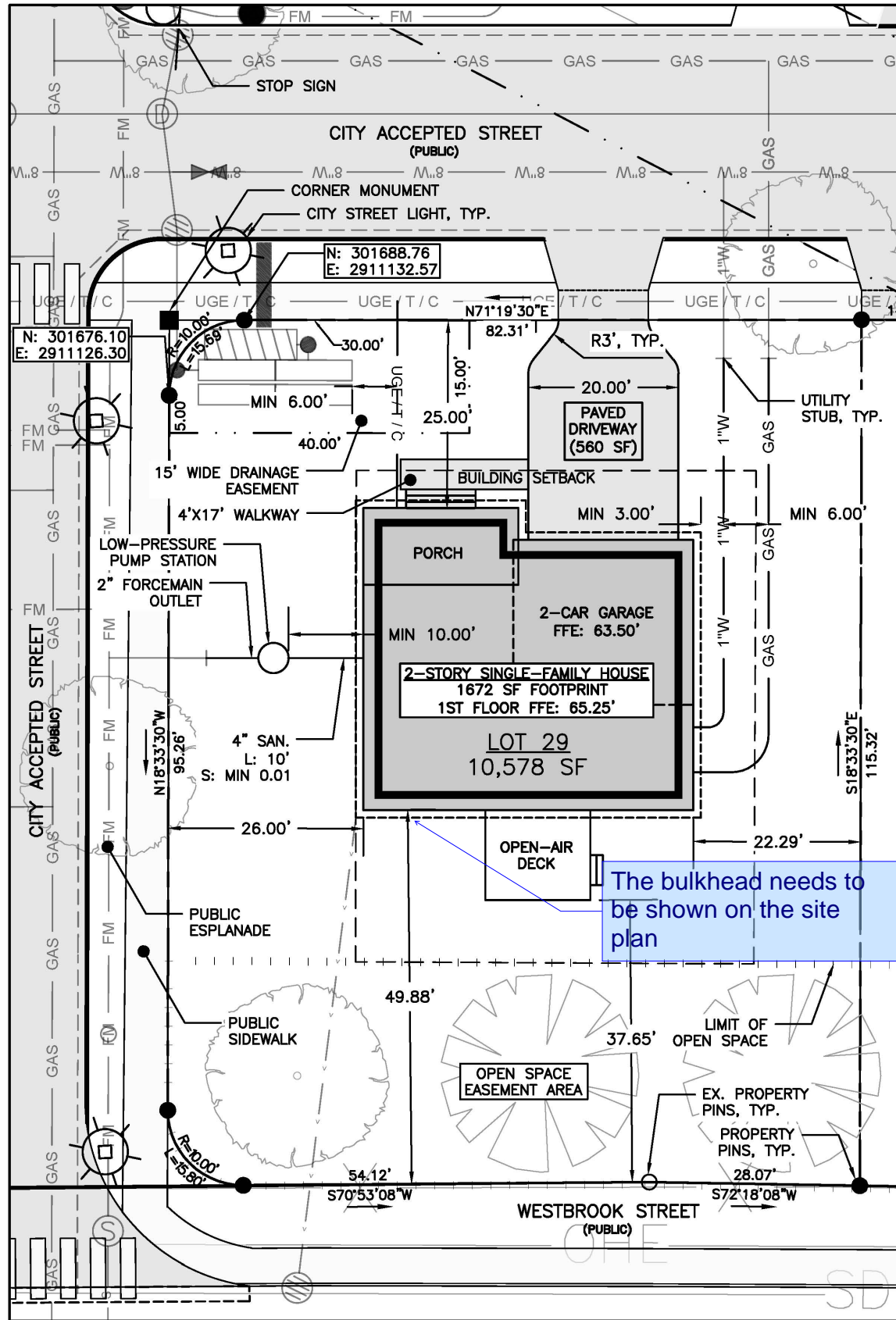
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Portland, ME

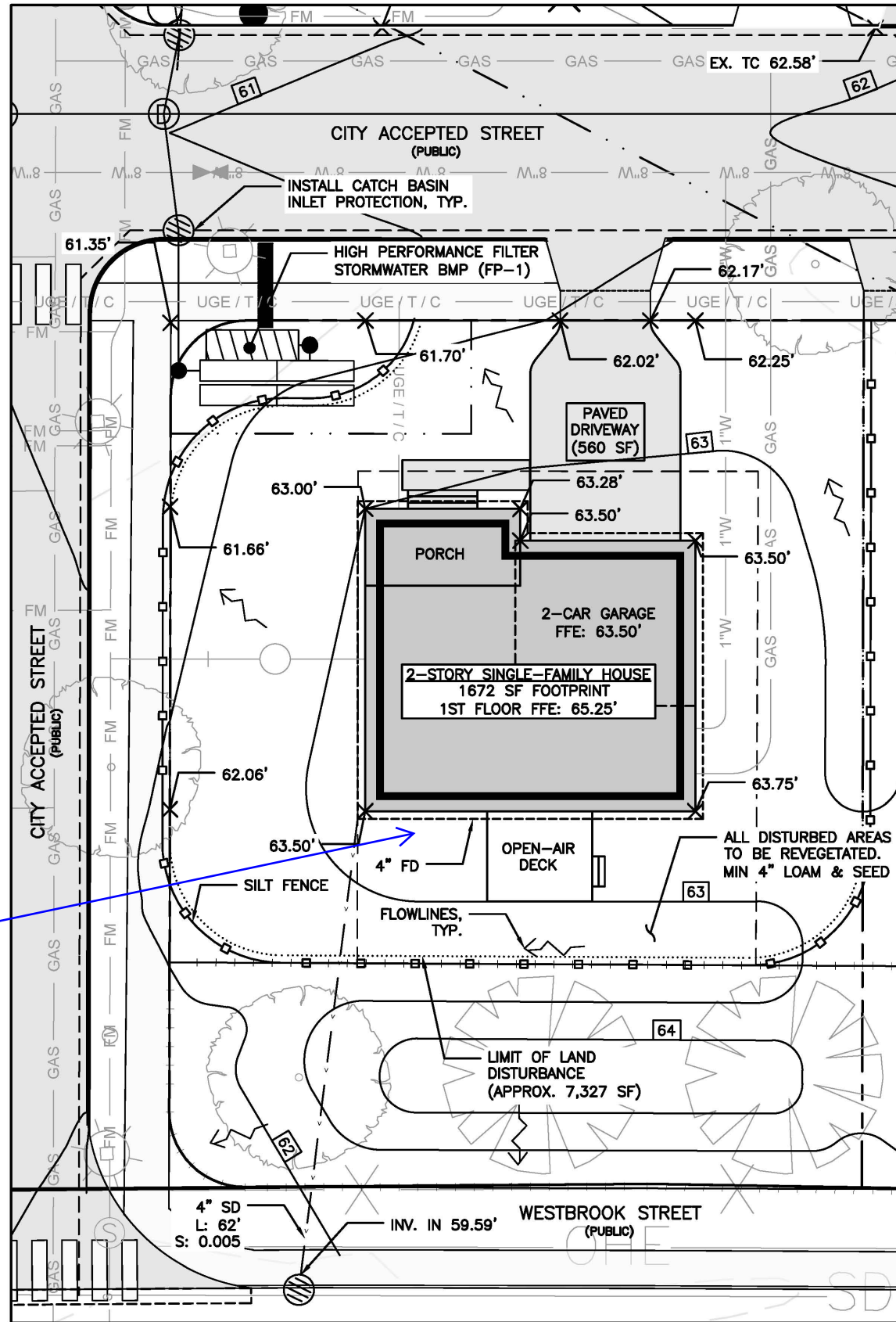
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1/4"=1'-0" unless noted otherwise / Print @ 1:1
PDF created on: 7/19/2018, drawn by ACJ

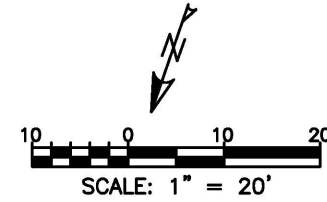
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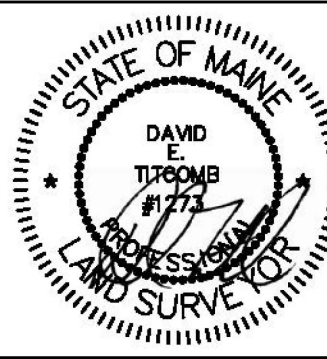
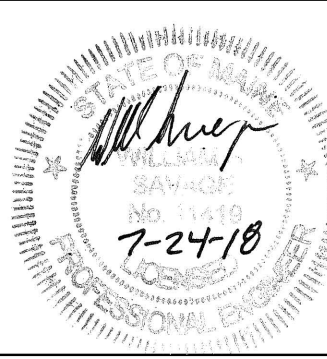
SITE & UTILITY PLAN
1"=20'



GRADING, DRAINAGE, & EROSION CONTROL PLAN
1"=20'



DATUM REFERENCE NOTE:
ELEVATION AND CONTOUR INFORMATION BASED ON NAVD 88. TO CONVERT THE ELEVATION DATA TO NGVD 1929 DATUM, ADD 0.70 FEET TO THE NAVD 88 VALUE.



8/1/2018

ISSUED FOR	BY
FINAL PERMIT	WHS
	DATE
	7/30/18
REVISION	REV. DATE

DRAWING NAME: SITE PLAN
 PROJECT NAME: LOT 29 LEVEL I MINOR RESIDENTIAL APPLICATION
 STROUDWATER PRESERVE
 CLIENT: STROUDWATER DEVELOPMENT PARTNERS, LLC
 KENNEBUNK, ME



158 DANFORTH ST
 PORTLAND, MAINE 04104
 (207) 775-2655

FILE:	CML_1079
JN:	1079
SCALE:	1"=20'
DESIGN BY:	OJD
DRAWN BY:	OJD
CHECKED BY:	WHS

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM ACORN ENGINEERING, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO ACORN ENGINEERING, INC.

FINAL PERMIT

DRAWING NO.
C-01

SITE NOTES:

1. LOT 29 IS PART OF THE STROUDWATER PRESERVE SUBDIVISION AND IS SUBJECT TO THE TERMS AND CONDITIONS OF THE SUBDIVISION PLAT - PHASE I LAST REVISED 6/21/18 AND RECORDED AT CUMBERLAND COUNTY REGISTRY OF DEEDS (CCRD); 218/339.
2. OWNERS OF RECORD ARE STROUDWATER DEVELOPMENT PARTNERS, LLC (34733/76). BOOK AND PAGE REFERENCES ARE TO THE CCRD.
3. BEARINGS ARE REFERENCED TO GRID NORTH, MAINE STATE PLANE COORDINATE SYSTEM, NAD83, WEST ZONE.
4. ELEVATIONS ARE BASED ON NAVD88 DATUM AS DERIVED FROM GPS OBSERVATIONS. REFER TO THE EXISTING CONDITIONS PLAN BY TITCOMB ASSOCIATES DATED 6/16/17 LAST REVISED 2/21/18 FOR BENCHMARK LOCATIONS.
5. LOT BOUNDARIES PER EXISTING CONDITIONS PLAN AND SUBDIVISION PLAN. PROPERTY PINS TO BE SET BY TITCOMB ASSOCIATES. MONUMENTS TO BE LOCATED BY TITCOMB PRIOR TO INSTALLATION BY SITE CONTRACTOR AND ISSUANCE OF THE BUILDING PERMIT.
6. THERE ARE NO EXISTING MATURE TREES WITHIN THE PROPERTY AS INFERRED FROM THE EXISTING CONDITIONS PLAN AND AERIAL IMAGERY. REFER TO THE STROUDWATER PRESERVE LANDSCAPE PLAN, L-1 BY SOREN DENOIRD DESIGN STUDIO LAST REVISED 2/22/18 FOR ADDITIONAL INFORMATION ON STREET TREE PLACEMENT AND SPECIES. IF STREET TREES ARE PLANTED PRIOR TO HOME CONSTRUCTION, TREES TO BE PROTECTED AND REPLACED IF DAMAGED.
7. ALL BUILDING CORNER OFFSETS TO BOUNDARY LINES ARE FROM CORNERBOARDS AND NOT BUILDING FOUNDATION, UNLESS OTHERWISE NOTED.
8. LOT 29 IS NOT WITHIN THE 100-YEAR FEMA FLOODPLAIN PER THE NATIONAL FLOOD INSURANCE PROGRAM, PRELIMINARY FLOOD INSURANCE RATE MAP DATED 4/14/2007.

UTILITY NOTES:

1. FOR ALL UTILITIES, ACORN'S DESIGN LIMITS EXTEND TO OUTSIDE WALL OF BUILDING. METERING OF UTILITIES TO BE COMPLETED BY HOUSE GENERAL CONTRACTOR UNLESS SPECIFIED OTHERWISE.
2. GAS, SEWER, & WATER SERVICES TO EXTEND FROM THE EXISTING STUB. FINAL CONNECTION LOCATION TO BUILDING TO BE DETERMINED BY HOUSE GENERAL CONTRACTOR.
3. SEWER UTILITIES TO BE CONSTRUCTED IN ACCORDANCE WITH CITY OF PORTLAND TECHNICAL STANDARDS. FINAL FORCEMAIN SERVICE AND ASSOCIATED APERTURES LAYOUT ARE TO BE SUBMITTED BY THE CONTRACTOR FOR APPROVAL BY THE PRODUCT SUPPLIER. LOW PRESSURE SEWER PUMP STATION TO BE OWNED AND MAINTAINED BY THE HOMEOWNER.
4. WATER SERVICE CONSTRUCTION, WATER METERING, PRESSURE REDUCER AND BACKFLOW PREVENTION TO BE IN ACCORDANCE WITH THE PORTLAND WATER DISTRICT STANDARDS. WATER SERVICES TO COMPLY WITH THE FOLLOWING MINIMUM SEPARATION DISTANCES:
 - 4.1. 10' FROM PROPERTY LINES
 - 4.2. 10' FROM STREET TREES
 - 4.3. 10' FROM STREET LIGHTING
 - 4.4. 5' FROM EDGE OF DRIVEWAY APRON
5. ALL ELECTRIC SERVICE CONSTRUCTION SHALL CONFORM TO CMP GUIDEBOOK OF STANDARD REQUIREMENTS, MOST RECENT EDITION.
6. HOUSE LOT GAS UTILITY DESIGN, AND FINAL GAS SERVICE LOCATION AND METERS TO BE COMPLETED BY HOUSE GENERAL CONTRACTOR.
7. CONTRACTOR TO COORDINATE CABLE AND TELECOMMUNICATIONS CONNECTION TO BUILDING.

DRAINAGE NOTES:

1. EXISTING SITE SOILS ARE BUXTON (A) OF THE HYDROLOGIC GROUP C AS DEFINED BY SOIL NARRATIVE REPORT BY MARK HAMPTON ASSOCIATES DATED 5/10/17.
2. 50% OF LOT 29 IS TRIBUTARY TO FP-1. FP-1 IS SIZED TO TREAT BOTH THE HOUSE LOT AND PORTION OF THE ROAD RUNOFF. THE PROPOSED DRAINAGE PATTERN CONFORMS TO THE APPROVED STORMWATER MANAGEMENT REPORT BY ACORN ENGINEERING LAST REVISED NOVEMBER 2017. REFER TO THE REPORT FOR SPECIFIC SITE STORMWATER QUALITY AND QUANTITY ANALYSIS.
3. FP-1 IS TO BE OWNED AND MAINTAINED BY THE CITY OF PORTLAND. THE FINAL STORMWATER BMP LAYOUT IS SUBJECT TO CHANGE BUT IS TO REMAIN WITHIN THE BOUNDS OF THE DRAINAGE EASEMENT. REFER TO THE STORMWATER DRAINAGE SYSTEM MAINTENANCE AGREEMENT FOR STROUDWATER PRESERVE DATED 5/12/18 FOR ADDITIONAL INFORMATION ON STORMWATER BMP OWNERSHIP AND MAINTENANCE RESPONSIBILITIES.
4. CONTRACTOR TO ENSURE THAT UNDERDRAINS ARE CONSTRUCTED WITH A POSITIVE OUTLET.

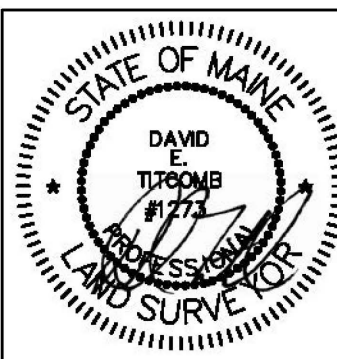
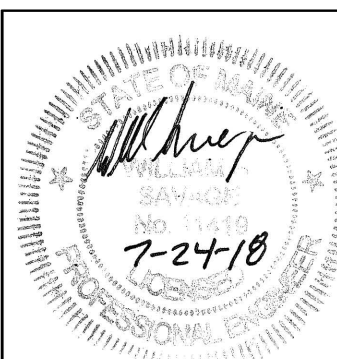
EROSION CONTROL NOTES:

1. CONTRACTOR TO REFER TO THE EROSION AND SEDIMENTATION CONTROL REPORT DATED AUGUST 2017 FOR TEMPORARY AND PERMANENT EROSION CONTROL MEASURES AND BEST HOUSEKEEPING PRACTICES. CONTROL MEASURES TO COMPLY WITH SECTION 6 OF THE CITY OF PORTLAND TECHNICAL STANDARDS.
2. SEDIMENT BARRIERS (SILT FENCE) TO BE INSTALLED ALONG ALL DOWN-GRADIENT LIMITS OF CONSTRUCTION.
3. CONTRACTOR TO BE RESPONSIBLE FOR SWEEPING THE CITY STREETS AS NECESSARY.
4. CONTRACTOR TO INSTALL CONSTRUCTION ENTRANCE AT ALL LOCATIONS OF INGRESS AND EGRESS TO THE SITE DURING CONSTRUCTION.

SPACE AND BULK STANDARDS		
ZONE:	R-3	PROPOSED
MINIMUM LOT SIZE	6,500 SF	10,578 SF
MINIMUM STREET FRONTAGE	50'	95.26'
FRONT YARD	25'	26'
REAR YARD - PRINCIPAL	25'	37.65'
REAR YARD - ACCESSORY	5'	N/A
MINIMUM SIDE YARD	14'	22.28'
MAXIMUM LOT COVERAGE	35%	23.5%
MINIMUM LOT WIDTH*	65'	92.29'
MAXIMUM BUILDING HEIGHT	35'	26.75'
MAXIMUM ACCESSORY HEIGHT	18'	N/A

*DISTANCE PARALLEL TO THE FRONT OF THE BUILDING MEASURED BETWEEN SIDE LOT LINES THROUGH THAT PART OF THE PRINCIPAL BUILDING WHERE THE LOT IS NARROWEST.

DATUM REFERENCE NOTE:
 ELEVATION AND CONTOUR INFORMATION BASED ON NAVD 88. TO CONVERT THE ELEVATION DATA TO NGVD 1929 DATUM, ADD 0.70 FEET TO THE NAVD 88 VALUE.



8/1/2018

FINAL PERMIT

ISSUED FOR	BY DATE
FINAL PERMIT	WHS 7/30/18
REVISION	REV. DATE

DRAWING NAME: SITE NOTES	PROJECT NAME: LOT 29 LEVEL I MINOR RESIDENTIAL APPLICATION STROUDWATER PRESERVE	CLIENT: STROUDWATER DEVELOPMENT PARTNERS, LLC KENNEBUNK, ME
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ACORN
ENGINEERING, INC.

158 DANFORTH ST
PORTLAND, MAINE 04104
(207) 775-2655

FILE:	CML_1079
JN:	1079
SCALE:	NTS
DESIGN BY:	OJD
DRAWN BY:	OJD
CHECKED BY:	WHS
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM ACORN ENGINEERING, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO ACORN ENGINEERING, INC.	

DRAWING NO.
C-02