

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BU **PERMIT** IATION

Permit Number: 100598 **PERMIT ISSUED**

This is to certify that CASEY ZACHARY S /Steven E. Scholz

has permission to Build New 4 bedroom, 2 1/2 bath single Family Home 24' x 36' car garage **JUL 20 2010**

AT 127 RIVERS EDGE DR CB 228 D046001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department. **City of Portland**

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise red-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

[Handwritten Signature]
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0598	Issue Date:	CBL: 228 D046001
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Location of Construction: 127 RIVERS EDGE DR	Owner Name: CASEY ZACHARY S	Owner Address: 127 RIVERS EDGE DR	Phone:
Business Name:	Contractor Name: Steven Buchholz	Contractor Address: 15 Turkey Lane Cumberland	Phone: 2078292089
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: C-8 (IRP)

Past Use: Vacant Land	Proposed Use: Single Family Home - Build New 4 bedroom, 2 1/2 bath Single Family Home w/24' x 36' 2 car garage	Permit Fee: \$3,095.00	Cost of Work: \$300,000.00	CEO District: 3
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Proposed Project Description: Build New 4 bedroom, 2 1/2 bath Single Family Home w/24' x 36' 2 car garage	FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group: R-3 Type: SB Signature: <i>[Signature]</i>
	PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: <i>[Signature]</i> Date:

Permit Taken By: Idobson	Date Applied For: 05/28/2010	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input checked="" type="checkbox"/> Shoreland <i>land is in Shoreland - house just</i> <input type="checkbox"/> Wetland <i>N/A outside.</i> <input checked="" type="checkbox"/> Flood Zone <i>panel 12 replot AE Zone x for house</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2010-2012</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>OK w/ Landlord</i> Date: <i>7/13/10</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ATM</i> Date:
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PERMIT ISSUED

JUL 20 2010

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/ Address of Construction: <u>Lot 16 127 Rivers Edge Drive, Portland</u>		
Total Square Footage of Proposed Structure/Area <u>3000 sq ft</u>	Square Footage of Lot <u>22718</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>228</u> Block# <u>D</u> Lot# <u>46</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>Zachary Casey</u> Address <u>22 Meadowbrook Ln</u> City, State & Zip <u>Portland Me 04102</u>	Telephone: <u>Cell (207) 415-8241</u> <u>home (207) 773-4659</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>300,000</u> C of O Fee: \$ <u>75</u> Total Fee: \$ _____
Current legal use (i.e. single family) <u>Single family</u> Number of Residential Units <u>N/A</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>Single family home</u> Is property part of a subdivision? <u>YES</u> If yes, please name <u>Stroudwater Farms</u> Project description: <u>SFH 3000 sq ft 4 bedrooms 2.5 baths 2 car garage</u> <u>- revised plans - not doing 6' sidewalk or 24x36</u>		
Contractor's name: <u>Steven Buchholz</u> <u>35 Adams St</u> Address: <u>15 Turkey lane</u> <u>Portland</u> City, State & Zip <u>Cumberland Maine 04021</u> Telephone: <u>829-2089</u> Who should we contact when the permit is ready: <u>Zac Casey</u> Telephone: <u>415-8241</u> Mailing address: <u>22 Meadowbrook Ln Portland, Me 04102</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download forms of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the City Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

RECEIVED
MAY 28 2010
Dept. of Building Inspections
City of Portland, Maine

Signature: [Signature] Date: 5/28/10

This is not a permit; you may not commence ANY work until the permit is issued

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0598	Date Applied For: 05/28/2010	CBL: 228 D046001
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Location of Construction: 127 RIVERS EDGE DR	Owner Name: CASEY ZACHARY S	Owner Address: 127 RIVERS EDGE DR	Phone:
Business Name:	Contractor Name: Steven Buchholz	Contractor Address: 15 Turkey Lane Cumberland	Phone (207) 829-2089
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family Home - Build New 4 bedroom, 2 ½ bath Single Family Home w/24' x 36' 2 car garage	Proposed Project Description: Build New 4 bedroom, 2 ½ bath Single Family Home w/24' x 36' 2 car garage
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 07/13/2010
Note:	Ok to Issue: ✓		
<ol style="list-style-type: none"> As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed structure, it may be required to be located by a surveyor. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. 			
Dept: Building	Status: Approved with Conditions	Reviewer: Tammy Munson	Approval Date: 07/20/2010
Note:	Ok to Issue: ✓		
<ol style="list-style-type: none"> A 22" x 30" attic scuttle is required. The basement is NOT approved as habitable space. A code compliant 2nd means of egress must be installed in order to change the use of this space. A copy of the enclosed chimney or fireplace disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process. Those building a new single family dwelling shall install a CO detector in each area within or giving access to bedrooms. That detection must be powered by the electrical service in the building and battery. 			

Dept: DRC	Status: Approved with Conditions	Reviewer: Philip DiPierro	Approval Date: 07/16/2010
Note:	Ok to Issue: ✓		
<ol style="list-style-type: none"> 10. All Site Work will conform to the City of Portland ordinance on Shoreland Regulations (Division 26). The limits of allowable clearing shall be clearly marked by a licensed surveyor with flagging or temporary fencing prior to construction. Absolutely no clearing or disturbance is to take place within, or encroach into protected wetlands or the "do not disturb/no cut" zone. All conditions listed in the approved subdivision plan, as they relate to this lot shall be followed. A double row of erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily. NO CHANGES IN GRADING IS PROPOSED. ANY CHANGES IN TOPOGRAPHY SHALL REQUIRE ADDITIONAL REVIEW AND APPROVAL BY THE CITY. The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions. 			

Location of Construction: 127 RIVERS EDGE DR	Owner Name: CASEY ZACHARY S	Owner Address: 127 RIVERS EDGE DR	Phone:
Business Name:	Contractor Name: Steven Buchholz	Contractor Address: 15 Turkey Lane Cumberland	Phone (207) 829-2089
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

- 6) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Services must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 7) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 8) The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 9) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 10 All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.

Comments:

6/2/2010-amachado: Spoke to Zachary Casey. Building plans showed a 6' wide porch continuing from the front around the right side to a 20' x 12' 3 season room. The siteplan shows no side porch and a 14.5' x 12' footprint. Zachary is sending revised building plans. The siteplan is correct. There is no side porch and the rear is a 14.5' x 12' deck. He will send an email & revised elevations.

7/13/2010-amachado: Received revised siteplan that matches building plans.

BUILDING PERMIT INSPECTION PROCEDURES

**Please call 874-8703 or 874-8693 (ONLY)
or email: buildinginspections@portlandmaine.gov**

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

 X **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

 X **Foundation Inspection: Prior to placing ANY backfill for below grade occupiable space**

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

 X **Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.
NOTE: There is a \$75.00 fee per inspection at this point.**

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

10-0598

Fax # 282-1047
Zachary Casey

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1)		
Component	Submitted Plan	Findings/Revisions/Dates
STRUCTURAL Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	8" wall 8" x 16" footing — OK	
① Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	Drain shown / Damp proofing	need fabric — OK
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	N/A	
Anchor Bolts/Straps, spacing (Section R403.1.6)	1/2" - 6" @ 0" OC - 12"	
② Lally Column Type (Section R407)	Steel beams	need specs — OK
Girder & Header Spans (Table R 502.5(2))	Steel beams	OK
Built-Up Wood Center Girder Dimension/Type	Shows - 2x6 PT	
③ First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	1 1/8 AJS -	OK
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	1 1/8 AJS	OK
④ Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and	Attic crossers.	Need specs

From: ZAC CASEY <zacc1976@yahoo.com>
To: <amachado@portlandmaine.gov>
Date: 6/3/2010 2:45 PM
Subject: 127 Rivers Edge Drive (Casey)

Ann,

Thank you for the follow up call yesterday, my architect is almost done with the revised drawings to match the plot plan (removing the side porch and turning the three season porch in to a regular deck removing the 6ft from side of house) and will be emailing them to both of us shortly....hopefully by tomorrow. If there is anything else please call my cell 207-415-8341 anytime....

Thank you,

Zac Casey

Applicant: Zachary Casey

Date: 6/2/10

Address: 127 River Edge Dr.

C-B-L: 228-D-46
permit #10-0598

CHECK-LIST AGAINST ZONING ORDINANCE

*using site plan received 7/13/10.

Date - new

Zone Location - C8 (RPZ) - using R-3 zone requirements

Interior or corner lot -

Proposed Use/Work - build new 2 story single family home w/ attached 24'x36' garage.

Sewage Disposal - public.

house 40'x30' & porch 6'x40', deck 24'x12'

Lot Street Frontage - 50' min. - 88.96' scaled (OK)

Front Yard - 25' min. - 25' to base - 23' to front steps - (OK) section 14-425 (12' - 2' out)

Rear Yard - 25' min. - ^{48'} ~~88.96'~~ scaled to deck (OK)

Side Yard - 1 1/2 stories - 8' min. ^{15'} on right to 2 story part (OK)
2 stories - 14' min. ^{12.5'} on right to one story deck - needs 1' (OK)
35' on left (OK)

Projections -

Width of Lot - 65' min. - 127' scaled OK

Height - 35' max - 26.5' scaled (OK)

Lot Area - 6500 sq ft min. - 22,718 sq ft scaled (OK)

Lot Coverage Impervious Surface - 35% = 7957.3 sq ft

Area per Family - 6,500 sq ft (OK)

Off-street Parking - 2 spaces required - 22.5 x 20' deep (OK)

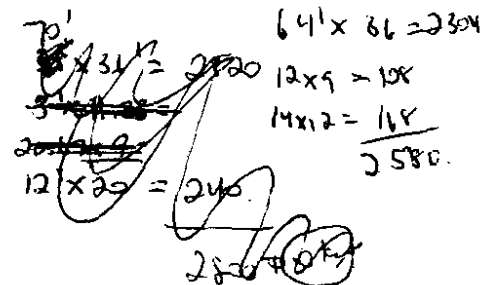
Loading Bays - N/A

Site Plan - 2010-0012 (minor/minor)

Shoreland Zoning/Stream Protection - yes, shoreline - property w/in 250' setback - house (OK)
is just outside

Flood Plains - panel 12 - rear of property in A zone - building in zone X

*partial daylight basement in rear



**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2010-0012
Application I. D. Number
5/28/2010
Application Date
Single Family Home lot#18
Project Name/Description

Casey Zachary S
Applicant
127 Rivers Edge Dr , Portland, ME 04101
Applicant's Mailing Address
Steven Buchholz
Consultant/Agent
Agent Ph: (207)829-2069 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

Marge Schmuckal
127 - 127 Rivers Edge Dr , Portland, Maine
Address of Proposed Site
228 D046001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Apt 0 Condo 0 Other (specify) _____

22718 **0**
Proposed Building square Feet or # of Units Acreage of Site Proposed Total Disturbed Area of the Site Zoning

Check Review Required:
 Site Plan (major/minor) Zoning Conditional - PB Subdivision # of lots _____ Design Review
 Amendment to Plan - Board Review Zoning Conditional - ZBA Shoreland Historic Preservation DEP Local Certification
 Amendment to Plan - Staff Review Zoning Variance Flood Hazard Site Location
 After the Fact - Major Stormwater Traffic Movement Housing Replacement
 After the Fact - Minor PAD Review 14-403 Streets Review Other _____

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$250.00 Date 5/28/2010

Zoning Approval Status: Reviewer _____
 Approved Approved w/Conditions See Attached Denied
Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached
 Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	



DEPARTMENT OF THE ARMY
 NEW ENGLAND DISTRICT, CORPS OF ENGINEERS
 696 VIRGINIA ROAD
 CONCORD, MASSACHUSETTS 01742-2751

REPLY TO
ATTENTION OF

**MAINE PROGRAMMATIC GENERAL PERMIT (PGP)
 AUTHORIZATION LETTER AND SCREENING SUMMARY**

Zac Casey
22 Meadow Ln.
Portland, ME. 04101

CORPS PERMIT # NAE-2009-02223
 CORPS PGP ID# NA
 STATE ID# NRPA

DESCRIPTION OF WORK:

Fill approximately 800sf of freshwater wetland in order to construct one single family residence located on Lot 16, Rivers Edge Dr. at Portland, Maine. This work is shown in attached plans entitled "Lot 16, Rivers Edge, Portland, Maine" in two sheets dated "April 10, 2001".

LAT/LONG COORDINATES : 43.657363 N 70.3205485 W USGS QUAD: Portland, Maine

I. CORPS DETERMINATION:

Based on our review of the information you provided, we have determined that your project will have only minimal individual and cumulative impacts on waters and wetlands of the United States. Your work is therefore authorized by the U.S. Army Corps of Engineers under the enclosed Federal Permit, the Maine Programmatic General Permit (PGP).

You must perform the activity authorized herein in compliance with all the terms and conditions of the PGP [including any attached Additional Conditions and any conditions placed on the State 401 Water Quality Certification including any required mitigation]. Please review the enclosed PGP carefully, including the PGP conditions beginning on page 7, to familiarize yourself with its contents. You are responsible for complying with all of the PGP requirements; therefore you should be certain that whoever does the work fully understands all of the conditions. You may wish to discuss the conditions of this authorization with your contractor to ensure the contractor can accomplish the work in a manner that conforms to all requirements.

If you change the plans or construction methods for work within our jurisdiction, please contact us immediately to discuss modification of this authorization. This office must approve any changes before you undertake them.

Condition 38 of the PGP (page 15) provides one year for completion of work that has commenced or is under contract to commence prior to the expiration of the PGP on October 11, 2010. You will need to apply for reauthorization for any work within Corps jurisdiction that is not completed by October 11, 2011.

This authorization presumes the work shown on your plans noted above is in waters of the U.S. Should you desire to appeal our jurisdiction, please submit a request for an approved jurisdictional determination in writing to the undersigned.

No work may be started unless and until all other required local, State and Federal licenses and permits have been obtained. This includes but is not limited to a Flood Hazard Development Permit issued by the town if necessary. Also, this permit requires you to notify us before beginning work and allow us to inspect the project. Hence, you must complete and return the attached Work Start Notification Form(s) to this office no later than 2 weeks before the anticipated starting date. (For projects requiring mitigation, be sure to include the MITIGATION WORK START FORM).

II. STATE ACTIONS: PENDING [X], ISSUED [], DENIED [] DATE _____

APPLICATION TYPE: PBR _____ TIER 1: X TIER 2: _____ TIER 3: _____ LURC: _____ DMR LEASE: _____ NA: _____

III. FEDERAL ACTIONS:

JOINT PROCESSING MEETING: NA LEVEL OF REVIEW: CATEGORY 1: X CATEGORY 2: _____

AUTHORITY (Based on a review of plans and/or State/Federal applications): SEC 10 _____, 404 X 10/404 _____, 103 _____

EXCLUSIONS: The exclusionary criteria identified in the general permit do not apply to this project.

FEDERAL RESOURCE AGENCY OBJECTIONS: EPA NO, USF&WS NO, NMFS NO

If you have any questions on this matter, please contact my staff at 207-623-8367 at our Manchester, Maine Project Office. In order for us to better serve you, we would appreciate your completing our Customer Service Survey located at <http://per2.nwp.usace.army.mil/survey.html>


 JAY L. CLEMENT
 SENIOR PROJECT MANAGER
 MAINE PROJECT OFFICE


 FOR FRANK J. DEL GIUDICE DATE 10/5/09
 CHIEF, PERMITS & ENFORCEMENT BRANCH
 REGULATORY DIVISION



STATE OF MAINE
Department of Environmental Protection

JOHN ELIAS BALDACCI
GOVERNOR

David P. Littell
COMMISSIONER

October, 2009

Zac Casey
22 Meadowbrook Lane
Portland, ME 04101

RE: Tier 1 Natural Resources Protection Act Application, Portland, #L-24712-TA-A-N

Dear Mr. Casey:

Please find enclosed a signed copy of your Department of Environmental Protection land use permit. You will note that the permit includes a description of your project, findings of fact that relate to the approval criteria the Department used in evaluating your project, and conditions that are based on those findings and the particulars of your project. Please take several moments to read your permit carefully, paying particular attention to the conditions of the approval. The Department reviews every application thoroughly and strives to formulate reasonable conditions of approval within the context of the Department's environmental laws. You will also find attached some materials that describe the Department's appeal procedures for your information.

If you have any questions about the permit, please contact me directly. I can be reached at 207 – 822 - 6322 or at lisa.vickers@maine.gov.

Sincerely,

Lisa Vickers, Project Manager
Division of Land Resource Regulation
Bureau of Land & Water Quality

pc: File



STATE OF MAINE
DEPARTMENT OF ENVIRONMENTAL PROTECTION
17 STATE HOUSE STATION
AUGUSTA, ME 04333

DEPARTMENT ORDER
IN THE MATTER OF

ZAC CASEY
Portland, Cumberland County
RIVER'S EDGE SUBDIVISION – LOT 16
L-24712-TA-A-N (approval)

) NATURAL RESOURCE PROTECTION ACT
) FRESHWATER WETLAND ALTERATION
) WATER QUALITY CERTIFICATION
) FINDINGS OF FACT AND ORDER

Project Description: In Department Order #01-01158, dated May 4, 2001, the Department approved the alteration of approximately 11,770 square feet of freshwater wetland to develop a 29-lot single family residential subdivision. The Department subsequently approved the alteration of approximately 800 square feet of wetlands to develop Lot 16 of the River's Edge subdivision in Department Order #L-T01158-TA-B-N, dated June 13, 2005. However, construction for this permit did not begin prior to the expiration date of June 13, 2007. The ownership of the lot has since changed and the new owner is seeking approval to alter approximately 800 square feet of freshwater wetlands in order to construct a home and associated lawn. The applicant states that the homeowner's association covenants require a minimum structure footprint that will necessitate the wetland alteration. According to the Department's Geographic Information System (GIS), there is no mapped significant wildlife habitats associated with the project site. The proposed project is located on Rivers Edge Drive in the City of Portland.

Permit for:	X	Tier 1
DEP Decision:	X	Approved
		Denied (see attached letter)
CORPS Action:	X	The Corps has been notified of your application. The following are subject to Federal screening: (1) projects with previously authorized or unauthorized work, in combination with a Tier 1 permit for a single and complete project, which total more than 15,000 square feet of altered area; (2) projects with multiple state permits and/or state exemptions which apply to a single and complete project that total more than 15,000 square feet of altered area; and (3) projects that may impact a vernal pool, as determined by the State of Maine or the Corps. If your activity is listed above, <i>Corps approval is required for your project.</i> For information regarding the status of your application contact the Corps' Maine Project Office at 623-8367.

Standard Conditions:

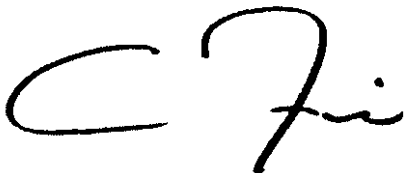
- 1) If construction or operation of the activity is not begun within two (2) years from the date signed, this permit shall lapse and the applicant shall reapply to the Department for a new permit. This permit is transferable only with prior approval from the Department. If the activity is associated with a larger project, starting any aspect of that project constitutes start of construction.
- 2) The project shall be completed according to the plans in the application. Any change in the project plans must be reviewed and approved by the Department.
- 3) Properly installed erosion control measures shall be installed prior to beginning the project, and all disturbed soil should be stabilized immediately upon project completion.

- 4) A copy of this approval will be sent to the Town of Portland. Department approval of your activity does not supersede or substitute the need for any necessary local approvals.

Please note the attached sheet for guidance on appeal procedures.

THIS APPROVAL DOES NOT CONSTITUTE OR SUBSTITUTE FOR ANY OTHER REQUIRED STATE, FEDERAL OR LOCAL APPROVALS NOR DOES IT VERIFY COMPLIANCE WITH ANY APPLICABLE SHORELAND ZONING ORDINANCES.

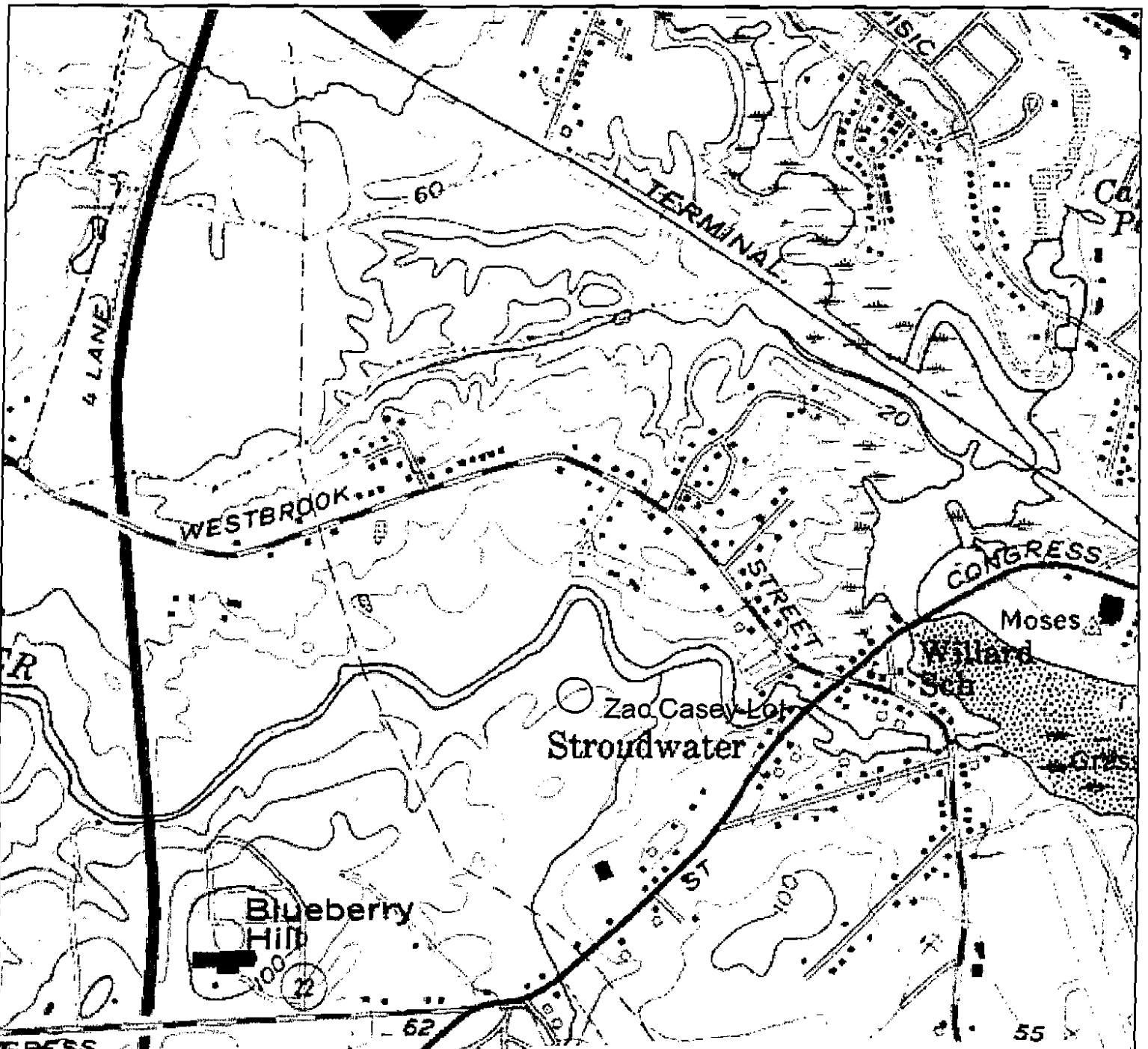
DEPARTMENT OF ENVIRONMENTAL PROTECTION



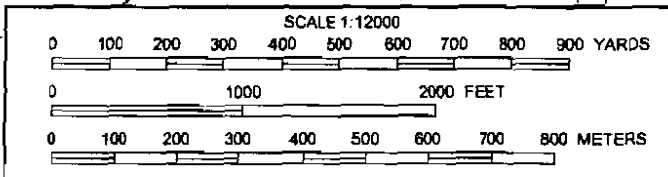
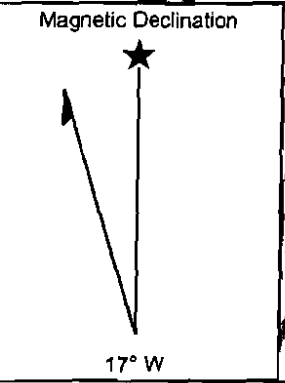
This permit has been digitally signed by Andrew C. Fisk on behalf of Commissioner David P. Littell. It is digitally signed pursuant to authority under 10 M. R.S.A. § 9418. It has been filed with the Board of Environmental Protection as of the signature date 2009.10.16 10:41:11 -04'00'

PLEASE NOTE THE ATTACHED SHEET FOR GUIDANCE ON APPEAL PROCEDURES...

lv/L#24712taan/ATS#70588



DATE: 09.11.04 SCALE: 1:
 Plan of: LOT 16, RIVERS EDGE TOWNSHIP, MAINE
 adapted from "FINAL SUBDIVISION PLAN
 RIVERS EDGE"
 dated: APRIL 01, 2001
 by: JOHN H. ...



Name: PORTLAND WEST 43.6573630
 Date: 9/25/2009
 Scale: 1 inch equals 1000 feet 70.3205485

Location: 043.6572192° N 070.3207979° W NAD27
 Caption: Zac Casey Lot
 Portland, Maine 43.6573132
 70.3205485

10-0598

OK

5
6

R802.4(2))		
Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	2x12's 16" OC 18'-6" + 19' shown span	Max span 17'-6" Need 12" OC for spans
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	1/2" Roof Need 5/8"	OK
Fastener Schedule (Table R602.3(1) & (2))	Per IRC	
Private Garage Yes (Section R309) Living Space? Yes (Above or beside)		
Fire separation (Section R309.2) - shows 5/8" walls + ceiling		
Opening Protection (Section R309.1)	Not shown	OK
Emergency Escape and Rescue Openings (Section R310)	Not shown	OK
Roof Covering (Chapter 9)	Asphalt	
Safety Glazing (Section R308)	OK	
Attic Access (Section R807)	Not shown	
Chimney Clearances/Fire Blocking (Chap. 10)	Does not show 2" Airspace	OK
Header Schedule (Section 502.5(1) & (2))	Not shown	OK
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-	R-38 Roof / R-19 floors + walls	OK

9
10

#10-0598

Factor Fenestration		
Type of Heating System		
Means of Egress (Sec R311 & R312) Basement		
Number of Stairways		
Interior	} No details OK	
Exterior		
Treads and Risers (Section R311.5.3)		
Width (Section R311.5.1) Shows 3'-0"		
Headroom (Section R311.5.2)	} No details — OK 36" / 4" spacing	
Guardrails and Handrails (Section R312 & R311.5.6 – R311.5.6.3)		
Smoke Detectors (Section R313) Location and type/Interconnected	Not shown — OK	
Dwelling Unit Separation (Section R317) and IBC – 2003 (Section 1207)	N/A	
Deck Construction (Section R502.2.1)	Tube location not shown front + rear — OK Rear framing deck details Front porch - need better floor framing details.	

FAX



To: *Zachary Casey*
Fax Number: *282-1047*
From: *Tammy Munson*
Fax Number: *874-8716*
Date: *7/15/10*
Regarding: *Rivus Edge*
Total Number Of Pages Including Cover: *4*
Phone Number For Follow-Up: *874-8706*

Comments:

Email:

TMM@Portlandmaine.gov

City Of Portland, Maine
Inspections Division Services
389 Congress St Room 315 Portland Me 04101-3509
Phone: (207) 874-8703 or (207)874-8693
Fax: (207) 874-8716
<http://www.portlandmaine.gov/>

W BEAMS
(Wide Flange Beams)
Conforms to ASTM A36

Designation Nom. Depth/Inches x Wt./Ft./Lbs.	Depth Inches	Web Thickness Inches	Flange Width Inches	Flange Thickness Inches	Area Sq. In.
(Continued)					
W 8 x 10.0	7.89	.170	3.940	.0205	2.96
13.0	7.99	.230	4.000	.0256	3.84
15.0	8.11	.245	4.015	.0315	4.44
18.0	8.14	.230	5.250	.0330	5.26
21.0	8.28	.280	5.270	.0400	6.18
24.0	7.93	.245	6.495	.0400	7.08
28.0	8.08	.285	8.635	.0465	8.25
31.0	8.00	.285	7.865	.0435	9.13
35.0	8.12	.310	8.020	.0495	10.3
40.0	8.25	.360	8.070	.0560	11.7
48.0	8.50	.400	8.110	.0685	14.1
58.0	8.75	.510	8.220	.0810	17.1
67.0	9.00	.570	8.280	.0935	19.7
W 10 x 12.0	9.87	.190	3.960	.0210	3.54
15.0	9.99	.230	4.000	.0270	4.41
17.0	10.11	.240	4.010	.0330	4.99
19.0	10.24	.250	4.020	.0395	5.62
22.0	10.17	.240	5.750	.0360	6.49
26.0	10.33	.280	5.770	.0440	7.81
30.0	10.47	.300	6.810	.0510	8.84
33.0	9.73	.290	7.860	.0435	9.71
39.0	9.92	.315	7.985	.0530	11.5
45.0	10.10	.350	8.020	.0620	13.3
49.0	9.96	.340	10.000	.0560	14.4
54.0	10.09	.370	10.030	.0616	15.6
60.0	10.22	.420	10.080	.0680	17.6
68.0	10.40	.470	10.130	.0770	20.0
77.0	10.60	.530	10.190	.0870	22.8
88.0	10.84	.605	10.265	.0990	25.9
100.0	11.10	.680	10.340	.1120	29.4
W 12 x 14.0	11.81	.200	3.970	.0225	4.18
16.0	11.99	.220	3.990	.0266	4.71
19.0	12.16	.235	4.005	.0350	5.57
22.0	12.31	.260	4.030	.0425	6.46
26.0	12.22	.230	6.490	.0380	7.85
30.0	12.34	.260	6.520	.0440	8.79
35.0	12.50	.300	8.560	.0520	10.3
40.0	11.94	.295	8.005	.0515	11.8
45.0	12.08	.335	8.045	.0575	13.2
50.0	12.19	.370	8.080	.0640	14.7
53.0	12.08	.345	9.995	.0575	15.6
58.0	12.19	.380	10.010	.0640	17.0
65.0	12.12	.390	12.000	.0605	19.1
72.0	12.25	.430	12.040	.0670	21.1
79.0	12.38	.470	12.060	.0735	23.2
87.0	12.60	.515	12.125	.0810	25.6

(Continued)

Langston Steel, Inc.

1000 Main St., P.O. Box 137

Portland, N.H. 03570-1037

CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS

JUL 20 2010

SUPERSEDES
PRIOR DATED PLANS

W BEAMS
(Wide Flange Beams)
Conforms to ASTM A36

Designation Nom. Depth/Inches x Wt./Ft./Lbs.	Depth Inches	Web Thickness Inches	Flange Width Inches	Flange Thickness Inches	Area Sq. In.
(Continued)					
W 14 x 22.0	13.74	.230	5.000	.0335	6.49
26.0	13.91	.255	5.025	.0420	7.69
30.0	13.84	.270	6.730	.0385	8.85
34.0	13.98	.285	6.745	.0455	10.0
43.0	13.66	.305	7.995	.0530	12.8
48.0	13.79	.340	8.030	.0595	14.1
53.0	13.92	.370	8.060	.0660	15.6
61.0	13.89	.375	9.995	.0645	17.9
74.0	14.17	.450	10.070	.0765	21.8
90.0	14.02	.440	14.520	.0710	26.5
W 16 x 26.0	15.69	.250	5.500	.0345	7.68
31.0	15.88	.275	5.525	.0440	9.12
36.0	15.88	.295	8.985	.0430	10.6
40.0	16.01	.305	8.995	.0505	11.8
45.0	16.13	.345	7.035	.0565	13.3
50.0	16.26	.380	7.070	.0630	14.7
57.0	16.43	.430	7.120	.0715	16.8
69.0	16.75	.525	10.365	.0875	26.2
W 18 x 48.0	18.06	.360	6.060	.0605	13.5
60.0	17.99	.355	7.495	.0570	14.7
65.0	18.11	.390	7.530	.0630	16.2
69.0	18.24	.415	7.565	.0695	17.6
65.0	18.35	.450	7.590	.0760	19.1
71.0	16.47	.465	7.635	.0810	20.8
76.0	18.21	.425	11.035	.0680	22.3
97.0	18.69	.535	11.145	.0870	28.5
W 21 x 57.0	21.06	.405	6.555	.0850	16.7
62.0	20.99	.400	8.240	.0815	18.3
68.0	21.13	.430	8.270	.0885	20.0
73.0	21.24	.455	8.295	.0740	21.5
83.0	21.43	.515	8.355	.0835	24.3
111.0	21.51	.590	12.340	.0875	32.7
W 24 x 68.0	23.73	.415	8.965	.0585	20.1
76.0	23.92	.440	8.990	.0660	22.4
84.0	24.10	.470	9.020	.0770	24.7
104.0	24.06	.500	12.750	.0750	30.6
131.0	24.48	.605	12.885	.0960	38.5

Warehouse Sales Office

866-752-3022 Ext 6

(603) 752-3022 Ext 6

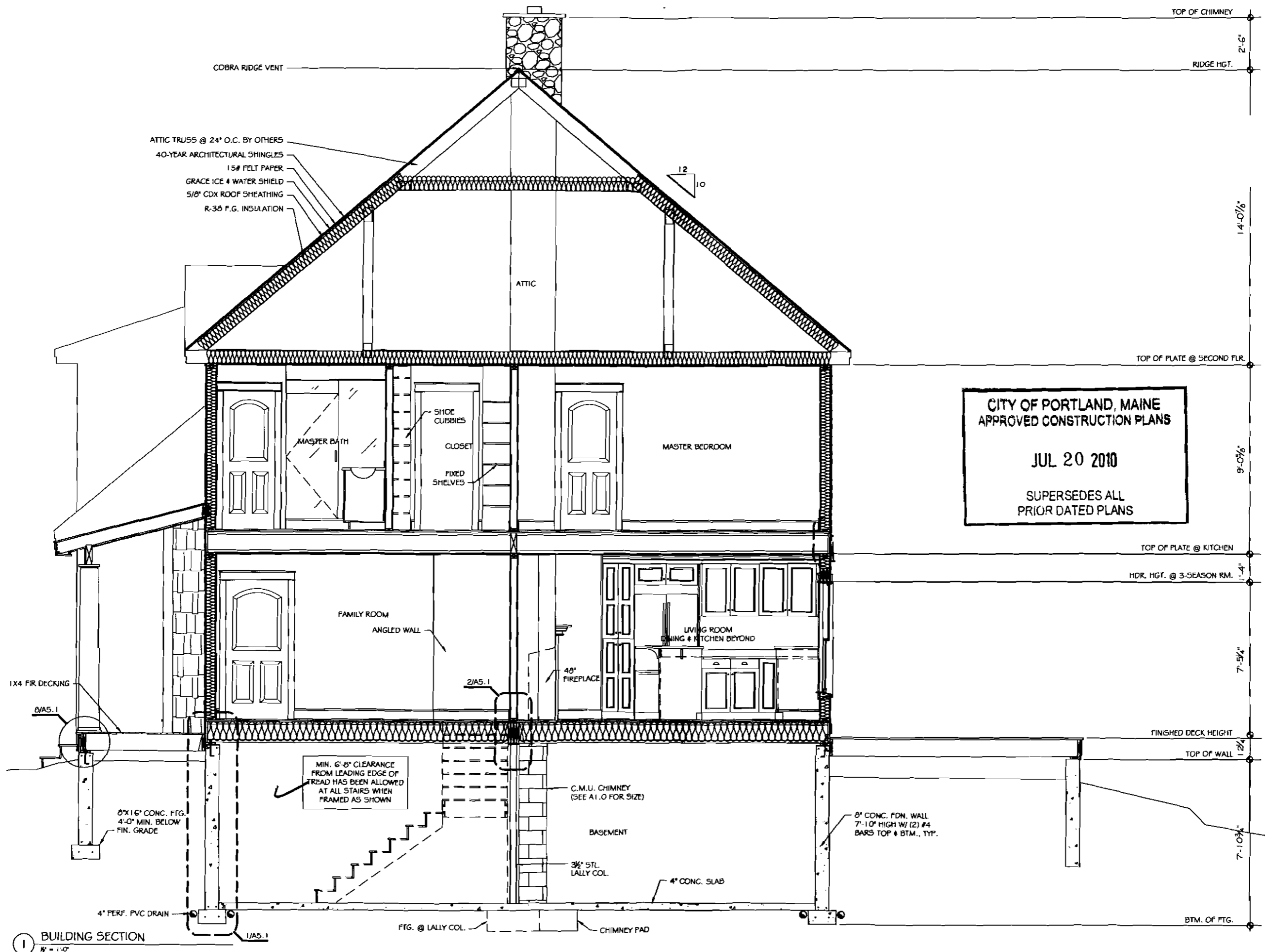
FAX: (603) 752-2821

FAX: (866) 752-2821

CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS

JUL 20 2010

SUPERSEDES ALL
PRIOR DATED PLANS



CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS

JUL 20 2010

 SUPERSEDES ALL
 PRIOR DATED PLANS

**Not For
 Construction**

HUTCHINS
DESIGN & BUILD
 9 Woodland Drive
 Waterboro, Maine
 0 4 0 8 7
 207.409.6584
 hutchinsdesignandbuild.com

Casey Residence
 127 River's Edge Dr
 Portland, Maine

Sheet Title:

 Building Section

Date:
 12.01.09.
 Scale:
 1/2" = 1'-0"
 Revisions:
 06.02.10.
 Sheet Number:

A3.1

1 BUILDING SECTION
 1/4" = 1'-0"

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Construction

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Casey Residence
127 River's Edge Dr
Portland, Maine

Sheet Title:

Not Used

Date:
12.01.09.

Scale:
1/2" = 1'-0"

Revisions:

Sheet Number:

A3.2

CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS

JUL 20 2010

SUPERSEDES ALL
PRIOR DATED PLANS

NOT USED

1/2" = 1'-0"

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Portland, Maine

Sheet Title:

Building Section

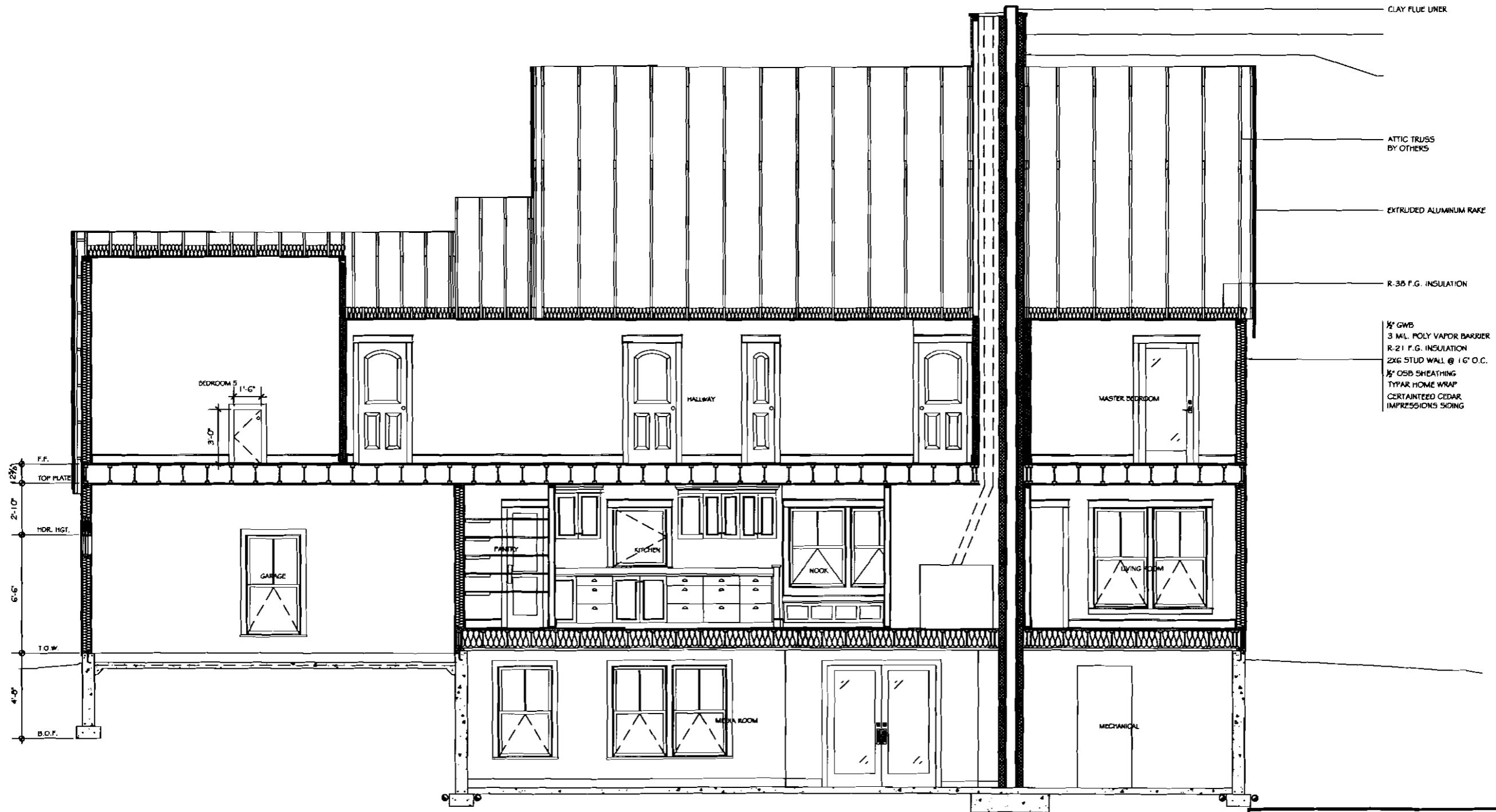
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Scale:
3/8" = 1'-0"

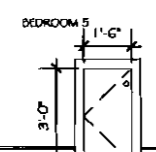
Revisions:
06.02.10.

Sheet Number:

A3.4



12%
F.F.
TOP PLATE
2'-10"
HOR. HGT.
6'-6"
T.O.W.
4'-0"
B.O.F.



1/2" GWB
3 MIL. POLY VAPOR BARRIER
R-21 P.G. INSULATION
2X6 STUD WALL @ 16" O.C.
1/2" OSB SHEATHING
TYFAR HOME WRAP
CERTAINTED CEDAR
IMPRESSIONS SIDING

1 BUILDING SECTION
3/8" = 1'-0"

CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS

JUL 20 2010

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127 River's Edge Dr
Portland, Maine

Sheet Title:

Garage Section

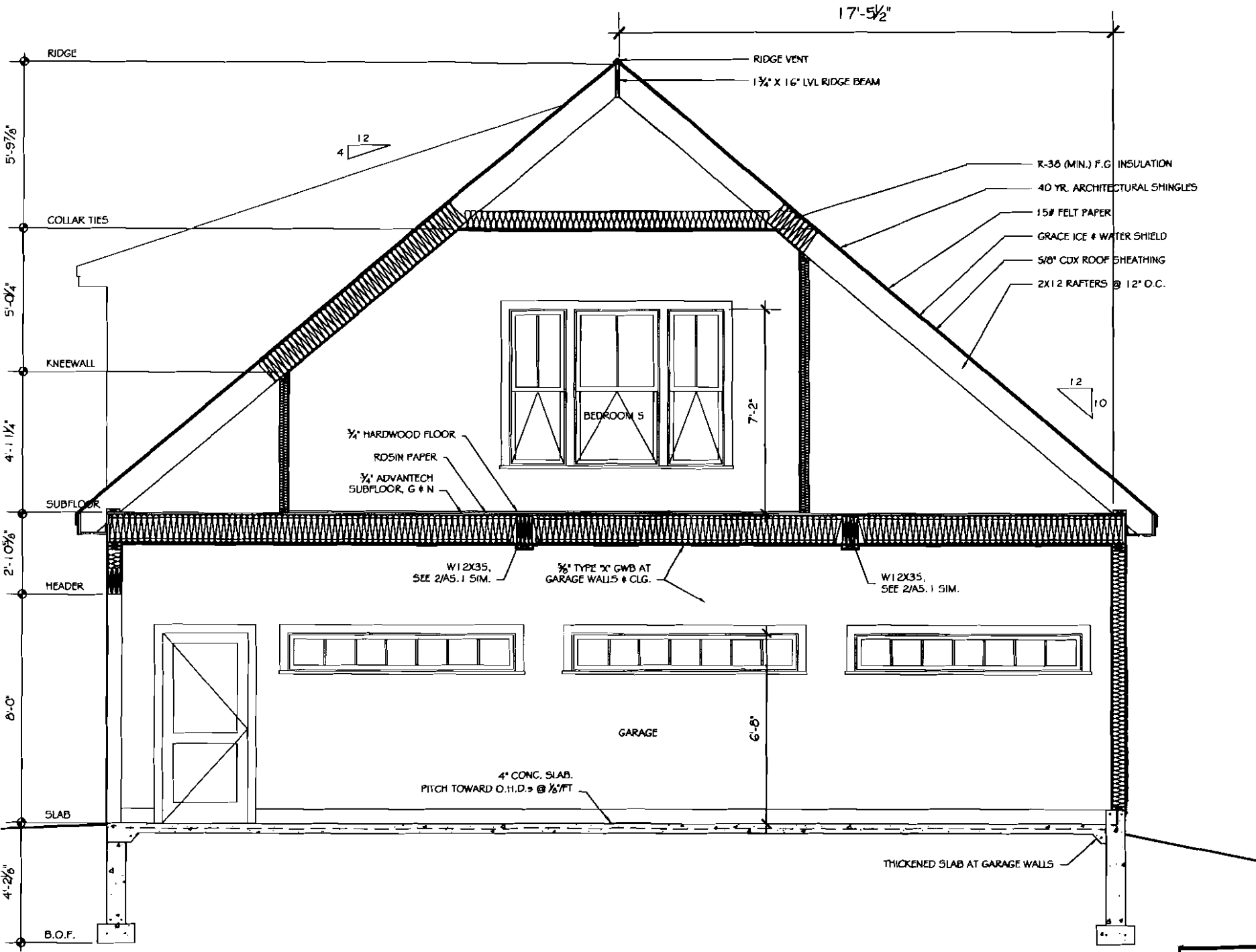
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Scale:
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Revisions:

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A3.5

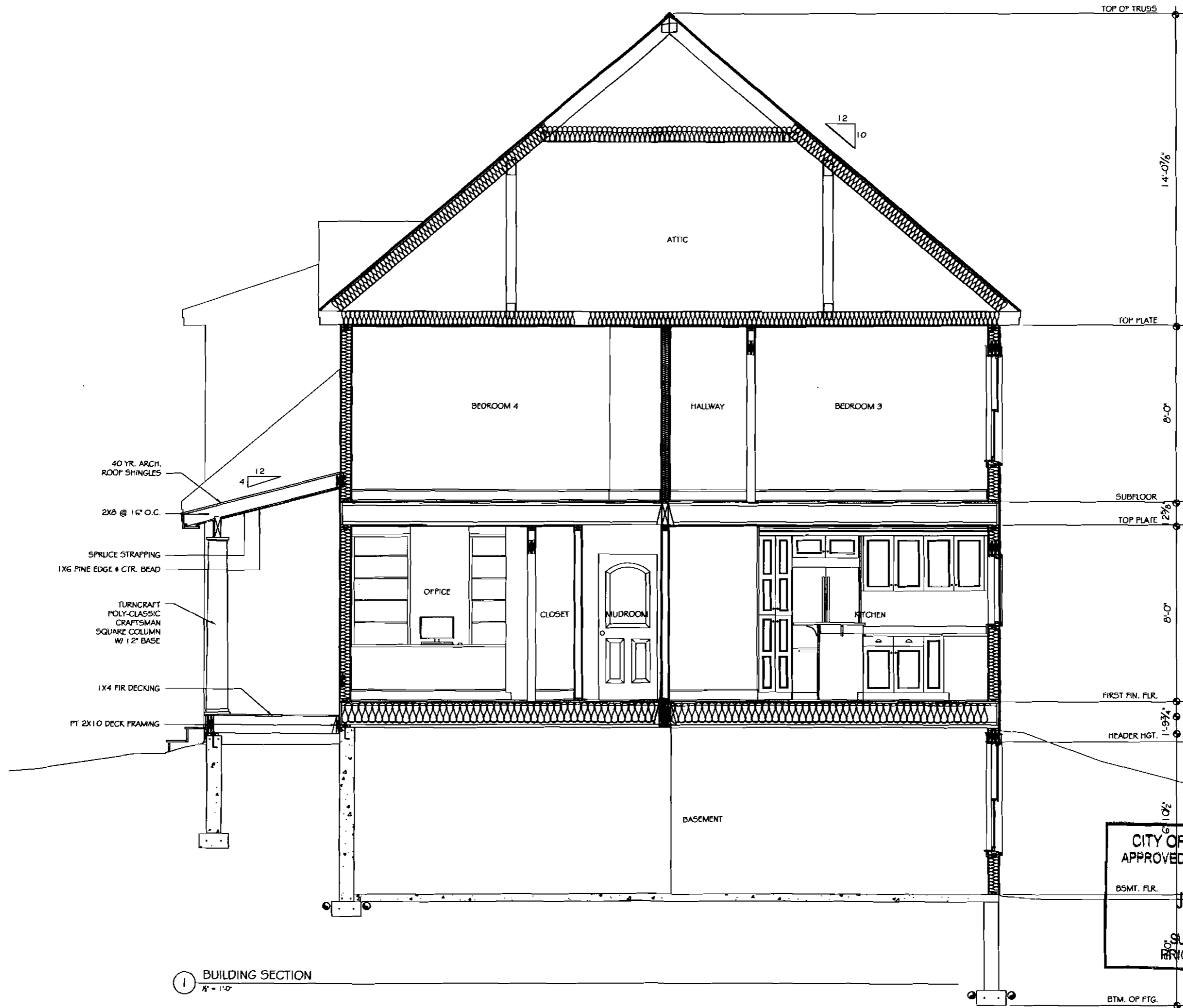


1 GARAGE SECTION
3/8" = 1'-0"

CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS

JUL 20 2010

SUPERSEDES ALL
PRIOR DATED PLANS



1 BUILDING SECTION
1/8" = 1'-0"

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Casey Residence
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Portland, Maine

Sheet Title:

Building Section

Date:
12.01.09.

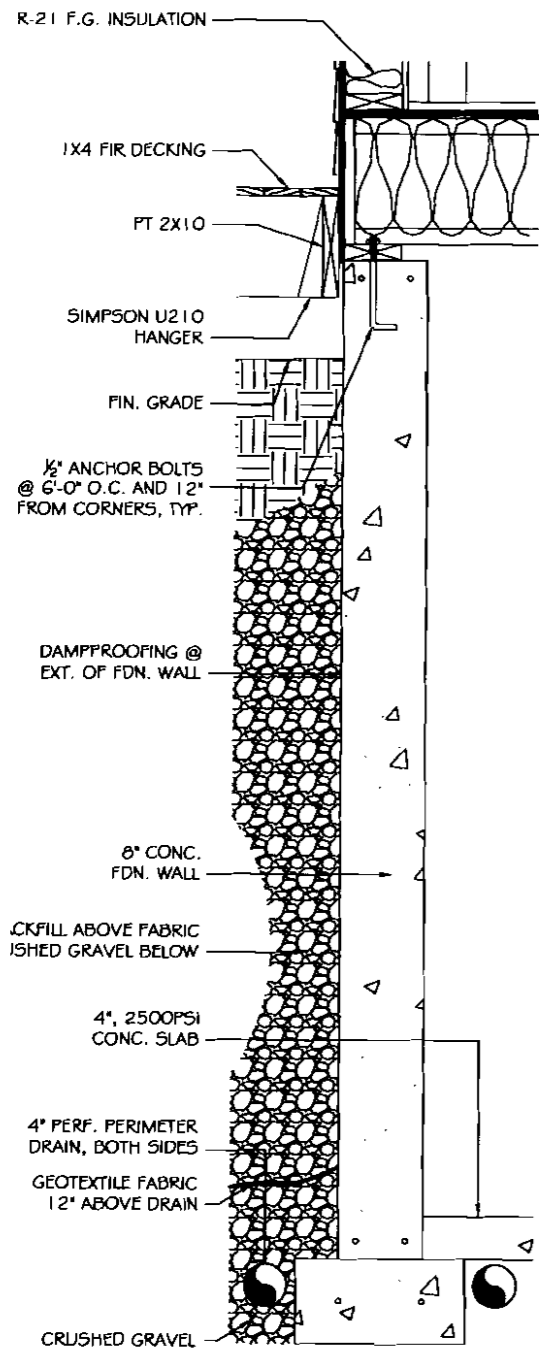
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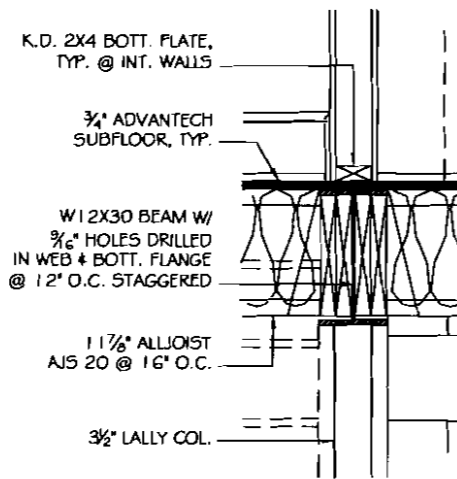
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CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS
BSMT. FLR.
JUL 20 2010
SUPERSEDES ALL
PRIOR DATED PLANS

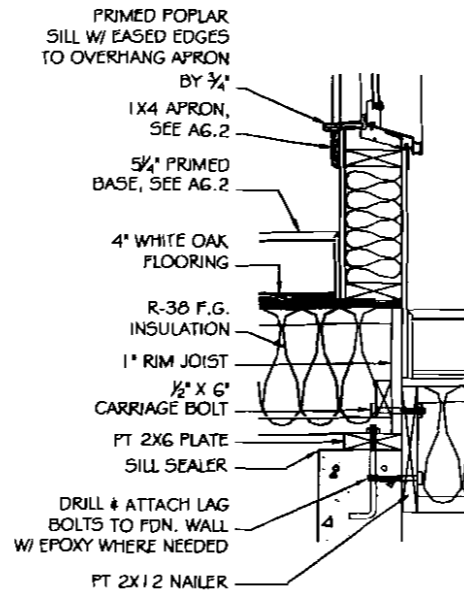
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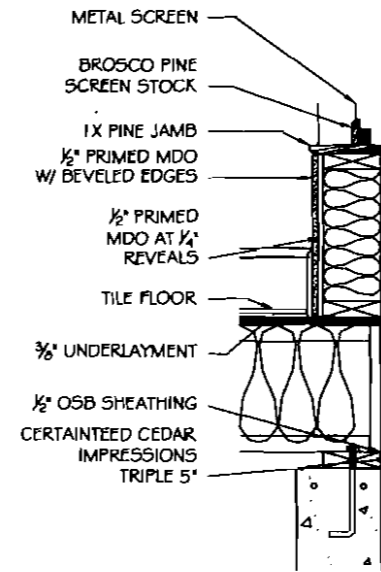
1 DETAIL @ FOUNDATION WALL
 1/8" = 1'-0"



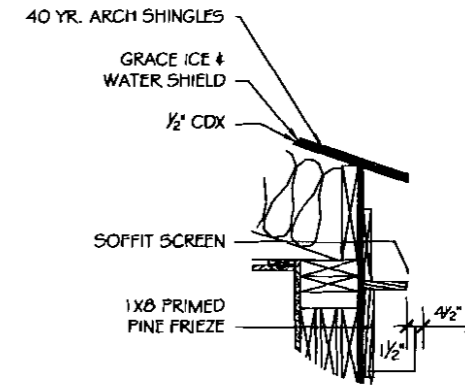
2 DETAIL @ CENTER BEAM
 1/2" = 1'-0"



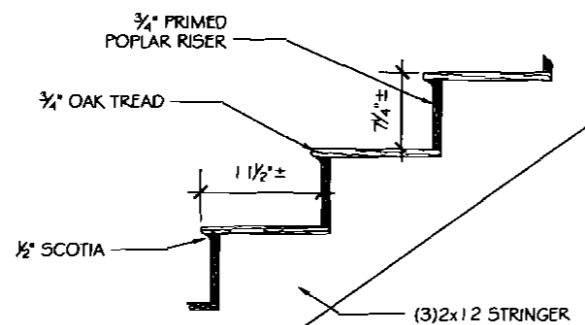
3 DETAIL @ DECK TRANSITION
 1/8" = 1'-0"



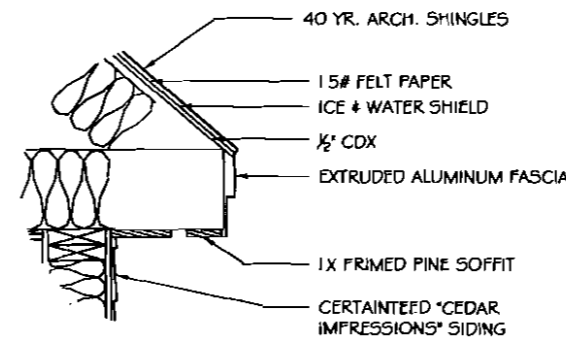
4 DETAIL @ SUNROOM WALL
 1/8" = 1'-0"



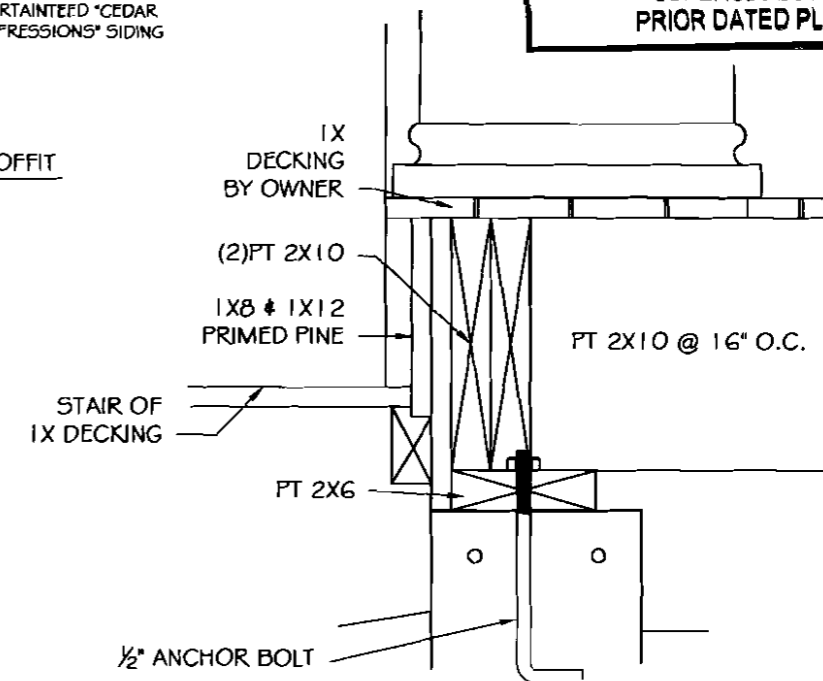
5 SUNROOM ROOF DETAIL
 1/8" = 1'-0"



6 SECTION AT MAIN STAIR
 1/8" = 1'-0"



7 DETAIL @ SUNROOM SOFFIT
 1/8" = 1'-0"



8 DECK FRAMING DETAIL
 1/8" = 1'-0"

CITY OF PORTLAND, MAINE
 APPROVED CONSTRUCTION PLANS
 JUL 20 2010
 SUPERSEDES ALL PRIOR DATED PLANS

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 04087
 207.409.6584
 hutchinsdesignandbuild.com

Casey Residence
 127 River's Edge Dr
 Portland, Maine

Sheet Title:
 Details

Date:
 12.01.09.

Scale:
 3/8" = 1'-0"

Revisions:

Sheet Number:

A5.1

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Waterboro, Maine

0 4 0 8 7

207.409.6584

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Casey Residence
127 River's Edge Dr
Portland, Maine

Sheet Title:

Interior Elevations

Date:

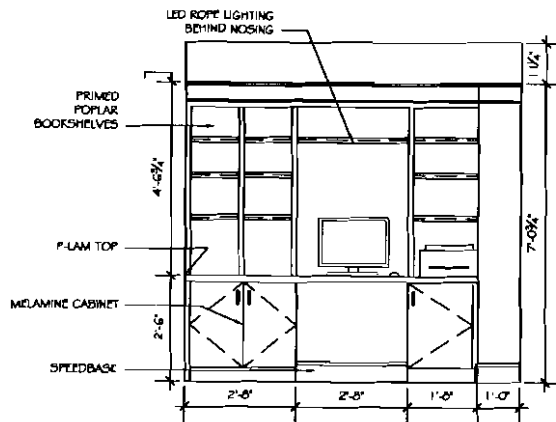
CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS
3/8" = 1'-0"

JUL 20 2010

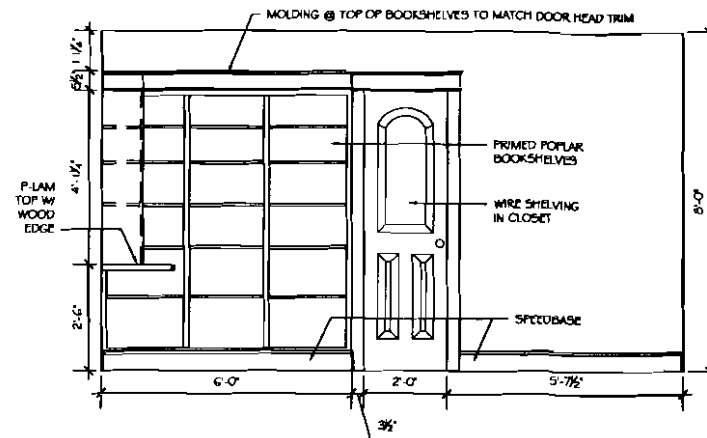
SUPERSEDES ALL
PRIOR DATED PLANS

Sheet Number:

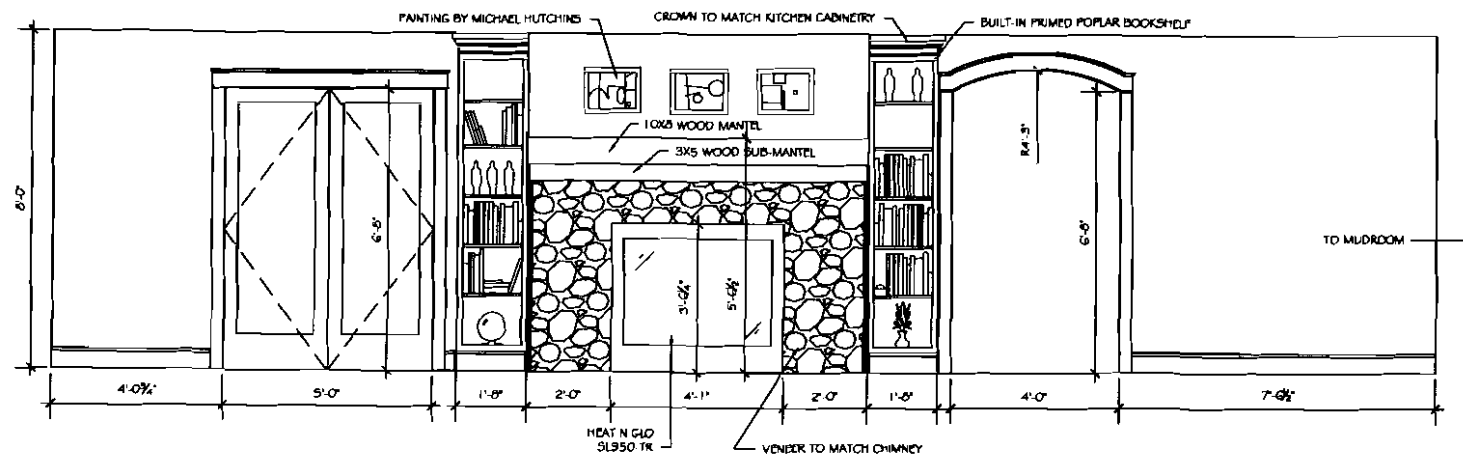
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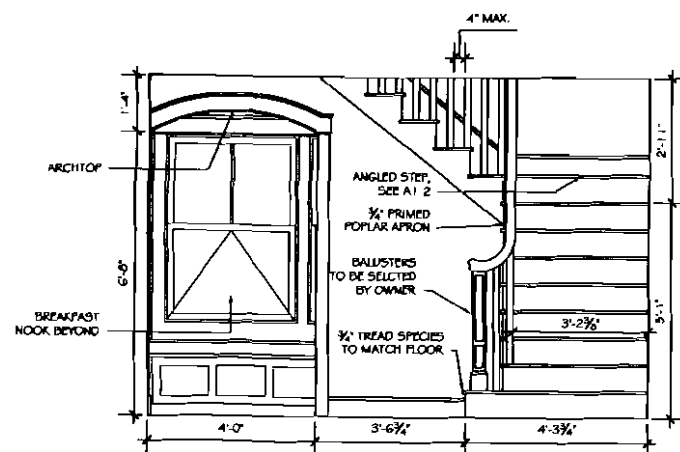
① OFFICE/STUDY CASEWORK
3/8" = 1'-0"



② OFFICE/STUDY CASEWORK
3/8" = 1'-0"



③ ELEVATION AT FIREPLACE W/ CASEWORK
3/8" = 1'-0"



④ ELEVATION AT ENTRY/FOYER
3/8" = 1'-0"

Not For Construction

**HUTCHINS
DESIGN & BUILD**

9 Woodland Drive
Waterboro, Maine

0 4 0 8 7

207.409.6584

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Casey Residence
127 River's Edge Dr
Portland, Maine

Sheet Title:

Door Schedule
Window Schedule

Date:
11.01.09.

Scale:
3/8" = 1'-0"

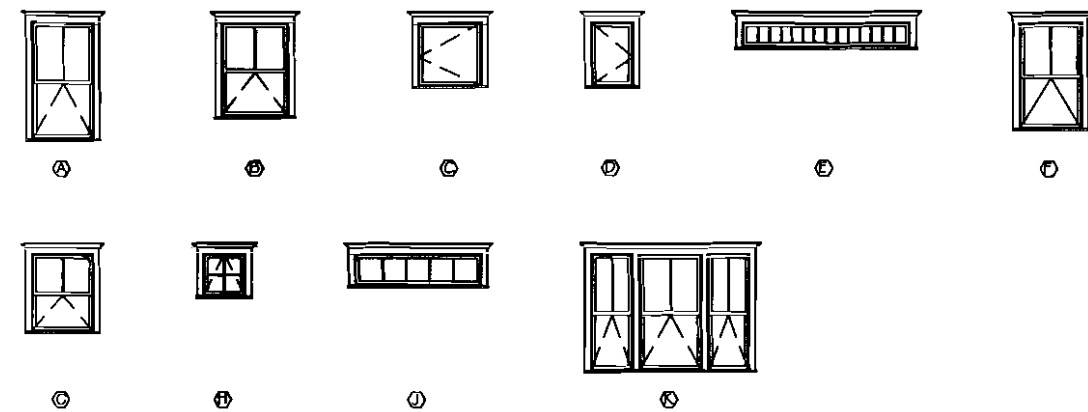
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06.02.10.

Sheet Number:

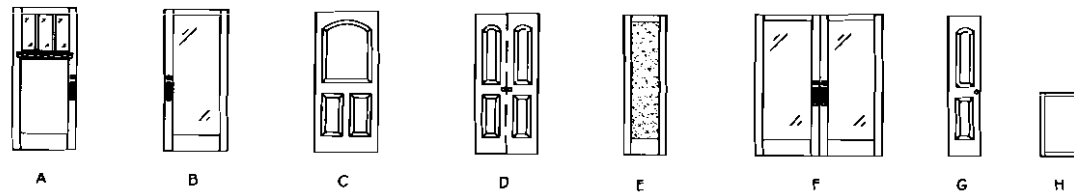
A6.1

DOOR SCHEDULE						
No.	TYPE	SIZE	MATERIALS	MANUFACTURER	FINISH	REMARKS
1	F	72" X 80"	VINYL	PARADIGM		MR & MRS, HINGED
2	C	36" X 80"	SOLID-CORE MOLDED	HUTTIG	PAINT	
3	A	36" X 80"	FIBERGLASS	THERMA-TRU	PAINT	FIBERCLASSIC, 20-MINUTE FIRE-RATED
4	C	32" X 80"	SOLID-CORE MOLDED	HUTTIG	PAINT	
5	C	36" X 80"	SOLID-CORE MOLDED	HUTTIG	PAINT	
6	C	32" X 80"	SOLID-CORE MOLDED	HUTTIG	PAINT	
7	C	24" X 80"	SOLID-CORE MOLDED	HUTTIG	PAINT	
8	C	32" X 80"	SOLID-CORE MOLDED	HUTTIG	PAINT	
9	C	32" X 80"	SOLID-CORE MOLDED	HUTTIG	PAINT	
10	D	36" X 80"	SOLID-CORE MOLDED	HUTTIG	PAINT	MR & MRS, HINGED
11	C	36" X 80"	FIBERGLASS	THERMA-TRU	PAINT	FIBERCLASSIC
12	E	24" X 80"	FINE	SIMPSON		#1120 W/ DOUBLE-ACTING PIVOT HINGE
13	D	60" X 80"	SOLID-CORE MOLDED	HUTTIG	PAINT	MR & MRS, POCKET
14	B	36" X 80"	VINYL	PARADIGM		
15	B	36" X 80"	VINYL	PARADIGM		
16	C	36" X 80"	FIBERGLASS	THERMA-TRU	PAINT	FIBERCLASSIC
17	C	24" X 80"	SOLID-CORE MOLDED	HUTTIG	PAINT	
18	C	32" X 80"	SOLID-CORE MOLDED	HUTTIG	PAINT	
19	C	32" X 80"	SOLID-CORE MOLDED	HUTTIG	PAINT	
20		NOT USED				
21	C	36" X 80"	SOLID-CORE MOLDED	HUTTIG	PAINT	
22	C	32" X 80"	SOLID-CORE MOLDED	HUTTIG	PAINT	
23	C	32" X 80"	SOLID-CORE MOLDED	HUTTIG	PAINT	
24	C	32" X 80"	SOLID-CORE MOLDED	HUTTIG	PAINT	
25	D	36" X 80"	SOLID-CORE MOLDED	HUTTIG	PAINT	MR & MRS, HINGED
26	G	18" X 80"	SOLID-CORE MOLDED	HUTTIG	PAINT	
27	C	32" X 80"	SOLID-CORE MOLDED	HUTTIG	PAINT	
28	D	60" X 80"	SOLID-CORE MOLDED	HUTTIG	PAINT	MR & MRS, HINGED
29	C	32" X 80"	SOLID-CORE MOLDED	HUTTIG	PAINT	
30	D	36" X 80"	SOLID-CORE MOLDED	HUTTIG	PAINT	MR & MRS, HINGED
31	C	32" X 80"	SOLID-CORE MOLDED	HUTTIG	PAINT	
32	D	60" X 80"	SOLID-CORE MOLDED	HUTTIG	PAINT	MR & MRS, HINGED
33	H	24" X 36"	POPLAR	N/A	PAINT	CUSTOM STILE & RAIL ACCESS DOOR
34	C	32" X 80"	SOLID-CORE MOLDED	HUTTIG	PAINT	
35	H	24" X 36"	POPLAR	N/A	PAINT	CUSTOM STILE & RAIL ACCESS DOOR

WINDOW SCHEDULE				
TYPE	ROUGH OPENING	MODEL No.	QTY.	REMARKS
A	36" X 66"	DH3666	8	EGRESS, LOWER SASH TO BE TEMPERED
B	38" X 53"	DH3853	3	EGRESS
C	36" X 36"	C3636	1	
D	24" X 36"	C2436	1	CUSTOM STAINED GLASS BY OWNER
E	98" X 14"	T9814	3	
F	36" X 60"	DH3660	15	EGRESS
G	36" X 44"	DH3644	1	
H	24" X 24"	C2424	3	TWO WINDOWS IN ATTIC GABLE ENDS
I	72" X 18"	T7218	1	
J	86" X 66"	DH2466-DH3666-DH2466	1	EGRESS, LOWER SASHES TO BE TEMPERED



NOTES:
ALL WINDOWS TO INCLUDE SCREENS, HARDWARE AND EXTENSION JAMBS



NOTES:
ALL INTERIOR DOORS TO BE PRE-HUNG ON DOUBLE RABBETED PRIMED PINE JAMBS.
ALL INTERIOR DOORS TO BE BORED FOR KNOB.
ALL EXTERIOR DOORS TO BE BORED FOR KNOB AND DEADBOLT.

CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS

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TABLE R602.3(1)-continued
FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

ITEM	DESCRIPTION OF BUILDING MATERIALS	DESCRIPTION OF FASTENER ^{b, c, e}	SPACING OF FASTENERS	
			Edges, (inches) ^f	Intermediate supports ^{g, i} (inches)
Wood structural panels, subfloor, roof and interior wall sheathing to framing and particleboard wall sheathing to framing				
30	3/8" - 1/2"	6d common (2" x 0.113") nail (subfloor wall); 8d common (2 1/2" x 0.131") nail (roof)	6	12g
31	5/16" - 1/2"	6d common (2" x 0.113") nail (subfloor, wall) 8d common (2 1/2" x 0.131") nail (roof)f	6	12g
32	19/32" - 1"	8d common nail (2 1/2" x 0.131")	6	12g
33	1 1/8" - 1 1/4"	10d common (3" x 0.148") nail or 8d (2 1/2" x 0.131") deformed nail	6	12
Other wall sheathing ^h				
34	1/2" structural cellulosic fiberboard sheathing	1/2" galvanized roofing nail, 7/16" crown or 1" crown staple 16 ga., 1 1/4" long	3	6
35	25/32" structural cellulosic fiberboard sheathing	1 3/4" galvanized roofing nail, 7/16" crown or 1" crown staple 16 ga., 1 1/2" long	3	6
36	1/2" gypsum sheathing ^d	1 1/2" galvanized roofing nail; staple galvanized, 1 1/2" long; 1 1/4" screws, Type W or S	7	7
37	5/8" gypsum sheathing ^d	1 3/4" galvanized roofing nail; staple galvanized, 1 5/8" long; 1 5/8" screws, Type W or S	7	7
Wood structural panels, combination subfloor underlayment to framing				
38	3/4" and less	6d deformed (2" x 0.120") nail or 8d common (2 1/2" x 0.131") nail	6	12
39	7/8" - 1"	8d common (2 1/2" x 0.131") nail or 8d deformed (2 1/2" x 0.120") nail	6	12
40	1 1/8" - 1 1/4"	10d common (3" x 0.148") nail or 8d deformed (2 1/2" x 0.120") nail	6	12

- For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 mile per hour = 0.447 m/s; 1 ksi = 6.895 MPa.
- All nails are smooth-common, box or deformed shanks except where otherwise stated. Nails used for framing and sheathing connections shall have minimum average bending yield strengths as shown: 80 ksi for shank diameter of 0.192 inch (20d common nail), 90 ksi for shank diameters larger than 0.142 inch but not larger than 0.177 inch, and 100 ksi for shank diameters of 0.142 inch or less.
 - Staples are 16 gage wire and have a minimum 7/16-inch on diameter crown width.
 - Nails shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater.
 - Four-foot-by-8-foot or 4-foot-by-9-foot panels shall be applied vertically.
 - Spacing of fasteners not included in this table shall be based on Table R602.3(2).
 - For regions having basic wind speed of 110 mph or greater, 8d deformed (2 1/2" x 0.120) nails shall be used for attaching plywood and wood structural panel roof sheathing to framing within minimum 48-inch distance from gable end walls, if mean roof height is more than 25 feet, up to 35 feet maximum.
 - For regions having basic wind speed of 100 mph or less, nails for attaching wood structural panel roof sheathing to gable end wall framing shall be spaced 6 inches on center. When basic wind speed is greater than 100 mph, nails for attaching panel roof sheathing to intermediate supports shall be spaced 6 inches on center for minimum 48-inch distance from ridges, eaves and gable end walls; and 4 inches on center to gable end wall framing.
 - Gypsum sheathing shall conform to ASTM C 1396 and shall be installed in accordance with GA 253. Fiberboard sheathing shall conform to ASTM C 208.
 - Spacing of fasteners on floor sheathing panel edges applies to panel edges supported by framing members and required blocking and at all floor perimeters only. Spacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and required blocking. Blocking of roof or floor sheathing panel edges perpendicular to the framing members need not be provided except as required by other provisions of this code. Floor perimeter shall be supported by framing members or solid blocking.

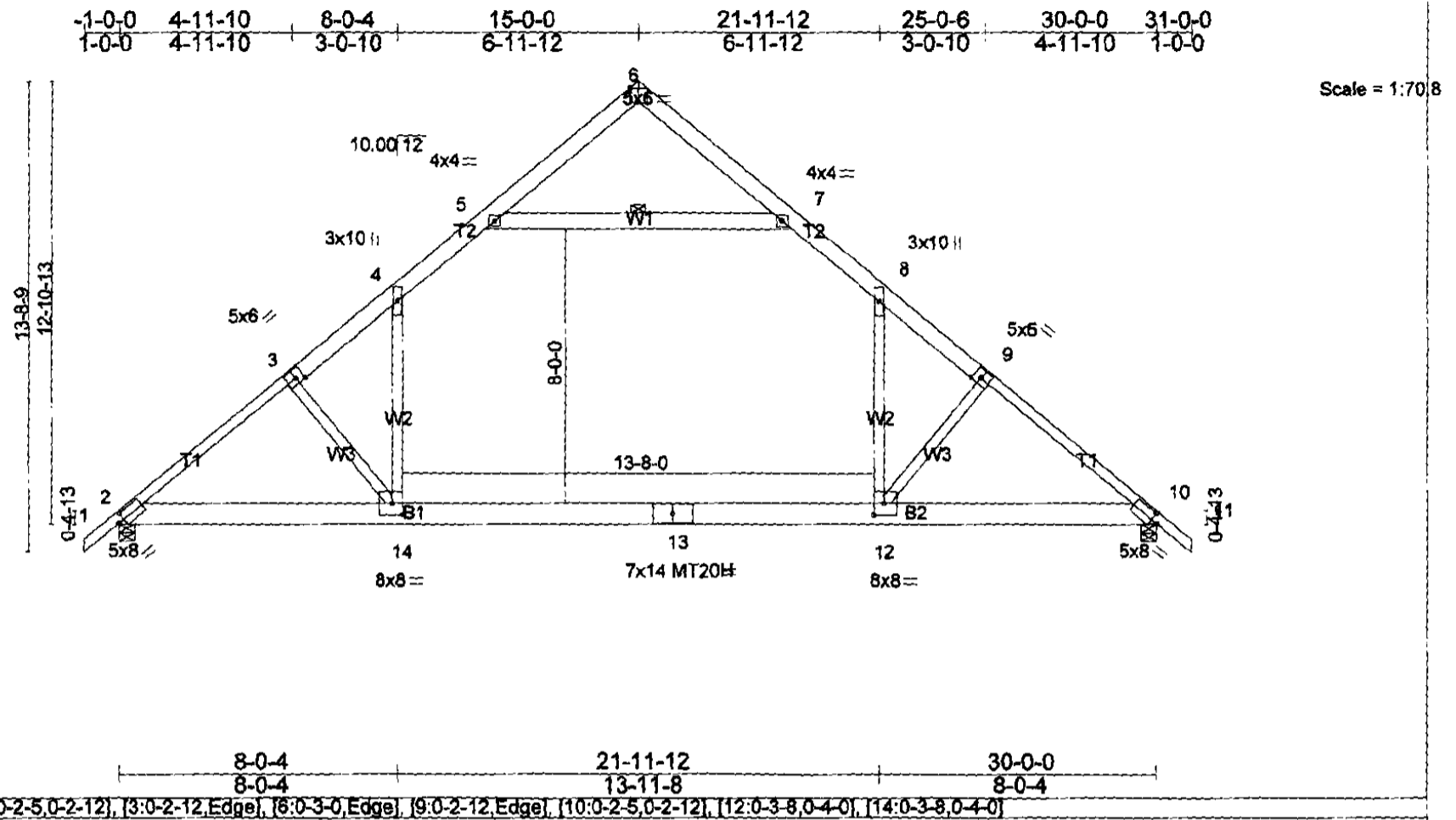
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Job B109019	Truss AJ300	Truss Type ATTIC	Qty 22	Ply 1	CASEY 1
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Mainely Trusses, Inc., Fairfield, ME, Ken Lee Job Reference (optional)
7.220 e Feb 16 2010 Mittek Industries, Inc. Fri Jul 16 15:23:23 2010 Page



LOADING(psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 42.9 (Ground Snow=60.0)	2-0-0 Plates Increase 1.15 Lumber Increase 1.15 Rep Stress Incr YES Code RC2006/TPI2002	TC 0.96 BC 0.57 WB 0.47 (Matrix)	in (loc) l/def L/d Vert(LL) -0.5512-14 >640 240 Vert(TL) -1.0312-14 >344 180 Horz(TL) 0.05 10 n/a n/a Attic -0.3712-14 450 360	MT20 MT20H Weight: 196 lb	197/144 187/143

LUMBER
TOP CHORD 2 X 6 SPF 2100F 1.8E *Except*
T1: 2 X 4 SPF No.2
BOT CHORD 2 X 8 SYP DSS
WEBS 2 X 4 SPF No.2 *Except*
W1: 2 X 6 SPF No.2

BRACING
TOP CHORD Structural wood sheathing directly applied. [PS]
BOT CHORD Rigid ceiling directly applied or 9-7-14 oc bracing.
WEBS 1 Row at midpt 5-7

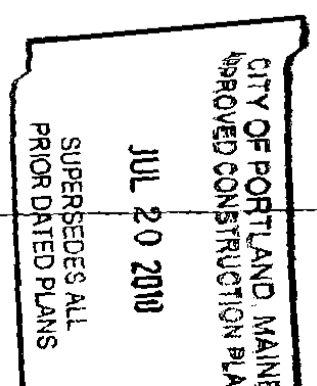
Mittek recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer Installation guide.

REACTIONS(lb/size) 2=2325/0-5-8, 10=2325/0-5-8
Max Horz=-482(LC 6)
Max Uplift=-258(LC 8), 10=-258(LC 9)

FORCES(lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
TOP CHORD 2-3=-3348/218, 3-4=-3119/242, 4-5=-2027/321, 5-6=-396/232, 6-7=-396/232, 7-8=-2027/320, 8-9=-3119/242, 9-10=-3348/218
BOT CHORD 2-14=-143/2465, 13-14=0/2067, 12-13=0/2067, 10-12=-58/2465
WEBS 5-7=-2235/262, 4-14=0/1455, 8-12=0/1455, 3-14=-682/294, 9-12=-682/295

- NOTES (15)**
- 1) Wind: ASCE 7-05; 100mph; TCDL=4.2psf; BCDL=6.0psf; h=25ft; Cat. II; Exp C; enclosed; MWFRS (low-rise) gable end zone; cantilever left and right exposed; end vertical left and right exposed; Lumber DOL=1.60 plate grip DOL=1.60
 - 2) TCLL: ASCE 7-05; Pg=60.0 psf (ground snow); Ps=42.9 psf (roof snow); Category II; Exp C; Partially Exp.; Ct=1.1
 - 3) Roof design snow load has been reduced to account for slope.
 - 4) Unbalanced snow loads have been considered for this design.
 - 5) This truss has been designed for greater of min roof live load of 16.0 psf or 1.00 times flat roof load of 46.2 psf on overhangs non-concurrent with other live loads.
 - 6) This truss has been designed for basic load combinations, which include cases with reductions for multiple concurrent live loads.
 - 7) All plates are MT20 plates unless otherwise indicated.
 - 8) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
 - 9) Ceiling dead load (7.0 psf) on member(s). 4-5, 7-8, 5-7; Wall dead load (5.0psf) on member(s). 4-14, 8-12
 - 10) Bottom chord live load (40.0 psf) and additional bottom chord dead load (7.0 psf) applied only to room. 12-14
 - 11) One H2.5T Simpson Strong-Tie connectors recommended to connect truss to bearing walls due to uplift at it(s) 2 and 10.
 - 12) This truss is designed in accordance with the 2006 International Residential Code sections R502.11.1 and R802.10.2 and referenced standard ANSI/TPI 1.
 - 13) "Semi-rigid pitchbreaks with fixed heels" Member and fixity model was used in the analysis and design of this truss.
 - 14) Attic room checked for L/360 deflection.
 - 15) 13'-8" x 8' 40 PSF ROOM, 2x8 B.C.

LOAD CASE(S) standard



Not For Construction

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DESIGN & BUILD

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hutchinsdesignandbuild.com

Casey Residence
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Portland, Maine

Sheet Title:

Garage Section

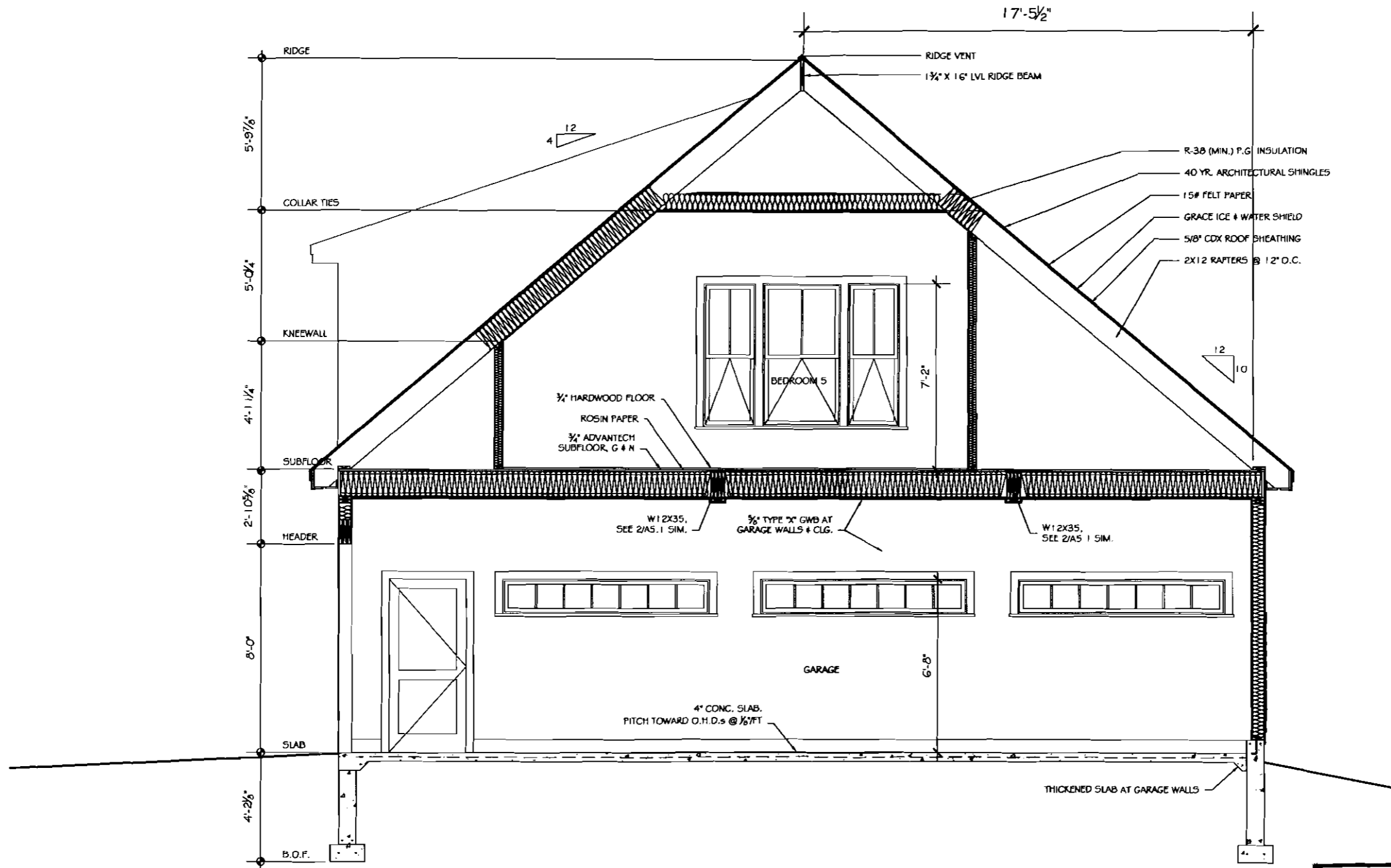
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Revisions:

Sheet Number:

A3.5



1 GARAGE SECTION
3/8" = 1'-0"

CITY OF PORTLAND, MAINE
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Sheet Title:

Building Section

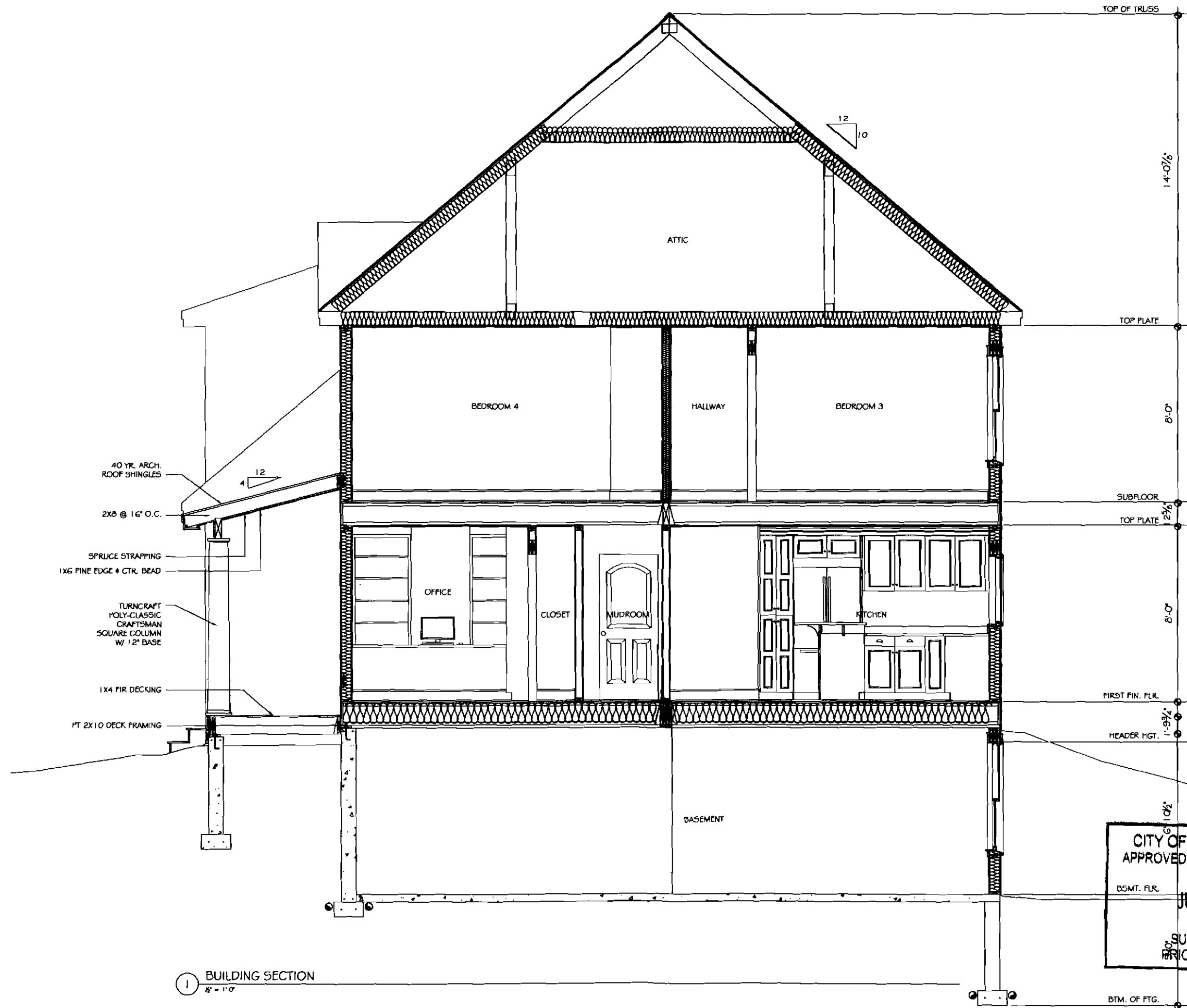
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A3.6



1 BUILDING SECTION
1/8" = 1'-0"

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