

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 061271

This is to certify that LIANG CHAO YING & XI JUN HUANG ITS/Home De

has permission to 8 x 10 shed

AT 18 SPAR LN

227 I009001

PERMIT ISSUED
SEP 20 2006
CITY OF PORTLAND

provided that the person or persons who perform or supervise the work accepting this permit shall comply with all of the provisions of the Statutes of this State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is laid or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____
Department Name

Thomas M. Mackley 9/18/06
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1271	Issue Date:	CBL: 227 I009001
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Location of Construction: 18 SPAR LN	Owner Name: LIANG CHAO YING & XIAO JUN	Owner Address: 18 SPAR LN	Phone:
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Business Name:	Contractor Name: Home Depot	Contractor Address: 245 Riverside St. Portland	Phone: 2077610600
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Lessee/Buyer's Name	Phone:	Permit Type: Sheds	Zone: R-2
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Past Use: Single Family	Proposed Use: Single Family 8 x 10 shed	Permit Fee: \$30.00	Cost of Work \$874.00	CEO District: 3
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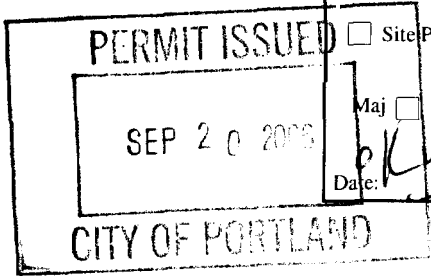
FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied Use Group R3 Type SB IRC 2003	
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Proposed Project Description: 8 x 10 shed	Signature:	Signature: <i>Jm</i> 9/18/06
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PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature:	Date:

Permit Taken By: dmartin	Date Applied For: 08/28/2006	Zoning Approval	
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2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland NA <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>9/13/06</i>	Date: <i>9/13/06</i>	Date:



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

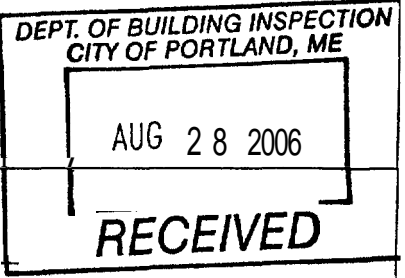
SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on **any** property **within** the City, payment arrangements must be made before permits of any **kind** are accepted.

Total Square Footage of Proposed Structure		Square Footage of Lot	
_____		_____	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#		Owner:	Telephone:
x ' I 009		Chao Ying Liang	7729732
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone:		cost Of Work: \$874.02
	Chao Ying Liang 18 Spar Lane Portland, ME 7729732		Fee: \$ _____
	Family home		C of O Fee: \$116
Project description: shed 8x10			
Contractor's name, address & telephone:		home Depot	
Who should we contact when the permit is ready:		June Huang	
Mailing address: 18 Spar Lane Portland, ME 04102		Phone: 603-199-_____	



Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Chao Ying Liang Date: 8/28/06

This is not a permit; you may not commence ANY work until the permit is issued.

✓ #10 Cash

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1271	Date Applied For: 08/28/2006	CBL: 227 I009001
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Location of Construction: 18 SPAR LN	Owner Name: LIANG CHAO YING & XIAO JUN	Owner Address: 18 SPAR LN	Phone:
Business Name:	Contractor Name: Home Depot	Contractor Address: 245 Riverside St. Portland	Phone (207) 761-0600
Tenant/Ressee/Buyer's Name	Phone:	Permit Type: Sheds	

Proposed Use: Single Family 8 x 10 shed		8 x 10 shed
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 08/31/2006

Note: **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. It is understood that this 80 square foot shed will be no closer than five (5) feet from the rear and side property lines.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 4) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.

Dept: Building **Status:** Approved **Reviewer:** Tom Markley **Approval Date:** 09/18/2006

Note: **Ok to Issue:**

- 1) This structure is exempt from meeting the City of Portland Building Code based on size.
- 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

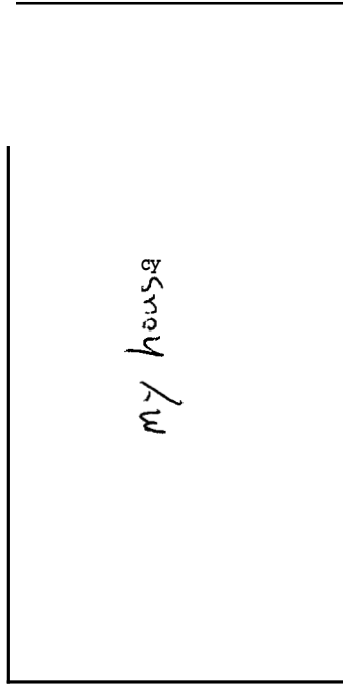
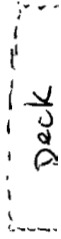
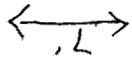
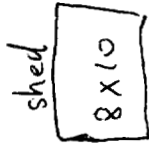
18 Spar Lane Property line

R-2
2100^{sq ft}

Front: N/A

Rear: 80' - 5' Allowed
5' + Show (implied)

Side: 80' - 5' Allowed
5' + Show (implied)



Front Door

Drive way