

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0109	Date Applied For: 02/13/2003	CBL: 227 I009001
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Location of Construction: 16 Spar Ln	Owner Name: Liang Chao Ying &	Owner Address: 18 Spar Ln	Phone: 207-772-9732
Business Name: n/a	Contractor Name: The Caretakers	Contractor Address: 15 Summer Street Kennebunk	Phone: (207) 468-7944
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Additions - Dwellings	

Proposed Use: Single Family / Adding dormer to garage	Proposed Project Description: Adding dormer to garage
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Dept: Zoning	Status: Approved	Reviewer: Tammy Munson	Approval Date: 02/19/2003
Note:			Ok to Issue: <input checked="" type="checkbox"/>

Dept: Building	Status: Approved with Conditions	Reviewer: Tammy Munson	Approval Date: 02/19/2003
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Separate permits are required for any electrical or plumbing work.			

Comments:
2/14/03-tm: need plot plan with all dimensions, Called builder. Everything existing in garage - only adding dormer.
2/19/03-tm: rec'd above info - ok to issue.

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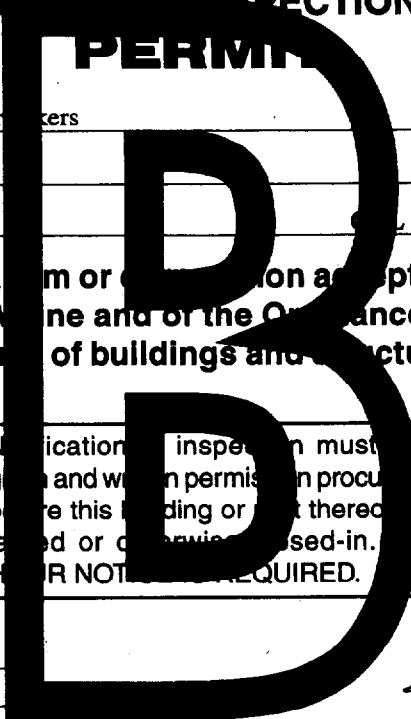
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DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

Permit Number: 030109

Please Read Application And Notes, If Any, Attached



This is to certify that Liang Chao Ying &/The Carpenters
has permission to Adding dormer to garage
AT 16 Spar Ln L 227 I009001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work on permit must be completed before this building or part thereof is occupied or otherwise used-in. HOUR NOTIFICATION REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER PERMIT ISSUED
Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
FEB 19 2003
CITY OF PORTLAND

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED

Permit No: 03-0109	Issue Date: FEB 19 2003	CBL: 227 1009001
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Business Name: n/a	Contractor Name: The Caretakers	Contractor Address: 15 Summer Street Kennebunk	Phone: 2074687944
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Additions - Dwellings	Zone: R-2

Past Use: Single Family	Proposed Use: Single Family / Adding dormer to garage	Permit Fee: \$128.00	Cost of Work: \$15,000.00	CEO District: 3	12,362 SF
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Proposed Project Description: Adding dormer to garage	FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: R-3 Type: SB <i>BOCA 99</i>
	Signature: _____	Signature: _____

Permit Taken By: gg	Date Applied For: 02/13/2003	Zoning Approval	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>2/19/03</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>2/19/03</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

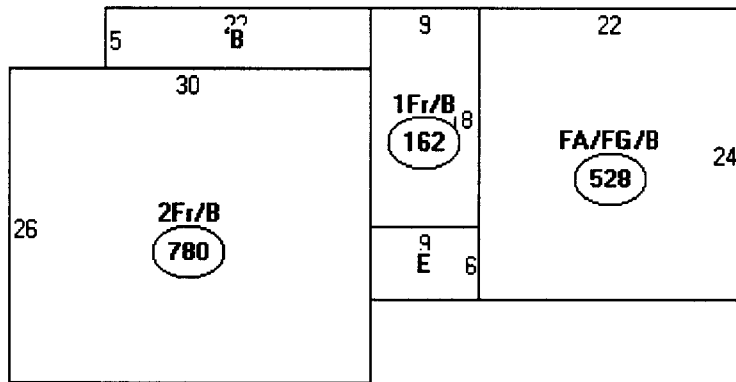
Location/Address of Construction: <u>Straw Water Point Lot #14 / 18 Spar Ln</u>		
Total Square Footage of Proposed Structure <u>100 sq FT</u>	Square Footage of Lot <u>12,362 sq FT</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>227</u> Block# <u>I</u> Lot# <u>009</u>	Owner: <u>June Liang</u>	Telephone: <u>772-9732</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>June Liang</u> <u>18 Spar Ln.</u> <u>Portland Me</u>	Cost Of Work: \$ <u>15,000</u> Fee: \$ <u>128.00</u>
Current use: <u>Storage</u> <u>Single Family</u>		
If the location is currently vacant, what was prior use: <u>Storage</u>		
Approximately how long has it been vacant: <u>NA</u>		
Proposed use: <u>Garage Dormer / storage</u>		
Project description: <u>adding dormer to garage</u>		
Contractor's name, address & telephone: <u>The CareTakers Daniel Lapointe (owner)</u> <u>15 Summer ST Kennebunk</u>		
Who should we contact when the permit is ready: _____		
Mailing address: _____		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>207-468-7944</u> <u>+</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	DEPT. OF BUILDING INSPECTION CITY OF PORTLAND, ME	PERMIT ISSUED FEB 3 2008 CITY OF PORTLAND
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This is NOT a permit, you may not commence ANY work until the permit is issued.
 If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall.



Descriptor/Area

A: 2Fr/B
780 sqft

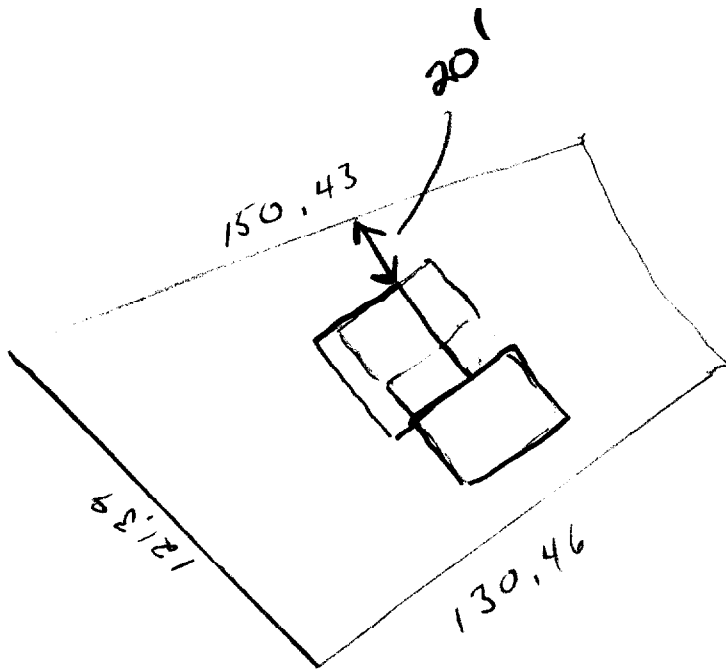
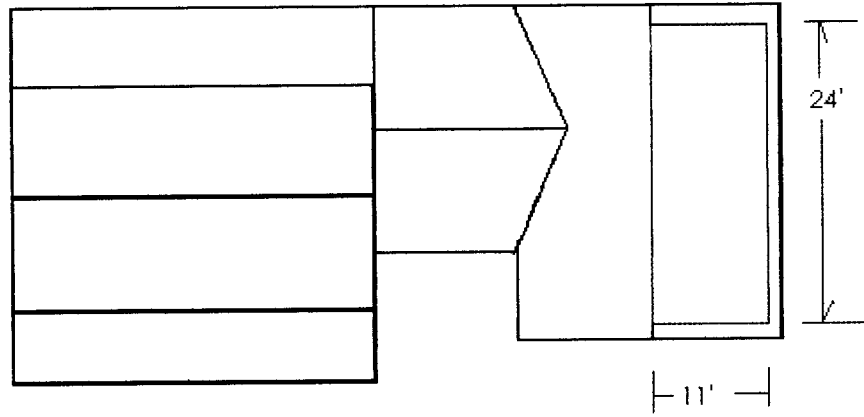
B: WD
110 sqft

C: 1Fr/B
162 sqft

D: FA/FG/B
528 sqft

E: OFF
54 sqft

addition outlined
blue



R-2
Front 25' Reg.
Rear 25' Reg.
Sides - 12' Reg.

cape with a dormer will give you more room
then you have now and wont cost as much as
a gambrell chart 227 Block I Lot 009



Property line

MORTGAGE LOAN INSPECTION

Cumberland Title Company

P.O. Box 4843

Portland, ME 04112

1-207-774-1773

1-207-774-2278 (fax)

CL No.: 9253-14

Job No.: CTC18-25.

Date: 7/10/98

County: Cumberland

Plan Bk. 00168 Pg. 28

Lot(S): 00014

Scale: 1" = 40'

Borrower(S): Chao Ying Liang and
Xiao Jun Huans

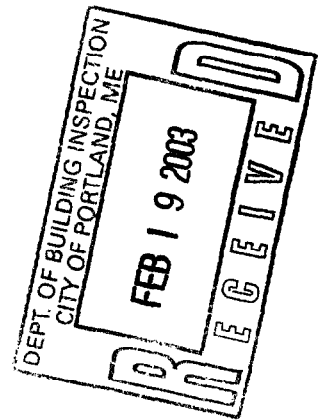
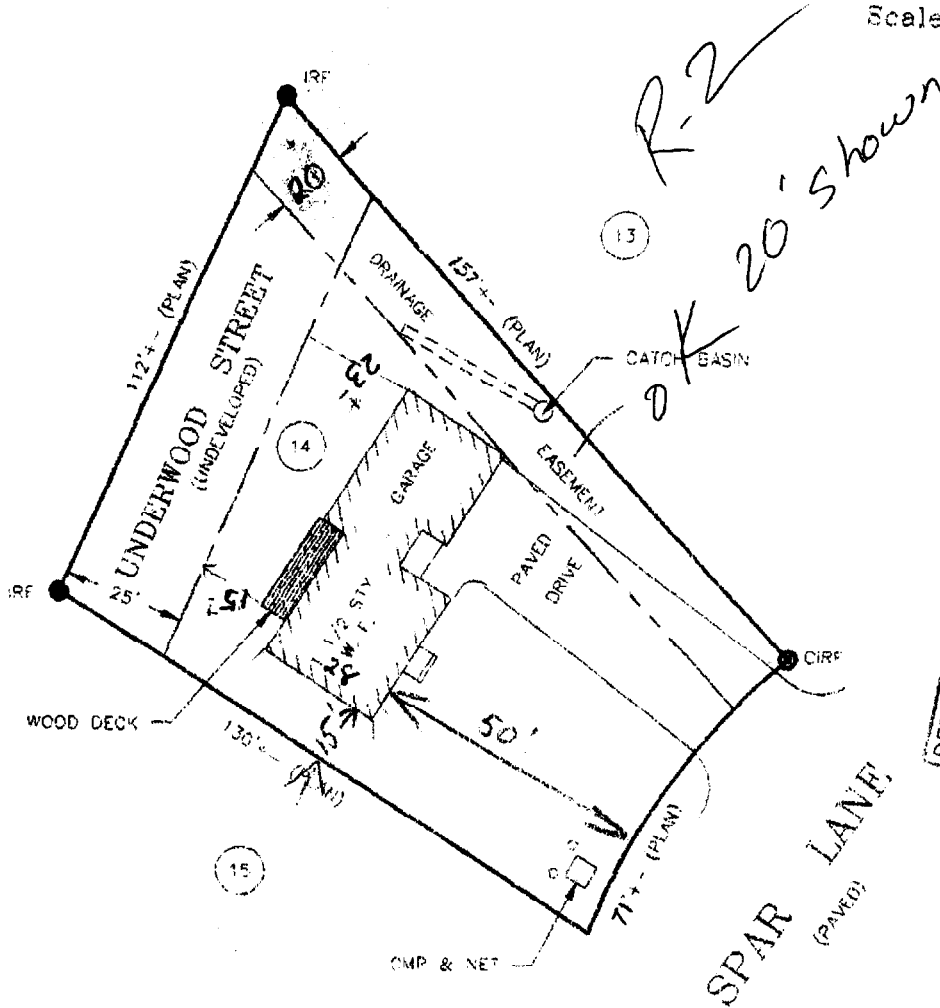
St. No.: 00018

Street: Spar Ln.

Town: Portland, ME

Source Deed Bk. 11526 Pg. 00184

Attn.
Tammy



NOTE: THIS IS NOT A BOUNDARY SURVEY. This plan is made for the purposes of determining that the improvements are within the apparent boundary lines. **THE PREPARER IS NOT LIABLE FOR ANY OTHER USE BY ANY OTHER PERSON OR ENTITY.**

CERTIFICATION: I hereby certify to *Peoples Heritage Savings Bank*, and its mortgage title insurer that based upon inspection made with reasonable certainty, that:

this plan was made from an inspection of the site.

there **ARE NO** apparent violations of municipal ordinances regarding building setbacks effect at time of construction.

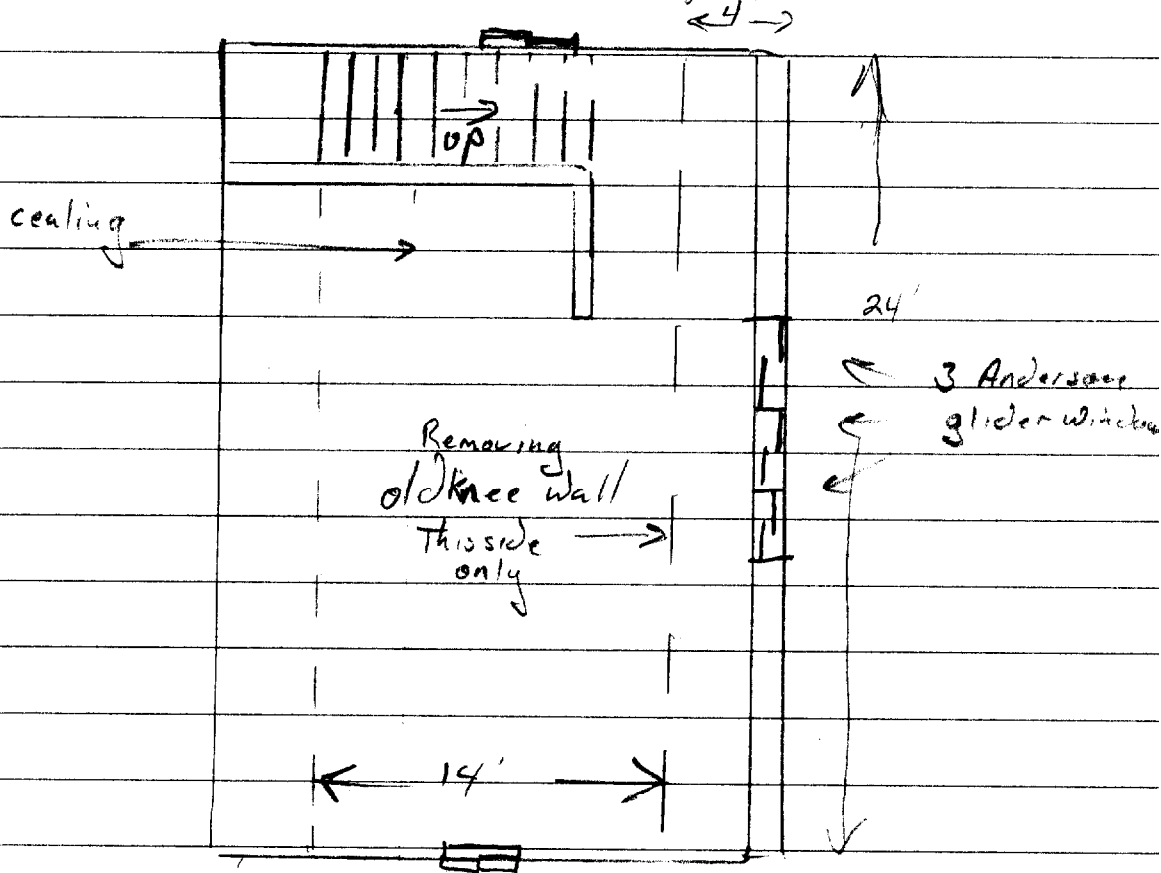
the principal structure(s) located on the premises **ARE NOT** in a flood hazard zone as delineated on the flood maps used by the Federal Emergency Management Agency.

Bruce W. Woodman

18 sparks.

Attn Tammy

Adding 96 sq FT
Corecut 336 sq FT
combine 432 sq FT



468-7944 cell #
Dan Lapointe

