

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION PERMIT

Permit Number: 041339

Please Read
Application And
Notes, If Any,
Attached

This is to certify that Donahue Patrick O /William Royal
has permission to build single family colonial w/ attached 2 car garage
AT 0 Rivers Edge Dr CBL 228 D046001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____

Department Name

Withdrawn

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1339	Issue Date:	CBL: 228 D046001
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Location of Construction: 0 Rivers Edge Dr (lot #16)	Owner Name: Donahue Patrick O	Owner Address: 62 Sherman St	Phone: 879-7529
Business Name:	Contractor Name: William Royal	Contractor Address: 281 Broadturn Rd Scarborough	Phone: 2078833653
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: C-8

Past Use: vacant land	Proposed Use: single family home w/ attached 2 car garage	Permit Fee: \$2,031.00	Cost of Work: \$215,000.00	CEO District: 3
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type:	

Proposed Project Description:
build single family colonial w/ attached 2 car garage

Withdawn

Signature:	Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Signature:	Date:

Permit Taken By: dmm	Date Applied For: 09/07/2004
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Zoning Approval

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input checked="" type="checkbox"/> Shoreland <i>lot is in over 250' from HWY -</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>PAND 12 Zone X</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2004-0189</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>OK with computer</i> Date: <i>9/21/04</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

Lot # 16 Rivers Edge

228-D-46

04-1339

Soil type/Presumptive Load Value (Table 401.4.1)	Subdivision	
Component	Plan Reviewer	Inspection/Date/Findings
STRUCTURAL Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2)	10" x 16" - 8' 24" x 24" columns	OK
Foundation Drainage Dampproofing (Section 406)	4" pipe, bituminous Filter Fabric - notes	OK
Ventilation (Section 409.1) Crawls Space ONLY	day light	OK
Anchor Bolts/Straps (Section 403.1.4)	1/2" x 1' 4' o.c. & 1' corners	OK
Lally Column Type, Spacing and footing sizes (Table 502.3.4(2))	3 1/2 concrete 2'-0"	OK
Built-Up Wood Center Girder Dimension/Type (Table 502.3.4(2))	3 @ 3 - 2x12	OK
Sill/Band Joist Type & Dimensions	2x6 PT	OK
First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))	2x10 @ 12" o.c. = 17' 3" 2x10 @ 16" o.c.	OK
Second Floor Joist Species Dimensions and Spacing Table (503.3.1(1) & Table 503.3.2(1))	Same as First Garage - 14" GPI 65 F Joists	16" o.c. OK

Attic or additional Floor Joist Species Dimensions and Spacing (Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1))	2x8 collar ties garage	OK	
Roof Rafter; Pitch, Span, Spacing & Dimension (Table 802.3.2(7))	8:12 / 12:12 Trusses - house 2x10 @ 16 o.c. Garage 24" o.c.	OK	
Sheathing; Floor, Wall and roof (Table 503.2.1(1))	3/4 T&G, OSB, 5/8 w/clips	OK	
Fastener Schedule (Table 602.3(1) & (2))	List		*
Private Garage Section 309 and Section 407 1999 BOCA) Living Space ? (Above or beside)			
Fire separation	All walls / ceiling	OK	
Fire rating of doors to living space Door Sill elevation (407.5 BOCA)	?		
Egress Windows (Section 310)	yes tw 3046	OK	
Roof Covering (Chapter 9)	Asphalt	OK	
Safety Glazing (Section 308)	master bath other bath if below 60"	OK ?	*
Attic Access (BOCA 1211.1)	?		*
Draft Stopping around chimney	Yes Yes will submit		*

7 LV. RM & KITCH Beams, Porch

Header Schedule	Garage 2-2x10 @ 18" <u>used</u> 2-2x12 ? 3-2x10 / 2-2x10 center post.	
Type of Heating System	? LV RM FP FHW direct & chimney	
Stairs		
Number of Stairways	4	OK
Interior	3	
Exterior	2	OK
Treads and Risers (Section 314)	73/8 / 7 1/4 10" min	OK
Width	3' scaled	? Landing @ Garage set/closet L 3'
Headroom	6'8" Throughout	
Guardrails and Handrails (Section 315)	34" stair / 42" Landings	4" space scaled OK
Smoke Detectors Location and type/Interconnected	?	
Plan Reviewer Signature		

See Chimney Summary Checklist → disclosure enclosed
Deck Framing / Sonas

Applicant: Patric O. Donahue Date: 9/21/04
Address: Rivers Edge Dr. (lot #16) C-B-L: 228-D-046

CHECK-LIST AGAINST ZONING ORDINANCE

Permit # 04-1339

Date - New De J.

Zone Location - C-8 contract zone using R-3 requirements

Interior or corner lot - 35 x 36'

Proposed Use/Work - to construct colonial single family with attached 24 x 28 2 car garage

Sewage Disposal - City

Lot Street Frontage - 50' min $\left. \begin{matrix} 29.52 \\ 59.44 \end{matrix} \right\} 88.96'$ given

→ ^{close} Front Yard - 25' min - 25' short

Rear Yard - 25' min - 65' scaled

Side Yard - (can reduce side to no less than 8' if add that taken off to the other side)
15' ? 31' Scaled OK

Projections - rear deck 6' x 14.5' ? rear stoop & stairs 3.5' x 10.5'

Width of Lot - 75' min - 116' at least amount

Height - 35' MAX - 33' Scaled to lowest (average would be less)

Lot Area - 6,500 sq ft 22,718 sq ft

Lot Coverage/Impervious Surface - 256 MAX or 5679.5 sq ft MAX

Area per Family - 6,500 sq ft

Off-street Parking - 2 req - 2 car garage shown

Loading Bays - N/A

Site Plan - minor/mailed # 2004-0109

Shoreland Zoning/Stream Protection - just outside 250'

Flood Plains - panel 12 zone X

DAYLIGHT BASEMENT SHOWN

OK

$35 \times 36 = 1260$
 $24 \times 28 = 672$
 $6 \times 14.5 = 87$
 $3.5 \times 10.5 = 36.75$

 2055.75

**STATE OF MAINE
CHIMNEY OR FIREPLACE DISCLOSURE**

Dear Consumer: State law, specifically 32 M.R.S.A., Chapter 33, requires chimney or fireplace installers, as of January 1, 1992, to provide you with this Disclosure prior to the installation work being done on your chimney or fireplace. The purpose of this Disclosure is to help you, as a consumer, make an informed decision as to the abilities of the installer and under what requirements the installation must comply. It is important to note that the State of Maine does not require registration or licensure of chimney or fireplace installers; however, it is just as important to realize that many fires are caused each year by improperly constructed fireplaces and chimneys. For further information about this law, call the Division of Licensing & Registration at 624-8629 or write to the Division at #35 State House Station, Augusta, Maine 04333.

INSTALLER INFORMATION

Name of Installer _____

D.B.A. _____

Name of Installer (if incorporated) _____

D.B.A. _____

Legal Address _____

(Street and No.)

(City or Town)

(State)

(County)

(Zip Code)

Home Telephone ____ / ____ / ____ Business Telephone ____ / ____ / ____

Years of experience doing fireplace or chimney installations _____.

CONSUMER IDENTIFICATION

Consumer's Name _____

Mailing Address _____

(Street and No.)

(City or Town)

(State)

(County)

(Zip Code)

Home Telephone ____ / ____ / ____ Business Telephone ____ / ____ / ____

Installer, please give a brief description of installation being offered.

I, _____, the installer, hereby attest that the preceding information provided is true to the best of my knowledge. I also understand that if I fail to conform with the standards as outlined in NFPA 211 that I shall be subject to penalties as outlined under Title 32, Chapter 33, Oil and Solid Fuel Board.

Signature _____ Date _____

INSTALLATION STANDARDS

Please check the type of unit(s) that will be installed:

Factory-Built Chimney and Chimney Units.

Factory-built chimney and chimney units shall be listed and shall be installed in accordance with the temperature conditions of the listing and the manufacturer's instructions and all requirements of NFPA 221 for chimneys, fireplaces, vents and solid fuel appliances.

Masonry Chimney.

Masonry chimneys shall be designed, anchored, supported and re-enforced as required by NFPA 211 for chimneys, fireplaces, vents and solid fuel appliances.

Metal Chimney.

Metal chimneys shall be constructed in accordance with NFPA 211, and shall apply good engineering practices as necessary for:

- 1. Strength to resist stress
- 2. Adequate anchoring and bracing
- 3. Durability
- 4. Security against leakage
- 5. Allowances for thermal expansion

Factory Built Fireplace.

Factory built fireplaces shall be listed and shall be installed in accordance with the terms of its listing and all applicable sections of NFPA 211.

Masonry Fireplace.

Masonry fireplaces shall meet the requirements of NFPA 211, Chapter 7 and all other pertinent sections.

Other

Please list on separate sheet of paper if making repairs of pre-existing chimneys, such as repair or replacement of chimney liners, etc.

CONSUMER CHECKLIST

- 1. Have you asked for references to be provided by the installer?
- 2. Is the installer familiar with the NFPA 211 codes and does the installer carry a code book?
- 3. If the installation is a pre-fabricated or fireplace, is its manufacturer registered with the Maine Oil & Solid Fuel Bd.
- 4. Does the installer provide any type of written guarantee for the product installation being proposed?
- 5. Has the installer provided you with a written contract? 10 M.R.S.A. Chapter 219-A requires written contracts for any home remodeling or construction with an estimated cost in excess of \$1,400.
- 6. Have you asked the local fire department or code enforcement officials to inspect the installation during and after completion?

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2004-0189

Application I. D. Number

Donahue Patrick O

Applicant

62 Sherman St , Portland , ME 04101

Applicant's Mailing Address

9/7/2004

Application Date

Rivers Edge (lot #16)

Project Name/Description

Consultant/Agent

Rivers Edge Dr , Portland, Maine

Address of Proposed Site

Agent Ph:

Agent Fax:

228 D046001

Applicant or Agent Daytime Telephone, Fax

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

Proposed Building square Feet or # of Units

Acreeage of Site

Zoning

Check Review Required:

- | | | | |
|--|---|---|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> HistoricPreservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Pla \$250.00 Subdivision _____ Engineer Review \$50.00 Date 9/7/2004

Zoning Approval Status:

Reviewer _____

- Approved Approved w/Conditions
See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets
Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee

Required*

Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |



Residential Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>Lot 16 RIVERS EDGE DR.</u>		
Total Square Footage of Proposed Structure <u>2586</u>	Square Footage of Lot <u>22,718</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>228</u> Block# <u>D</u> Lot# <u>46</u>	Owner: <u>PATRICK DONAHUE</u>	Telephone: <u>207-879-7529</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>PATRICK DONAHUE</u> <u>62 SHERMAN ST.</u> <u>PORTLAND, ME 04101</u>	Cost Of <u>215,000</u> Work: \$ 215,000 Fee: \$ 1,926.00 <u>1,926.00</u>
Current Specific use: <u>VACANT LAND</u> <u>2031 inc</u> <u>cofo</u>		
Proposed Specific use: <u>SINGLE FAMILY</u>		
Project description: <u>TWO STORY COLONIAL DWELLING WITH AN ATTACHED TWO CAR GARAGE.</u>		
Contractor's name, address & telephone: <u>WILLIAM ROYAL, 281 BROADTURN RD Scarborough</u> <u>883-3653</u>		
Who should we contact when the permit is ready: <u>PATRICK DONAHUE</u>		
Mailing address: <u>62 SHERMAN ST</u> <u>PORTLAND, ME</u> <u>04101</u>		Phone: <u>207-879-7529</u>

Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>8/16/04</u>
--	----------------------

Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$9.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.



**TABLE 1003.1
SUMMARY OF REQUIREMENTS FOR MASONRY FIREPLACES AND CHIMNEYS**

NOTE: This table provides a summary of major requirements for the construction of masonry chimneys and fireplaces. Letter references are to Figure 1003.1, which shows examples of typical construction. This table does not cover all requirements, nor does it cover all aspects of the indicated requirements. For the actual mandatory requirements of the code, see the indicated section of text.

ITEM	LETTER	REQUIREMENTS			
		Summary	See Section		
Hearth and hearth extension thickness	A	4-inch minimum thickness for hearth.	1003.9.1		
		2-inch minimum thickness for hearth extension.	1003.9.2		
Hearth extension (each side of opening)	B	8 inches for fireplace opening less than 6 square feet.	1003.10		
		12 inches for fireplace opening greater than or equal to 6 square feet.			
Hearth extension (front of opening)	C	16 inches for fireplace opening less than 6 square feet.	1003.10		
		20 inches for fireplace opening greater than or equal to 6 square feet.			
Hearth and hearth extension reinforcing	D	Reinforced to carry its own weight and all imposed loads.	1003.9		
Firebox dimensions	E	20-inch minimum firebox depth.	1003.11		
		12-inch minimum firebox depth for Rumford fireplaces.			
Thickness of wall of firebox	F	10 inches solid masonry or 8 inches where firebrick lining is used.	1003.5		
Distance from top of opening to throat	G	8 inches minimum.	1003.7		
Smoke chamber	H	6 inches lined; 8 inches unlined.	1003.8		
Wall thickness					
Dimensions		Not taller than opening width; walls not inclined more than 45 degrees from vertical for prefabricated smoke chamber linings or 30 degrees from vertical for corbeled masonry.	1003.8.1		
Chimney vertical reinforcing ^a	I	Four No. 4 full-length bars for chimney up to 40 inches wide. Add two No. 4 bars for each additional 40 inches or fraction of width, or for each additional flue.	1003.3.1		
Chimney horizontal reinforcing ^a	J	1/4-inch ties at each 18 inches, and two ties at each bend in vertical steel.	1003.3.2		
Fireplace lintel	K	Noncombustible material with 4-inch load-bearing length of each side of opening.	1003.7		
Chimney walls with flue lining	L	4-inch-thick solid masonry with liner.	1001.7;		
		1/2-inch grout or airspace between liner and wall.	1001.9		
Effective flue area (based on area of fireplace opening and chimney)	M	See Section 1001.12.	1001.12		
Clearances	N	2 inches interior, 1 inch exterior.	1001.15		
From chimney					
From fireplace				2 inches front, back or sides.	1003.12
Combustible trim or materials				6 inches from opening.	1003.13
Above roof		3 feet above roof penetration, 2 feet above part of structure within 10 feet.	1001.6		
Anchorage ^a	O	3/16 inch by 1 inch.	1003.4		
Strap					
Number				Two.	
Embedment into chimney				12 inches hooked around outer bar with 6-inch extension.	
Fasten to				Four joists.	
Bolts	Two 1/2-inch diameter.				
Footing	P	12-inch minimum.	1003.2		
Thickness					
Width		6 inches each side of fireplace wall.			

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 square foot = 0.0929 m², 1 degree = 0.01745 rad.

^a Required only in Seismic Zones 3 and 4.

CONNECT UTILITIES TO EXISTING STUBS, FIELD LOCATE. SEWER MAY REQUIRE A PUMP, VERIFY IN FIELD.

STREET TREES: 2-RED OAK (quercus rubrum) 2" CAL.

LOAM & SEED ALL DISTURBED AREAS.

OWNER:
PATRICK DONAHUE
62 SHERMAN STREET
PORTLAND, MAINE

BUILDER:
WILLIAM ROYALL
BROADTURN ROAD
SCARBOROUGH, MAINE

ENGINEER:
PINKHAM & GREER
CONSULTING ENGINEERS
FALMOUTH, MAINE 04105

TOPOGRAPHY & BOUNDARY:
OWEN HASKELL ASSOC.
PORTLAND, MAINE 04101

NOTES:

1. THIS PLAN IS FOR LOT 16 ONLY. GRADING OR GENERAL DRAINAGE SHOWN FOR THE ROAD IS FOR INFORMATION ONLY AND MAY NOT REPRESENT ACTUAL FIELD CONDITIONS.
2. THE LOCATION OF THIS BUILDING IS WITHIN THE APPROVED BUILDING SETBACKS HOWEVER CONSTRUCTION OF THE BUILDING WILL REQUIRE AN ALTERATION OF THE EXISTING WETLAND PERMIT. IT IS THE OWNERS RESPONSIBILITY TO OBTAIN THE WETLAND PERMIT.
3. FOUNDATION TO BE LAID OUT BY A PROFESSIONAL SURVEYOR
4. INSTALL EROSION CONTROL MESH ON ALL SLOPES GREATER THAN 3:1. LOAM & SEED AS SOON AS POSSIBLE.

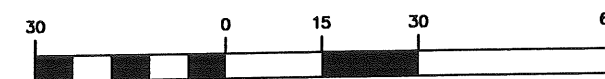
REV. 1 8/9/04 REV'D GARAGE LAYOUT

A SUMP PUMP IS REQ'D FOR FOUNDATION DRAIN
INV. @ FDN: 29.25
INV. OUT 29.00

BUFFER ZONE TO BE LEFT IN IT'S NATURAL CONDITION EXCEPT THAT CLEARING OF THE UNDERSTORY FOR A 5' WIDE WALKING TRAIL IS PERMITTED.

LEGEND

- LOT LINES
- - - BUILDING SETBACK
- - - 100 EXISTING CONTOUR
- - - 100 PROPOSED CONTOUR
- - - x100.5 SPOT GRADE
- - - WETLAND BOUNDARY
- - - SHORELAND ZONE LIMIT
- - - EASEMENT
- - - BUFFER LINE
- - - FLOOD HAZARD LINE
- - - STREAM
- - - EDGE OF PAVEMENT
- - - VERTICAL GRANITE CURB
- - - SLOPED BITUMINOUS CURB
- - - 18" SANITARY SEWER
- - - 8" SANITARY SEWER & MANHOLE
- - - STORMDRAIN & MANHOLE CATCH BASIN
- - - 8" WATER LINE
- - - HYDRANT
- - - UNDERDRAIN
- - - FOUNDATION DRAIN
- - - SEWER HOUSE SERVICE
- - - WATER HOUSE SERVICE
- - - BOUND FOUND
- - - IRON PIPE FOUND
- - - GRANITE MONUMENT SET
- - - 5/8" IRON PIPE SET
- - - PATH OF SURFACE DRAINAGE
- - - SILT FENCE
- - - NATURAL CONDITION
- - - BUFFER ZONE

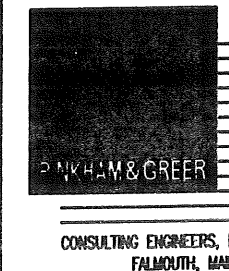


GRAPHIC SCALE (IN FEET)
1 inch = 30 ft.

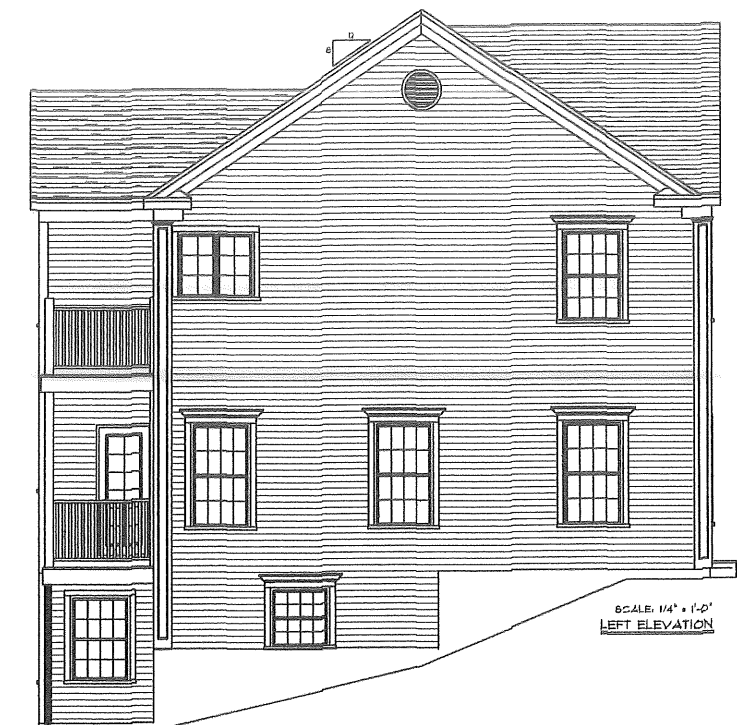
SITE PLAN LOT 16

**RIVER'S EDGE
RIVER'S EDGE DRIVE**

SCALE: 1"=30'
DATE: JULY 6, 2004
DESG BY: TSG
PROJECT: 02110



Handwritten signature and date: 8/10/04



SCALE: 1/4" = 1'-0"
LEFT ELEVATION



SCALE: 1/4" = 1'-0"
FRONT ELEVATION



SCALE: 1/4" = 1'-0"
RIGHT ELEVATION



SCALE: 1/4" = 1'-0"
REAR ELEVATION

THE COTTAGE HOME DESIGN

THIS PLAN IS TO BE CONSIDERED ONLY AS GENERAL GUIDANCE FOR THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE OBTAINING OF ALL NECESSARY APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OBTAINING OF ALL NECESSARY APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OBTAINING OF ALL NECESSARY APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.

CONTRACTOR

PROJECT NAME

THE DONAHUES
RESIDENCE

REVISIONS

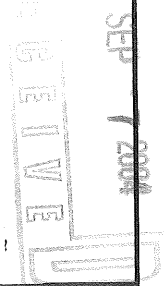
DATE: July 15, 2004

SCALE: AS NOTED

DRAWN

FILE

SHEET: ___ OF ___



228 D 46

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3. FOUNDATION TO BE LAID OUT BY A PROFESSIONAL SURVEYOR.
4. INSTALL EROSION CONTROL MESH ON ALL SLOPES GREATER THAN 3:1. LOAM & SEED AS SOON AS POSSIBLE.

REV. 1 8/9/04 REV'D GARAGE LAYOUT

N/F STROUDWATER FARM ASSOCIATES LOT 15

N/F STROUDWATER FARM ASSOCIATES LOT 17

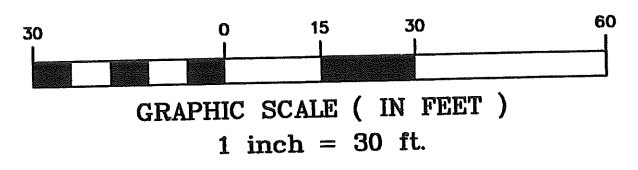
LOT 16
22,718 SF.

A SUMP PUMP IS REQ'D FOR FOUNDATION DRAIN
INV. @ FDN: 29.25
INV. OUT 29.00

BUFFER ZONE TO BE LEFT IN IT'S NATURAL CONDITION EXCEPT THAT CLEARING OF THE UNDERSTORY FOR A 5' WIDE WALKING TRAIL IS PERMITTED.

LEGEND

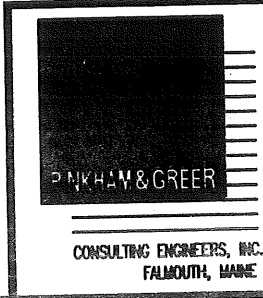
- LOT LINES
- BUILDING SETBACK
- - - - - EXISTING CONTOUR
- - - - - PROPOSED CONTOUR
- 100 x 100.5 SPOT GRADE
- WETLAND BOUNDARY
- SHORELAND ZONE LIMIT
- EASEMENT
- BUFFER LINE
- FLOOD HAZARD LINE
- STREAM
- EDGE OF PAVEMENT
- VERTICAL GRANITE CURB
- SLOPED BITUMINOUS CURB
- 5 18" SANITARY SEWER & MANHOLE
- 8" SANITARY SEWER & MANHOLE
- STORMDRAIN & MANHOLE CATCH BASIN
- 8" WATER LINE
- HYDRANT
- UNDERDRAIN
- FOUNDATION DRAIN
- SEWER HOUSE SERVICE
- WATER HOUSE SERVICE
- BOUND FOUND
- IRON PIPE FOUND
- GRANITE MONUMENT SET
- 5/8" IRON PIPE SET
- PATH OF SURFACE DRAINAGE
- SILT FENCE
- NATURAL CONDITION BUFFER ZONE



SITE PLAN LOT 16

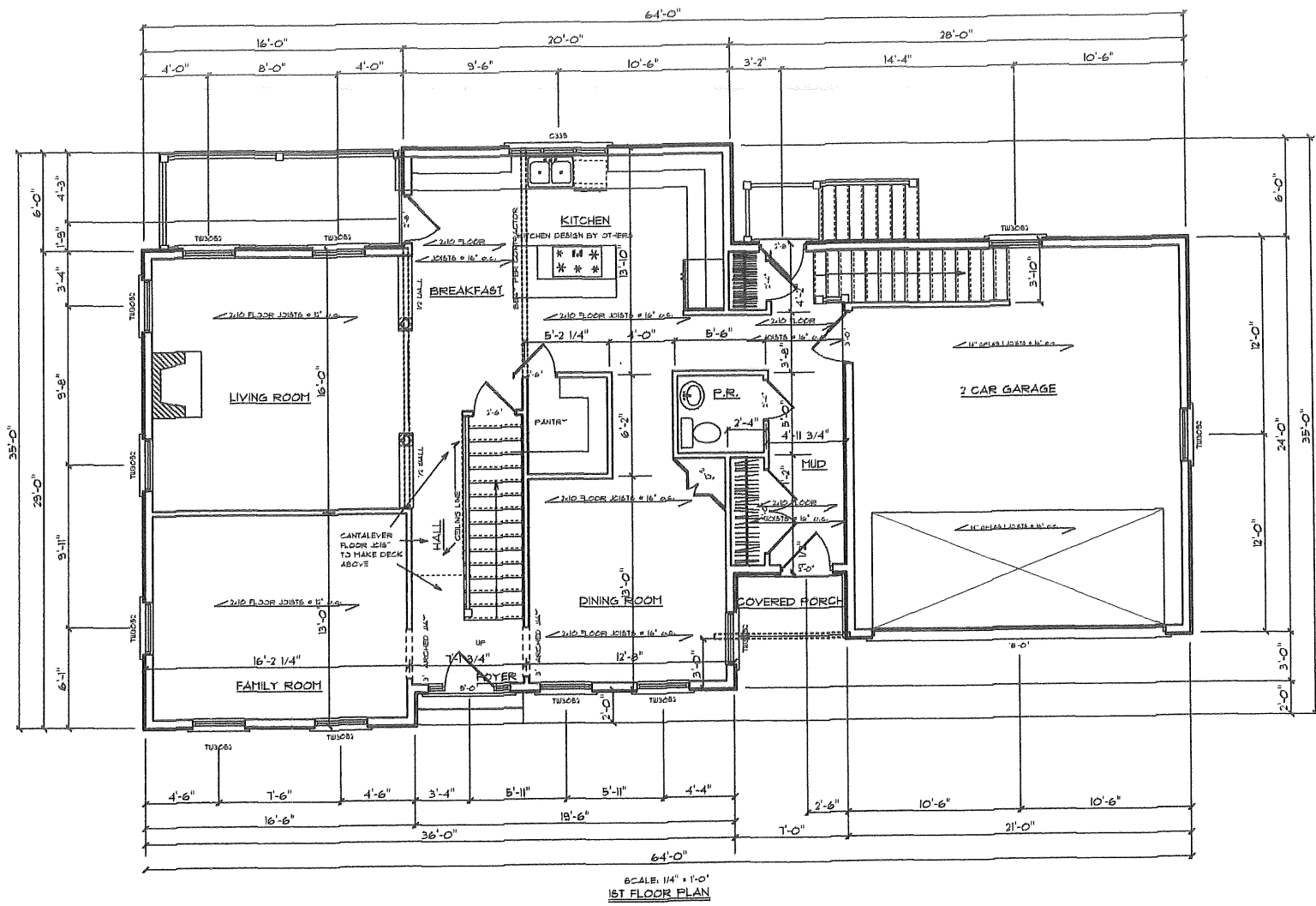
RIVER'S EDGE
RIVER'S EDGE DRIVE

SCALE: 1"=30'
DATE: JULY 6, 2004
DESG BY: TSG
PROJECT: 02110



Handwritten signature and date: 8/10/04

CAD FILE: 02110 FILE SCALE: 1"=30'



LIFE COTTAGE HOME DESIGN

THESE PLANS ARE TO BE CONSIDERED ONLY AS GENERAL GUIDELINES FOR THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS.

CONTRACTOR:

PROJECT NAME:
**THE DONAHUES
 RESIDENCE**

REVISIONS

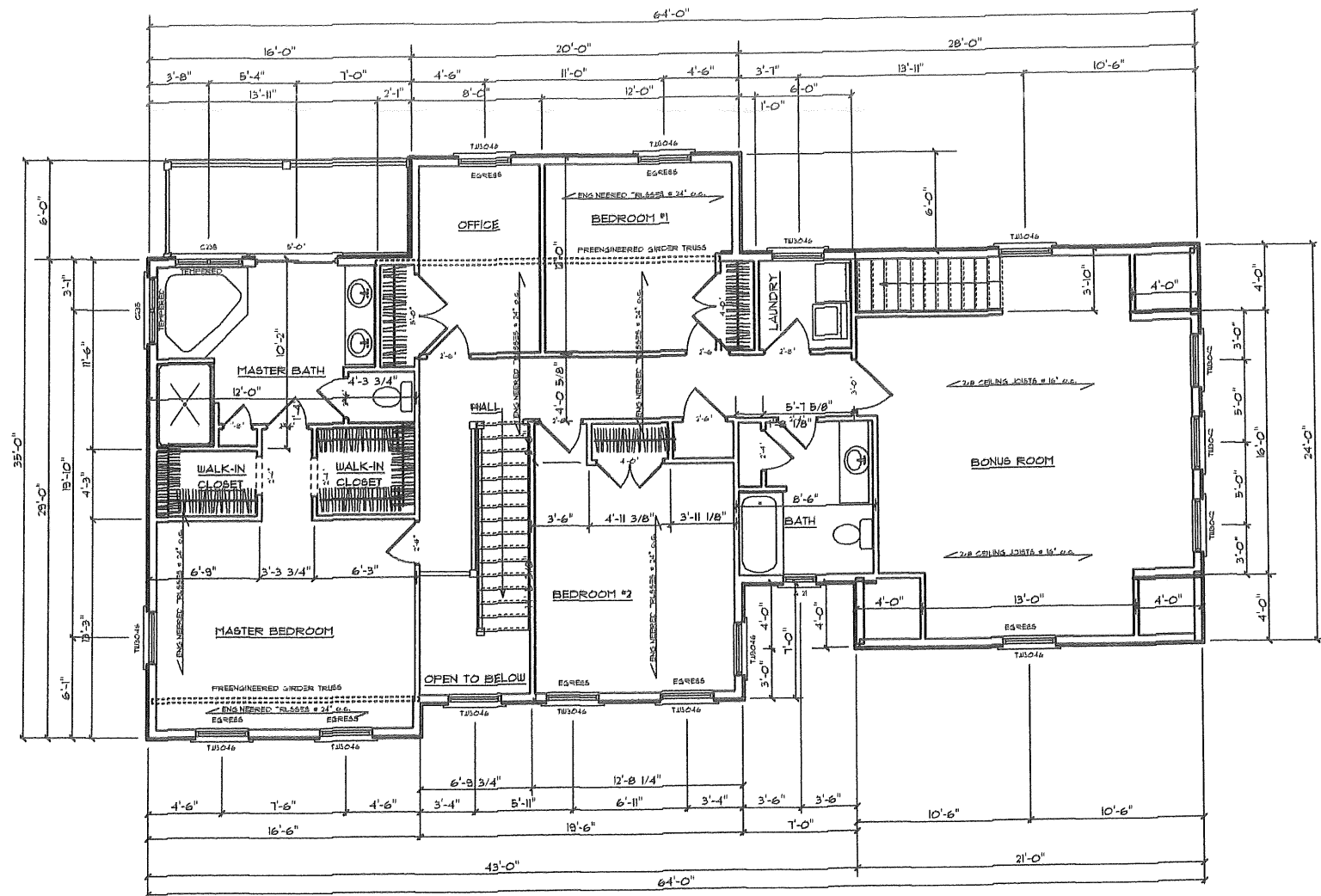
DATE: JULY 15, 2004

SCALE: AS NOTED

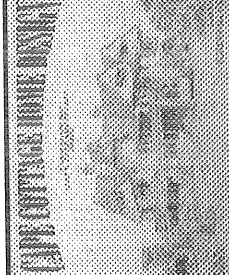
DRAWN

FILE

SHEET ___ OF ___



SCALE: 1/4" = 1'-0"
2ND FLOOR PLAN



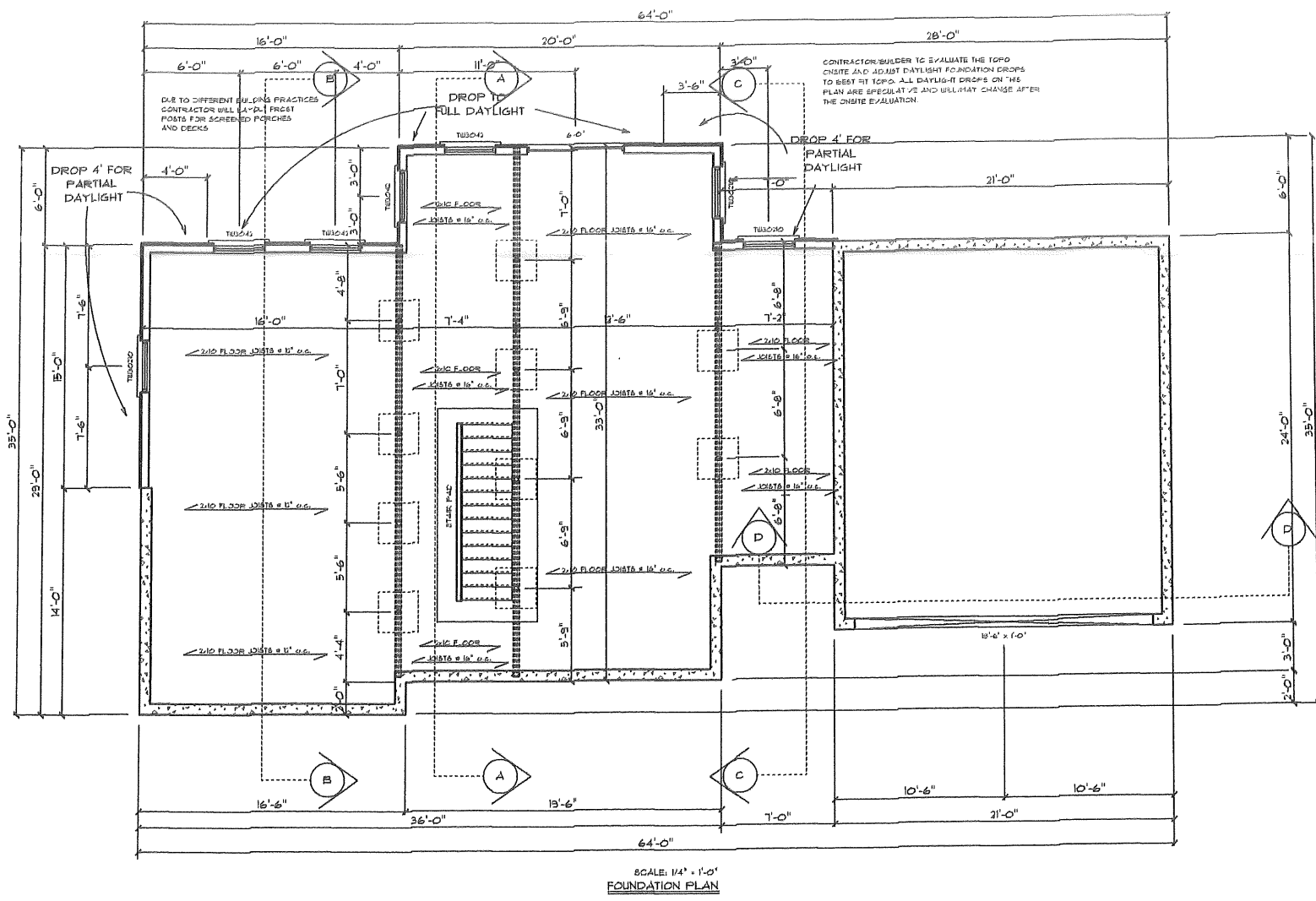
THIS PLAN IS TO BE CONSIDERED ONLY AS GENERAL GUIDELINES AND NOT A CONTRACT DOCUMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE BUILDING CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE BUILDING CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE BUILDING CODES.

CONTRACTOR:

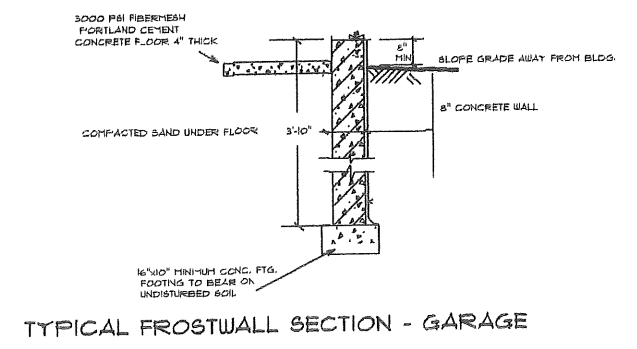
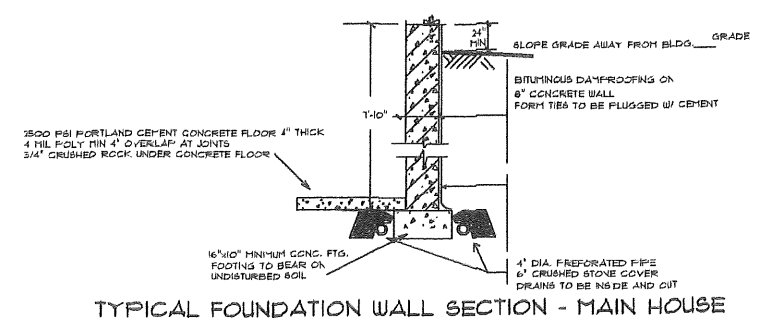
PROJECT NAME:
THE DONAHUES RESIDENCE

REVISIONS

DATE:	July 15, 2004
SCALE:	AS NOTED
DRAWN:	
FILE:	
SHEET:	___ of ___



- FOUNDATION NOTES:
1. ALL FINISH WALL & FOOTING HEIGHTS SHALL BE DETERMINED IN THE FIELD WITH CONTRACTOR.
 2. BASEMENT WINDOW LOCATIONS & FINISH SPINGS SHALL BE CHECKED & VERIFIED IN FIELD WITH CONTRACTOR. OTHERWISE IF NOT 4'-0\"/>
 - 3. ALL JACK-OR-BOLTS SHALL BE 1/2\"/>
 - 4. ALL LALLY COLLUMS, FOOTING WALLS & BEAMS SHALL BE CHECKED & ENGINEERED BY CONTRACTOR BEFORE FORMS HAVE BEEN SET.
 - 5. ALL DAYLIGHT BASEMENT CONSIDERATIONS TO BE DETERMINED IN FIELD BY CONTRACTOR IF APPLICABLE.
 - 6. ALL CONSIDERATIONS FOR UTILITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
 - 7. CONTRACTOR SHALL CHECK ALL DIMENSIONS WITH FLOOR PLAN OR ANY ADDITIONAL EQUIP. OR BULKHEAD ETC.) OR PRODUCT DIMENSIONS OR SPECS. ALSO MUST CHECK ALL STRUCTURAL FRAMING FOR LOAD BEARINGS & FOUNDATION BEFORE FORMS ARE SET.
 - 8. CONTRACTOR SHALL ADJUST WALL AND FOOTING SIZES TO SOIL BEARING CAPACITIES AS REQ'D.
 - 9. DO NOT BACKFILL MORE THAN 3'-0\"/>
 - 10. DRAIN TILE SHALL BE PLACED ON INTERIOR AND EXTERIOR OF FOUNDATION. ALL DRAIN TILE PIPE SHALL BE WRAPPED IN FILTER FABRIC.
 - 11. SEE BUILDING SECTIONS FOR ADDITIONAL REINFORCEMENT REQUIREMENTS.



CONTRACTOR

PROJECT NAME:
THE DONAHUES RESIDENCE

REVISIONS

DATE: July 15, 2004
SCALE: AS NOTED
DRAWN:
P.L.
SHEET: 09