

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

This is to certify that ALLYSON & DAVID HOWE

Located At 35 SPAR LN

Job ID: 2011-08-2104-ALTR

CBL: 227 - - I - 012 - 001 - - - -

has permission to Build a 10'x37' rear deck and stairs to grade provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

*[Signature]*  
Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: <b>2011-08-2104-ALTR</b>	Date Applied: <b>8/26/2011</b>	CBL: <b>227 - - 1 - 012 - 001 - - - - -</b>	
Location of Construction: <b>35 SPAR LN</b>	Owner Name: <b>ALLYSON &amp; DAVID HOWE</b>	Owner Address: <b>35 Spar Lane Portland, ME 04102</b>	Phone:  <b>207-210-6447</b>
Business Name:	Contractor Name: <b>Vincent Diycno, Portland Handyman Services</b>	Contractor Address: <b>40 Kenilworth PORTLAND ME 04102</b>	Phone:  <b>(207 ) 450-5947</b>
Lessee/Buyer's Name:	Phone:	Permit Type: <b>Building - Addition</b>	Zone:  <b>R-2</b>
Past Use:  <b>Single Family</b>	Proposed Use:  <b>Same - Single Family - build a 10' x 37' rear deck</b>	Cost of Work: <b>12000.00</b>	CEO District:
		Fire Dept:  <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A  Signature:	Inspection: Use Group: <b>R-3</b> Type: <b>SB</b> <b>JRL-2009</b> Signature: <b>JMB</b> <b>9/8/11</b>
Proposed Project Description: <b>Add 10' x 37' Deck</b>		Pedestrian Activities District (P.A.D.)	
Permit Taken By:		<b>Zoning Approval</b>	

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <b>Orw/condition</b> <b>8/30/11 ABU</b>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <b>ABU</b>

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
  1. Footing/Setback Inspection prior to pouring concrete
  2. Framing Inspection
  3. Final Inspection at completion of work

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCU0PIED.



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* • [www.portlandmaine.gov](http://www.portlandmaine.gov)

Director of Planning and Urban Development  
Penny St. Louis

Job ID: 2011-08-2104-ALTR

Located At: 35 SPAR

CBL: 227 - - 1 - 012 - 001 - - - -

## **Conditions of Approval:**

### **Building**

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. Permit approved based on the plans submitted and reviewed w/owner/ contractor, with additional information as agreed on and as noted on plans, regarding graspable handrail.
3. Detail required on the deck attachment to the existing 13' porch for review.

### **Zoning**

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

2011-08-2, 104

R2



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>35 SPAR LN PORTLAND, ME 04102</u>		
Total Square Footage of Proposed Structure/Area <u>370 SQ FT DECK</u>	Square Footage of Lot <u>20,344</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>227</u> Block# <u>I</u> Lot# <u>12</u>	Applicant *must be owner, Lessee or Buyer* Name <u>ALLYSON + DAVID HOWE</u> Address <u>35 SPAR LN</u> City, State & Zip <u>PORTLAND, ME 04102</u>	Telephone: <u>210-6447</u>
Lessee/DBA (If Applicable) <u>/</u>	Owner (if different from Applicant) Name <u>ALLYSON + DAVID HOWE</u> Address <u>35 SPAR LN</u> City, State & Zip <u>PORTLAND, ME 04102</u>	Cost Of Work \$ <u>12,000</u> C of O Fee: \$ <u>—</u> Total Fee: \$ <u>\$ 140</u>
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? <u>—</u> Proposed Specific use: <u>DECK</u> Is property part of a subdivision? <u>NO</u> If yes, please name <u>—</u> Project description: <u>DECK 10'x37'</u>		
Contractor's name: <u>PORTLAND HANDYMAN SERVICES</u> Address: <u>40 KENILWORTH ST</u> City, State & Zip: <u>PORTLAND, ME 04102</u> Telephone: <u>207-450-5947</u> Who should we contact when the permit is ready: <u>VINCENT DIYENNO</u> Telephone: <u>207-450-5947</u> Mailing address: <u>SAME AS ABOVE</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

RECEIVED

Signature: [Signature] Date: 8/26/2011

This is not a permit, you may not commence ANY work until the permit is issued

AUG 26 2011

11328

CRUCR ≈ 130'

Zone - R-2

lot size - 20,344 sq ft

front setback - N/A

side - 1 story - 12' min - 25' max (circled)

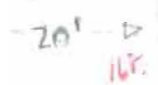
rear setback - 25' min - 50' max (circled)

lot coverage - 20% = 4068.8 sq ft

house - 2163 sq ft

10x57 deck -  $\frac{375}{2533}$  (circled)

175'

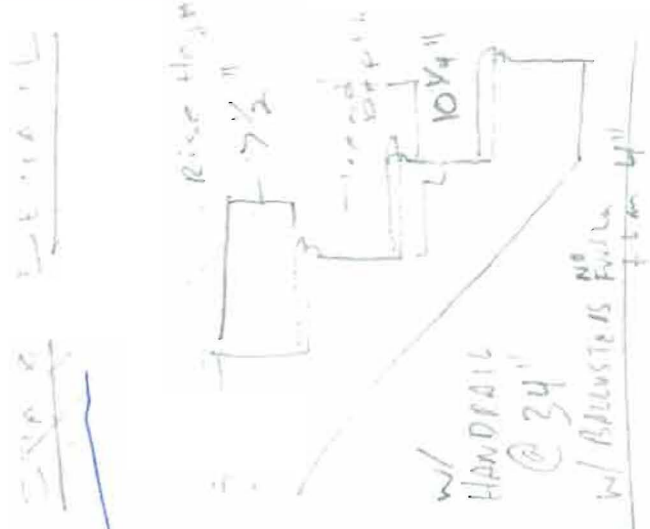


street

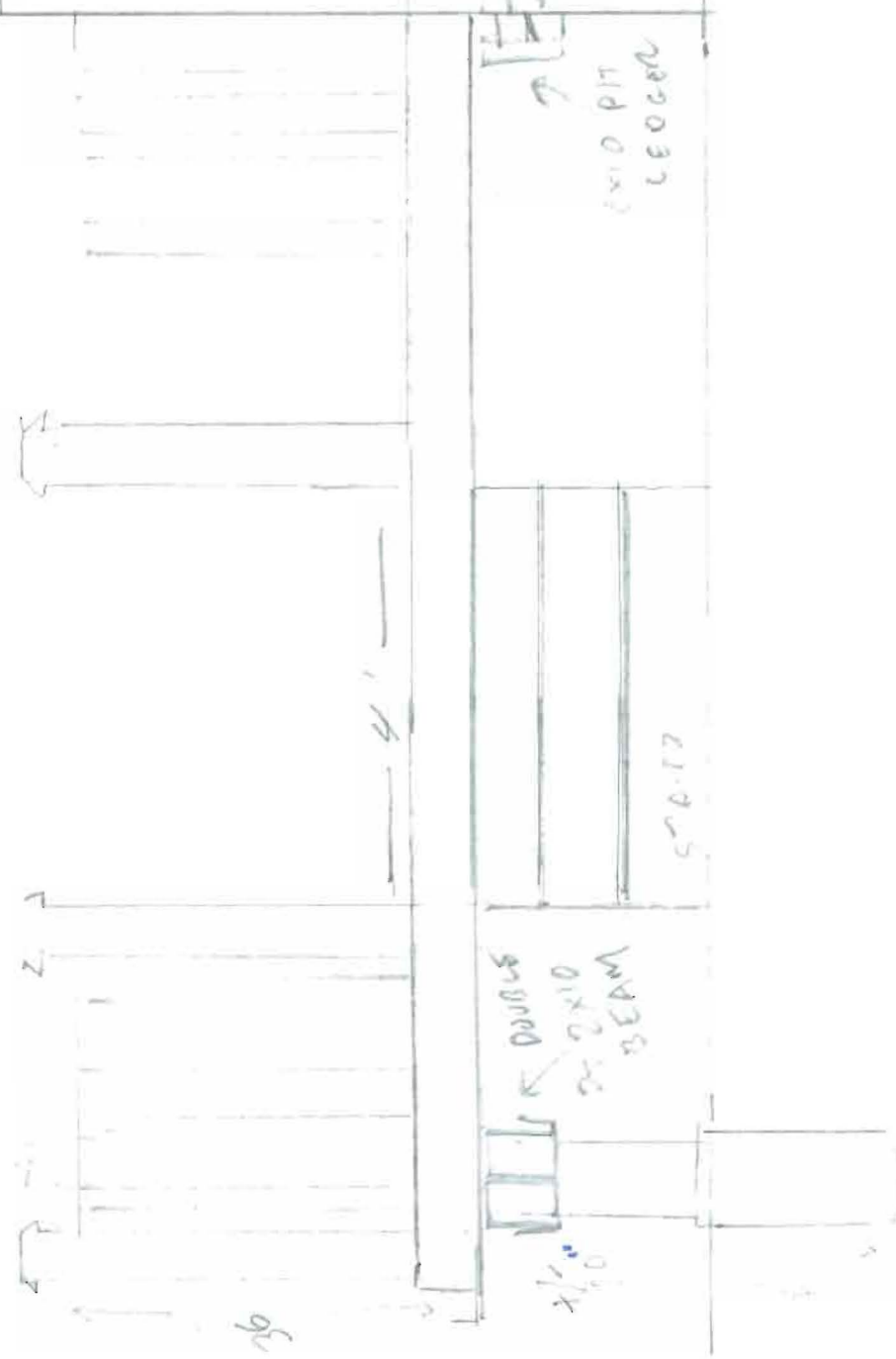
20% max  
 5' MIN  
 50' MAX 2002

2x6 SPARKIN FOR  
 DECK  
 35 SPARKIN  
 PORTLAND CEMENT

Speed Handrail  
 for  
 1 1/2" dia.  
 1 1/2" dia.



← 16' →

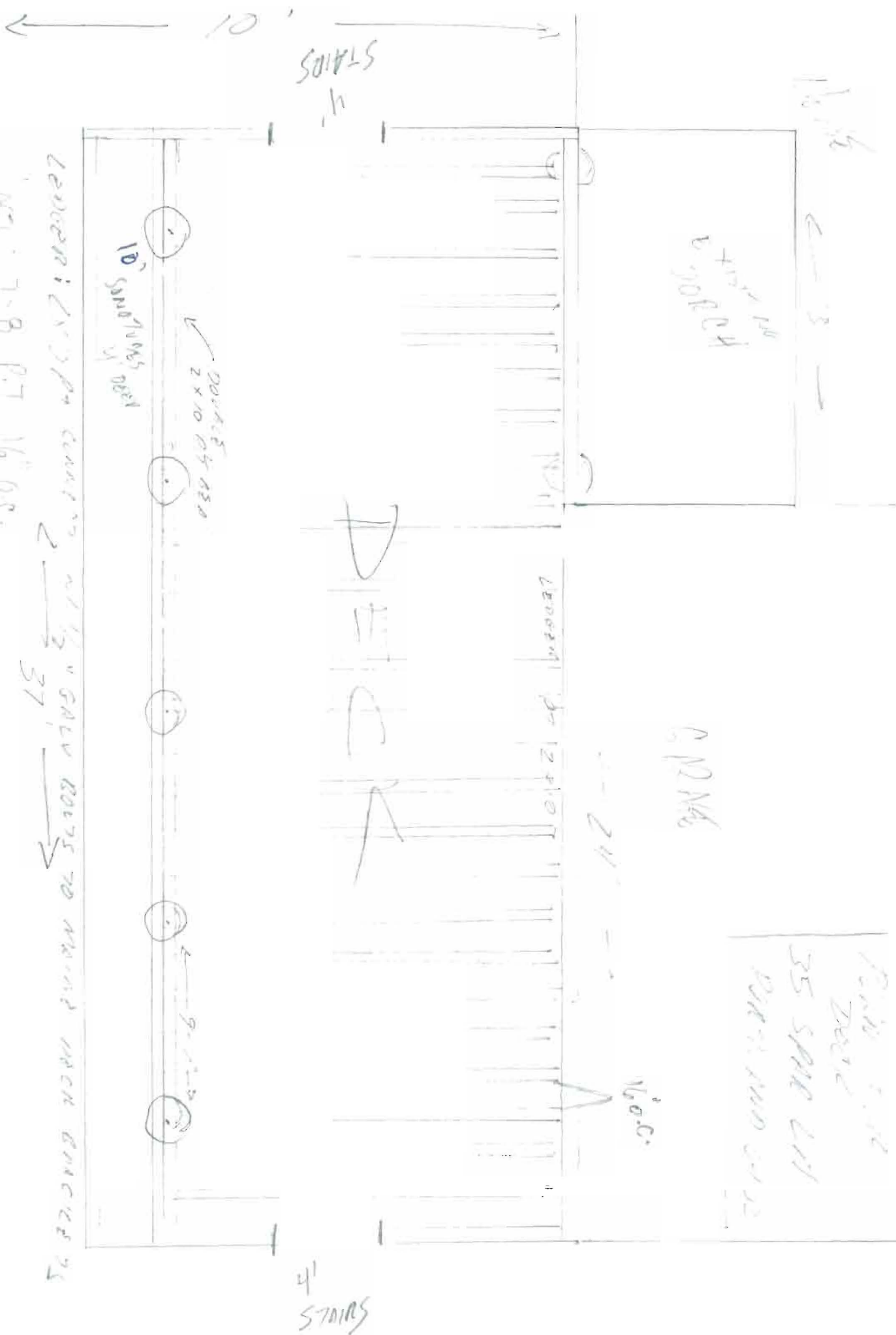


GARAGE  
 (SEE SECTIONS)

BOLTED  
 MAIN N  
 DECK SOLID  
 BRACKET BLOCKING

WIND PIT  
 2x6x8

SPARKIN



RAILING  
 DECK  
 35 SAND POSTS  
 1 1/2" DIA

CONCRETE

STAIRS  
4'

STAIRS  
4'

LEARNER: 2x8 P.T. 16" OC.

POSTS: 2x4 P.T. 16" OC.

DECKING AND RAILING → 5/4x6

DECKING AND RAILING → 5/4x6 (CURRENT DECK OR)

37

37

37

37

37

10 SAND POSTS  
1 1/2" DIA

2x10 BOARD

1 1/2"

1 1/2"

1 1/2"

1 1/2"

1 1/2"

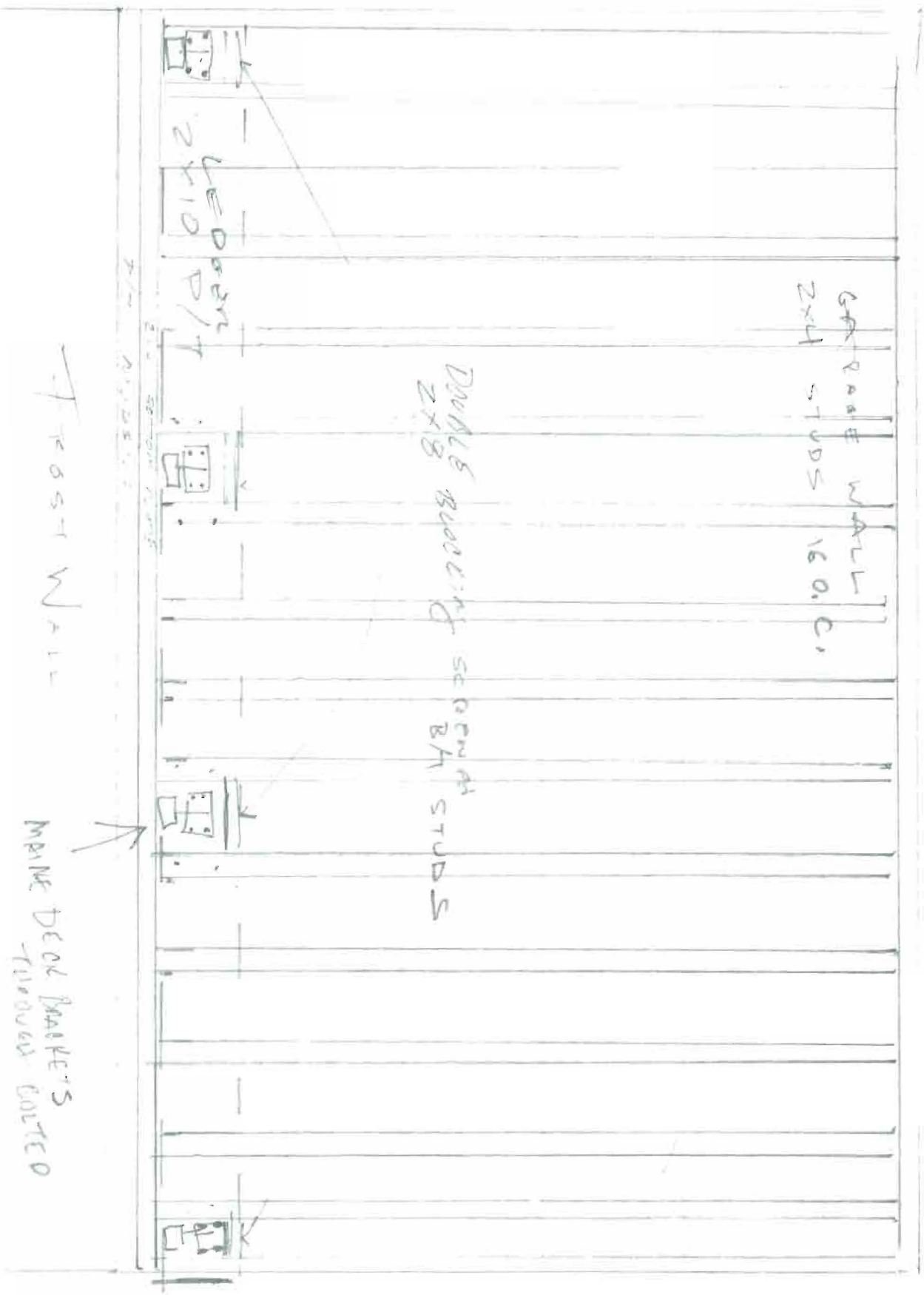
10'

24'

16'0"



1st floor Joist  
2nd floor Joist  
3rd floor Joist  
4th floor Joist



**ICC-ES Evaluation Report**
**ESR-1331**

Reissued November 1, 2010

This report is subject to re-examination in two years.

[www.icc-es.org](http://www.icc-es.org) | (800) 423-6587 | (562) 699-0543

A Subsidiary of the International Code Council®

**DIVISION: 06—WOOD AND PLASTICS**
**Section: 06 05 23—Wood, Plastic, and Composite Fastenings**
**REPORT HOLDER:**

**MAINE DECK BRACKET CO.**  
 176 GRANGE AVENUE  
 MINOT, MAINE 04258  
 (207) 345-8501  
[www.deckbracket.com](http://www.deckbracket.com)  
[bracket@megalink.net](mailto:bracket@megalink.net)

**EVALUATION SUBJECT:**
**MAINE DECK BRACKET**
**1.0 EVALUATION SCOPE**
**Compliance with the following codes:**

- 2009 and 2006 *International Building Code*® (IBC)
- 2009 and 2006 *International Residential Code*® (IRC)
- BOCA® *National Building Code* 1999 (BNBC)

**Property evaluated:**

Structural

**2.0 USES**

The Maine Deck Bracket is used to attach an exterior deck or balcony ledger to a solid sawn lumber rim board of an existing or new structure.

**3.0 DESCRIPTION**

The bracket is manufactured from 1/4-inch-thick (6.4 mm) aluminum alloy Grade 6061-T6, complying with ASTM B 221. The bracket is H-shaped and predrilled with four 9/16-inch-diameter (14.3 mm) holes on each flange-face. See Figures 1 and 2 for illustrations of the bracket.

**4.0 DESIGN AND INSTALLATION**
**4.1 General:**

Installation of the Maine Deck Bracket shall comply with this report and the manufacturer's published installation instructions. The manufacturer's published installation instructions shall be available at the jobsite at all times during installation.

**4.2 Design:**

The bracket shall be bolted to the wood framing member (rim board) and to the wood deck header or ledger. Allowable design loads indicated in this report are limited

to the use of 1/2-inch-diameter (12.7 mm) hex head bolts and 1-inch-diameter (25.4 mm) washers. The bolts and washers shall be hot-dipped zinc-coated galvanized steel complying with the requirements of ASTM A 307 Grade A or SAE Grade 2 (see Footnote 1 of Table 1). See Table 1 for the maximum allowable design loads per bracket.

Design information provided to the code official shall include the following:

- Number, location and spacing of brackets.
- Maximum design loads anticipated at each bracket, in accordance with the applicable code.
- Allowable loads of the brackets, as specified in this report.
- Size, grade, type, quantity and corrosion protection covering of the bolts used to secure the brackets to the deck and building framing members, consistent with this report.
- Species, grade, size, and specific gravity of the wood members to which the bracket is attached.

**4.3 Installation:**

Refer to the manufacturer's published installation instructions for installation details. For installation on an existing structure, an area of the exterior wall covering equivalent to the area of the bracket face shall be removed from the framing at the attachment location. Weather protection shall be installed in accordance with IBC Section 1403.2, IRC Section R703.1 or BNBC Section 1404.3.

**5.0 CONDITIONS OF USE**

The Maine Deck Bracket described in this report complies with, or is a suitable alternative to what is specified in, those codes listed in Section 1.0 of this report, subject to the following conditions:

- 5.1** Installation shall comply with this report, the manufacturer's published installation instructions and the applicable code. In the event of a conflict between the manufacturer's published installation instructions and this report, this report shall govern.
- 5.2** Allowable loads in Table 1 are based on brackets attached to nominally 2-inch-thick-by-6-inch-wide No. 2 southern pine or Douglas fir-larch solid sawn lumber with a specific gravity of 0.50 or greater
- 5.3** Design loads determined in accordance with the applicable code shall not exceed the allowable loads for the Maine Deck Bracket as set forth in Table 1

- 5.4 The maximum on-center spacing of the Maine Deck Bracket shall be 8 feet (2428 mm).
- 5.5 Design calculations and details in accordance with Section 4.2 shall be submitted to the code official at the time of permit application. The calculations shall be prepared by a registered design professional where required by the statutes of the jurisdiction in which the project is to be constructed.
- 5.6 The design and construction of the deck supported by the deck bracket and the supporting construction of the deck bracket, including framing members and foundations, are outside the scope of this report and shall comply with the applicable code.
- 5.7 The compatibility of the bracket with preservative-pressure-treated or fire-retardant-treated wood is outside the scope of this report.
- 5.8 Rim joists shall be constructed with continuous fastening and support in accordance with IBC Table 2304.9.1. Details to resist the effects of torsion in the rim joist shall be submitted to the code official.

**6.0 EVIDENCE SUBMITTED**

Data in accordance with the ICC-ES Acceptance Criteria for Joist Hangers and Similar Devices (AC13), dated October 2006 (editorially revised April 2008).

**7.0 IDENTIFICATION**

The Maine Deck Bracket described in this report shall be identified with the manufacturer's name (Maine Deck Bracket) and/or trademark, the product name and the evaluation report number (ESR-1331).

**TABLE 1—MAXIMUM ALLOWABLE DESIGN CAPACITIES PER BRACKET<sup>1,2,3,4</sup>**

RIM BOARD AND LEDGER THICKNESS (Inches)	VERTICAL DOWNLOAD CAPACITY (PARALLEL TO WEB FACE) (lbf)	TORSIONAL CAPACITY (PERPENDICULAR TO THE FLANGE FACE) (in-lbf)	LATERAL CAPACITY (PERPENDICULAR TO WEB FACE) (lbf)
1 1/2	1000	390	1115
3	1160	390	1115

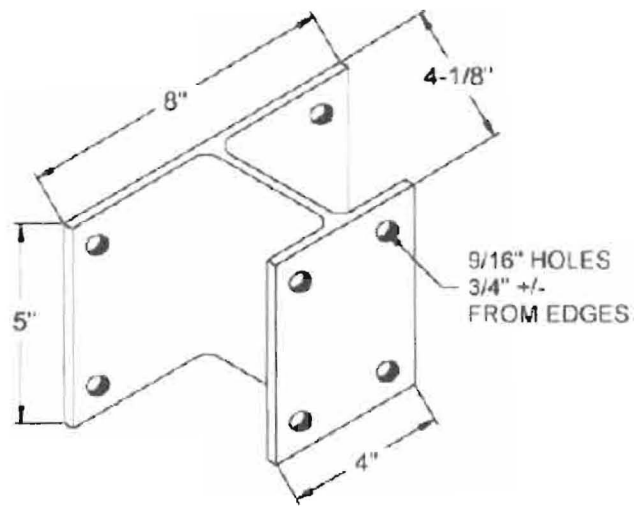
For SI: 1 inch = 25.4 mm, 1 lbf = 4.4N, 1 in-lbf = 0.112 N-m.

<sup>1</sup>Allowable capacities are based on four 1/2-inch-diameter-by-4 1/2-inch-long hex head bolts through the rim board and four 1/2-inch-diameter-by-3-inch-long hex head bolts through the deck/balcony header complying with ASTM A 307 Grade A or SAE Grade 2, with 1-inch-diameter washers on all wood surfaces. If longer length bolts are required, calculations shall be submitted to the code official to verify compliance with the allowable design loads shown above.

<sup>2</sup>Capacities shall be multiplied by a factor of 0.4 for wet service in accordance with the NDS.

<sup>3</sup>Capacities are based on deck joist spacing not exceeding 24 inches (610 mm) on center

<sup>4</sup>Capacities are limited to No. 2 Southern pine or Douglas fir-larch solid sawn lumber with a specific gravity of 0.50 or greater



For SI: 1 inch = 25.4 mm.

FIGURE 1—BRACKET DETAIL

- A - RIM BOARD
- B - SHEATHING
- C - SIDING
- D - LARGE BRACKET FLANGE ATTACHED TO HOUSE
- E - BRACKET WEB
- F - DECK LEDGER
- G - BOLTS

**Note:** Water-resistive barrier and flashing are not shown for clarity.

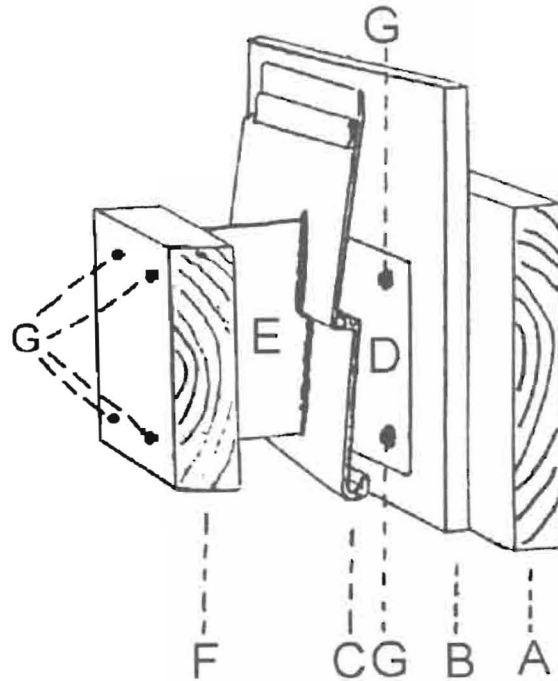
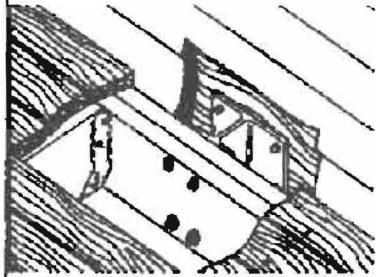
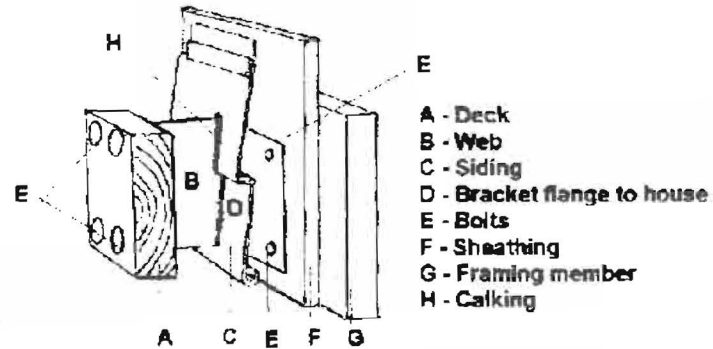


FIGURE 2—INSTALLATION DETAIL



# MAINE DECK BRACKET

*Designed to attach decks, steps,  
signs, or any item to buildings.  
Protects against rotting and  
insect damage to sills and siding.*




- A - Deck
- B - Web
- C - Siding
- D - Bracket flange to house
- E - Bolts
- F - Sheathing
- G - Framing member
- H - Caulking

**Instructions:** Bolt bracket directly to framing member of building, using 1/2 inch bolts. Sheathing is cut to fit around the bracket flange (D), the siding (C) is then fit around the web of the bracket (B), covering the flange and mounting bolts. Caulk bracket web (H) to create a water tight seal between the bracket and house. On an existing house, the siding has to be removed and the sheathing cut out for the flange to bolt directly to the framing member. The siding is reinstalled over the flange and bolts, then caulked for a water tight seal. The brackets should be spaced at a maximum of 8 feet. Maximum load capacity is 1000 lbs. per bracket.

**CAUTION:** Brackets should always be mounted to a solid framing member, not to just sheathing or rotted framing. Failure of the mount could result. Deck and building construction should be in compliance with building codes.

U.S. PATENT #4,811,542 and 4,953,339

**Maine Deck Bracket Co., 176 Grange Ave., Minot, ME 04258**

	<h1>Maine Deck Bracket</h1>		
<p>&lt;&lt; Home</p>	<p>176 Grange Ave. Minot, Maine    207-212-0888    FAX: 207-336-2767</p>		
<p><b>Order Online</b>  <b>Where to Buy</b>  <b>Dealers</b>  <b>Current Pricing</b>  <b>Wholesale Distributors</b>  <b>Installation Instructions</b>  <b>FAQ</b>  <b>Email</b></p>	<p><i>Maine Deck Bracket Company Frequently Asked Questions</i></p> <p><b>How many Maine Deck Brackets do I need ?</b></p> <p>It depends on the load. Maine Deck Brackets have been tested the results can be viewed <a href="#">here</a>.</p> <p>Typically, we recommend installing Maine Deck Brackets 6 - 8 feet on center, with a Maximum spacing of 8 feet.</p> <p>Each situation is different, so consult your builder, or send us Email, and we will gladly help.</p>		

**How should Maine Deck Brackets be fastened ?**

Use one half inch diameter bolts. Carriage bolts should be used where possible. Otherwise, use lag bolts that are penetrating into at least six (6) inches (150 cm) of SOLID wood. Be sure to use washers. **DO NOT** merely screw to siding, as this will lead to *catastrophic failure, and possible injury or death*

**Concerned about the using new PT Lumber with the bracket?**

There has been concern about PT wood on the Maine Deck Bracket being made of aluminum. The problem is the copper content in the treating process and the reaction between dissimilar metals. It has been recommended by both the treating people we talked to and the aluminum manufactures is to simply staple felt paper, poly, or other material that would not allow direct contact with the wood, to the wood where the Bracket contact point would be before installing. This should eliminate any problems with he use of the Maine Deck Bracket and Treated lumber

**Will the brackets or screws rust ?**

Maine Deck Brackets are made of a highly corrosion resistant, tempered aluminum alloy, and will not rust. Galvanized bolts have been used successfully, with no reports of significant corrosion after ten years,

**Can I buy Maine Deck Brackets Online ?**

Sure you can! Just click on the link below





# CITY OF PORTLAND, MAINE

Department of Building Inspections

## Original Receipt

8-26-11

Received from Michael Dyer

Location of Work Supermarket

Cost of Construction \$ \_\_\_\_\_ Building Fee: \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_ Site Fee: \_\_\_\_\_

Certificate of Occupancy Fee: \_\_\_\_\_

Total: 140

Building (IL)  Plumbing (I5) \_\_\_\_\_ Electrical (I2) \_\_\_\_\_ Site Plan (U2) \_\_\_\_\_

Other \_\_\_\_\_

CBL: 227-I-12

Check #: 137 Total Collected \$ 140

**No work is to be started until permit issued.  
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy