Wall Types

Exterior walls 2x6 wood stud
Interior walls 2x4 wood stud, unless noted otherwise

Wall Keys

(2) 2x wood studs on the flat
(3) 2x3 wood stud wall, 16" oc
(6) 2x6 wood stud wall, 16" oc

Note: 2x4 wood stud wall, 16" oc unless otherwise noted

Key Notes

(A) 30" x 22" Minimum Attic Access Panel - Insulated (RO 34" x 26")
(F) Field locate for plumbing or mechanical
(V) Verify size of fixture or appliance Adjust dimensions to accommodate
(S) Snug - Door or Window trim will be snug and may need to be cut down
(C) Center - Place door or window centered on wall
(D) Double Stud or structural mull – adapt to suit chosen window brand. Object is to have some "bite" for curtain hardware and exterior aesthetics.
(SD) Smoke Detector
(CO) Carbon Monoxide Detector
(HD) Heat Detector

Dimensions

1. Dimensions are to face of stud, unless noted otherwise.
2. Closets are 24" clear inside, unless dimensioned otherwise.

Square Footages

1. Sq ft numbers are interior to room for use in calculating finishes.
2. Cabinets and fixtures not subtracted.
3. Add for doorways when floor finishes run through.

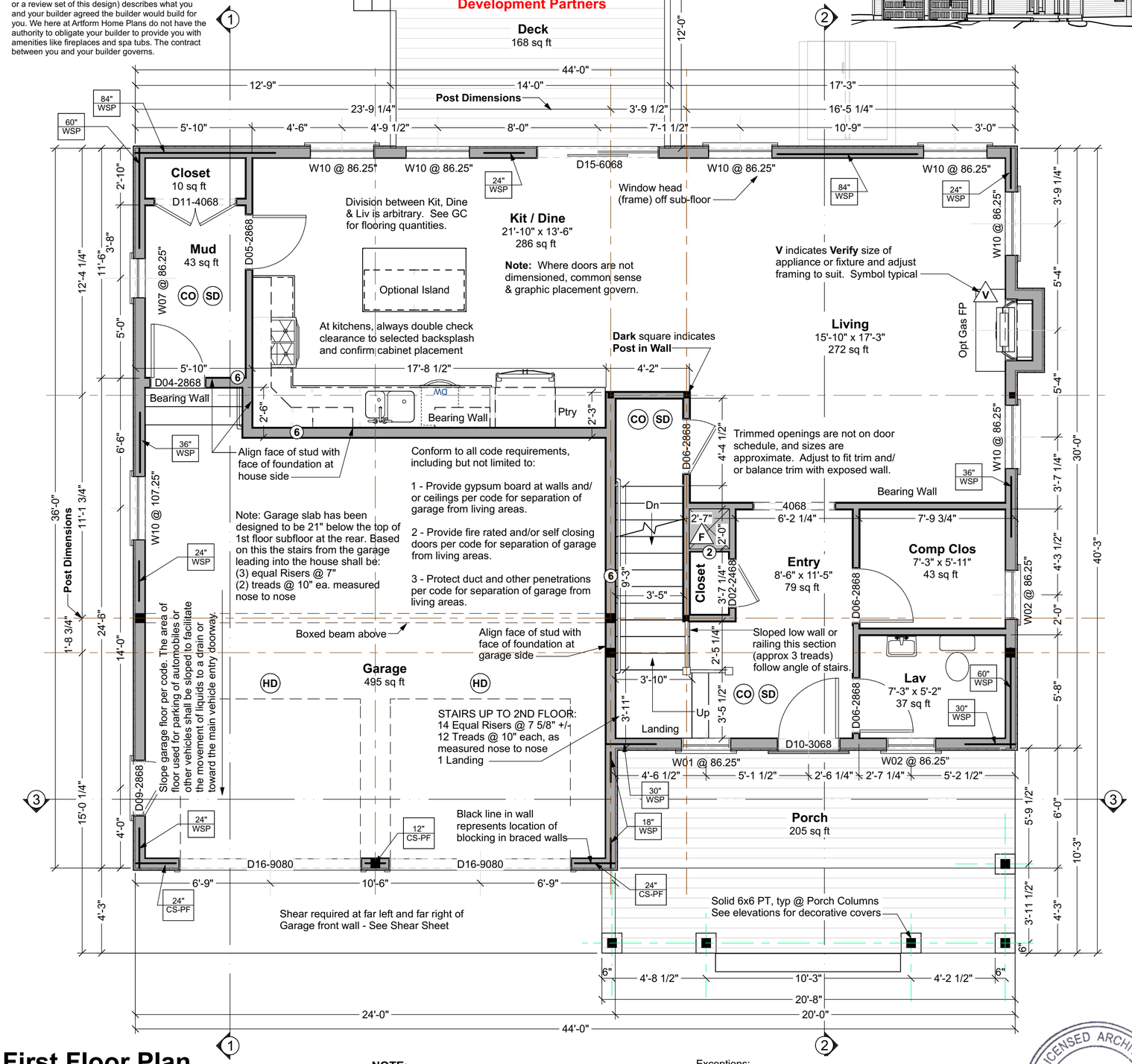
Notes

1. Exterior walls 2x6 wood stud @ 16" oc. Provide insulation & vapor barrier conforming to state or local codes. Interior sheathing 1/2" gypsum board. Provide 1/2" exterior rated sheathing, house wrap with drainage plane and siding. Provide step flashing at walls adjacent to roof planes.
2. Interior walls 2x4 wood stud @ 16" oc, unless noted otherwise.
3. Roof - see structural for rafter sizes. Provide 5/8" exterior rated roof sheathing 15# roofing felt, ice & water shield at eaves and valleys, aluminum drip edge and asphalt shingles or metal roofing. Structure not calculated to support slate or tile. Flash all penetrations. Provide cricket at any added chimneys.
4. Provide roof and/or ceiling insulation per code. Provide soffit and ridge vents where required for insulation strategy. (Verify with code officer - closed cell spray foam or dense-pack cellulose installed at rafters and filling ridge and eaves generally contra-indicates venting, batt insulation always requires venting).
5. Provide smoke detectors where shown, where required by code and where required by local authorities.
6. Provide fire resistive materials where required by code, including but not limited to, firestopping at penetrations, 5/8" Type X drywall on walls and ceilings to separate garage (where garage present in design) from dwelling, and separation of dwellings (where more than one dwelling present in design), and protection of flammable insulation materials. See Table R306.6 IRC 2015.
7. Compliance with code requirements for rooms size and clearances, (hallway widths, room sizes, etc) assume 1/2" drywall on walls and 1/2" drywall on 3/4" strapping on ceilings. Adjust as required if materials differ.
8. Shear is only called out where Continuous Portal Frame will not suffice. See Section R602.10.4 (Pages 177 - 188) of the IRC 2015.

NOTE TO HOMEOWNER:
These construction plans ARE NOT a part of your construction contract with your builder, unless your P&S agreement specifies that they are. Your P&S and it's attachments (like the builder's specifications or a review set of this design) describes what you and your builder agreed the builder would build for you. We here at Artform Home Plans do not have the authority to obligate your builder to provide you with amenities like fireplaces and spa tubs. The contract between you and your builder governs.

Sweet Cherry Pie

for construction only at:
Lot 29 Stroudwater Preserve, Portland, ME
by or for Stroudwater Development Partners



First Floor Plan

1 0 1 2 3 4

Living Area this Floor: 946 sq ft
8'-0" Finished Ceiling Height

Note: For further information on insulation see sheet 13

NOTE:
All vertical Joints of panel sheathing shall occur over, and be fastened to common studs. Horizontal joints in braced wall panels shall occur over, and be fastened to common blocking of a minimum 1 1/2in. thickness

Exceptions:
1. Blocking at horizontal joints shall not be required in wall segments that are not counted as braced wall panels.
2. Where the bracing length provided is at least twice the min. length required by tables R602.10.3(1) and R602.10(3) Blocking at horizontal Joints shall not be required in braced wall panels constructed using methods WSP, SFP, GB, PBS or HPS.
3. When Method GB panels are installed horizontally, blocking of horizontal joints is not required.

Dear Code Officer,

These are predesigned home plans, designed to bring good design and construction drawings to people at more affordable prices and faster time frames than traditional architecture. While traditional "internet" home plans disclaim all responsibility, we split responsibility between us (Artform) and the owner. We encourage the future homeowners to use a quality builder who can assist them with this. They are responsible for thermal and moisture decisions and for meeting code in ways that a quality builder should know without an explicit detail. We are responsible for things that are directly related to the design and/or that a quality builder couldn't reasonably figure out on their own - specifically the following IRC 2015 code sections:

1 - Room sizes (Section R304)
2 - Ceiling Height (Section R305)
3 - Floor space & ceiling height at Toilet, Bath and Shower Spaces (Section R307)
4 - Hallway widths (Section R311.6)
5 - Door types & sizes (Section R311.2)
6 - Floor space in front of doors (Section R311.3)
7 - Stair width - The stairs in our designs will be a minimum of 36" wide measured wall surface to wall surface, allowing compliance with R311.7.1 with installation of correct handrail.
8 - Stairway headroom (Section R311.7.2)
9 - Stair treads and risers (Section R311.7.5)
10 - Landings for stairways (Section R311.7.6)
11 - Emergency Escape Window Sizes (Section R310.2.1, R310.2.2, R310.2.3 and R310.2.4). Casement windows may require manufacturer's emergency escape window hardware. Will also comply with NFPA 101.
12 - Structural Floor Framing (Section R502.3) Where dimensional lumber is shown, framing members will be sized according to this section of the code. Where engineered wood products are shown, those framing members will be size according to the manufacturer's tables for loads and spans, or sizes will have been calculating using manufacturer's published materials properties.
13 - See structural sheets for additional notes.

The builder can and should add information to this set, such as Rescheck, a hand markup of our generic thermal and moisture section, additional information about doors and windows (such as fire rating, tempering, etc), foundation drops relative to site grading, and sometimes their chosen method of basement egress. These drawings are not intended to be used without that additional information.

Where a construction address is shown on the drawings, it is for copyright control only. We have not inspected the site, adapted the design to state specific laws (except where it says so in the drawings) or site or region specific climate conditions. Homeowner and/or Builder shall be responsible for thermal and moisture control strategies, materials choices and compliance with applicable laws and ordinances.

Please do feel free to call us with any questions. We can and do update our drawings and standard notes to address specific concerns, especially in jurisdictions where our clients will be building again.

Permissible uses of these drawings:
1. All activities associated with construction at the listed address.
2. Pricing or preliminary discussions with zoning or code officials for construction at other addresses, with prior notification to Artform Home Plans - just use the Contact form on the web site – http://www.artformhomeplans.com/contact.a5w

Not Permitted:
1. Application for any permits or other approvals for construction at properties other than the listed address, including but not limited to construction, zoning, conservation, or design review.
2. Modification of the basic design.

Use of these drawings outside these parameters is a violation of federal copyright law, punishable by both civil action and criminal prosecution, as it is stealing or enabling theft of "intellectual property". Making modifications to plans, even significant ones, does not change this, under copyright law, that's considered "derivative works".

We can provide drawings suitable for use in obtaining design or zoning approvals without incurring the expense of a full set of construction drawings. Contact us for more information.

AFHP CD Commons 18.1 X10_IRC 2015

LICENSED ARCHITECT WENDY ELTON No. 2490 STATE OF MAINE

Artform Home Plans
AFHP Design # 481.124.v2 KR

Sweet Cherry Pie
Lot 29 Stroudwater Preserve
Portland, ME

1

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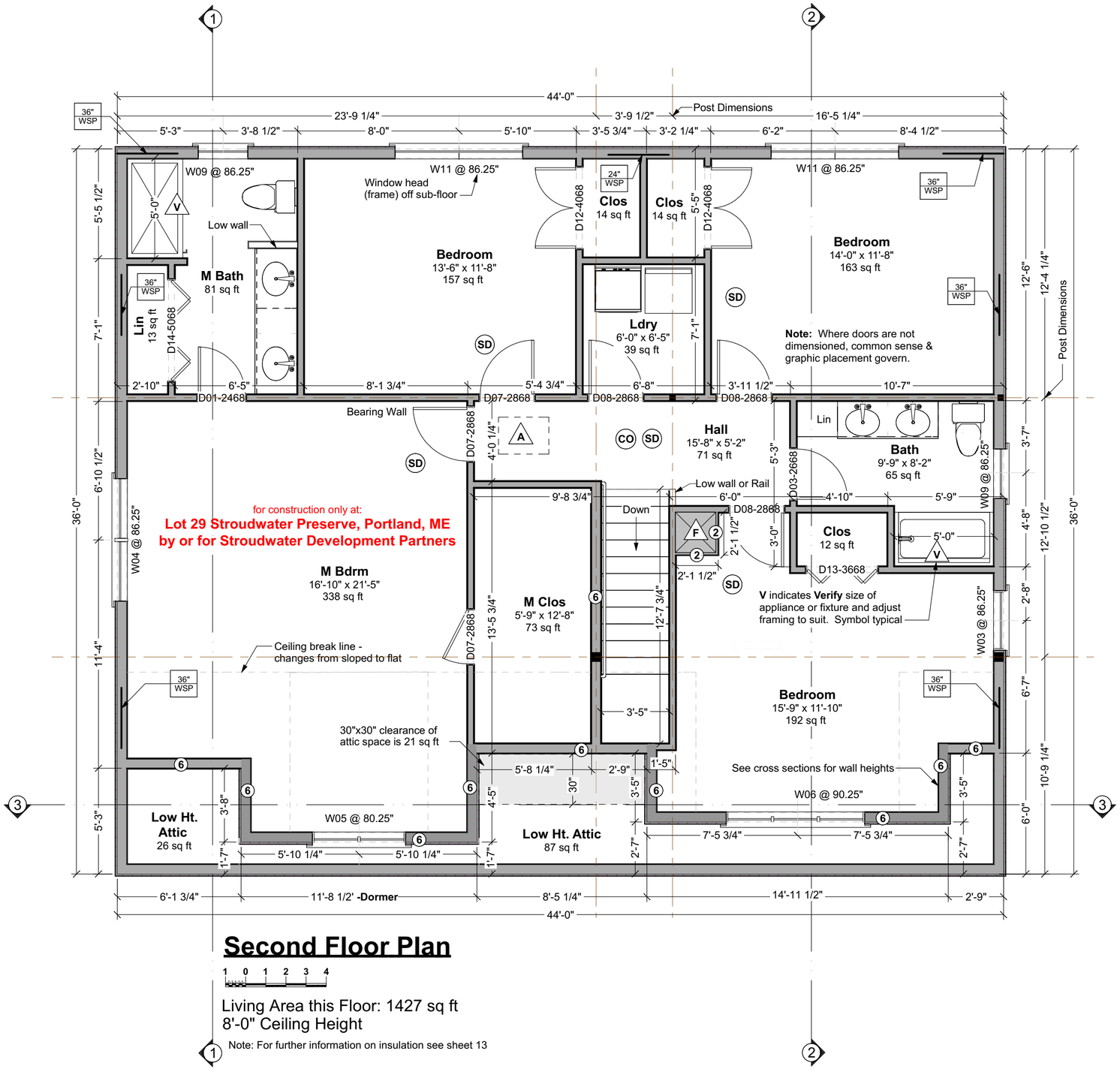


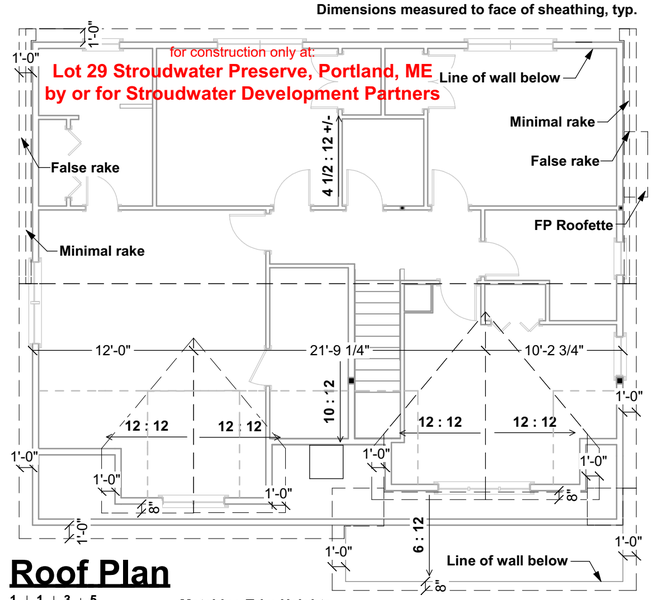
Second Floor Plan

1 0 1 2 3 4

Living Area this Floor: 1427 sq ft
8'-0" Ceiling Height

Note: For further information on insulation see sheet 13

Dimensions measured to face of sheathing, typ.



Roof Plan

1 1 3 5
0 2 4
1/8"=1'

Matching Trim Heights
Overrule Dimensions

Door & Window Notes

1. **Rated Doors:** Provide fire rated and/or self-closing doors where required by local codes or local authorities
2. **Trimmed Openings:** Trimmed openings not shown on schedule. See Plan.
3. **Window Tempering:** Provide tempered windows where required by local codes or local authorities. Tempering column provided here for convenience. Windows have not been reviewed for tempering requirements.
4. **Window RO's:** 1/4" or 1/2" on each of 4 sides allowed for window RO's, typical. Review framing size vs RO size. Adjust per manufacturer's requirements and/or builder preference.
5. **Egress Windows:** Provide minimum one door or window meeting egress requirements in basement, in each sleeping room, in each potential sleeping room, and other locations required by local code, in sizes required by local code. Note that casement windows coded by manufacturer as meeting IRC 2015 egress requirements typically need to be ordered with specific hardware. Emergency Escape Window Sizes (Section R310.2.1, R310.2.2, R310.2.3 and R310.2.4). Will also comply with NFPA 101.
6. **Basement Windows:** Add basement windows as required to meet state or local code requirements, including but not limited to egress and light/ventilation.
7. **Skylights:** Skylights are not shown on this schedule, but may be required. Consult builder and/or see floor plan.
8. **Minimum window sill height:** IRC 2015 requires that floor window sills be 24" from floor. Confirm bottom of window opening relative to frame. Conform to IRC 2015 R312.1.

Residential Sprinklers for Fire-Protection Service UL 1626

1.1 These requirements cover residential sprinklers intended for installation on sprinkler systems for fire protection service. Requirements for the installation and use of residential sprinklers are included in the standards for the installation fo sprinkler systems, NFPA 13, and installation of sprinkler systems in One and Two-Family Dwellings and Mobile Homes, NFPA 13D, and Residential Occupancies up to and including four stories in height Sprinkler systems, NFPA 13R.

1.2 The requirements in this standard are not intended to restrict the application of representative fire and other tests for special sprinklers, as referenced in standard for the installation of sprinkler systems, NFPA 13, that are intended to provide protection for specific fire hazards.

1.3 A product that contains features, characteristics, components, materials or systems new or different from those covered by the requirements in htis standard, and that involves a risk of fire or of electric shock or injury to persons shall be evaluated using appropriate additional component and end - product requirements to maintain the level of safety as originally anticipated by the intent of this standard. A product whose features, characteristics, components, materials, or systems conflict with specific requirements or provisions of this standard does not comply with this standard. Revision of requirements shall be proposed and adopted in conformance with the methods employed for development, revision and implementation of this standard.

Automatic Sprinklers

Installations shall be in accordance with NFPA 13D, Standard for the Installation of Sprinkler Systems One and Two-Family Dwellings and Manufactured Homes, as appropriate.

WINDOW SCHEDULE

NUMBER	QTY	WIDTH	HEIGHT	R/O	EGRESS	TEMPERED	DESCRIPTION	MANUFACTURER	COMMENTS	HEADER
W01	1	29 1/2 "	29 1/2 "	30"X30"		YES	SINGLE AWNING	PARADIGM		2X6X33" (2)
W02	2	29 1/2 "	29 1/2 "	30"X30"			SINGLE AWNING	PARADIGM		2X6X33" (2)
W03	1	35 1/2 "	23 1/2 "	36"X24"			SINGLE AWNING	PARADIGM		2X6X39" (2)
W04	1	73 "	23 1/2 "	73 1/2"X24"			2X AWNING	PARADIGM		2X13X76 1/2" (2)
W05	1	55 1/2 "	47 1/2 "	56"X48"	YES		DOUBLE CASEMENT-LHL/RHR	PARADIGM		2X12X59" (2)
W06	1	82 1/2 "	47 1/2 "	83"X48"	YES		TRIPLE CASEMENT-LHL/RHR	PARADIGM		2X13X86" (2)
W07	1	23 1/2 "	47 1/2 "	24"X48"			DOUBLE HUNG	PARADIGM		2X4X27" (2)
W09	2	29 1/2 "	47 1/2 "	30"X48"		YES	DOUBLE HUNG	PARADIGM		2X6X33" (2)
W10	7	38 "	61 1/2 "	38 1/2"X62"			DOUBLE HUNG	PARADIGM		2X8X41 1/2" (2)
W11	2	76 "	61 1/2 "	76 1/2"X62"	YES		2X DH	PARADIGM		2X13X79 1/2" (2)

DOOR SCHEDULE

NUMBER	QTY	FLOOR	SIZE	WIDTH	HEIGHT	TYPE	FIRE	COMMENTS
D01	1	2	2468 L IN	28 "	80 "	HINGED		
D02	1	1	2468 L IN	28 "	80 "	HINGED		
D03	1	2	2668 R IN	30 "	80 "	HINGED		
D04	1	1	2868 L EX	32 "	80 "	HINGED	YES	
D05	1	1	2868 L IN	32 "	80 "	HINGED		
D06	3	1	2868 R IN	32 "	80 "	HINGED		
D07	3	2	2868 R IN	32 "	80 "	HINGED		
D08	3	2	2868 L IN	32 "	80 "	HINGED		
D09	1	1	2868 R EX	32 "	80 "	HINGED		
D10	1	1	3068 R EX	36 "	80 "	HINGED		
D11	1	1	4068 L/R IN	48 "	80 "	DOUBLE HINGED		
D12	2	2	4068 L/R IN	48 "	80 "	DOUBLE HINGED		
D13	1	2	3668 L/R	42 "	80 "	4 DR. BIFOLD		
D14	1	2	5068 L/R	60 "	80 "	4 DR. BIFOLD		
D15	1	1	6068 L EX	72 "	80 "	SLIDER		
D16	2	1	9080	108 "	96 "	GARAGE		

LICENSED ARCHITECT WENDY J. SKELTON No. 2490 STATE OF MAINE

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Sweet Cherry Pie
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Structural General Notes:

1. Builder shall consult and follow the building code and other regulations in effect for the building site for all construction details not shown in these drawings. Requirements described here are specific to this design and/or are provided as reference. Additional building code or local requirements may apply.

2. Builder shall maintain a safe worksite, including but not limited to, provision of temporary supports where appropriate and adherence to applicable safety standards.

3. Design is based on the snow load listed on the framing plans, 120 mph basic wind speed, Exposure type B, soil bearing capacity of 2000 psf, and Seismic Category C, unless otherwise noted on the framing plans. Builder shall promptly inform Artform Home Plans of differing conditions.

Foundations

1. No footing shall be poured on loose or unsuitable soils, in water or on frozen ground.

2. All exterior footings to conform to all applicable code requirements for frost protection.

3. All concrete shall have a minimum compressive strength of at least 3000 PSI at 28 days.

4. Foundation achorage to comply with IRC 2015 Section R403.1.6, it shall consist of minimum size 1/2" diameter anchor bolts with 3/16" x 2" x 2" washers at a maximum of 72" oc for two stories or 48" oc for more than two stories, max of 12" from each corner, min of 2 bolts per wall. Anchor bolt shall extend 7" into concrete or grouted cells of concrete masonry units. Be aware that a garage under may be counted by your code officer as a story. Additional anchorage may be required at braced walls.

Wood Framing

1. All structural wood shall be identified by a grade mark or certificate of inspection by a recognized inspection agency.

2. Structural wood shall be Spruce-Pine-Fir (SPF) #2 or better.

3. When used, LVL or PSL indicate Laminated Veneer Lumber or Parallel Strand Lumber, respectively. Products used shall equal or exceed the strength properties for the size indicated as manufacturered by TrusJoist.

4. When used, AJS indicates wood I-joists as manufactured by Boise Cascade. Products of alternate manufacturers may be substituted provided they meet or exceed the strength properties for the member specified.

5. All floor joists shall have bridging installed at mid-span or at 8'-0" oc maximum.

6. Floor systems are designed for performance with subfloor glued and screwed.

7. At posts, provide solid framing/blocking to supports below. Provide minimum 1 1/2" bearing length for all beams and headers, unless noted otherwise.

8. All wood permanently exposed to the weather, in contact with concrete or in contact with the ground shall meet code requirements for wood in these environments.

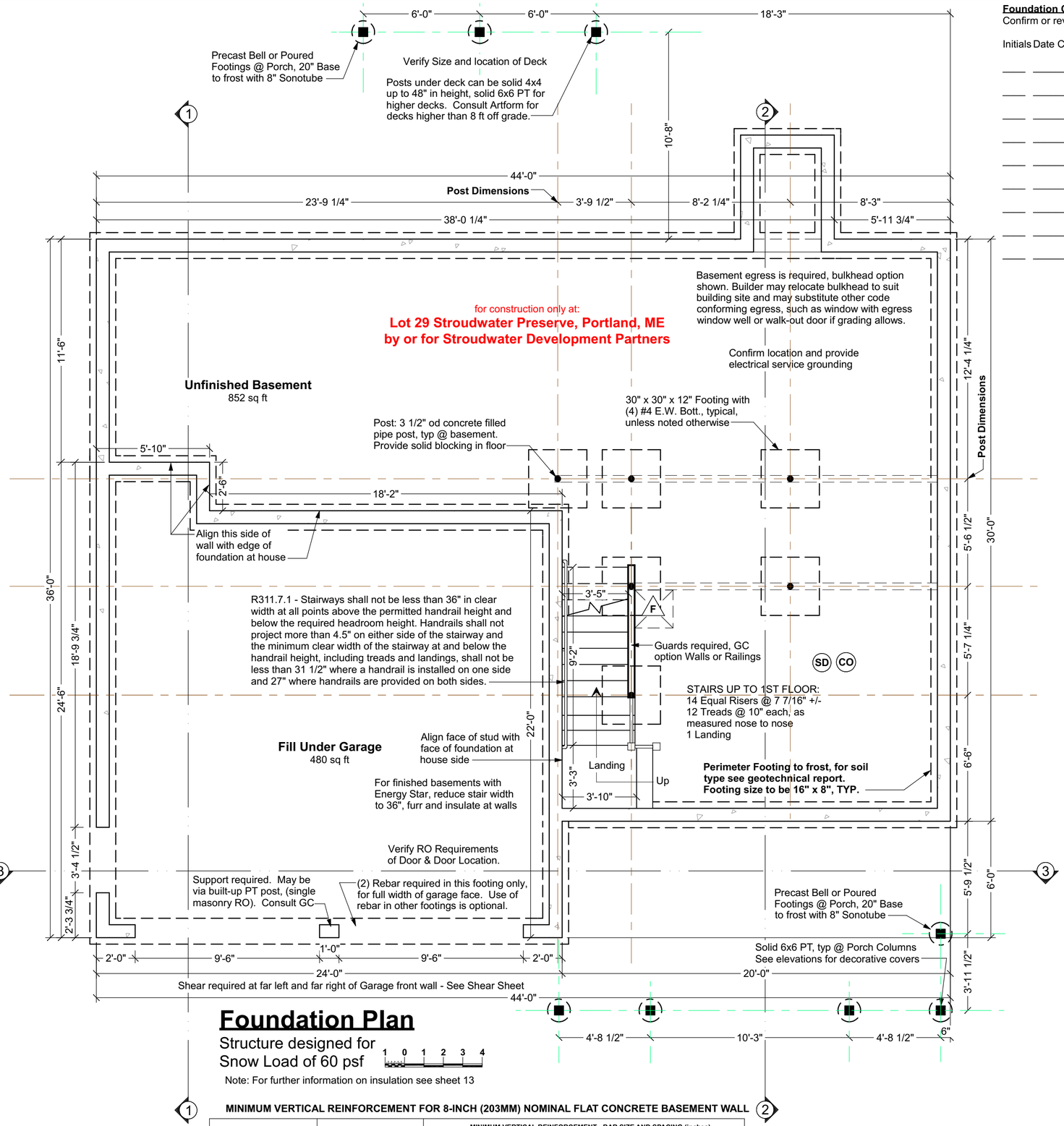
9. Deck ledgers shall be securely attached to the structure and/or independently supported, including against lateral movement, per building code requirements and best practices. Unless otherwise noted, decks shall have solid 4x4 pt posts up to 6 ft above grade, and solid 8x8 for heights above that.

10. Wherever beams are noted as Flush framed, install joist hangers at all joists, sized appropriately for the members being connected.

11. Support the lower end of roof beams via minimum 2" horizontal bearing on a post, ledger or via an appropriately sized and configured hanger.

12. Where multiple beams are supported on one post, provide min 2" bearing for each, via either appropriately sized post cap or additional post(s).

13. Hangers, post caps, ties and other connectors shall be as manufactured by Simpson Strong Tie, as designed to connect the members shown, and shall be installed per manufacturer's instructions.



Foundation Plan

Structure designed for Snow Load of 60 psf

1 0 1 2 3 4

Note: For further information on insulation see sheet 13

MINIMUM VERTICAL REINFORCEMENT FOR 8-INCH (203MM) NOMINAL FLAT CONCRETE BASEMENT WALL

MAXIMUM UNSUPPORTED WALL HEIGHT (feet)	MIAXIMUM UNBALANCED BACKFILL HEIGHT (feet)	MINIMUM VERTICAL REINFORCEMENT - BAR SIZE AND SPACING (inches)		
		Soil classes and design lateral soil (psf per foot of depth)		
			GM, GC, SM, SM-SC and ML 45	
8	4		NR	
	5		NR	
	6		NR	
	7		6 @ 36	
	8		6 @ 35	

Foundation Contractor Check List

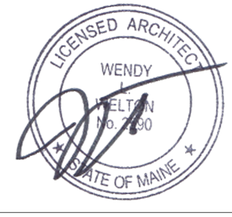
Confirm or review the following prior to forming & pouring foundation

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
09/28/2018

Initials	Date Checked	
___	_____	Confirmed soil bearing
___	_____	Checked w/GC for added foundation steps to suit grade
___	_____	Confirm sill plate thickness (foundation bolts to extend through all)
___	_____	Confirmed garage door size
___	_____	Checked w/GC for added basement windows
___	_____	Checked w/GC for added basement man doors
___	_____	Confirmed sizes & locations mech/plbg penetrations
___	_____	Confirmed sizes and locations of beams w/GC, added or adjusted beam pockets
___	_____	Confirmed location and installed electrical service grounding - See GC for location

TYPICAL PERIMETER FOUNDATION WALL:

- 8" poured concrete, 8 ft forms, min 7'-10" finished, with total of 3 rebar, as follows:
- (1) #4 rebar, 4" from top
- (1) #4 rebar @ vertical midpoint. Omit this rebar at walls 4 ft high or less.
- (1) #4 rebar, min 3" from bottom or per code
- Lap corners & splices of rebar per code.
- Secure sill to foundation with 1/2" diameter anchor bolts that extend 7" into concrete and tightened with a nut and washer @ 6' oc & max 12" from each corner & each end @ wood sill splices - if built-up sill, bolts must extend through all sill plates or straps must secure all sill plates.



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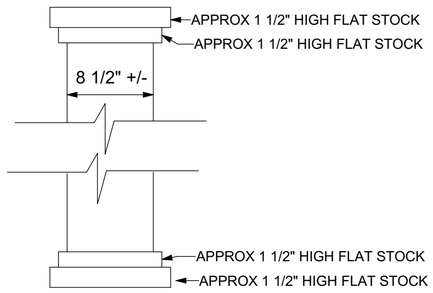
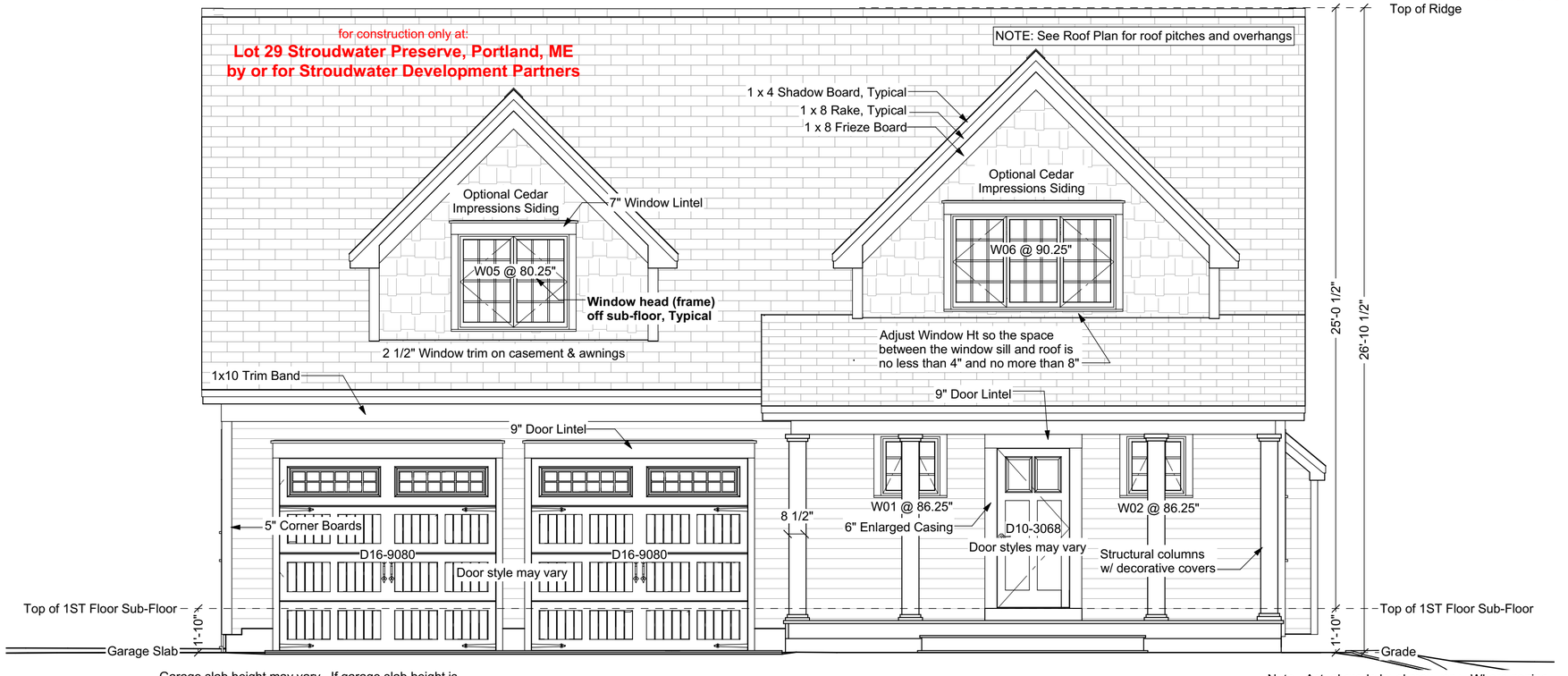


Column Detail

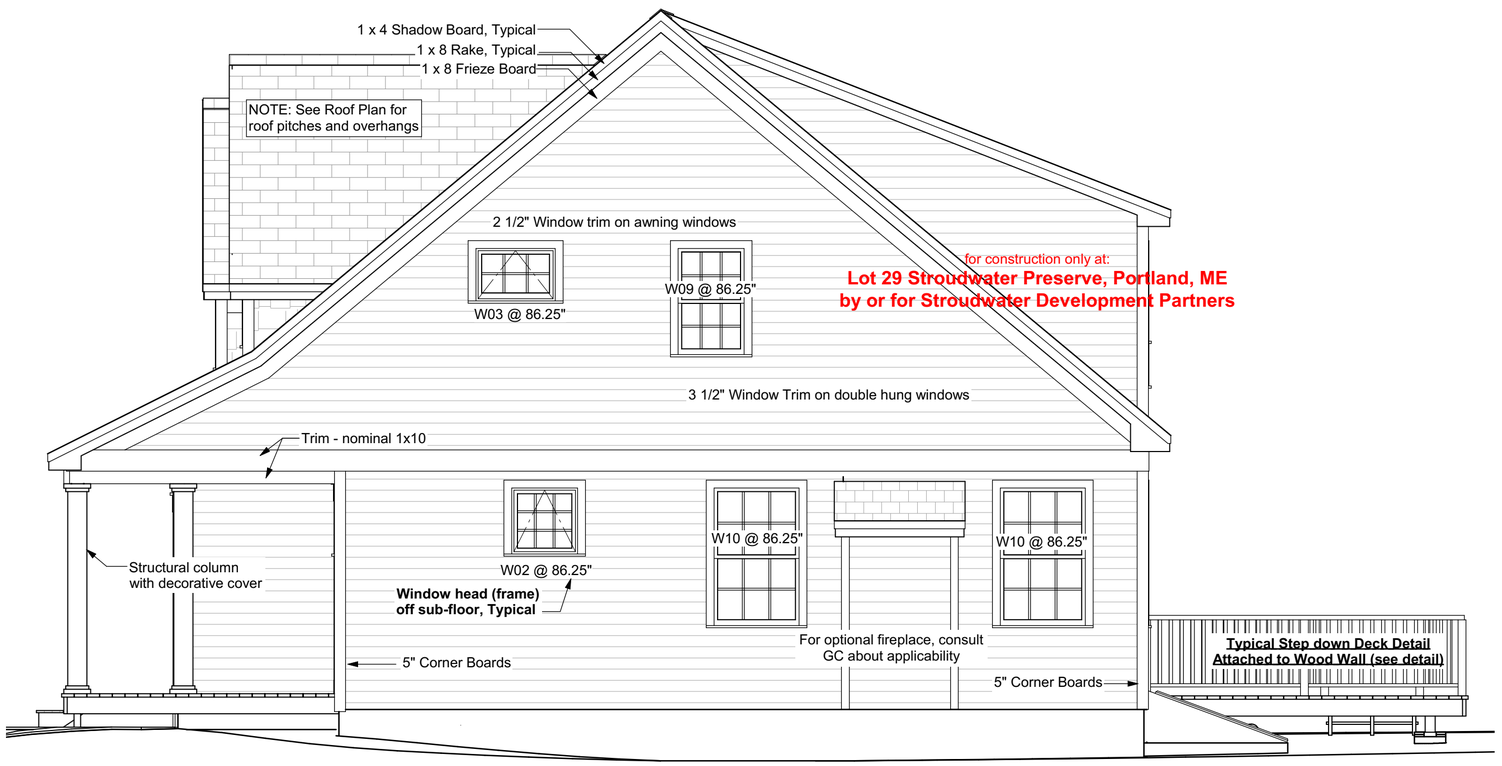


Garage slab height may vary. If garage slab height is lower than shown, consult Artform for aesthetic direction. Taller garage doors, transoms, lintels and/or additional frieze boards may be required to achieve desired look.

Not shown - number of steps may vary - handrail may be required per code.

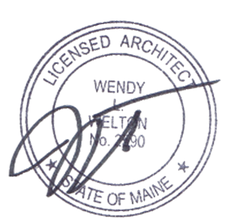
Front Elevation

Note - Actual grade level may vary. Where zoning height restrictions apply, builder shall verify conformance. Manual markup of drawings to demonstrate compliance is recommended.



Foundation steps and/or use of cripple walls may be added to suit grade.

Right Elevation



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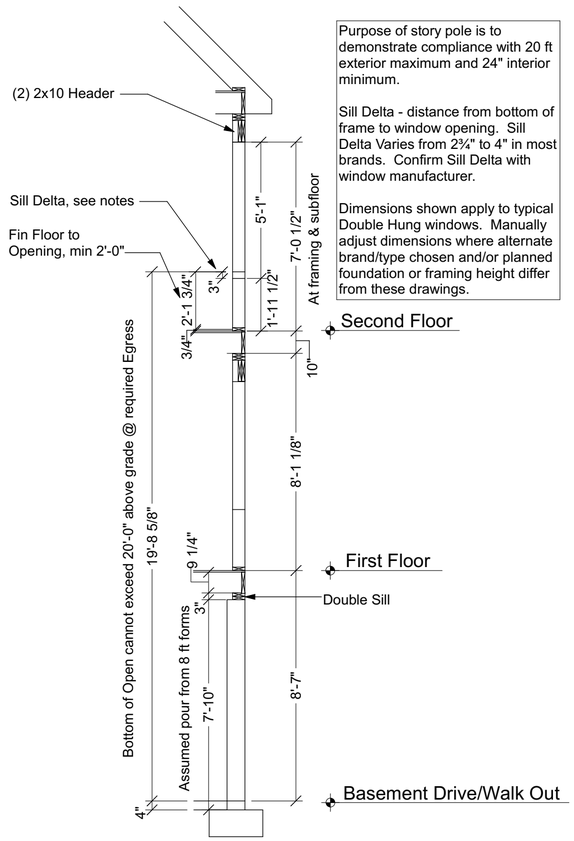
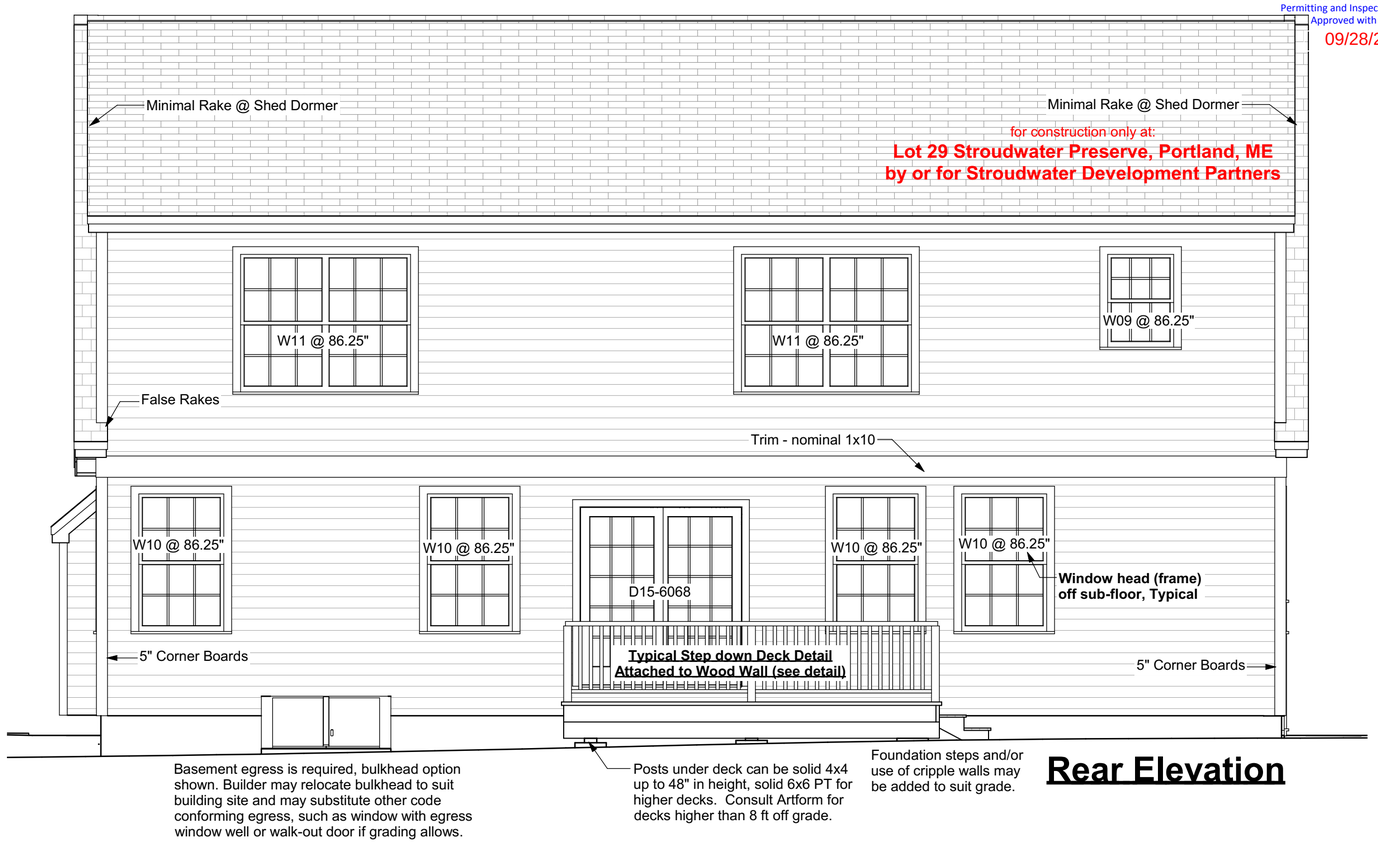
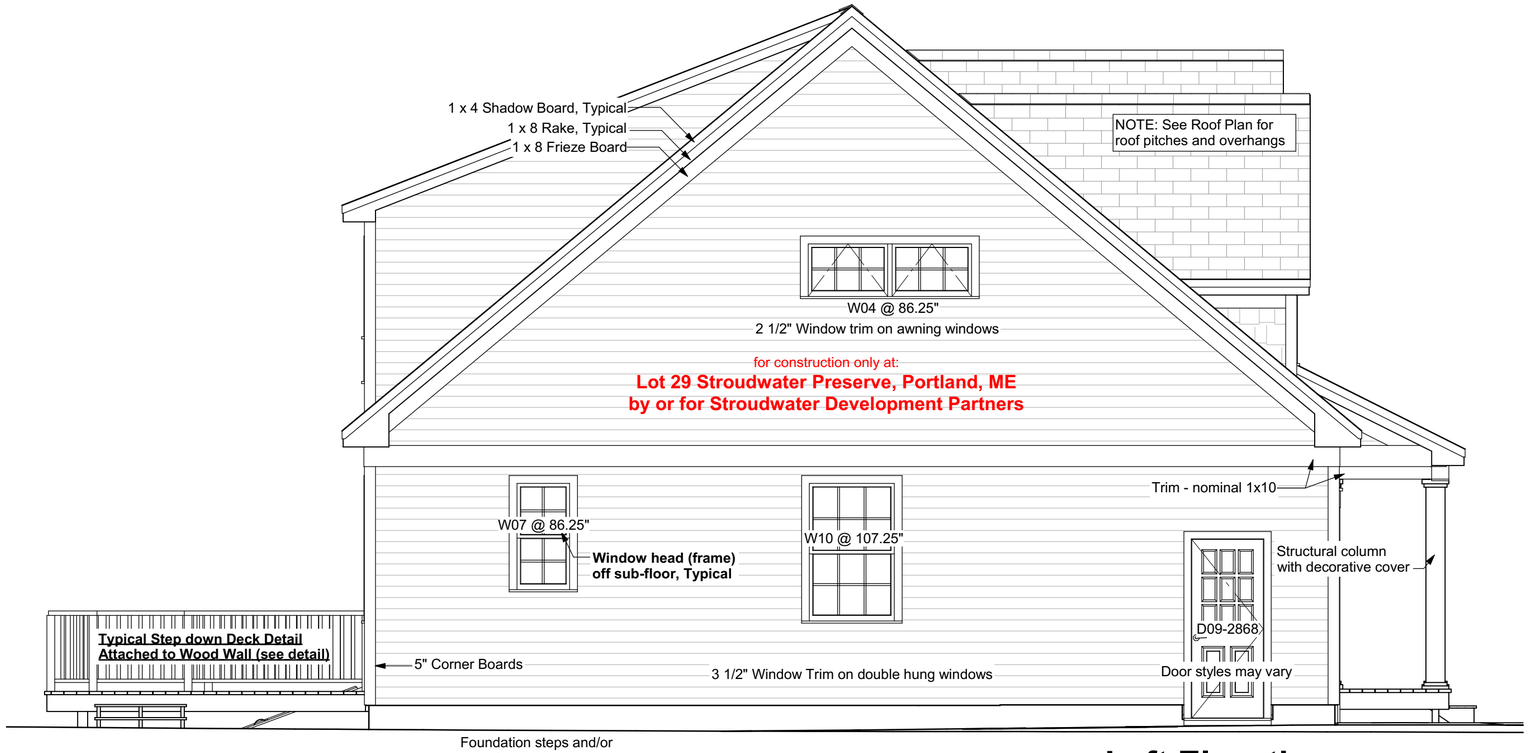


Window Story Pole

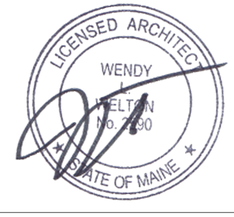
Scale ¼"=1'-0"



Rear Elevation



Left Elevation



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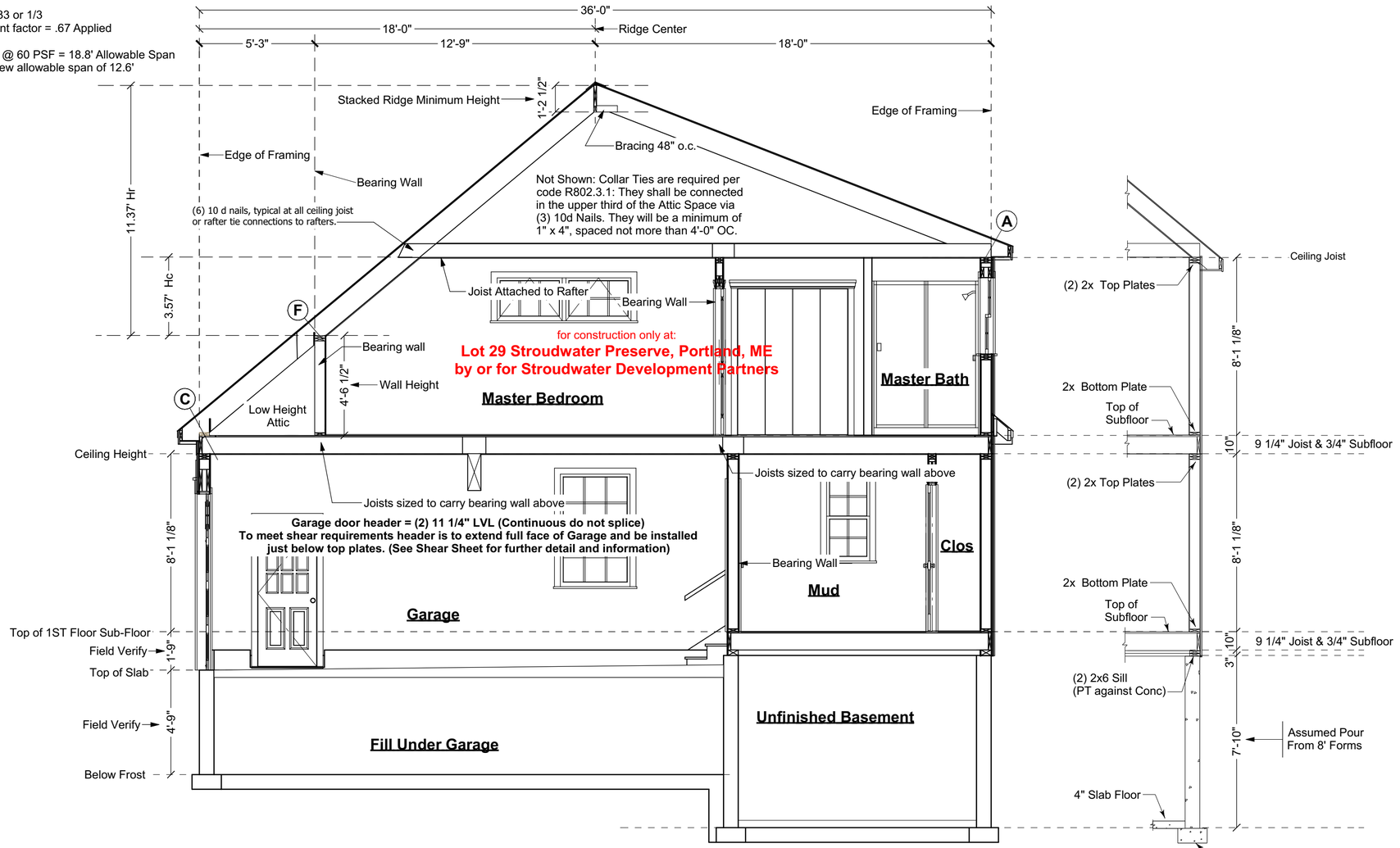
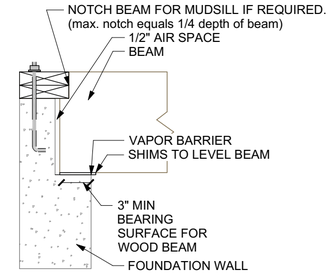
Rafter Adjustment:
Hc/Hr
3.57' / 11.37 = .33 or 1/3
Rafter adjustment factor = .67 Applied

2x12 @ 12" OC @ 60 PSF = 18.8' Allowable Span
18.8' x 0.67 = New allowable span of 12.6'

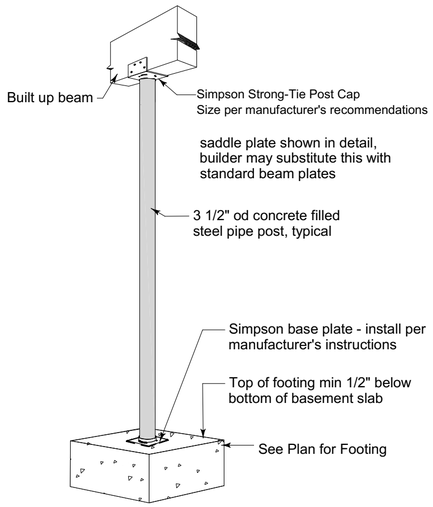


1 Cross Section @ Garage Gable End



Beam Pocket

Scale 1/2"=1'-0"



Typical Basement Post

Not to Scale

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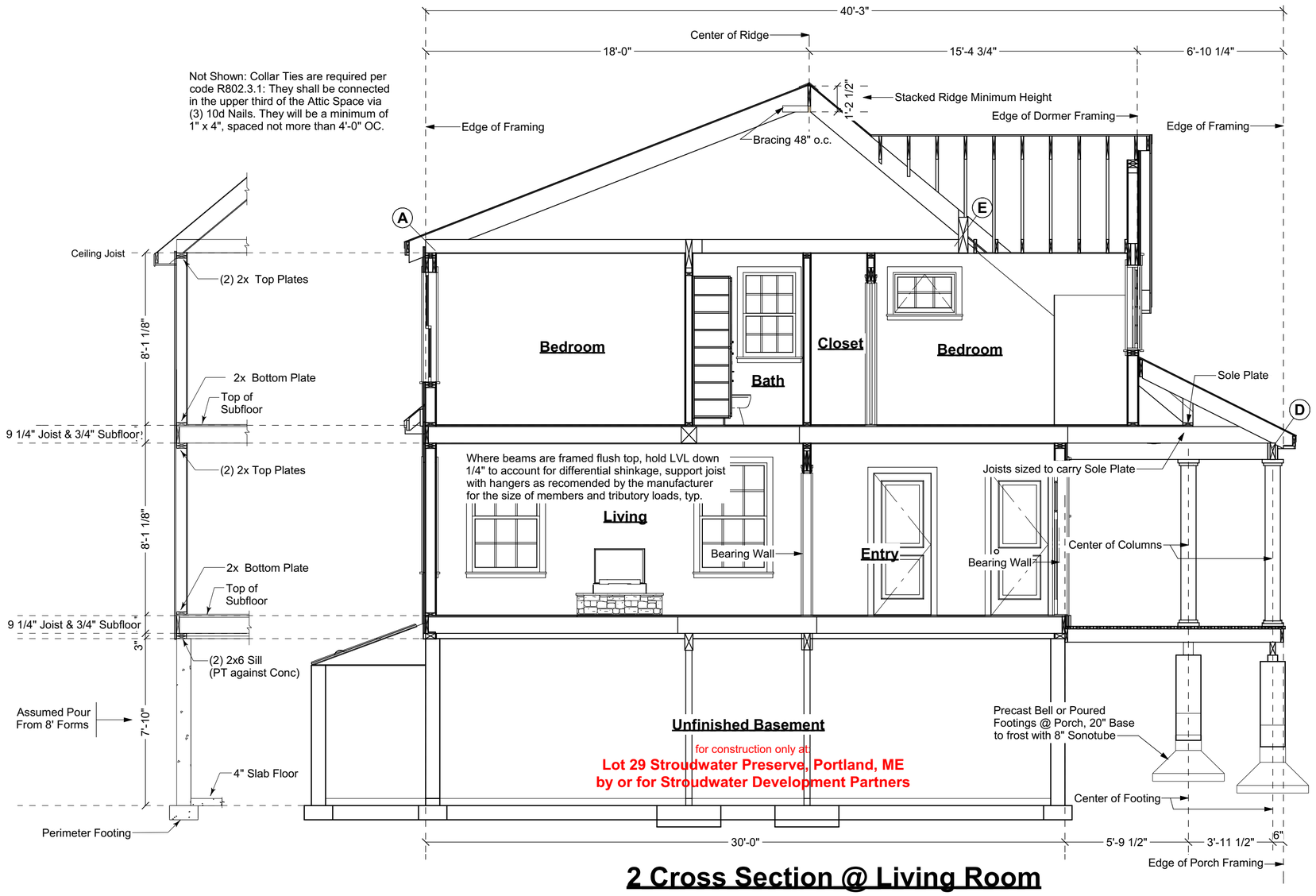

2 Cross Section @ Living Room

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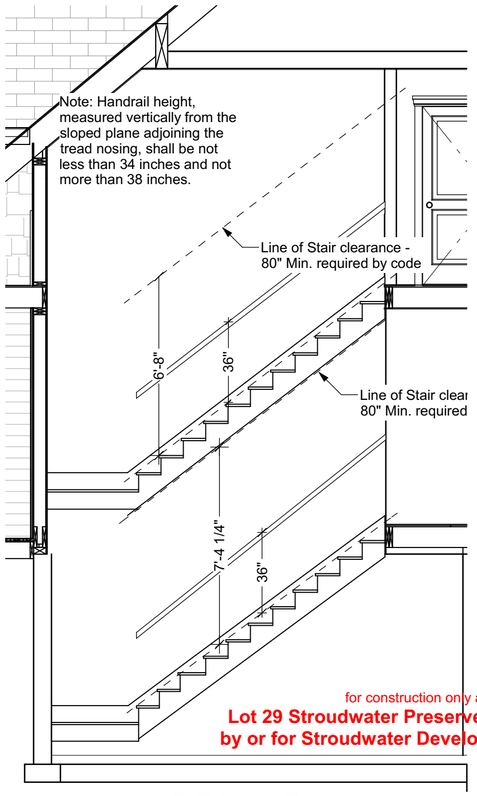
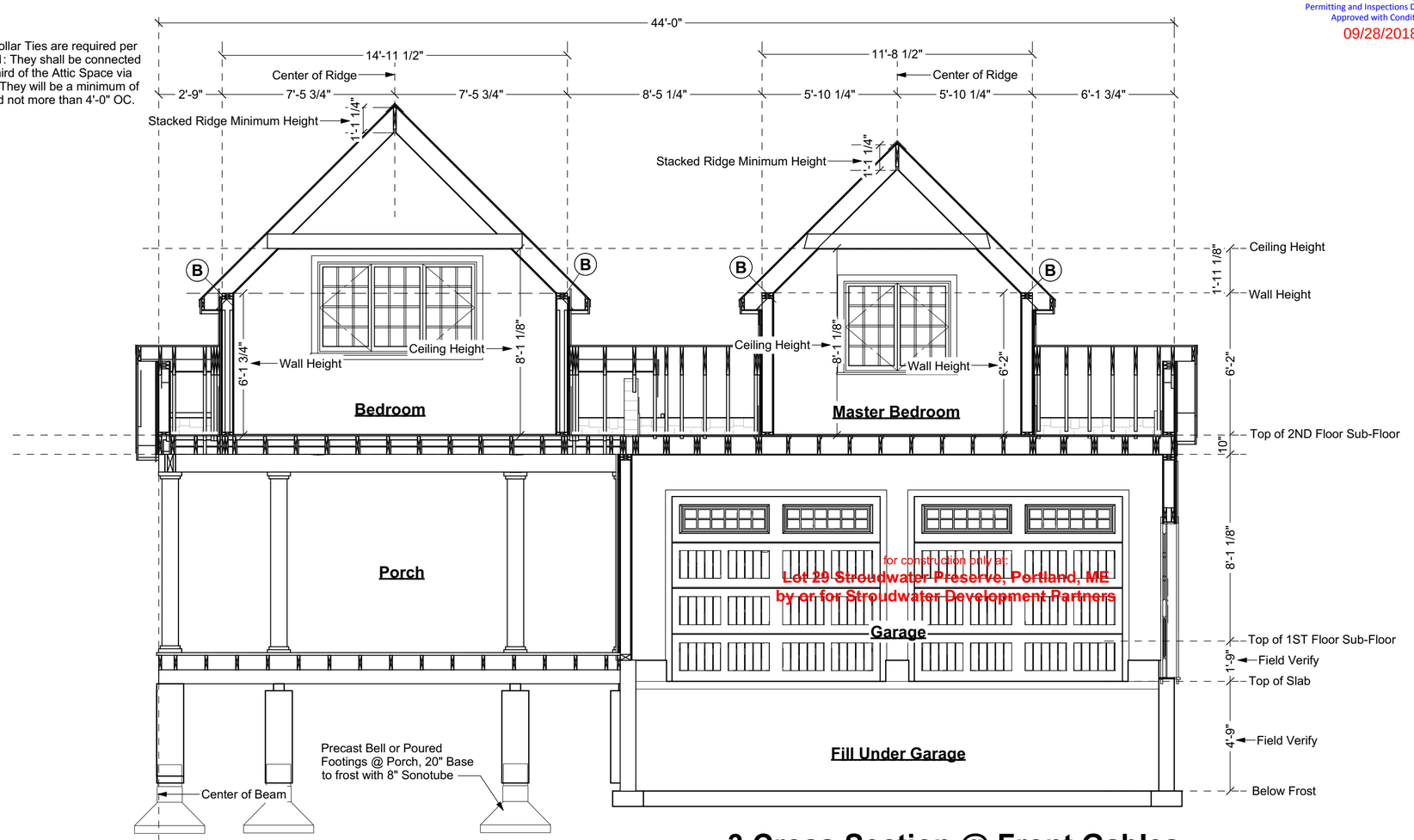
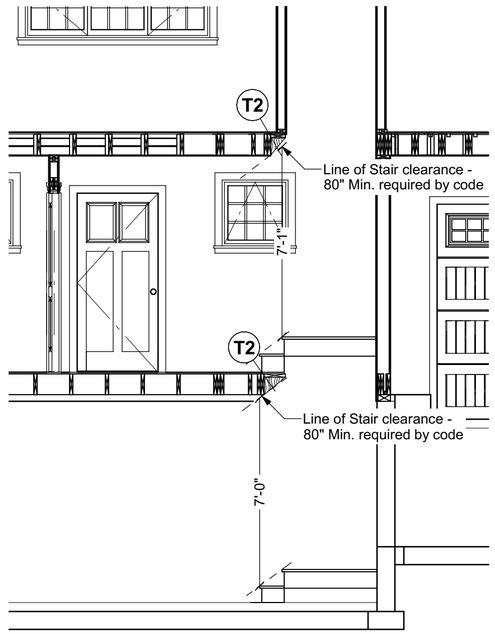


Line of Stair Clearance (Upper)

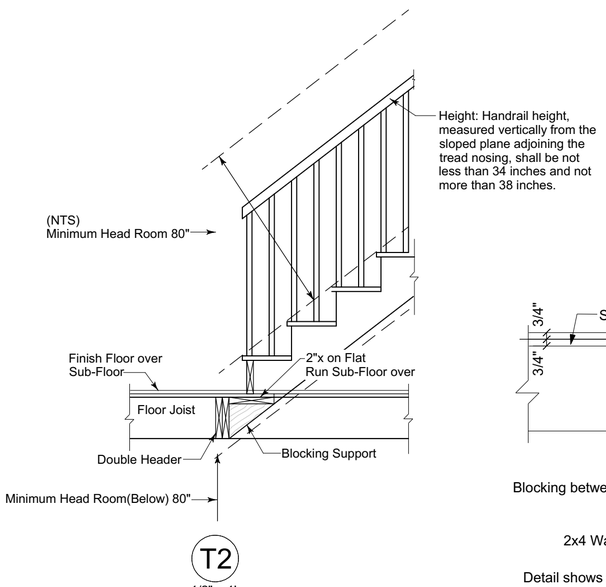
Not Shown: Collar Ties are required per code R802.3.1: They shall be connected in the upper third of the Attic Space via (3) 10d Nails. They will be a minimum of 1" x 4", spaced not more than 4'-0" OC.

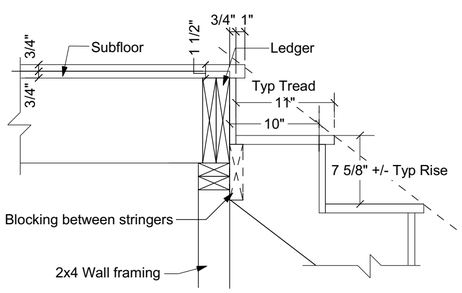


3 Cross Section @ Front Gables



Line of Stair Clearance (Lower)

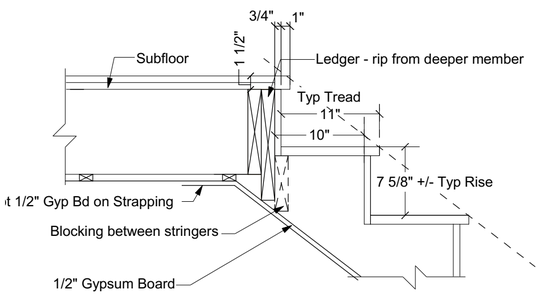




Detail shows assumptions used for framing plan RO
Framer may adjust to suit different head support methods

Top of Carriage (B)

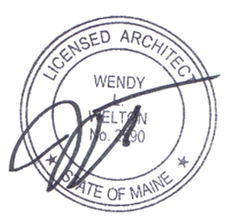
Scale: 1" = 1'-0"



Detail shows assumptions used for framing plan RO
Framer may adjust to suit different head support methods

Top of Carriage (C)

Scale: 1" = 1'-0"



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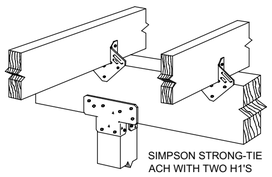
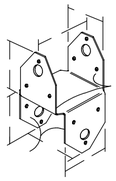
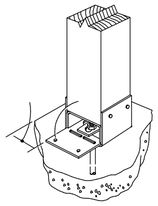


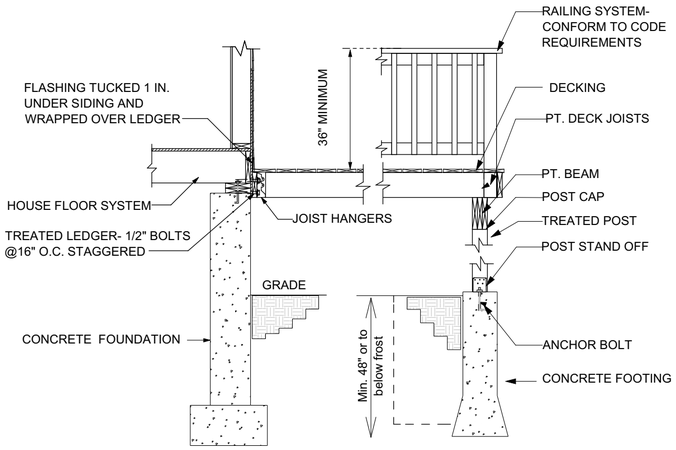
POST CAP & JOIST ATTACHMENT



POST CAP



POST STAND OFF

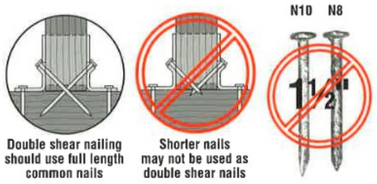


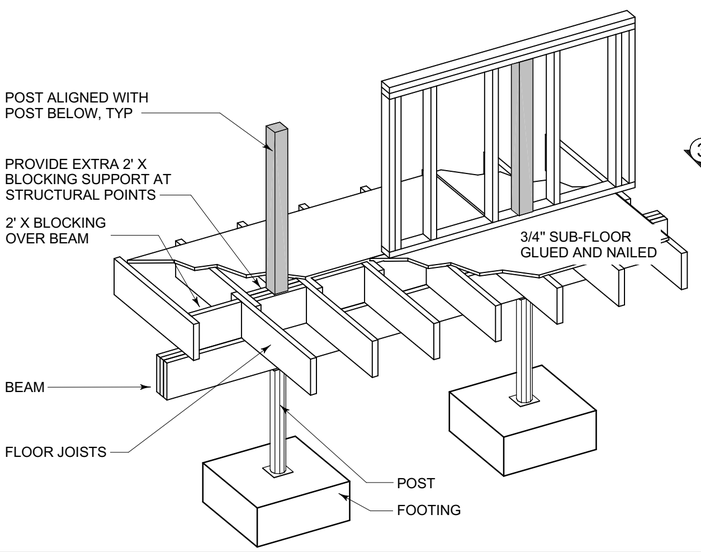
Typical Deck

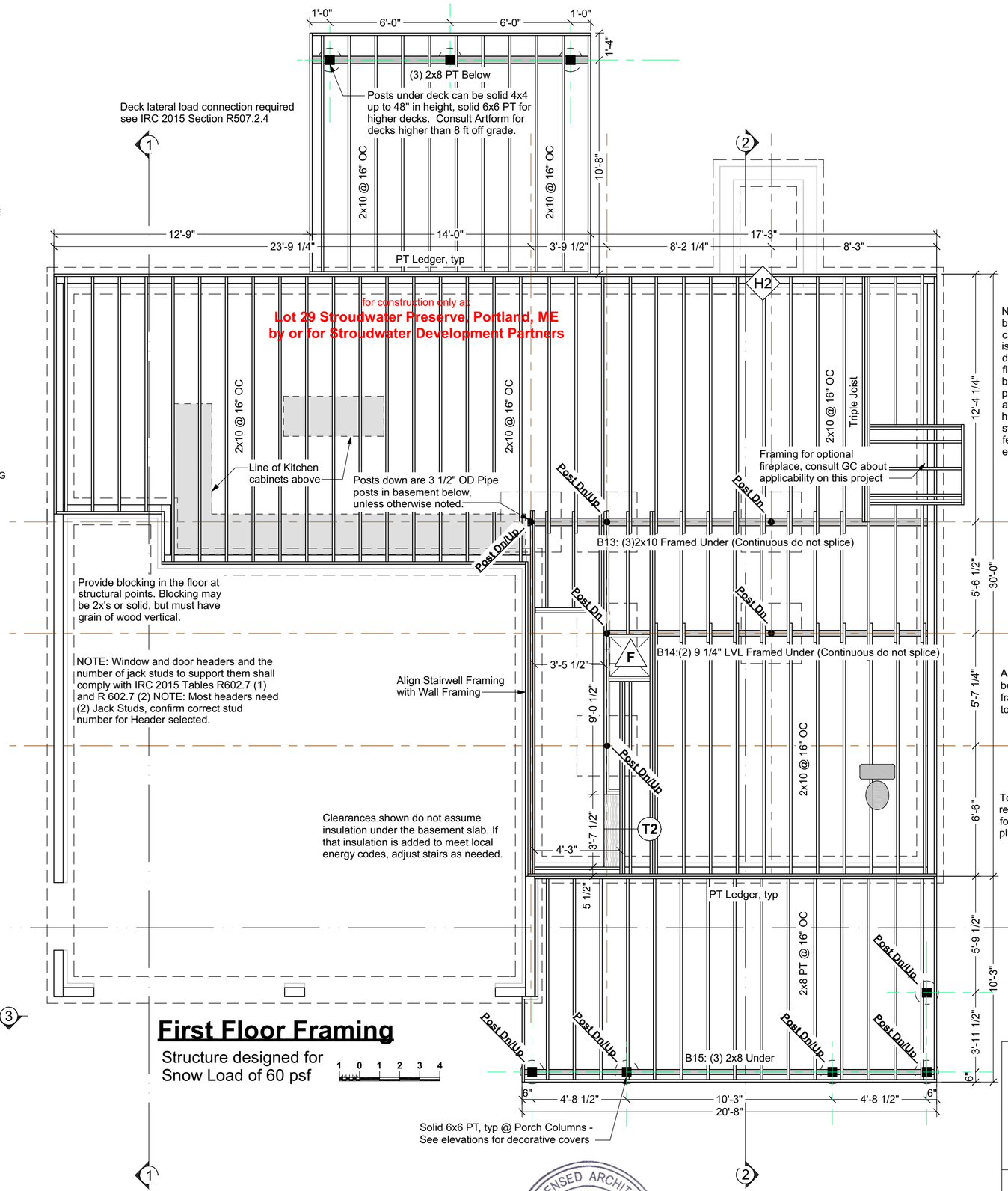
Not to Scale

Follow manufacturer's instructions both for installation of joist hangers to joist and to beam. The illustration below, by Simpson Strong Tie, is provided as a courtesy. Consult their full manual for acceptable fastener sizes and other important instructions.

SHORT NAILS Do not use short (1 ½") nails for double shear nailing.







First Floor Framing

Structure designed for Snow Load of 60 psf

1 0 1 2 3 4

NOTE: Our beams sizes often differ from prescriptive code, because our designs are rarely the old style box colonial or cape with a center bearing wall upon which prescriptive code is based. We size our beams via calculations for this specific design, which may carry those loads separately via second floor beams and/or roof transfer beams. Beam sizes may not be reduced or alternates substituted without our express permission. In states where the designer is a licensed architect, (NH, MA, ME & NY as of the date of issue) we are happy to provide calculations. Administration fees apply with provision of calculations. Code officer is encouraged to call with any questions about our methodology.

Assess clearance between bottom of beams and basement slab prior to framing. Flush frame beams if required to provide minimum of 81" clearance.

Toilets above shown for reference. Review floor plans for additional plumbing. Provide plumbing bays or as required

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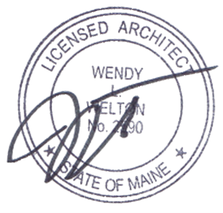
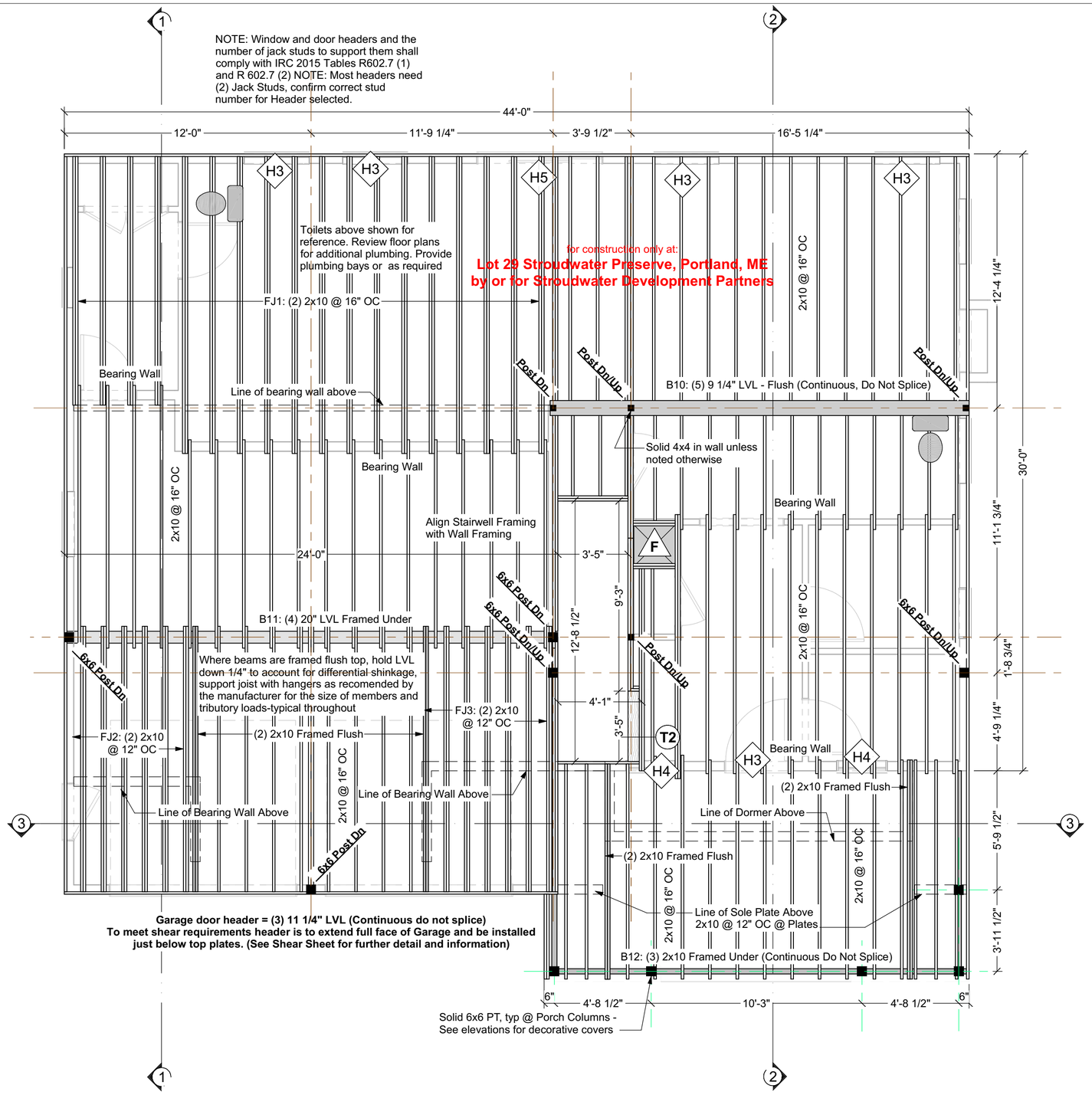


NOTE: Window and door headers and the number of jack studs to support them shall comply with IRC 2015 Tables R602.7 (1) and R 602.7 (2) NOTE: Most headers need (2) Jack Studs, confirm correct stud number for Header selected.



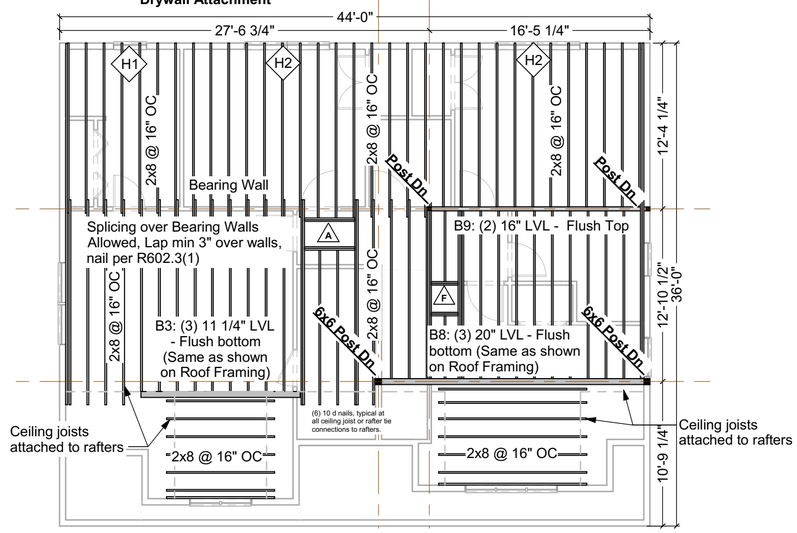
Garage door header = (3) 11 1/4" LVL (Continuous do not splice)
To meet shear requirements header is to extend full face of Garage and be installed just below top plates. (See Shear Sheet for further detail and information)

Second Floor Framing

Structure designed for Snow Load of 60 psf

1 0 1 2 3 4

Note:Framers may Adapt Ceiling Framing to facilitate Drywall Attachment



Ceiling Framing

Structure designed for Snow Load of 60 psf

1/8"=1'
1 1 3 5
0 2 4

Built-up Beams:
Unless otherwise noted, connect multiple 1 3/4" ply beams as follows:
3 ply & up, fasteners are per side

(2) 9 1/4" LVL:
- Flush framed
  - (2) rows 3 3/8" TrussLock @ 24" oc, or
  - (2) rows SDS 1/4x3 1/2 @ 24" oc
- Framed under (2) rows 10d nails @ 24" oc

(2) 11 1/4" LVL:
- Flush framed
  - (2) rows 3 3/8" TrussLock @ 19.2" oc, or
  - (2) rows SDS 1/4x3 1/2 @ 19.2" oc
- Framed under (2) rows 10d nails @ 24" oc

(2) 16" LVL or greater:
- Flush framed
  - (3) rows 3 3/8" TrussLock @ 19.2" oc, or
  - (3) rows SDS 1/4x3 1/2 @ 19.2" oc
- Framed under (2) rows 10d nails @ 24" oc

(3) 9 1/4" LVL :
- Flush framed
  - (2) rows 3 3/8" TrussLock @ 19.2" oc, or
  - (2) rows SDS 1/4x3 1/2 @ 19.2" oc
- Framed under (2) rows 10d nails @ 24" oc

(3) 11 1/4" LVL:
- Flush framed
  - (2) rows 3 3/8" TrussLock @ 16" oc, or
  - (2) rows SDS 1/4x3 1/2 @ 16" oc
- Framed under (2) rows 10d nails @ 24" oc

(3) 14" LVL:
- Flush framed
  - (3) rows 3 3/8" TrussLock @ 16" oc, or
  - (3) rows SDS 1/4x3 1/2 @ 16" oc
- Framed under (2) rows 10d nails @ 24" oc

(3) 16" LVL or greater:
- Flush framed
  - (3) rows 3 3/8" TrussLock @ 16" oc, or
  - (3) rows SDS 1/4x3 1/2 @ 16" oc
- Framed under (2) rows 10d nails @ 24" oc

(4) 9 1/4" LVL:
- Flush framed
  - (2) rows 5" TrussLock @ 16" oc, or
  - (2) rows SDS 1/4x6 @ 16" oc
- Framed under (2) rows 10d nails @ 24" oc

(4) 11 1/4" LVL:
- Flush framed
  - (2) rows 5" TrussLock @ 16" oc, or
  - (2) rows SDS 1/4x6 @ 16" oc
- Framed under (2) rows 10d nails @ 12" oc

(4) 16" LVL or greater:
- Flush framed
  - (3) rows 5" TrussLock @ 16" oc, or
  - (3) rows SDS 1/4x6 @ 16" oc
- Framed under (2) rows 10d nails @ 12" oc

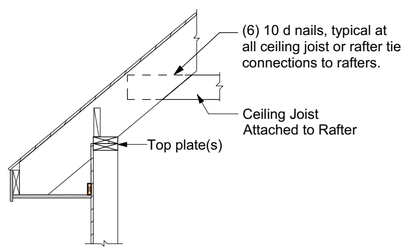
Beam Substitutions:

(2) 9 1/4" LVL may replace a double or triple 2x10 beam. No other substitutions are allowed. Conventional lumber beams MAY NOT be substituted for LVL beams by any "rule of thumb". Substitutions must be calculated by either Artform or a structural engineer. If calculated by a structural engineer, provide stamped plans and/or calculations.

We specify LVL beams as built up members to allow framers to use existing stock. You may substitute single piece LVLs of equivalent overall size for built-up members, unless otherwise noted.

Built-up members MAY NOT replace single piece LVL's where specified.

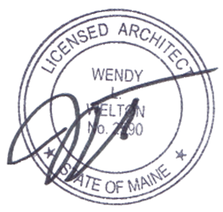
Where a beam of 1 3/4" or less in width is specified as framed under, either brace at 48" or double member for lateral stability.



Joist Attached to Rafter

Header Schedule

Number	Span	No. of Jacks Studs	Header Size
H1	3'-3"	2	(2) 2x6
H2	6'-4"	2	(3) 2x10
H3	3'-9"	2	(2) 2x8
H4	2'-11"	2	(2) 2x6
H5	6'-7"	2	(3) 2x12



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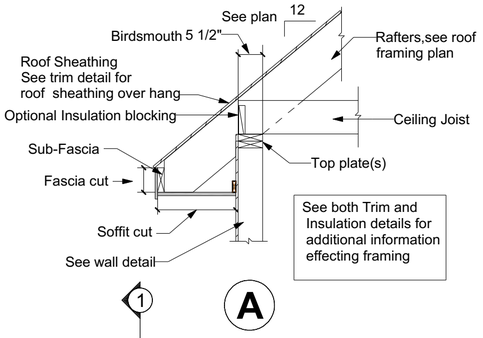
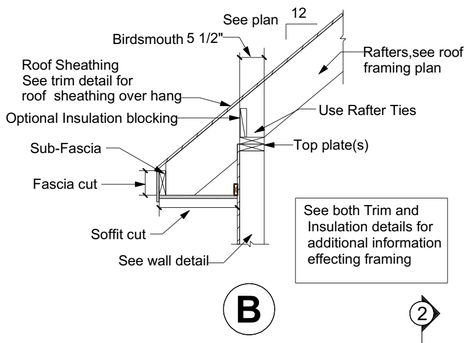
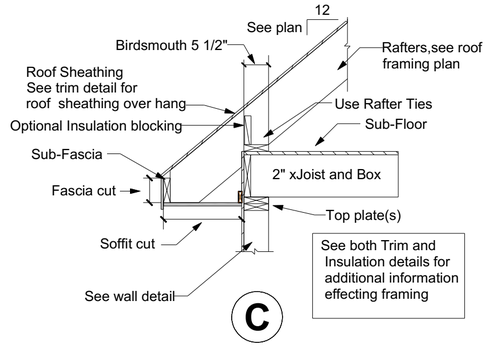
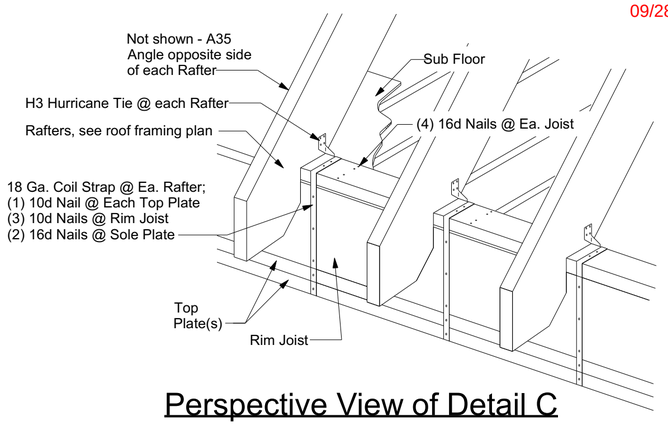
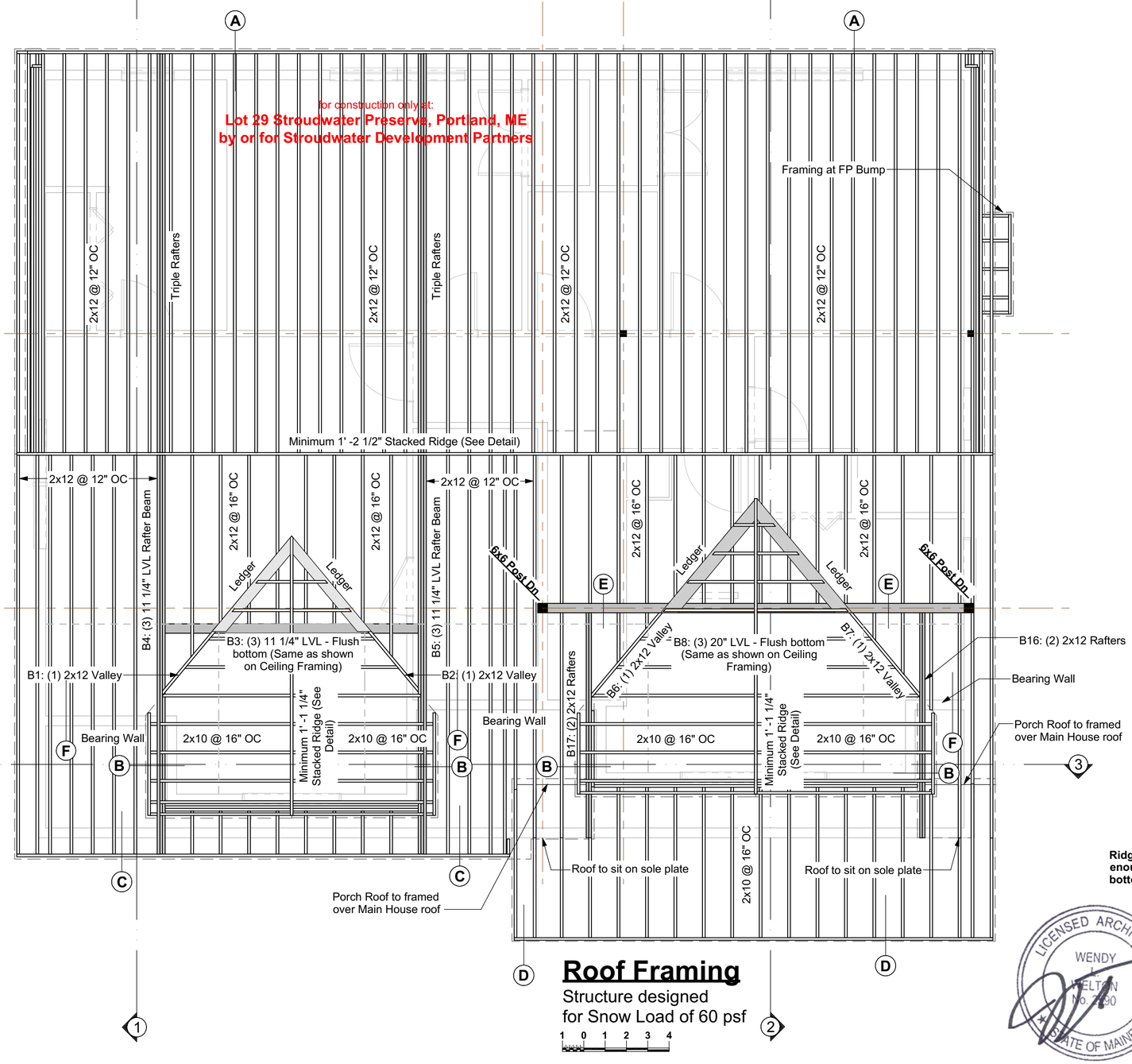








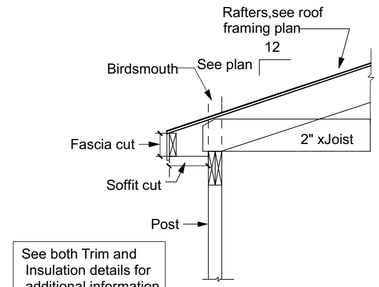
Perspective View of Detail C

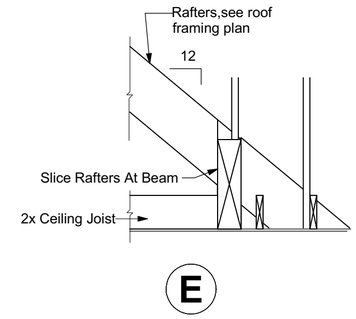


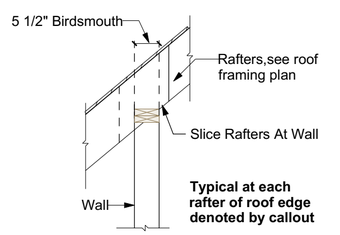
Roof Framing

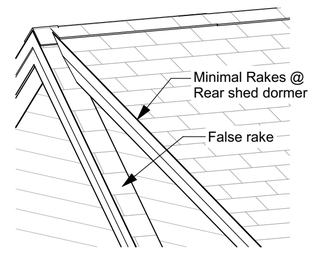
Structure designed for Snow Load of 60 psf

1 0 1 2 3 4

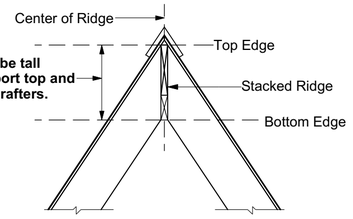








Alternate:
12" False Rake and a 6" Shed Dormer Rake



Stacked Ridge Detail

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Method PFG: Portal frame at garage door openings shall be constructed in accordance with Figure R602.10.6.3. Note this method is allowed on either side of garage door openings.

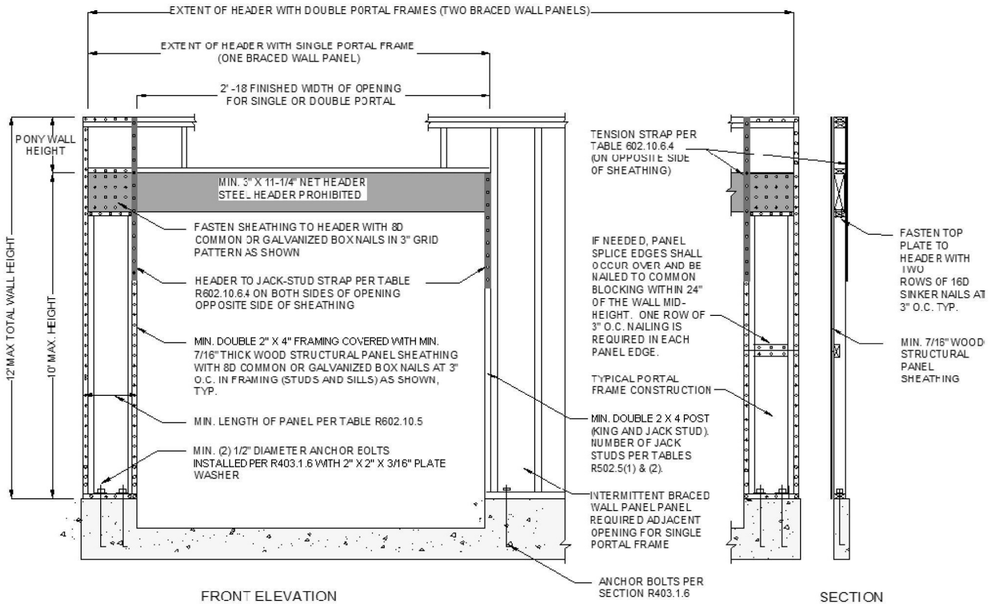

FIGURE R602.10.6.3
METHOD PFG—PORTAL FRAME AT GARAGE DOOR OPENINGS IN SEISMIC DESIGN CATEGORIES A, B AND C

- See plans for locations where shear panels are required.
- Details shown here are for one method and for typical conditions. An alternate shear method allowed per code or approved by the code officer may be substituted.
- If the method at left is used at Garages where width of panel is 20" or more, wall height may be 10 ft as shown in detail at left. Where panel width is 18"-20", wall height may be 9 ft. Where panel is 16"-18", wall height may be 8 ft. Where panel is less, consult architect for additional design.
- If the method at left is used, increase foundation wall height at front and for 2 ft along wall returns as required to meet maximum wood stud wall heights, and extend sheathing and siding in front of wall to achieve desired aesthetics. Untreaded wood may not be in direct contact with concrete - use treated wood or provide a barrier, such as a rubber membrane or felt paper.
- Note that if sheathing is to be used as wall bracing all vertical joints in required braced wall panels must be blocked. [2015 IRC section R602.10.10]

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Lot 29 Stroudwater Preserve, Portland, ME
by or for Stroudwater Development Partners

Method CS-PF: Continuously sheathe portal frame shall be constructed in accordance with Figure 602.10.6.4. The number of continuously sheathed portal frame panels in a single braced wall line shall not exceed four.

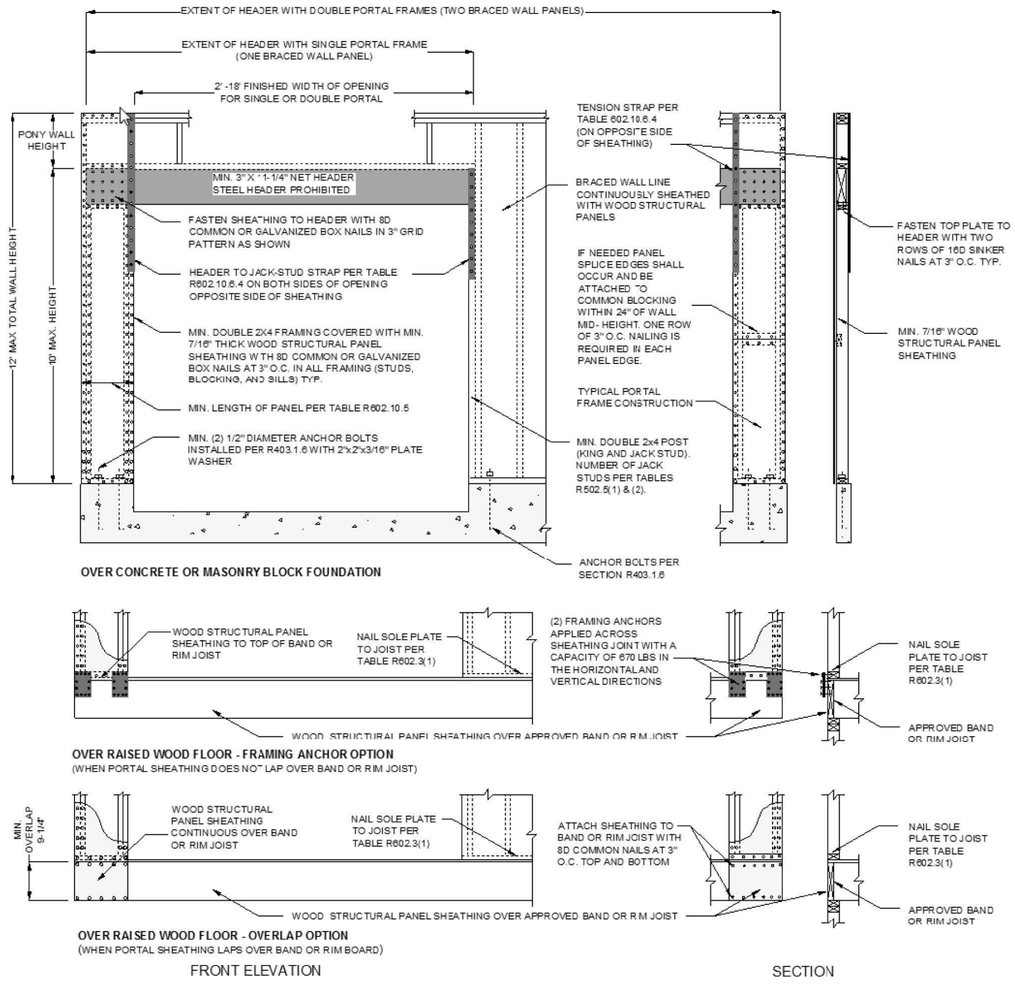
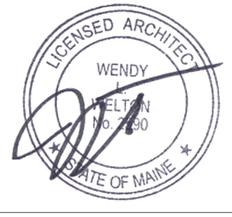


FIGURE R602.10.6.4
METHOD CS-PF—CONTINUOUSLY SHEATHED PORTAL FRAME PANEL CONSTRUCTION

TABLE R602.10.4
BRACING METHODS

METHODS, MATERIAL		MINIMUM THICKNESS	FIGURE	CONNECTION CRITERIA[a]	
				Fasteners	Spacing
Continuous Sheathing Methods	**CS-WSP** Continuously sheathed wood structural panel	3/8"		Exterior sheathing per Table R602.3(3)	6" edges 12" field
				Interior sheathing per Table R602.3(1) or R602.3(2)	Varies by fastener



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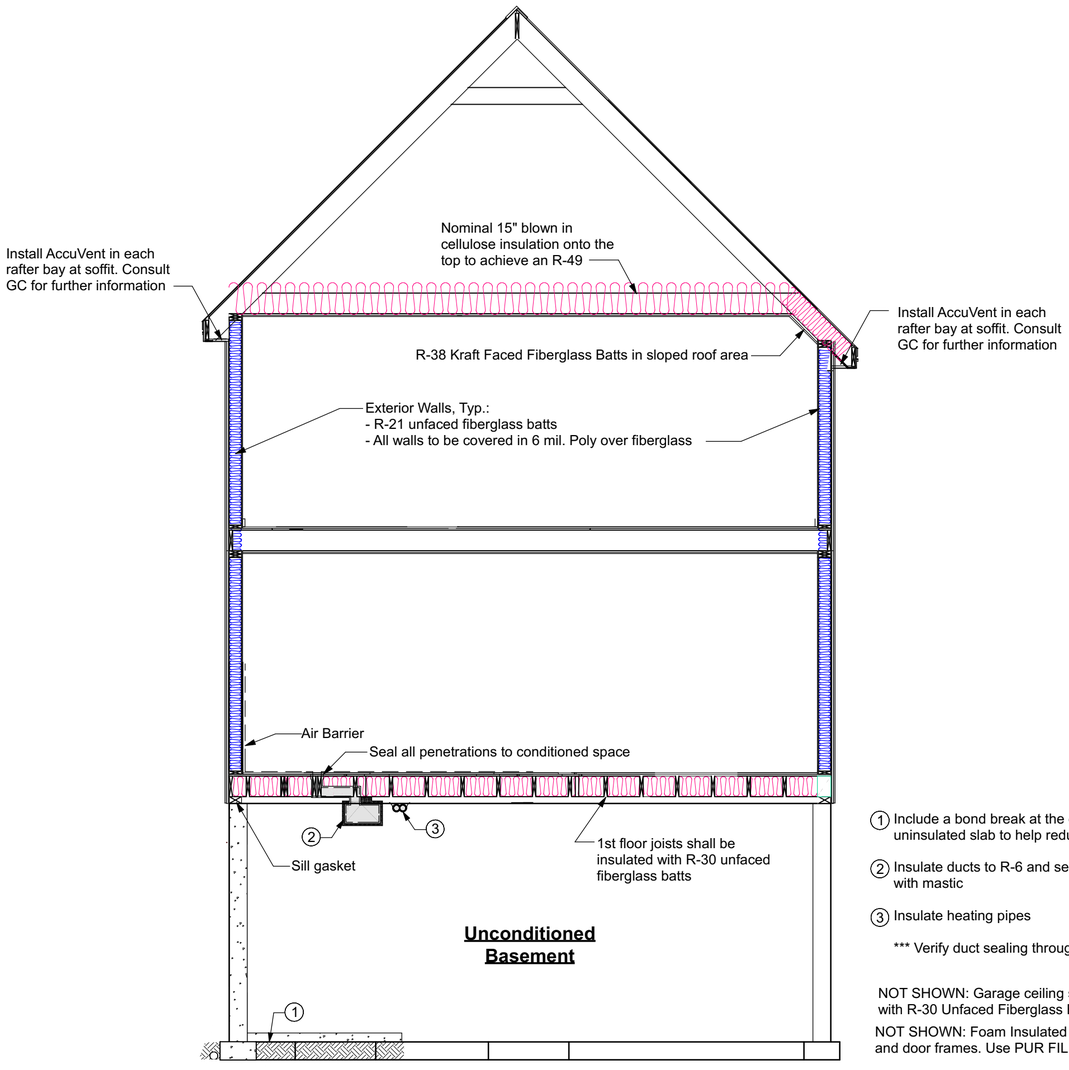
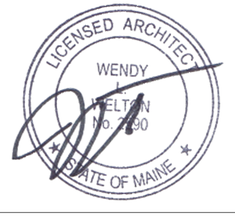


1. Include a bond break at the edge of an uninsulated slab to help reduce cracking
2. Insulate ducts to R-6 and seal all seams with mastic
3. Insulate heating pipes

*** Verify duct sealing through testing

NOT SHOWN: Garage ceiling shall be insulated with R-30 Unfaced Fiberglass Batts.

NOT SHOWN: Foam Insulated windows and door frames. Use PUR FIL 1G



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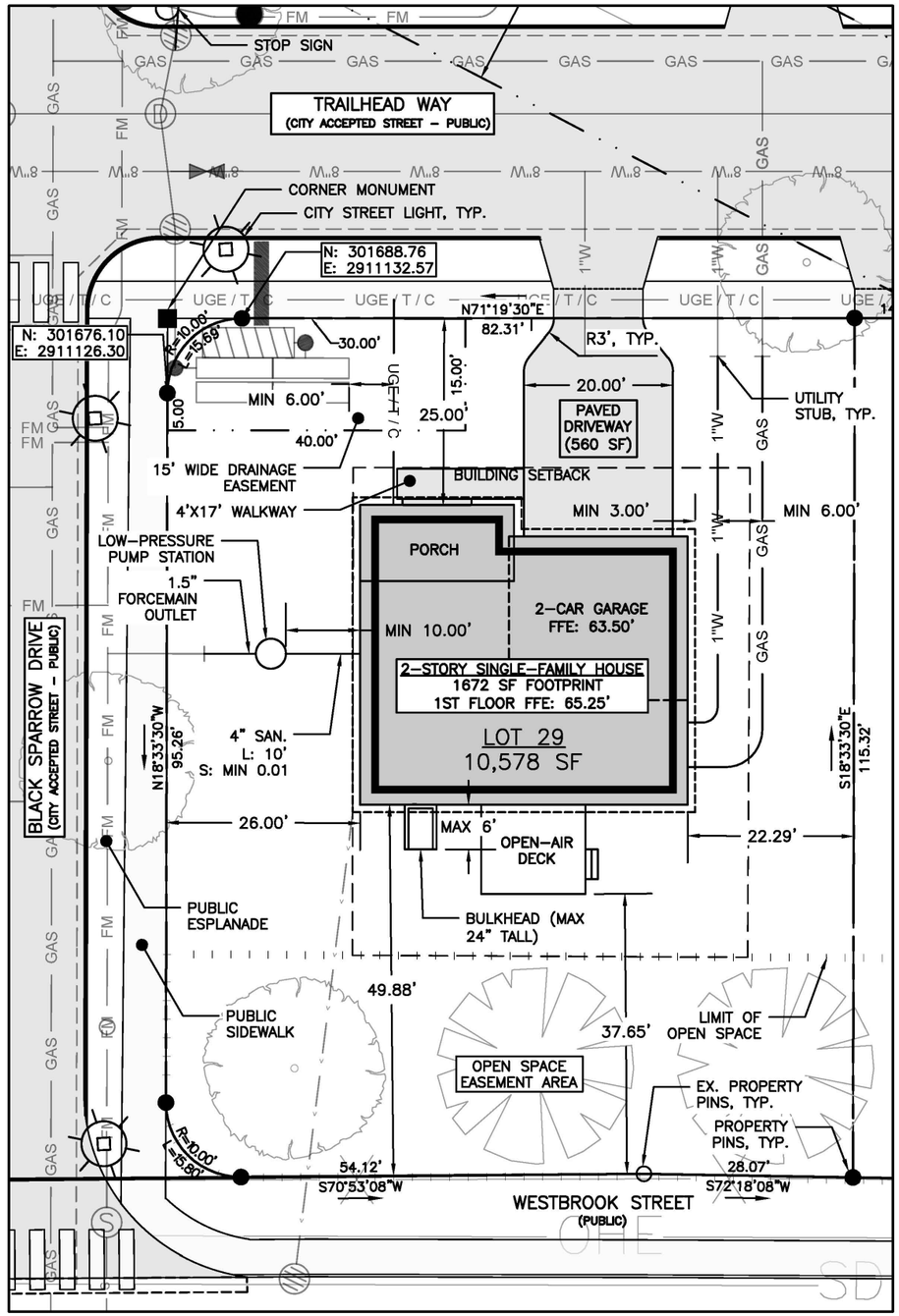
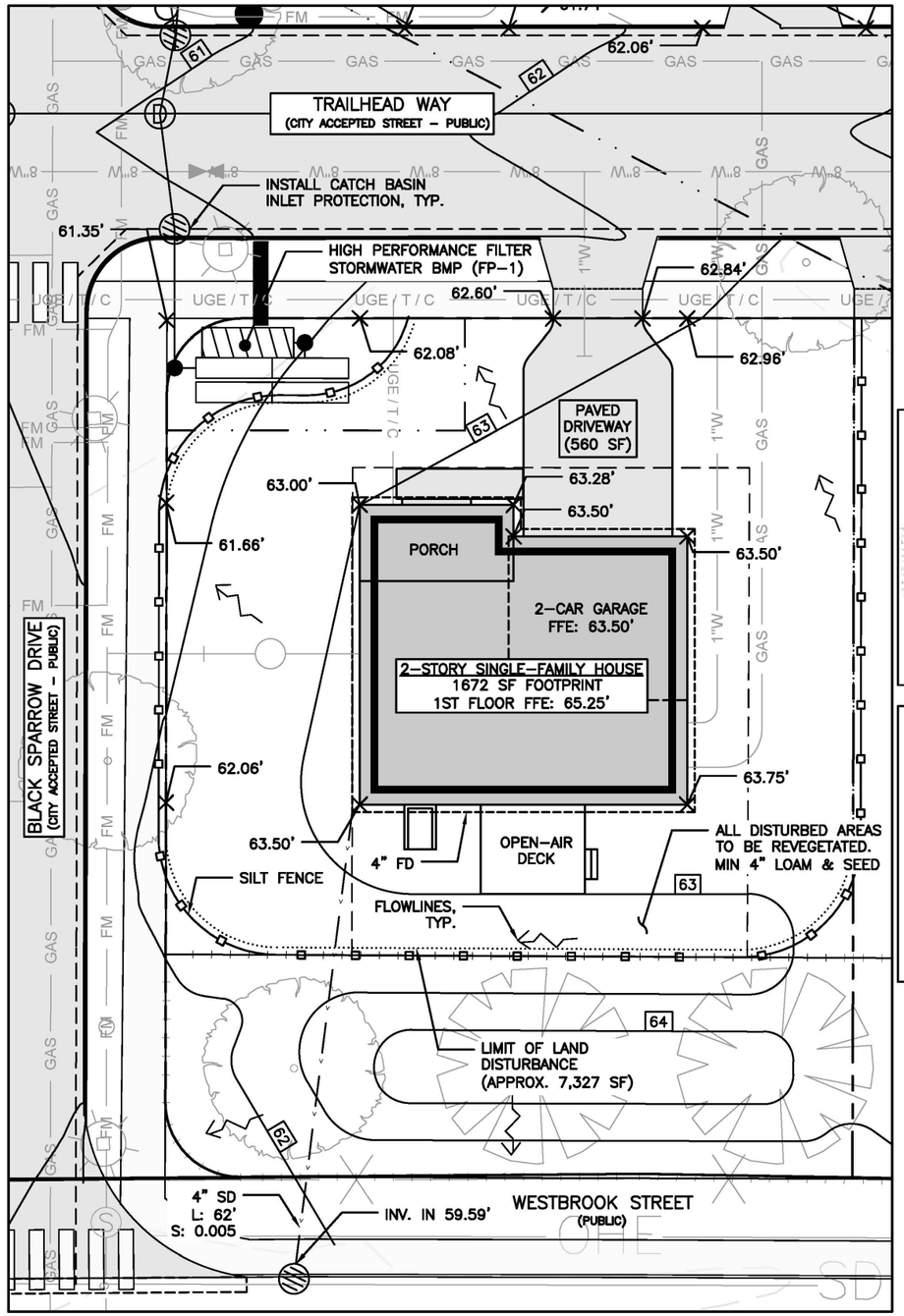
Construction

R1: 9.19.18 - Changes to notes and added details



SITE & UTILITY PLAN
1"=20'



GRADING, DRAINAGE, & EROSION CONTROL PLAN
1"=20'

FINAL PERMIT

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
09/20/2018

10 0 10 20
SCALE: 1" = 20'

DATUM REFERENCE NOTE:

ELEVATION AND CONTOUR INFORMATION BASED ON NAVD 88. TO CONVERT THE ELEVATION DATA TO NGVD 1929 DATUM, ADD 0.70 FEET TO THE NAVD 88 VALUE.

STATE OF MAINE
WILLIAM H. SAVAGE
No. 11447
REGISTERED PROFESSIONAL ENGINEER
9-10-18

STATE OF MAINE
REX A. CROTEAU
2273
PROFESSIONAL LAND SURVEYOR
9/20/2018

ISSUED FOR	BY / DATE
FINAL PERMIT	WHS 7/30/18
ZONING RESPONSE	WHS 9/11/18
FINAL GRADING	WHS 9/19/18
REVISION	REV. DATE

DRAWING NAME: SITE PLAN

PROJECT NAME: LOT 29 LEVEL I MINOR RESIDENTIAL APPLICATION STROUDWATER PRESERVE

CLIENT: STROUDWATER DEVELOPMENT PARTNERS, LLC KENNEBUNK, ME

ACORN ENGINEERING, INC
158 DANFORTH ST
PORTLAND, MAINE 04104
(207) 775-2655

FILE:	CIVIL_1079
JN:	1079
SCALE:	1"=20'
DESIGN BY:	OJD
DRAWN BY:	OJD
CHECKED BY:	WHS

DRAWING NO.
C-01

SITE NOTES:

1. LOT 29 (5 TRAILHEAD WAY) IS PART OF THE STROUDWATER PRESERVE SUBDIVISION AND IS SUBJECT TO THE TERMS AND CONDITIONS OF THE SUBDIVISION PLAT – PHASE I LAST REVISED 6/21/18 AND RECORDED AT CUMBERLAND COUNTY REGISTRY OF DEEDS (CCRD); 218/339.
2. OWNERS OF RECORD ARE STROUDWATER DEVELOPMENT PARTNERS, LLC (34733/76). BOOK AND PAGE REFERENCES ARE TO THE CCRD.
3. BEARINGS ARE REFERENCED TO GRID NORTH, MAINE STATE PLANE COORDINATE SYSTEM, NAD83, WEST ZONE.
4. ELEVATIONS ARE BASED ON NAVD88 DATUM AS DERIVED FROM GPS OBSERVATIONS. REFER TO THE EXISTING CONDITIONS PLAN BY TITCOMB ASSOCIATES DATED 6/16/17 LAST REVISED 2/21/18 FOR BENCHMARK LOCATIONS.
5. LOT BOUNDARIES PER EXISTING CONDITIONS PLAN AND SUBDIVISION PLAN. PROPERTY PINS TO BE SET BY TITCOMB ASSOCIATES. MONUMENTS TO BE LOCATED BY TITCOMB PRIOR TO INSTALLATION BY SITE CONTRACTOR AND ISSUANCE OF THE BUILDING PERMIT.
6. THERE ARE NO EXISTING MATURE TREES WITHIN THE PROPERTY AS INFERRED FROM THE EXISTING CONDITIONS PLAN AND AERIAL IMAGERY. REFER TO THE STROUDWATER PRESERVE LANDSCAPE PLAN, L-1 BY SOREN DENOIRD DESIGN STUDIO LAST REVISED 2/22/18 FOR ADDITIONAL INFORMATION ON STREET TREE PLACEMENT AND SPECIES. IF STREET TREES ARE PLANTED PRIOR TO HOME CONSTRUCTION, TREES TO BE PROTECTED AND REPLACED IF DAMAGED.
7. ALL BUILDING CORNER OFFSETS TO BOUNDARY LINES ARE FROM CORNERBOARDS AND NOT BUILDING FOUNDATION, UNLESS OTHERWISE NOTED.
8. LOT 29 IS NOT WITHIN THE 100-YEAR FEMA FLOODPLAIN PER THE NATIONAL FLOOD INSURANCE PROGRAM, PRELIMINARY FLOOD INSURANCE RATE MAP DATED 4/14/2007.

UTILITY NOTES:

1. FOR ALL UTILITIES, ACORN'S DESIGN LIMITS EXTEND TO OUTSIDE WALL OF BUILDING. METERING OF UTILITIES TO BE COMPLETED BY HOUSE GENERAL CONTRACTOR UNLESS SPECIFIED OTHERWISE.
2. GAS, SEWER, & WATER SERVICES TO EXTEND FROM THE EXISTING STUB. FINAL CONNECTION LOCATION TO BUILDING TO BE DETERMINED BY HOUSE GENERAL CONTRACTOR.
3. SEWER UTILITIES TO BE CONSTRUCTED IN ACCORDANCE WITH CITY OF PORTLAND TECHNICAL STANDARDS. FINAL FORCEMAIN SERVICE AND ASSOCIATED APERTURES LAYOUT ARE TO BE SUBMITTED BY THE CONTRACTOR FOR APPROVAL BY THE PRODUCT SUPPLIER. LOW PRESSURE SEWER PUMP STATION TO BE OWNED AND MAINTAINED BY THE HOMEOWNER.
4. WATER SERVICE CONSTRUCTION, WATER METERING, PRESSURE REDUCER AND BACKFLOW PREVENTION TO BE IN ACCORDANCE WITH THE PORTLAND WATER DISTRICT STANDARDS. WATER SERVICES TO COMPLY WITH THE FOLLOWING MINIMUM SEPARATION DISTANCES:
   - 4.1. 10' FROM PROPERTY LINES
   - 4.2. 10' FROM STREET TREES
   - 4.3. 10' FROM STREET LIGHTING
   - 4.4. 5' FROM EDGE OF DRIVEWAY APRON
5. ALL ELECTRIC SERVICE CONSTRUCTION SHALL CONFORM TO CMP GUIDEBOOK OF STANDARD REQUIREMENTS, MOST RECENT EDITION.
6. HOUSE LOT GAS UTILITY DESIGN, AND FINAL GAS SERVICE LOCATION AND METERS TO BE COMPLETED BY HOUSE GENERAL CONTRACTOR.
7. CONTRACTOR TO COORDINATE CABLE AND TELECOMMUNICATIONS CONNECTION TO BUILDING.

DRAINAGE NOTES:

1. EXISTING SITE SOILS ARE BUXTON (A) OF THE HYDROLOGIC GROUP C AS DEFINED BY SOIL NARRATIVE REPORT BY MARK HAMPTON ASSOCIATES DATED 5/10/17.
2. 50% OF LOT 29 IS TRIBUTARY TO FP-1. FP-1 IS SIZED TO TREAT BOTH THE HOUSE LOT AND PORTION OF THE ROAD RUNOFF. THE PROPOSED DRAINAGE PATTERN CONFORMS TO THE APPROVED STORMWATER MANAGEMENT REPORT BY ACORN ENGINEERING LAST REVISED NOVEMBER 2017. REFER TO THE REPORT FOR SPECIFIC SITE STORMWATER QUALITY AND QUANTITY ANALYSIS.
3. FP-1 IS TO BE OWNED AND MAINTAINED BY THE CITY OF PORTLAND. THE FINAL STORMWATER BMP LAYOUT IS SUBJECT TO CHANGE BUT IS TO REMAIN WITHIN THE BOUNDS OF THE DRAINAGE EASEMENT. REFER TO THE STORMWATER DRAINAGE SYSTEM MAINTENANCE AGREEMENT FOR STROUDWATER PRESERVE DATED 5/12/18 FOR ADDITIONAL INFORMATION ON STORMWATER BMP OWNERSHIP AND MAINTENANCE RESPONSIBILITIES.
4. CONTRACTOR TO ENSURE THAT UNDERDRAINS ARE CONSTRUCTED WITH A POSITIVE OUTLET.

EROSION CONTROL NOTES:

1. CONTRACTOR TO REFER TO THE EROSION AND SEDIMENTATION CONTROL REPORT DATED AUGUST 2017 FOR TEMPORARY AND PERMANENT EROSION CONTROL MEASURES AND BEST HOUSEKEEPING PRACTICES. CONTROL MEASURES TO COMPLY WITH SECTION 6 OF THE CITY OF PORTLAND TECHNICAL STANDARDS.
2. SEDIMENT BARRIERS (SILT FENCE) TO BE INSTALLED ALONG ALL DOWN-GRADIENT LIMITS OF CONSTRUCTION.
3. CONTRACTOR TO BE RESPONSIBLE FOR SWEEPING THE CITY STREETS AS NECESSARY.
4. CONTRACTOR TO INSTALL CONSTRUCTION ENTRANCE AT ALL LOCATIONS OF INGRESS AND EGRESS TO THE SITE DURING CONSTRUCTION.

SPACE AND BULK STANDARDS

ZONE:	R-3	PROPOSED
MINIMUM LOT SIZE	6,500 SF	10,578 SF
MINIMUM STREET FRONTAGE	50'	95.26'
FRONT YARD	25'	26'
REAR YARD – PRINCIPAL	25'	37.65'
REAR YARD – ACCESSORY	5'	N/A
MINIMUM SIDE YARD	14'	22.28'
MAXIMUM LOT COVERAGE	35%	23.5%
MINIMUM LOT WIDTH*	65'	92.29'
MAXIMUM BUILDING HEIGHT	35'	26.75'
MAXIMUM ACCESSORY HEIGHT	18'	N/A

*DISTANCE PARALLEL TO THE FRONT OF THE BUILDING MEASURED BETWEEN SIDE LOT LINES THROUGH THAT PART OF THE PRINCIPAL BUILDING WHERE THE LOT IS NARROWEST.

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
09/28/2018

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STATE OF MAINE
WILLIAM H. SAVAGE
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DRAWING NO.
C-02