

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1398	Issue Date:	CBL: A 025 B014001
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Location of Construction: 127 MARGINAL WAY	Owner Name: BACK COVE COMPANY S MILK	Owner Address: PO BOX 7525	Phone:
Business Name:	Contractor Name: P M Construction Co.	Contractor Address: 19 Industrial Park Rd Saco	Phone: 2072827697
Lessee/Buyer's Name	Phone:	Permit Type: Commercial	Zone: B-7

Past Use: Commercial - Grocery Store / Vacant space	Proposed Use: Commercial - "Walgreens" - Add small addition to an existing multi tenant buliding & tenant fit-up for "Walgreens"	Permit Fee: \$12,215.00	Cost of Work: \$1,212,000.00	CEO District: 1
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>* See Conditions</i>	INSPECTION: Use Group M Type SB IBC-2003	

Proposed Project Description: Add small addition to an existing multi tenant buliding & tenant fit-up for "Walgreens"	Signature: <i>[Signature]</i>	Signature: <i>AMB 4/28/10</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: _____ Date: _____		

Permit Taken By: Ldobson	Date Applied For: 12/08/2009	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Parcel 13 Zone C</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2008-027</i> Major <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> <i>ok with conditions</i> Date: <i>4/27/10</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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PERMIT ISSUED

APR 27 2010

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 091398

Please Read Application And Notes, If Any, Attached

This is to certify that BACK COVE COMPANY 5 MILK ST/P M Construction Co.

has permission to Add small addition to an existing multi tenant buliding & tenant fit-up for "Walgreens"

AT 127 MARGINAL WAY CBL 025 0014001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

APR 27 2010
OTHER REQUIRED APPROVALS

Fire Dept. CAPT. R. Sauter

Health Dept. City of Portland

Appeal Board _____

Other _____
Department Name

[Signature]
Director - Building & Inspection Services
4/28/10

PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)
or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months, if the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.

- Footing/Piling/Building Location Inspection: Prior to pouring concrete or setting precast piers
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling
- Underground electrical or plumbing inspection prior to pouring concrete
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.
NOTE: There is a \$75.00 fee per inspection at this point.
- The final report of Special Inspections shall be submitted prior to the final inspection or the issuance of the Certificate of Occupancy

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

PERMIT ISSUED

APR 27 2010

City of Portland

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1398	Date Applied For: 12/08/2009	CBL: 025 A014001
-----------------------	---------------------------------	---------------------

Location of Construction: 127 Marginal Way	Owner Name: BACK COVE COMPANY S MILK	Owner Address: PO BOX 7525	Phone:
Business Name:	Contractor Name: P M Construction Co.	Contractor Address: 19 Industrial Park Rd Saco	Phone (207) 282-7697
Lessee/Buyer's Name	Phone:	Permit Type: Commercial	

Proposed Use: Commercial - "Walgreens" - Add small addition to an existing multi tenant buliding & tenant fit-up for "Walgreens"	Proposed Project Description: Add small addition to an existing multi tenant buliding & tenant fit-up for "Walgreens"
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 04/27/2010
Note: **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) Separate permits shall be required for any new signage.
- 3) It is understood that there is no drive-thru associated with this Walgreens. Any future drive-thru features require a separate review and approval.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 04/28/2010
Note: **Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 2) New cafe, restaurant, lounge, bar or retail establishment where food or drink is sold and/or prepared shall meet the requirements of the City and State Food Codes
- 3) Approval of City license is subject to health inspections per the Food Code.
- 4) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Keith Gautreau **Approval Date:** 12/16/2009
Note: **Ok to Issue:**

- 1) All construction shall comply with NFPA 101
- 2) All fire alarm records required by NFPA 72 should be stored in an approved cabinet located at the FACP and keyed alike, labeled "FIRE ALARM RECORDS".
- 3) System acceptance and commissioning must be co-ordinated with alarm and suppression system contractors and the Fire Department. Call 874-8703 to schedule.
- 4) The Fire Department will require knox locking caps on all Fire Department Connections on the exterior of the building.
- 5) Fire department connection type and location shall be approved in writing by fire prevention bureau.
- 6) The sprinkler system shall be installed in accordance with NFPA 13.
- 7) A separate Suppression System Permit is required.
- 8) Installation of a Fire Alarm system requires a Knox Box to be installed per city ordinance
- 9) The fire alarm system shall comply with the City of Portland Standard for Signaling Systems for the Protection of Life and Property. All fire alarm installation and servicing companies shall have a Certificate of Fitness from the Fire Department.
- 10) Any cutting or welding operations require a seperate permit from the Fire dept.

PERMIT ISSUED
APR 27 2010

City of Portland

Location of Construction: 127 Marginal Way	Owner Name: BACK COVE COMPANY 5 MILK	Owner Address: PO BOX 7525	Phone:
Business Name:	Contractor Name: P M Construction Co.	Contractor Address: 19 Industrial Park Rd Saco	Phone: (207) 282-7697
Lessee/Bnyer's Name	Phone:	Permit Type: Commercial	

- 11 The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
- 12 Occupancies with an occupant load of 100 persons or more require panic hardware on all doors serving as a means of egress.
- 13 Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit.
- 14 Fire extinguishers required. Installation per NFPA 10
- 15 Emergency lights are required to be tested at the electrical panel on the same circuit as the lighting for the area they serve.
- 16 Sprinkler protection shall be maintained.
Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
- 17 Fire Alarm system shall be maintained.
If system is to be off line over 4 hours a fire watch shall be in place.
Dispatch notification required 874-8576.
- 18 A separate Fire Alarm System Permit is required.
- 19 Application requires State Fire Marshal approval.

Dept: Public Services	Status: Open	Reviewer:	Approval Date:	Ok to Issue: <input type="checkbox"/>
Note:				
Dept: Zoning	Status: Approved with Conditions	Reviewer: Marge Schmuckal	Approval Date:	Ok to Issue: <input checked="" type="checkbox"/>
Note:				
Dept: Parks	Status: Open	Reviewer:	Approval Date:	Ok to Issue: <input type="checkbox"/>
Note:				
Dept: Fire	Status:	Reviewer: Capt Greg Cass	Approval Date:	Ok to Issue: <input type="checkbox"/>
Note:				
Dept: DRC	Status: Approved with Conditions	Reviewer: Philip DiPierro	Approval Date: 04/20/2010	Ok to Issue: <input checked="" type="checkbox"/>
Note:				
1) See Planning Conditions.				
Dept: Planning	Status: Approved with Conditions	Reviewer: Richard Knowland	Approval Date: 04/27/2010	Ok to Issue: <input checked="" type="checkbox"/>
Note:				

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APR 27 2010

City of Portland

Location of Construction: 127 Marginal Way	Owner Name: BACK COVE COMPANY 5 MILK	Owner Address: PO BOX 7525	Phone:
Business Name:	Contractor Name: P M Construction Co.	Contractor Address: 19 Industrial Park Rd Saco	Phone (207) 282-7697
Lessee/Buyer's Name	Phone:	Permit Type: Commercial	

- 1) That the Marginal Way driveway (approx. 125 feet from the Marginal Way/ Chestnut Street intersection) as shown on a site plan dated 12-26-08 may be used until the City has advanced its plan for on-street parking along the Marginal Way frontage of the subject property. The City shall give the property owner a minimum of 60 days notice of the City's intent to install parallel parking along the street and to close the curb cut opening. Property owner shall contribute \$5,000 towards an account to be held by the City to cover the cost of closing the curb cut, which shall be accomplished by the City or its contractors. In the event the curb cut is not closed by June 1, 2015, the money shall be refunded to the property owner. At the time of closing the Marginal Way curb cut, the property owner shall reconfigure the parking spaces and travel lanes on their site to assure safe circulation and access from the shared (87 Marginal Way, LLC/ Back Cove Company) driveway, subject to the review and approval of the City Transportation Engineer and the Planning Authority.
2. That a revised exterior lighting plan including specifications and catalog cuts shall be submitted for Planning Authority review and approval.
3. That the landscaping plan shall be revised to replace the Euonymus Alatus with other plant material such as Dwarf Korean Lilacs, Miss Kim Lilacs or Spirea as approved by the City Arborist. Also the Barberry should be a Bayberry.
4. The brick sidewalk along Marginal Way shall be a minimum of 8 feet wide.
5. Site Plan shall be revised reflecting a stormwater management plan including water quality treatment and addressing comments from Dan Goyette's memo dated 9-18-08.
6. That all exterior signage shall be submitted for Planning Authority review and approval.
7. That the dumpster enclosure shall be a solid wood fence unless an alternative design is approved in writing by the Planning Authority.

Comments:

- 2/2/2010-jmb: Spoke to Bruce K. About abatement, this was done previously, need geotech report and bathroom revision to provide equal number of bathroom fixtures (2 each) as approved for the Forest Ave permit
- 2/4/2010-Ldobson: Permit for Signs in Hold basket need additional information after repeated attempts calls, and e-mails moved to hold basket, additional items and copy of e-mails in w/ permit
- 2/26/2010-jmb: Received bathroom revision from Bruce K. To show 2 fixtures in each. Still need Planning approval
- 12/8/2009-mes: Waiting for planning sign off on a permit go ahead.
- 12/11/2009-mes: Rick told me that the owner has not paid any of the guarantee fees that are required - HOLD - WAIT FOR PLANNING SIGN OFF - RETURN TO MARGE WHEN FINISHED WITH OTHER REVIEWS
- 12/24/2009-Ldobson: Called LM to discuss sign App

PERMIT ISSUED

APR 27 2010

City of Portland

Location of Construction: 127 Marginal Way	Owner Name: BACK COVE COMPANY 5 MILK	Owner Address: PO BOX 7525	Phone:
Business Name:	Contractor Name: P M Construction Co.	Contractor Address: 19 Industrial Park Rd Saco	Phone (207) 282-7697
Lessee/Buyer's Name	Phone:	Permit Type: Commercial	

1/13/2010-Ldobson: Called back to day to ask if I could send a list of items needed to process permit. The following items were sent to his e-mail Lannie Dobson

To process your permit for the Walgreens signs the following items are needed.

1. Tenant/allocated building space frontage Length & Height
2. Lot frontage for Marginal way and Chestnut St.
3. Plot plan showing where all existing signs are located.
4. Certificate of Liability listing the City as additional insured
5. Letter of permission from Owner

Thank you, Lannie Dobson

PERMIT ISSUED

APR 27 2010

City of Portland



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>127 MARGINAL WAY</u>		
Total Square Footage of Proposed Structure/Area <u>27,725 +/- SF</u>		Square Footage of Lot <u>72,019 +/- SF</u>
Tax Assessor's Chart, Block & Lot Chart# <u>25-A</u> Block# <u>014</u> Lot# <u>001</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>BACK COVE COMPANY</u> Address <u>P.O. Box 7525</u> City, State & Zip <u>Portland, ME 04112</u>	Telephone: <u>772-6404</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>1,212,000.00</u> C of O Fee: \$ <u>75</u> Total Fee: \$ <u>12,215.00</u>
Current legal use (i.e. single family) <u>RETAIL</u> If vacant, what was the previous use? <u>RETAIL (GROCERY STORE)</u> Proposed Specific use: <u>PHARMACY</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>Tenant Build out and fit up for a walgreens pharmacy.</u>		
Contractor's name: <u>PM CONSTRUCTION CO., INC</u> Address: <u>P.O. Box 728</u> City, State & Zip: <u>Saco, ME 04072</u> Telephone: <u>282-7697</u> Who should we contact when the permit is ready: <u>BRUCE KISTLER</u> Telephone: <u>772-8286x207</u> Mailing address: <u>P.O. Box 7525, Portland, ME 04112</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: Dec 8, 2009

This is not a permit; you may not commence ANY work until the permit is issued

RECEIVED
DEC 8 2009
Dept. of Building Inspections
City of Portland Maine

From: Bruce Kistler <bkistler@forerivercompany.com>
To: "jmb@portlandmaine.gov" <jmb@portlandmaine.gov>
Date: 2/26/2010 1:38 PM
Subject: Bldg permit - 127 Marginal Way - Walgreens
Attachments: WG Portland ME Store #11886 Rev Tlt Rm Plan 2082010.pdf

Hi Jeanie,

Attached is the revised toilet room plan for Walgreens at 127 Marginal Way. Sorry for the delay. Please call with questions or problems.

Sincerely,
BK

Bruce Kistler
Fore River Company
5 Milk Street
P. O. Box 7525
Portland, ME 04112
fax: (207) 772-9078
direct line: (207) 772-8286 x207
bkistler@forerivercompany.com<mailto:bkistler@forerivercompany.com>

RECEIVED
RECEIVED

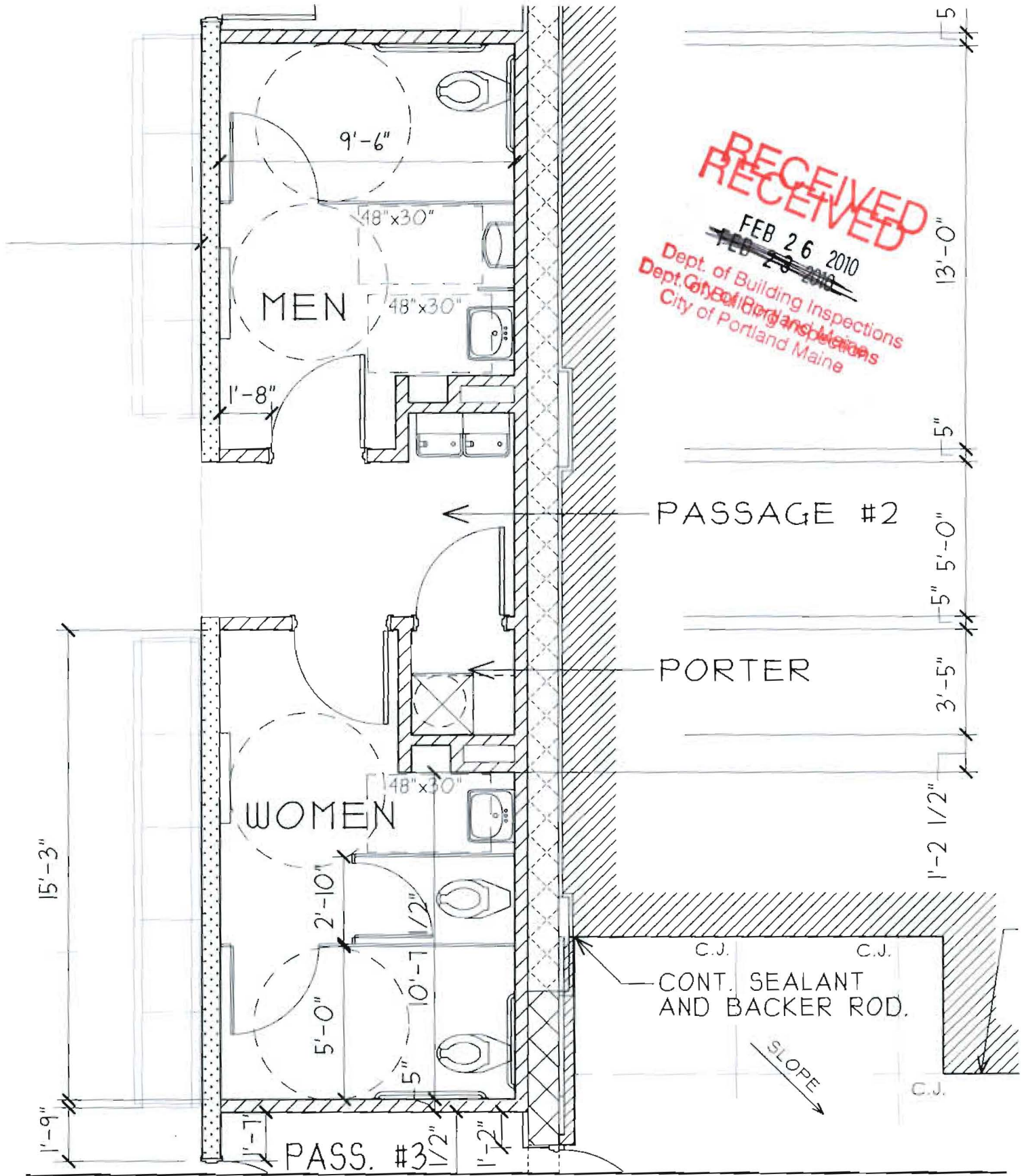
FEB 26 2010
~~FEB 23 2010~~

Dept. of Building Inspections
City of Portland
City of Portland Maine

RECEIVED

FEB 26 2010

Dept. of Building Inspections
City of Portland Maine



RECEIVED
RECEIVED

FEB 26 2010
~~FEB 23 2010~~

Dept. of Building Inspections
City of Portland
City of Portland Maine

15'-3"

1'-9"

9'-6"

48"x30"

48"x30"

MEN

1'-8"

WOMEN

48"x30"

5'-0"

2'-10"

12"

5"

10'-7 1/2"

PASS. #3

1'-2"

PASSAGE #2

PORTER

C.J. C.J.
CONT. SEALANT
AND BACKER ROD.

SLOPE

13'-0"

5"

5'-0"

5"

3'-5"

1'-2 1/2"

Landry
ARCHITECTS
399 Main Street - Salem, NH 03079
T 603.890.6414 F 603.894.4358

PROJECT NAME:
WALGREENS
MARGINAL WAY
PORTLAND, ME

SKETCH TITLE:
**ENLARGED TOILET
ROOM PLAN**

DRAWN BY:
P.F.
DATE ISSUED:
7/08/10
SCALE:
1/4" = 1'-0"

SKETCH NUMBER:
SK-1




Accessibility Building Code Certificate

Designer: LANDRY ARCHITECTS

Address of Project: 127 MARGINAL WAY, PORTLAND, ME

Nature of Project: ADDITION AND RENOVATION
TO AN EXISTING RETAIL
BUDG.

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

Signature: , SR., AIA, CSI

Title: PRINCIPAL/OWNER

Firm: LANDRY ARCHITECTS

Address: 389 MAIN ST, 2ND FL.
SALEM, NH 03079

Phone: (603) 890 6914

(SEAL)



For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design


Date: NOVEMBER 23RD, 2009

From: LANDRY ARCHITECTS

These plans and / or specifications covering construction work on:

NEW WALGREENS STORE LOCATED AT
127 MARGINAL WAY, PORTLAND, ME

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.

Signature:  SR, AIA, CSI

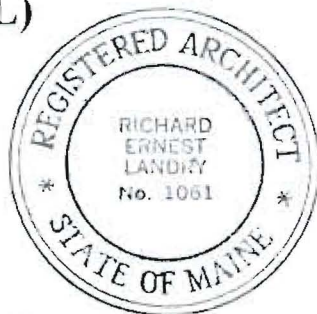
Title: PRINCIPAL OWNER

Firm: LANDRY ARCHITECTS

Address: 389 MAIN ST, 2ND FL.
SALEM, NH 03079

Phone: (603) 890 6414

(SEAL)



For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

Project: Walgreens
Date Prepared: December 3, 2009

Statement of Special Inspections - Exhibit A

Project: *Walgreens*
Location: *(SWC) Marginal Way & Chestnut Street, Portland, Maine*
Owner: *Fore River Management*

This *Statement of Special Inspections* encompass the following discipline:

Structural Mechanical/Electrical/Plumbing

Architectural Other: _____
Design Professional in Responsible Charge:

Firm Name: *Dubois Engineering*

(Note: *Statement of Special Inspections* for other disciplines may be included under a separate cover)

This *Statement of Special Inspections* is submitted as a condition for permit issuance in accordance with the Special Inspection and Structural Testing requirements of the Building Code. It includes a schedule of Special Inspection services applicable to this project as well as the name of the Structural Special Inspection Coordinator (SSIC) and the identity of other approved agencies to be retained for conducting these inspections and tests.

The Structural Special Inspection Coordinator shall keep records of all inspections and shall furnish inspection reports to the Building Code Official (BCO) and the Structural Registered Design Professional in Responsible Charge (SRDP). Discovered discrepancies shall be brought to the immediate attention of the Contractor for correction. If such discrepancies are not corrected, the discrepancies shall be brought to the attention of the Building Official and the Structural Registered Design Professional in Responsible Charge. The Special Inspection program does not relieve the Contractor of his or her responsibilities.

Interim reports shall be submitted to the Building Official and the Structural Registered Design Professional in Responsible Charge at an interval determined by the SSIC and the BCO.

A Final Report of Special Inspections documenting completion of all required Special Inspections, testing and correction of any discrepancies noted in the inspections shall be submitted to the BCO prior to issuance of a Certificate of Use and Occupancy.

Job site safety and means and methods of construction are solely the responsibility of the Contractor.

Interim Report Frequency: Upon request of Building Official _____ or per attached schedule.

Prepared by:

Dale Dubois, P.E.

(type or print name of the Structural Registered Design Professional in Responsible Charge)



Signature

12-4-09

Date



Owner's Authorization:



Signature

Date

Building Code Official's Acceptance:

Signature

Date

Project: Walgreens
 Date Prepared: December 3, 2009

Statement of Special Inspections (Continued) - Exhibit A

List of Agents

Project: *Walgreens*

Location: *(SWC) Marginal Way & Chestnut Street, Portland, Maine*

Owner: *Fore River Management*

This Statement of Special Inspections encompass the following discipline:

- Structural Mechanical/Electrical/Plumbing
 Architectural Other _____

(Note: Statement of Special Inspections for other disciplines may be included under a separate cover)

This Statement of Special Inspections / Quality Assurance Plan includes the following building systems:

- | | |
|--|---|
| <input checked="" type="checkbox"/> Soils and Foundations | <input type="checkbox"/> Spray Fire Resistant Material |
| <input checked="" type="checkbox"/> Cast-in-Place Concrete | <input type="checkbox"/> Cold-Formed Steel Framing |
| <input type="checkbox"/> Precast Concrete System | <input type="checkbox"/> Exterior Insulation and Finish |
| <input type="checkbox"/> Masonry Systems | <input type="checkbox"/> Mechanical & Electrical |
| <input checked="" type="checkbox"/> Structural Steel | <input type="checkbox"/> Architectural Systems |
| <input checked="" type="checkbox"/> Wood Construction | <input type="checkbox"/> Special Cases |

Special Inspection Agencies	Firm	Address, Telephone, e-mail
1. Structural Special Inspection Coordinator (SSIC)	<i>Becker Structural Engineers (BSE)</i>	<i>75 York Street Portland, ME 04107 (207) 879-1838 Todd@beckerstructural.com</i>
2. Special Inspector (SI 1)	<i>Becker Structural Engineers (BSE)</i>	<i>75 York Street Portland, ME 04107 (207) 879-1838 Todd@beckerstructural.com</i>
3. Special Inspector (SI 2)		
4. Testing Agency (TA 1)	<i>By Owner</i>	
5. Testing Agency (TA 2)	<i>By Owner</i>	
6. Other (O1)		

Note: The inspectors and testing agencies shall be engaged by the Owner or the Owner's Agent, and not by the Contractor or Subcontractor whose work is to be inspected or tested. Any conflict of interest must be disclosed to the Building Official, prior to commencing work.

Project: Walgreens
Date Prepared: December 3, 2009

Statement of Special Inspections (Continued) - Exhibit A

Final Report of Special Inspections (SSIC/SI 1)

[To be completed by the Structural Special Inspections Coordinator (SSIC/SI 1) Note that all Agent's Final Reports must be received prior to issuance.]

Project: *Walgreens*
Location: *(SWC) Marginal Way & Chestnut Street, Portland, Maine*
Owner: *Fore River Management*
Owner's Address: *5 Milk Street*
Portland, ME
Architect of Record: *Patrick Finn* *Landry Architects*
(name) *(firm)*
Structural Registered Design
Professional in Responsible Charge: *Dale Dubois, P.E.* *Dubois Engineering*
(name) *(firm)*

To the best of my information, knowledge and belief, the Special Inspections required for this project, and itemized in the *Statement of Special Inspections* submitted for permit, have been performed and all discovered discrepancies have been reported and resolved other than the following

Comments:

(Attach continuation sheets if required to complete the description of corrections.)

Interim reports submitted prior to this final report form a basis for and are to be considered an integral part of this final report.

Respectfully submitted,
Structural Special Inspection Coordinator

(Type or print name)

(Firm Name)

Signature

Date

Licensed Professional Seal

Project: Walgreens
Date Prepared: December 3, 2009

Statement of Special Inspections (Continued) - Exhibit A
Special Inspector's/Agent's Final Report

Project. *Walgreens*
Special Inspector or Agent. *Becker Structural Engineers, Inc.* *Todd M. Neal, P.E.*
(firm) *(name)*
Designation: SSIC

To the best of my information, knowledge and belief, the Special Inspections or testing required for this project, and designated for this Inspector/Agent in the *Statement of Special Inspections* submitted for permit, have been performed and all discovered discrepancies have been reported and resolved other than the following:

Comments.

(Attach continuation sheets if required to complete the description of corrections)

Interim reports submitted prior to this final report form a basis for and are to be considered an integral part of this final report.

Respectfully submitted,
Special Inspector or Agent:

(Type or print name)

Signature

Date



Schedule of Special Inspections - Exhibit B

Qualifications of Inspectors and Testing Technicians

The qualifications of all personnel performing Special Inspection and testing activities are subject to the approval of the Building Official. The credentials of all Inspectors and testing technicians shall be provided if requested.

Key for Minimum Qualifications of Inspection Agents:

When the Registered Design Professional in Responsible Charge deems it appropriate that the individual performing a stipulated test or inspection have a specific certification or license as indicated below, such designation shall appear below the *Agency Number* on the Schedule.

PE/SE	Structural Engineer – a licensed SE or PE specializing in the design of building structures
PE/GE	Geotechnical Engineer – a licensed PE specializing in soil mechanics and foundations
EIT	Engineer-In-Training – a graduate engineer who has passed the Fundamentals of Engineering examination

American Concrete Institute (ACI) Certification

ACI-CFTT	Concrete Field Testing Technician – Grade 1
ACI-CCI	Concrete Construction Inspector
ACI-LTT	Laboratory Testing Technician – Grade 1&2
ACI-STT	Strength Testing Technician

American Welding Society (AWS) Certification

AWS-CWI	Certified Welding Inspector
AWS/AISC-SSI	Certified Structural Steel Inspector

American Society of Non-Destructive Testing (ASNT) Certification

ASNT	Non-Destructive Testing Technician – Level II or III.
------	---

International Code Council (ICC) Certification

ICC-SMSI	Structural Masonry Special Inspector
ICC-SWSI	Structural Steel and Welding Special Inspector
ICC-SFSI	Spray-Applied Fireproofing Special Inspector
ICC-PCSI	Prestressed Concrete Special Inspector
ICC-RCSI	Reinforced Concrete Special Inspector

National Institute for Certification in Engineering Technologies (NICET)

NICET-CT	Concrete Technician – Levels I, II, III & IV
NICET-ST	Soils Technician - Levels I, II, III & IV
NICET-GET	Geotechnical Engineering Technician - Levels I, II, III & IV

Exterior Design Institute (EDI) Certification

EDI-EIFS	EIFS Third Party Inspector
----------	----------------------------

Other

Project: Walgreens
 Date Prepared: December 3, 2009

Schedule of Special Inspections – Exhibit B
SOILS & FOUNDATION CONSTRUCTION

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	DATE	REV
IBC Section 1704.7, 1704.8, 1704.9							
1. Verify existing soil conditions, fill placement and load bearing requirements							
a. Prior to placement of prepared fill, determine that the site has been prepared in accordance with the approved soils report.	Y	P	IBC 1704 7.1	TA1	PE/GE or EIT		
b. During placement and compaction of fill material, verify material being used and maximum lift thickness comply with the approved soils report.	Y	P	IBC 1704 7.2	TA1	PE/GE or EIT		
c. Test in-place dry density of compacted fill complies with the approved soils report.	Y	P	IBC 1704 7.2	TA1	NICET-ST or NICET-GET		
2. Pile foundations							
a. Observe and record procedures for static load testing of piles	Y	C	IBC 1704 8	TA1	PE/GE or EIT		
b. Observe and record procedures for dynamic load testing of piles.	Y	C		TA1	PE/GE or EIT		
c. Record installation of each pile and results of load test. Include cutoff and tip elevations of each pile relative to permanent reference.	Y	C		TA1	NICET-GET		
d. Test welded splices of steel piles	Y	C	AWS D1.1	TA1	AWS-CWI		
3. Pier foundations: Verify installation of pier foundations for buildings assigned to Seismic Design Category C, D, E or F	N	C	IBC 1704 9	SI2	PE/GE or EIT		
a. Verify pier diameter and length	N	C		SI2	PE/GE or EIT		
b. Verify pier embedment (socket) into bedrock	N	P		SI2	PE/GE or EIT		
c. Verify suitability of end bearing strata	N	P		SI2	PE/GE or EIT		

Soils and Foundations Construction has been reviewed in accordance with sections 1704.7, 8 & 9 of the IBC Code

Special Inspector _____ Date _____

Project: Walgreens

Date Prepared: December 3, 2009

Schedule of Special Inspections – Exhibit B

CONCRETE CONSTRUCTION

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	DATE	REV
IBC Section 1704.4							
1. Inspection of reinforcing steel, including prestressing tendons, and placement	Y	P	ACI 318 3.5, 7.1-7.7	SII	PE/SE or EIT		
2. Inspection of reinforcing steel welding in accordance with Table 1704.3, Item 5B	N		Welding of Reinf Not Allowed	TAI	AWS-CWI		
3. Inspect bolts to be installed in concrete prior to and during placement of concrete where allowable loads have been increased	Y	C	IBC 1912.5	SII	PE/SE or EIT		
4. Verifying use of required design mix	Y	P	ACI 318 Ch 4, 5.2-5.4	SER	PE/SE or EIT		
5. At time fresh concrete is sampled to fabricate specimens for strength test, perform slump and air content test and temperature	Y	C	ASTM C 172 ASTM C 31 ACI 318 5.6, 5.8	TAI	ACI-CFTT or ACI-STT		
6. Inspection of concrete and shotcrete placement for proper application techniques	Y	C	ACI 318 5.9, 5.10	SII	PE/SE or EIT		
7. Inspection for maintenance of specified curing temperature and techniques	Y	P	ACI 318 5.11-5.13	SII	PE/SE or EIT		
8. Inspection of Prestressed Concrete							
a. Application of prestressing force.	N	C	ACI 318: 18.20	SII	PE/SE or EIT		
b. Grouting of bonded prestressing tendons in seismic force resisting system	N	C	ACI 318 18.18.4	SII	PE/SE or EIT		
9. Erection of precast concrete members	N	P	ACI 318 Ch 16	SII	PE/SE or EIT		
10. Verification of in-situ concrete strength, prior to stressing of tendons in post-tensioned concrete and prior to removal of shores and forms beams and structural slabs	N	P	ACI 318 6.2	TAI	ACI-STT		

Concrete Construction has been reviewed in accordance with section 1704.4 of the IBC Code

Special Inspector _____

Date _____

Project: Walgreens
 Date Prepared: December 3, 2009

Schedule of Special Inspections – Exhibit B
MASONRY CONSTRUCTION – LEVEL 1 (NON-ESSENTIAL FACILITY)

VERIFICATION AND INSPECTION IBC Section 1704.5	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	DATE	INITIAL
1 As masonry construction begins, the following shall be verified to ensure compliance							
a. Proportions of site-prepared mortar	Y	P	ACI530.1, 2.6A	TAI	PE/SE or EIT		
b. Construction of mortar joints	Y	P	ACI530 1, 3.3B	SII	PE/SE or EIT		
c. Location of reinforcement and connectors	Y	P	ACI530 1, 3.4, 3.6A	SII	PE/SE or EIT		
d. Prestressing technique	N	P	ACI530.1, 3.6B	SII	PE/SE or EIT		
e. Grade and size of prestressing tendons and anchorages	N	P	ACI530.1, 2.4B, 2.4H	SII	PE/SE or EIT		
2 The inspection program shall verify							
a. Size and location of structural elements	Y	P	ACI530 1, 3.3G	SII	PE/SE or EIT		
b. Type, size and location of anchors, including other details of anchorage of masonry to structural members, frames or other construction	Y	P	ACI530, 1.2.2(e), 2.1.4, 3.1.6	SII	PE/SE or EIT		
c. Specified size, grade and type of reinforcement	Y	P	ACI530, 1.1.2, ACI530.1, 2.4, 3.4	SII	PE/SE or EIT		
d. Welding of reinforcing bars	N	Welding of Reinf. Not permitted	ACI530, 2.1.10.6.2, 3.2.4(b)	AWS- CWI	PE/SE or EIT		
e. Protection of masonry during cold weather (temperature below 40°F) or hot weather (temperature above 90°F)	Y	P	IBC 2104.3, 2104.4, ACI530.1, 1.8C, 1.8D	SII	PE/SE or EIT		
f. Application and measurement of prestressing force	N	P	ACI530 1, 3.6B	SII	PE/SE or EIT		
3 Prior to grouting, the following shall be verified to ensure compliance							
a. Grout space is clean	Y	P	ACI530 1, 3.2D	SII	PE/SE or EIT		
b. Placement of reinforcement and connectors and prestressing tendons and anchorages	N	P	ACI530, 1.1.2, ACI530.1, 3.4	SII	PE/SE or EIT		
c. Proportions of site-prepared grout and prestressing grout for bonded tendons	N	P	ACI530 1, 2.6B	SII	PE/SE or EIT		

Project: Walgreens

Date Prepared: December 3, 2009

VERIFICATION AND INSPECTION IBC Section 1704.5	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	DATE	INITIAL
d Construction of mortar joints	Y	P	ACI530.1, 3.3B	SI1	PE/SE or EIT		
4 Grout placement shall be verified to ensure compliance with code and construction document provisions	Y	C	ACI530.1, 3.5	SI1	PE/SE or EIT		
a. Grouting of prestressing bonded tendons	N	C	ACI530.1, 3.6C	SI1	PE/SE or EIT		
5. Preparation of any required grout specimens, mortar specimens and/or prisms shall be observed	Y	C	IBC 2105.2.2, 2105.3, ACI530.1, 1.4	TA1	PE/SE or EIT		
6. Compliance with required inspection provisions of the construction documents and the approved submittals shall be verified	Y	P	ACI530.1, 1.5	SI1	PE/SE or EIT		

Masonry Construction has been reviewed in accordance with section 1704.5 of the IBC Code

Special Inspector _____

Date _____

Project: Walgreens
 Date Prepared: December 3, 2009

Schedule of Special Inspections – Exhibit B
STEEL CONSTRUCTION

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	DATE	REV
IBC Section 1704.3							
1. Material verification of high-strength bolts, nuts and washers							
a. Identification markings to conform to ASTM standards specified in the approved construction documents.	Y	S	Applicable ASTM material specifications, AISC 335, Section A3.4, AISC LRFD, Section A3.3	SII	PE/SE or EIT		
b. Manufacturer's certificate of compliance required		S		SER	PE/SE or EIT		
2. Inspection of high-strength bolting							
a. Bearing-type connections	Y	P	AISC LRFD Section M2.5 IBC Sect 1704.3.3	TA2	AWS/AISC-SSI		
b. Slip-critical connections	Y	C or P (method dependent)		TA2	AWS/AISC-SSI		
3. Material verification of structural steel (IBC Sect 1708.4)							
a. Identification markings to conform to ASTM standards specified in the approved construction documents	Y	S	ASTM A 6 or ASTM A 568 IBC Sect 1708.4	SII	PE/SE or EIT		
b. Manufacturers' certified mill test reports	Y	S	ASTM A 6 or ASTM A 568 IBC Sect 1708.4	SER	PE/SE or EIT		
4. Material verification of weld filler materials							
a. Identification markings to conform to AWS specification in the approved construction documents	Y	S	AISC, ASD, Section A3.6, AISC LRFD, Section A3.5	TA2	PE/SE or EIT		
b. Manufacturer's certificate of compliance required	Y	S		SII	PE/SE or EIT		

Project: Walgreens
 Date Prepared: December 3, 2009

VERIFICATION AND INSPECTION	Y/N	EXTENT: CONTINUOUS, PERIODIC, SUBMITTAL, OR NONE	COMMENTS	AGENT	AGENT QUALIFICATION	DATE	REV
IBC Section 1704.3							
5. Submit current AWS D1.1 welder certificate for all field welders who will be welding on this project.	Y	S	AWS D1.1	SI1	PE/SE or EIT		
6. Inspection of welding (IBC 1704.3.1)							
a. Structural steel							
1) Complete and partial penetration groove welds	Y	C	AWS D1.1	TA2	AWS-CWI		
2) Multipass fillet welds	Y	C		TA2	AWS-CWI		
3) Single-pass fillet welds > 5/16"	Y	C		TA2	AWS-CWI		
4) Single-pass fillet welds < 5/16"	Y	P		TA2	AWS-CWI		
5) Floor and deck welds.	Y	P	AWS D1.3	TA2	AWS-CWI		
b. Reinforcing steel (IBC Sect 1903.5.2)							
1) Verification of weldability of reinforcing steel other than ASTM A706.	N		Welding of Reinforcement not permitted	N/A			
2) Reinforcing steel-resisting flexural and axial forces in intermediate and special moment frames, and boundary elements of special reinforced concrete shear walls and shear reinforcement	N	C	AWS D1.4 ACI 318.3.5.2	N/A	AWS-CWI		
3) Shear reinforcement	N	C		N/A	AWS-CWI		
4) Other reinforcing steel	N	P		N/A	AWS-CWI		
7. Inspection of steel frame joint details for compliance (IBC Sect 1704.3.2) with approved construction documents							
a. Details such as bracing and stiffening.	Y	P		SI1	PE/SE or EIT		
b. Member locations	Y	P		SI1	PE/SE or EIT		
c. Application of joint details at each connection.	Y	P		SI1	PE/SE or EIT		

Steel Construction has been reviewed in accordance with section 1704.3 of the IBC Code

Special Inspector _____ Date _____

Project: Walgreens
Date Prepared: December 3, 2009

Project: Walgreens
Date Prepared: December 3, 2009

Contractor's Statement of Responsibility –Exhibit D

Each contractor responsible for the construction or fabrication of a system or component designated in the Quality Assurance Plan must submit a Statement of Responsibility. The Statement of Responsibility is required for Seismic Design Category C or higher. Make additional copies of this form as required.

Project:

Exception NOS.1 (2) $S_{DS} = 0.4$ Height 28'

Contractor's Name:

reinforced masonry

OK

Address:

License No.:

Description of designated building systems and components included in the Statement of Responsibility:

Contractor's Acknowledgment of Special Requirements

I hereby acknowledge that I have received, read, and understand the Quality Assurance Plan and Special Inspection program.

I hereby acknowledge that control will be exercised to obtain conformance with the construction documents approved by the Building Official.

Signature

Date

Contractor's Provisions for Quality Control

Procedures for exercising control within the contractor's organization, the method and frequency of reporting and the distribution of reports is attached to this Statement.

Identification and qualifications of the person(s) exercising such control and their position(s) in the organization are attached to this Statement



Certificate of Design Application

From Designer: LANDRY ARCHITECTS
 Date: NOVEMBER 23RD, 2009
 Job Name: WALGREENS
 Address of Construction: 127 MARGINAL WAY, PORTLAND, ME

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC-2003 Use Group Classification (s) (M)

Type of Construction 5B

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC YES

Is the Structure mixed use? NO If yes, separated or non separated or non separated (section 302.3)

Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) YES

Structural Design Calculations

N/A Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Floor Area Use	Loads Shown
<u>SALES</u>	<u>100 #/FT²</u>

<u>N/A</u>	Live load reduction
<u>30 #/FT²</u>	Roof live loads (1603.1.2, 1607.11)
<u>45 #/FT²</u>	Roof snow loads (1603.7.3, 1608)
<u>60 #/FT²</u>	Ground snow load, P_g (1608.2)
<u>45 #/FT²</u>	If $P_g > 10$ psf, flat-roof snow load P_f
<u>1.0</u>	If $P_g > 10$ psf, snow exposure factor, C_e
<u>1.0</u>	If $P_g > 10$ psf, snow load importance factor, I_g
<u>1.0</u>	Roof thermal factor, C_t (1608.4)
<u>N/A</u>	Sloped roof snowload, P_s (1608.4)

Wind loads (1603.1.4, 1609)

<u>MWFRS #1</u>	Design option utilized (1609.1.1, 1609.6)
<u>110 MPH</u>	Basic wind speed (1809.3)
<u>1.0</u>	Building category and wind importance Factor, w (table 1604.5, 1609.5)
<u>B</u>	Wind exposure category (1609.4)
<u>± 0.18</u>	Internal pressure coefficient (ASCE 7)
<u>29.1, CANCS 23.6</u>	Component and cladding pressures (1609.1.1, 1609.6.2.2)
<u>19.2 #/FT²</u>	Main force wind pressures (7603.1.1, 1609.6.2.1)

<u>C</u>	Seismic design category (1616.3)
<u>REINF MASONRY</u>	Basic seismic force resisting system (1617.6.2)
<u>2.5</u>	Response modification coefficient, R , and
<u>1.75</u>	deflection amplification factor, C_d (1617.6.2)
<u>EQUAL FORCE</u>	Analysis procedure (1616.6, 1617.5)
<u>60 K</u>	Design base shear (1617.4, 1617.5.1)

Earth design data (1603.1.5, 1614-1623)

<u>STANDARD</u>	Design option utilized (1614.1)
<u>II</u>	Seismic use group ("Category")
<u>SDS=0.4 SD1=1.0</u>	Spectral response coefficients, SDS & $SD1$ (1615.1)
<u>E</u>	Site class (1615.1.5)

	Flood Hazard area (1612.3)
	Elevation of structure

Other loads

<u>N/A</u>	Concentrated loads (1607.4)
<u>N/A</u>	Partition loads (1607.5)
<u>N/A</u>	Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

From: Marge Schmuckal
To: RICK KNOWLAND
Date: 12/8/2009 4:26:19 PM
Subject: 127 Marginal Way - Walgreens

Rick,

I just received a permit application to go forward with the Walgreens at 127 Marginal Way. Can I get a copy of a stamped approved plan? Can we go ahead and issue this permit at this time?

Thanks,
Marge

Comments Submitted

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy

2008-0127
Application I. D. Number
8/22/2008
Application Date
Back Cove Company
Project Name/Description

Back Cove Company
Applicant
Po Box 7525 , Portland, ME 04112
Applicant's Mailing Address

9/10/08

Consultant/Agent
Agent Ph: _____ Agent Fax: _____
Applicant or Agent Daytime Telephone, Fax

127 - 127 Marginal Way, Portland, Maine
Address of Proposed Site
025 A014001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Apt 0 Condo 0 Other (specify) _____

Proposed Building square Feet or # of Units 72019 Acreage of Site 0 Proposed Total Disturbed Area of the Site 0 Zoning B5 B-7 zone

Check Review Required:

- Site Plan (major/minor) Zoning Conditional - PB Subdivision # of lots _____
- Amendment to Plan - Board Review Zoning Conditional - ZBA Shoreland Historic Preservation DEP Local Certification
- Amendment to Plan - Staff Review Zoning Variance Flood Hazard Site Location
- After the Fact - Major Stormwater Traffic Movement Other _____
- After the Fact - Minor PAD Review 14-403 Streets Review

Fees Paid: Site Plan \$400.00 Subdivision _____ Engineer Review _____ Date 8/25/2008

Zoning Approval Status:

Reviewer Marge S. - Insp

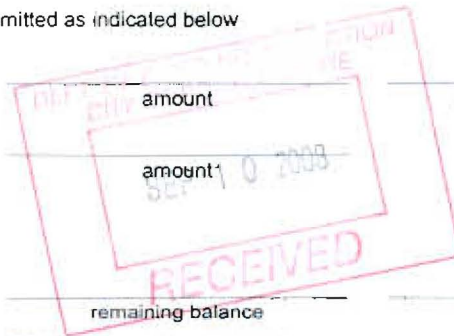
- Approved Approved w/Conditions See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- Performance Guarantee Accepted _____ date _____ amount _____ expiration date _____
- Inspection Fee Paid _____ date _____
- Building Permit Issue _____ date _____
- Performance Guarantee Reduced _____ date _____ remaining balance _____ signature _____
- Temporary Certificate of Occupancy _____ date _____ Conditions (See Attached) _____ expiration date _____
- Final Inspection _____ date _____ signature _____
- Certificate Of Occupancy _____ date _____
- Performance Guarantee Released _____ date _____ signature _____
- Defect Guarantee Submitted _____ submitted date _____ amount _____ expiration date _____
- Defect Guarantee Released _____





Development Review Application
Portland, Maine

Department of Planning and Development, Planning Division and Planning Board

Address of Proposed Development: **127 MARGINAL WAY**

Zone: **B-5**

Project Name: **BACK COVE COMPANY**

Existing Building Size: 25,078 sq. ft.	Proposed Building Size: 27,726 sq. ft.
Existing Acreage of Site: 72,019 sq. ft.	Proposed Acreage of Site: 72,019 sq. ft.

Proposed Total Disturbed Area of the Site: **25,000** sq. ft. *

* If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) or Chapter 500, Stormwater Management Permit with the Maine Department of Environmental Protection (DEP).

Tax Assessor's Chart, Block & Lot: Chart # BCC 25 Block # A Lot # 014-001	Block & Lot: FLC 25 A 005-001	Property Owners Name/ Mailing address: BACK COVE COMPANY FIVE LIVER COMPANY PO BOX 7525 PORTLAND, ME 04112	Telephone #: (207) 772-6404 Cell Phone #:
Consultant/Agent Name, Mailing Address, Telephone #, Fax # and Cell Phone #:	Applicant's Name/ Mailing Address: BACK COVE COMPANY P.O. BOX 7525 PORTLAND, ME 04112	Telephone #: (207) 772-6404 Cell Phone #:	

Fee for Service Deposit (all applications) _____ (\$200.00)

Proposed Development (check all that apply)

New Building Building Addition Change of Use Residential Office Retail

Manufacturing Warehouse/Distribution Parking lot

Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____ + major site plan fee if applicable

Site Location of Development (\$3,000.00)
(except for residential projects which shall be \$200.00 per lot _____)

Traffic Movement (\$1,000.00) Storm water Quality (\$250.00)

Section 14-403 Review (\$400.00 + \$25.00 per lot)

Other _____

~ Please see next page ~

RECEIVED

SEP 10 2013

Major Development (more than 10,000 sq. ft.)

- Under 50,000 sq. ft. (\$500.00)
- 50,000 - 100,000 sq. ft. (\$1,000.00)
- Parking Lots over 100 spaces (\$1,000.00)
- 100,000 - 200,000 sq. ft. (\$2,000.00)
- 200,000 - 300,000 sq. ft. (\$3,000.00)
- Over 300,000 sq. ft. (\$5,000.00)
- After-the-fact Review (\$1,000.00 + applicable application fee)

Minor Site Plan Review

- Less than 10,000 sq. ft. (\$400.00)
- After-the-fact Review (\$1,000.00 + applicable application fee)

Plan Amendments

- Planning Staff Review (\$250.00)
- Planning Board Review (\$500.00)

Billing Address: (name, address and contact information)

BACK COVE COMPANY
P.O. Box 7525
PORTLAND, ME 04112

Submittals shall include seven (7) folded packets containing of the following materials:

- A. Copy of the application.
- B. Cover letter stating the nature of the project.
- C. Written Submittal (Sec. 14-525 2. (c), including evidence of right, title and interest.
- D. A standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 100 feet.
- E. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
- F. Copy of the checklist completed for the proposal listing the material contained in the submitted application.
- F. In addition to the seven (7) sets of documents listed above, one (1) set of the site plans reduced to 11 x 17 must be submitted.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: www.portlandmaine.gov Copies of the ordinances may be purchased through the Planning Division.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for site review only; a Performance Guarantee, Inspection Fee, Building Permit Application and associated fees will be required prior to construction.

Signature of Applicant:

R. W.

Date:

8/22/08



Site Plan Checklist Portland, Maine

Department of Planning and Development, Planning Division and Planning Board

BACK COVE COMPANY, 127 MARGINAL WAY

Project Name, Address of Project

Application Number

The form is to be completed by the Applicant or Designated Representative:

Check Submitted	Site Plan Item	Required Information	Section 14-525 (b,c)
<input checked="" type="checkbox"/>	(1)	Standard boundary survey (stamped by a registered surveyor, at a scale of not less than 1 inch to 100 feet and including:	1
<input checked="" type="checkbox"/>	(2)	Name and address of applicant and name of proposed development	a
<input checked="" type="checkbox"/>	(3)	Scale and north points	b
<input checked="" type="checkbox"/>	(4)	Boundaries of the site	c
<input checked="" type="checkbox"/>	(5)	Total land area of site	d
<input checked="" type="checkbox"/>	(6)	Topography - existing and proposed (2 feet intervals or less)	e
<input checked="" type="checkbox"/>	(7)	Plans based on the boundary survey including:	2
<input checked="" type="checkbox"/>	(8)	Existing soil conditions	a
<input checked="" type="checkbox"/>	(9)	Location of water courses, wetlands, marshes, rock outcroppings and wooded areas	b
<input checked="" type="checkbox"/>	(10)	Location, ground floor area and grade elevations of building and other structures existing and proposed, elevation drawings of exterior facades, and materials to be used	c
<input checked="" type="checkbox"/>	(11)	Approx location of buildings or other structures on parcels abutting the site and a zoning summary of applicable dimensional standards (example page 9 of packet)	d
<input checked="" type="checkbox"/>	(12)	Location of on-site waste receptacles	e
<input checked="" type="checkbox"/>	(13)	Public utilities	e
<input checked="" type="checkbox"/>	(14)	Water and sewer mains	e
<input checked="" type="checkbox"/>	(15)	Culverts, drains, existing and proposed, showing size and directions of flows	c
<input checked="" type="checkbox"/>	(16)	Location and dimensions, and ownership of easements, public or private rights-of-way, both existing and proposed	f
<input checked="" type="checkbox"/>	(17)	Location and dimensions of on-site pedestrian and vehicular access ways	g
<input checked="" type="checkbox"/>	(18)	Parking areas	g
<input checked="" type="checkbox"/>	(19)	Loading facilities	g
<input checked="" type="checkbox"/>	(20)	Design of ingress and egress of vehicles to and from the site onto public streets	g
<input checked="" type="checkbox"/>	(21)	Curb and sidewalks	g
<input checked="" type="checkbox"/>	(22)	Landscape plan showing:	h
<input checked="" type="checkbox"/>	(23)	Location of existing vegetation and proposed vegetation	h
<input checked="" type="checkbox"/>	(24)	Type of vegetation	h
<input checked="" type="checkbox"/>	(25)	Quantity of plantings	h
<input checked="" type="checkbox"/>	(26)	Size of proposed landscaping	h
<input checked="" type="checkbox"/>	(27)	Existing areas to be preserved	h
<input checked="" type="checkbox"/>	(28)	Preservation measures to be employed	h
<input checked="" type="checkbox"/>	(29)	Details of planting and preservation specifications	h
<input checked="" type="checkbox"/>	(30)	Location and dimensions of all fencing and screening	i
<input checked="" type="checkbox"/>	(31)	Location and intensity of outdoor lighting system	j
<input checked="" type="checkbox"/>	(32)	Location of fire hydrants, existing and proposed (refer to Fire Department checklist)	k
<input checked="" type="checkbox"/>	(33)	Written statements to include:	c
<input checked="" type="checkbox"/>	(34)	Description of proposed uses to be located on site	cl
<input checked="" type="checkbox"/>	(35)	Quantity and type of residential, if any	cl
<input checked="" type="checkbox"/>	(36)	Total land area of the site	c2
<input checked="" type="checkbox"/>	(37)	Total floor area, total disturbed area and ground coverage of each proposed building and structure	c2
<input checked="" type="checkbox"/>	(38)	General summary of existing and proposed easements or other burdens	c3
<input checked="" type="checkbox"/>	(39)	Type, quantity and method of handling solid waste disposal	c4
<input checked="" type="checkbox"/>	(40)	Applicant's evaluation or evidence of availability of off-site public facilities, including sewer, water and streets	c5
<input checked="" type="checkbox"/>	(41)	Description of existing surface drainage and a proposed stormwater management plan or description of measures to control surface runoff.	c6 c6

August 19, 2008

Rick Knowland
Portland Planning Department
389 Congress Street
Portland, ME 04101

Re: Site Plan Review--127 Marginal Way

Dear Rick:

This cover letter summarizes our Minor Site Plan application relating to alterations to the former Whole Grocer/Whole Foods space at 127 Marginal Way, for use as a proposed Walgreen's. The side of the building facing Chestnut Street is still in the condition it was when we acquired it and that side faced across a narrow alley to the former tin sided Ballard Oil facility. Now that this side faces a public street, our plan is to turn this "back" into a "front" with windows and more appropriate architectural details facing the public street. The entrance would be relocated to the corner of Chestnut Street and Marginal Way. To accommodate Walgreen's interest in a larger footprint, we are also proposing to expand the building toward Chestnut Street, by about 3,000 SF, consuming the row of parking next to the building. The windowless box facing Marginal Way (the utility room containing sprinkler, water and electricity entrances) will be relocated, to allow windows and a more traditional retail façade facing Marginal Way.

Sincerely,



Peter W. Quesada
enclosures



August 19, 2008

Rick Knowland
Portland Planning Department
389 Congress Street
Portland, ME 04101

Re: Site Plan Review--127 Marginal Way

Dear Rick:

This letter is our written Statement required in Section 14-525 (c) (The numbers below correspond to the numbers given in the code).

- (1) Past and current users are exclusively retail, and will remain so. The past user of the current space was Whole Foods Market Group, Inc., successor to the lease of the Whole Grocer. The proposed user after completion of proposed site work is Walgreen's Eastern Corporation, for use as a drug store. There have been no residential units and none is proposed.
- (2) The current land area is $\pm 72,019$ SF; this consists of $\pm 52,886$ SF currently owned by applicant Back Cove Company and an additional $\pm 19,133$ SF which Back Cove Company has a contractual right to acquire upon approval of a Site Plan Application and execution of a lease with Walgreen Eastern Corporation.. There is only one building. The building area is currently $\pm 25,078$ SF; the proposed building area after the building addition and the demolition and relocation of the front utility room is $\pm 27,726$ SF. Current ground coverage is 34.8% (based on the area of both the owned lot and the lot to be acquired) and 35.5% is proposed (based on the area of both the owned lot and the lot to be acquired). Refer to Site & Landscape Plan.
- (3) There are currently only easements for utilities, an easement for shared use of a 13' strip centered on the property line between Back Cove Company and Five Liver Company (to be extinguished upon merger of the two properties), and a 24' access easement benefiting Back Cove Company on the 87 Marginal Way LLC property (former Wild Oats). No new easements are proposed. Refer to survey.
- (4) Waste generated by the construction process: demolition debris – ± 130 cubic yards; construction waste – ± 85 cubic yards.
Waste generated by operations—modest retail waste: The development currently generates approximately 3 dumpster trips per week from the four 8 yard dumpsters (two for waste and two for recycling). This is down from 7 dumpster trips per week when the Whole Foods/Whole Grocer was in operation. Walgreen estimates its internally stored waste at 7 cubic yards per month and internally stored recycling at 9 cubic yards per month, with pickups bi-weekly.
- (5) The site is currently served by:
 - o The Portland Water District – water & sprinklers

SEP 10 2008

RECEIVED

- Portland Sewer Department – sanitary and storm sewers
- CMP – electrical
- Northern Utilities – natural gas
- Fair Point – telephone
- Time Warner - cable
- Existing curb cuts/street access to remain

Existing services to the site are adequate for the proposed redevelopment therefore no additional services will be required.

- (6) The property is now essentially 100% impervious and therefore no increase in stormwater run-off will be imposed. Roof area drains are piped to onsite catch basins and paved areas also drain to catchbasins. All catch basins are and will be tied into the existing connections to the Portland Sewer Department storm sewer system. The parking area will be reduced and replaced with building area, so no change in stormwater quantity is projected. It is not anticipated that this project will have an increased adverse effect on the downstream receiving area. Refer to Grading and Drainage plan for stormwater management plans.
- (7) The construction period is estimated at 8 months, after an approval of the Site Plan Application;
- 1 month for permitting
 - 7 months construction:
 - Demolition
 - Sitework
 - New construction

The project involves a ± 3,000 SF building expansion towards the Chestnut Street property line. The northern exterior wall will be removed to accommodate the expansion. The common utility room at the front of the building will be removed and relocated to a new common utility room on the west side of the building. Relocating the utility room will allow the addition of windows facing Marginal Way and will allow the front corner entrance to be visible from all Marginal Way frontage. The parking spaces along the eastern building wall (facing Chestnut Street) will be removed to accommodate the building expansion. Refer to Site & Landscape Plan.

Refer to Grading and Drainage plan for erosion and pollution abatement plans.

- (8) No state or federal permits are required.
- (9) Affiliates of applicant have completed new construction of nearby facilities (52,000 SF four story DHHS building, and 20,000 SF 2 story Planet Fitness building); both projects were managed by Fore River Company, which would manage this project. Fore River Company provided construction financing for both projects; the DHHS project was later refinanced with GE Capital and the Planet Fitness project remains an all-equity project. A letter from TD Banknorth indicating potential interest in financing this proposed project is attached.
- (10) Right, title, interest (see the following attachments):
- A copy of Back Cove Company's fiscal 2009 tax bill relating to the majority portion of the subject property is attached.

- A copy of Five Liver Company's fiscal 2009 tax bill relating to the remaining portion of the subject property is attached.
 - A copy of a letter from Five Liver Company confirming that Back Cove Company has an option to acquire the adjacent parcel.
- (11) The site contains no unusual natural areas, wildlife, fisheries habitat or archeological sites located on or near the project.
- (12) Any electronic format drawings will be provided.
- (13) Recycling is the responsibility of the individual tenants. Currently
- The Walgreen store will have indoor storage in the rear stock room for all its trash and recycling. It is anticipated that it will have a 2 cubic yard container for recyclable materials, a 2 cubic yard container for non-recyclable materials, and separate storage of empty totes.
 - CB Sullivan will continue to use the two outside 6 cubic yard containers for recycling and rubbish, respectively, both of which are shown on the proposed Site & Landscape Plan; these are the same size containers that were used, with more frequent pick-ups when Whole Grocer/Whole Foods were in operation and shared their use.
 - West Marine and Maine Rock Gym will continue to share the two outside 6 cubic yard containers for recycling and rubbish, respectively, both of which are shown on the opposite end of the property on the proposed Site & Landscape Plan.



Peter W. Quesada
Vice president of Back Cove Company

cc: Ron Ward, Esq.

Attachments to this letter:

1. Financial capacity letter from TD Banknorth
2. Solid waste capacity letter from Pine Tree Waste
3. Copy of Back Cove Company fiscal 2009 tax bill
4. Copy of Five Liver Company fiscal 2009 tax bill
5. Confirmation of Back Cove Company's right to acquire Five Liver Co's property
6. Traffic letter from Gorrill Palmer

Separate attachments are as follows:

1. Survey
2. Site & Landscape Plan
3. Grading & Drainage Plan
4. Erosion Control Plan
5. Elevations
6. Abutters Plan
7. Utility Plan
8. Test Boring plan and Logs



Banknorth

One Portland Square
P.O. Box 9540
Portland, ME 04112-9540
T: 207 761-8600 F: 207 761-8660
Toll Free: 800 462-3666 x8600
TDBanknorth.com

July 1, 2008

To Whom It May Concern
City of Portland

Re: 127 Marginal Way

Dear Sir or Madam:

TD Bank, N.A. has worked with Peter and Ricardo Quesada, and entities like Back Cove Company that are owned or controlled by the Quesada's, on several projects that were similar to the proposed project referenced above. The Bank has financed several projects for the Quesada's and the loans were handled as agreed.

We believe that the Quesada's and Back Cove Company have the financial and technical capacity to undertake and complete the proposed project.

Although TD Bank, N.A. has not committed to finance this project, the Bank has reviewed the planned development and would be pleased to consider the Quesada's request to finance the project once it is approved.

If you need any further information, please contact me at 761-8648.

Sincerely,

Kimberly J. Twitchell
Senior Vice President

Fore River Company

5 Milk Street

P.O. Box 7525

Portland, ME 04112

(207) 772-6404

July 1, 2008

Mr. Bill Bennett
Pine Tree Waste
87 Pleasant Hill Road
Scarborough, ME 04074

Re: Proposed Pharmacy Development
Portland, Maine
Letter of Ability to Serve

Dear Bill:

Back Cove Company is looking to develop the former Whole Grocer space at 127 Marginal Way into a 12,793 +/- square-foot Walgreens pharmacy. The site is located on the southeast corner of the intersection of Marginal Way and Chestnut Street Extension in Portland. The existing site comprises approximately 1.60 acres and is currently occupied by several operating businesses including CB Sullivan, Maine Rock Gym, and West Marine. Back Cove Company intends to renovate a portion of the existing building to accommodate a Walgreens store. Refer to Figure 1 – Location Map attached to this letter for the project location.

As required by the reviewing authorities, we are writing to request a letter indicating the ability of Pine Tree Waste to serve this project. Using typical solid waste generation rates, it is anticipated that the construction of the new facility could result in the following quantities:

- Demolition Debris – Approximately 130 c.y.
- Construction Waste – Approximately 85 c.y.
- Commercial Solid Waste, Non-Recyclable – 7 c.y. per month
- Commercial Solid Waste, Recyclable – 9 c.y. per month

Based on information provided by your company, construction waste can be handled by Pine Tree Waste and would be transported to the Pine Tree Landfill facility in Hampden. This facility is licensed by the MDEP to accept construction debris. It is our understanding that Pine Tree Waste would be able to provide the necessary containers for use on-site to collect the construction debris and can also transport the waste to Hampden.

According to our calculations, the facility would be producing an average of 7 c.y. per month of commercial non-recyclable solid waste and 9 c.y. of commercial recyclable solid waste, as shown above. We are writing to request the ability of Pine Tree Waste to serve this project for the collection and transport of the solid waste to an approved location.

If you have any questions, please contact this office. An acknowledgement statement is presented below for your signature.

Sincerely,



Peter W. Quesada
vp of Back Cove Company

I have reviewed the contents of this letter and find that the representations made regarding Pine Tree Waste are accurate, and that Pine Tree Waste can provide services relative to transport and disposal of generated wastes from the proposed development to the facilities outlined above.


Bill Bennett, Pine Tree Waste

7/17/08
Date

CITY OF PORTLAND
REAL ESTATE PROPERTY TAX STATEMENT

FY 2009

July 1, 2008 - June 30, 2009

DUE SEPT 12, 2008 \$16,648.99	DUE MARCH 13, 2009 \$16,648.99	AMOUNT PAID \$0.00	INTEREST DUE \$0.00	PAY THIS AMOUNT \$16,648.99
---	--	------------------------------	-------------------------------	---------------------------------------

FIRST BILLING
025 - A-014-001

TAX ID # 49408

CBL: 025 - A-014-001

Assessed Property Description
25-A-14-15-19 34-D-6

RE 49408
 BACK COVE COMPANY
 5 MILK ST
 PO BOX 7525
 PORTLAND ME 04112

PAYMENT METHODS:
MAIL-IN self-addressed envelope enclose top 1/3 "tear off" of this bill and make check(s) payable to City of Portland.
IN PERSON: Cash, Personal Checks, Bank Checks, Money Orders, and Debit Cards. No post-dated checks. No credit cards accepted.
 Partial payments accepted anytime. Payments will be applied to oldest balance unless otherwise directed.

Change of Address

Name: _____

RETURN THIS PORTION

KEEP THIS PORTION

FIRST BILLING
025 - A-014-001

REAL ESTATE PROPERTY TAX STATEMENT
 City of Portland

2009

Fiscal Year

July 1, 2008 - June 30, 2009

Owner of Record as of April 1, 2008

BACK COVE COMPANY
 5 MILK ST
 PO BOX 7525
 PORTLAND ME 04112

Tax ID #
49408

CBL
025 - A-014-001

AJE - 7

Acres:

1.236

Assessed Property Description
25-A-14-15-19 34-D-6

MARGINAL WAY 127
 53835 SF

Date of Sale _____

Change of Ownership

Former Owner Name: _____

New Owner Name: _____

New Owner Address: _____

CURRENT BILLING DISTRIBUTION

School	\$17,115.16
Debt Repayments	\$4,362.04
Police	\$2,364.16
Fire	\$2,164.37
Fire	\$2,763.73
Public Services	\$765.85
General Government	\$1,098.83
County Tax	\$799.15
Library	\$832.45
Recreation & Facilities Mgt.	\$233.09
ecomaine (RWS)	\$566.07
Metro Transit District	\$266.38
Health & Human Ser.	(\$33.30)
Enterprise Funds	

CURRENT BILLING INFORMATION

Land Value	\$529,600.00
Building Value	\$1,347,400.00
Total Value	\$1,877,000.00
Exemptions	\$0.00
Homestead	\$0.00
Taxable Value	\$1,877,000.00
Tax Rate	\$17.74
TOTAL TAX	\$33,297.98
AMOUNT PAID	\$0.00

Remittance Instructions

To avoid standing in line, it is recommended that taxes be paid by mail. Please make check or money order payable to: **CITY OF PORTLAND**. Credit cards are not accepted for property tax payments.

Use enclosed envelope to mail in your payment.

Remit To: CITY OF PORTLAND MAINE
 P O BOX 544
 PORTLAND ME 04112-0544

Use top right margin for change of address. Use lower right margin if you no longer own this property.

CITY OF PORTLAND
REAL ESTATE PROPERTY TAX STATEMENT

FY 2009

July 1, 2008 - June 30, 2009

DUE SEPT 12, 2008 \$2,095.10	DUE MARCH 13, 2009 \$2,095.10	AMOUNT PAID \$0.00	INTEREST DUE \$0.00	PAY THIS AMOUNT \$2,095.10
--	---	------------------------------	-------------------------------	--------------------------------------

FIRST BILLING
025 - A-005-001

TAX ID # 49092 CBL: 025 - A-005-001 Assessed Property Description 25-A-5

RE 49092
 FIVE LIVER COMPANY
 PO BOX 7525
 PORTLAND ME 04101

PAYMENT METHODS:
MAIL-IN self-addressed envelope enclose top 1/3 "tear off" of this bill and make check(s) payable to City of Portland.
IN PERSON: Cash, Personal Checks, Bank Checks, Money Orders, and Debit Cards. No post-dated checks. No credit cards accepted.
 Partial payments accepted anytime. Payments will be applied to oldest balance unless otherwise directed.

Change of Address
 Name: _____

RETURN THIS PORTION
 KEEP THIS PORTION

REAL ESTATE PROPERTY TAX STATEMENT
 City of Portland
 2009
 Fiscal Year
 July 1, 2008 - June 30, 2009
 Owner of Record as of April 1, 2008
FIVE LIVER COMPANY
 5 MILK ST
 PORTLAND ME 04101

Tax ID # 49092
 CBL 025 - A-005-001
 Acres: 0.444
 Assessed Property Description 25-A-5
MARGINAL WAY 131-147
 1932I SF

FIRST BILLING
025 - A-005-001

Date of Sale: ____/____/____

CURRENT BILLING DISTRIBUTION		CURRENT BILLING INFORMATION	
School	\$2,153.77	Land Value	\$236,200.00
Debt Repayments	\$548.92	Building Value	\$0.00
Police	\$297.50	Total Value	\$236,200.00
Fire	\$272.36	Exemptions	\$0.00
Public Services	\$347.79	Homestead	\$0.00
General Government	\$96.37	Taxable Value	\$236,200.00
County Tax	\$138.28	Tax Rate	\$17.74
Library	\$100.56	TOTAL TAX	\$4,190.20
Recreation & Facilities Mgt.	\$104.76	AMOUNT PAID	\$0.00
ecomaine (RWS)	\$29.33		
Metro Transit District	\$29.33		
Health & Human Ser	\$71.23		
Enterprise Funds	\$33.52		
	(\$4.19)		

Change of Ownership

Remittance Instructions

To avoid standing in line, it is recommended that taxes be paid by mail. Please make check or money order payable to **CITY OF PORTLAND**. Credit cards are not accepted for property tax payments.

Use enclosed envelope to mail in your payment.

Remit To: **CITY OF PORTLAND MAINE**
 P O BOX 544
 PORTLAND ME 04112-0544

Use top right margin for change of address. Use lower right margin if you no longer own this property.

Former Owner Name: _____
 New Owner Name: _____
 New Owner Address: _____

Five Liver Company 5 Milk Street P.O. Box 7525 Portland, ME 04112 (207) 772-6404

July 30, 2008

To whom it may concern,

Five Liver Company is owner of a parcel of land at the southwesterly corner of Marginal Way and Chestnut Street, containing ±0.44 acres and shown as Lot 25-A-5 on City of Portland tax maps (the "Option Property"). A copy of the January through June 2008 tax bill from the City of Portland relating to the Option Property is attached. Five Liver Company hereby confirms that Back Cove Company has a legal right to acquire the Option Property from Five Liver Company, but only upon Back Cove Company's receipt of all necessary approvals to redevelop the property for a Walgreen's drug store consistent with the plans reviewed by Five Liver Company.

Sincerely,



T. Ricardo Quesada
President, Five Liver Company

enclosure



July 31, 2008

Mr. Peter Quesada
Fore River Company
5 Milk Street
Portland, Maine 04104

Subject: Traffic Assessment
Proposed Pharmacy
Portland, Maine

Dear Peter:

Gorrill-Palmer Consulting Engineers, Inc. has reviewed the potential traffic impacts associated with the proposed Walgreens Pharmacy in Portland. The site is located on the southwesterly corner of the intersection of Marginal Way and Chestnut Street Extension at the site formerly occupied by Whole Grocer. Existing businesses to remain on the site to remain include CB Sullivan, Maine Rock Gym, and West Marine. The purpose of this letter is to assess the trip generation associated with the change in use.

Project Background

It is our understanding that the Fore River Company intends to renovate a portion of the existing building as well as add 3,000 sf for the retail space resulting in a total of 12,793 sf for a Walgreens Pharmacy. The site is proposed to maintain access through five existing curb cuts; three entrance/exits off of Marginal Way, and two entrance/exits off of Chestnut Street Extension.

Trip Generation

The following table summarizes the trip generation differences between the prior grocery store use and the proposed Pharmacy:

Trip Generation Summary for Proposed Development – Trip Ends*

Land Use Code	Weekday	AM Peak Hour	PM Peak Hour
LUC 850: Supermarket (9,793) (Trips Credited)	-1001	-32	-102
LUC 880: Pharmacy/Drugstore without Drive- Through Window (12,793 s.f.)	1152	41	108
Net Difference	151	9	6

*A trip end is defined as either a trip to or from the site. Thus, a round trip would be the equivalent of two trip ends.

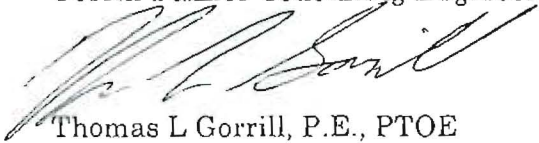
Mr. Peter Quesada
August 1, 2008
Page 2 of 2

Based on this information, the proposed change in use will have minimal impact on the trip generation and would not require an MaineDOT traffic movement permit. A copy of the trip generation calculations are attached to this letter.

If you have any questions please contact our office.

Sincerely,

Gorrill-Palmer Consulting Engineers, Inc.



Thomas L Gorrill, P.E., PTOE
President

Enclosure

TLG/tlg/JN 1871/ Quesada7-31-08

JN: 1871
 Project Description: Former Whole Grocer
 Project Location: Marginal Way-Portland
 Date: 7/31/2008

Gorrill-Palmer Consulting Engineers, Inc.
 P.O. Box 1237
 15 Shaker Road
 Gray, Maine 04039

**Supermarket
 Land Use Code (LUC) 850**

Gross Floor Area (ft²): 9,793

Trip Ends Based on Equation

Time Period	ITE Trip Rate	Trip Ends	Directional Split*		Directional Distribution	
			IN	OUT	IN	OUT
Daily	$T = 66.95 (X) + 1391.56$	2047	50%	50%	1024	1023
AM Peak Adjacent Street	$\ln(T) = 1.70 \ln(X) - 1.42$	12	60%	40%	7	5
PM Peak Adjacent Street	$\ln(T) = 0.79 \ln(X) + 3.20$	149	50%	50%	75	74
AM Peak of Generator	$T = 12.87 (X) - 109.76$	16	50%	50%	8	8
PM Peak of Generator	$\ln(T) = 0.79 \ln(X) + 3.21$	150	55%	45%	83	67
Saturday	$T = 177.59 (X)$	1739	50%	50%	870	869
Saturday Peak Hour of Gen.	$\ln(T) = 0.74 \ln(X) + 3.47$	174	50%	50%	87	87

*Percentages rounded to nearest 5%

Trip Ends Based on Average Rate

Time Period	ITE Trip Rate	Trip Ends	Directional Split*		Directional Distribution	
			IN	OUT	IN	OUT
Daily	$T = 102.24 (X)$	1001	50%	50%	501	500
AM Peak Adjacent Street	$T = 3.25 (X)$	32	60%	40%	19	13
PM Peak Adjacent Street	$T = 10.45 (X)$	102	50%	50%	51	51
AM Peak of Generator	$T = 10.05 (X)$	98	50%	50%	49	49
PM Peak of Generator	$T = 12.02 (X)$	118	55%	45%	65	53
Saturday	$T = 177.59 (X)$	1739	50%	50%	870	869
Saturday Peak Hour of Gen.	$T = 10.76 (X)$	105	50%	50%	53	52

*Percentages rounded to nearest 5%

JN.
 Project Description:
 Project Location:
 Date:

1871
 Proposed Pharmacy
 Portland, Maine
 7/31/2008

Gorrill-Palmer Consulting Engineers, Inc.
 P O. Box 1237
 15 Shaker Road
 Gray, Maine 04039

**Pharmacy/Drugstore without Drive-Through Window
 Land Use Code (LUC) 880**

Gross Floor Area (ft²): 12,793

Average Rate

Time Period	ITE Trip Rate (Average Rate)	Trip Ends	Directional Split *		Directional Distribution	
			IN	OUT	IN	OUT
Weekday	T = 90.06 (X)	1152	50%	50%	576	576
AM Peak Hour of Adj. Street Traffic	T = 3.20 (X)	41	60%	40%	25	16
PM Peak Hour of Adj. Street Traffic	T = 8.42 (X)	108	50%	50%	54	54
AM Peak Hour of Generator	T = 7.64 (X)	98	50%	50%	49	49
PM Peak Hour of Generator	T = 11.07 (X)	142	50%	50%	71	71
Saturday Peak Hour of Generator	T = 10.68 (X)	137	50%	50%	69	68

* Percentages rounded to nearest 5%

- AS D^{an}forth exemption
109 Middle ST - 53-B-20 - CONTRACT zone
Applicant: BACKCove Company

former food Date: 9/2/08
whole Grocer
Address: 127 Marginal Way
C-B-L: 25-A-14

CHECK-LIST AGAINST ZONING ORDINANCE

Date -

permit # 09-1398

Zone Location - B-7

Interior or corner lot - of Chestnut St.

retail → retail (Walgreens)
no Drive-Thru

Proposed Use/Work - to add AN ADDITION (along Chestnut St)

Savage Disposal - City 27,726^{new} 25,078^{old bldg size}

Lot Street Frontage - no min req

2648'

of Front Yard - none req except as stated for MAX. 10' setback The main addition
14-298 (F) exempts additions closer to street

Rear Yard - none req is closer to Chestnut Street

Side Yard - None req -

Projections -

Width of Lot - none req 25,078 (old bldg size) = 2507.8' is 10%

Height - → min height - Need dimensions of the new mechanical because closer to street
14-298(h) 5 exemption in bldg height

Lot Area - 72,019'

no change

Lot Coverage/ Impervious Surface - 100% Allowed currently 100% impervious → mech. roofing

Area per Family - N/A

Off-street Parking - Division 20 Does not apply } 14-526a(2) b standards in site plan apply

Loading Bays - Division 21 does not apply } site plan apply

Site Plan - # 2008-0127

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 13 - Zone C

Need full size → received 9/10/08 when site plan was distributed

MEMORANDUM

To: FILE

From: Marge Schmuckal

Dept: Zoning

Subject: Application ID: 2008-0127

Date: 9/11/2008

This property is located within the B-7 Mixed Development Zone. The submitted information wrongly classifies this lot as B-5. This proposal meets the underlying B-7 Zone.

Walgreens without a drive-thru is the newly proposed use with a small addition proposed projecting toward Chestnut Street. Retail is allowed in the B-7 Zone. All the setbacks and lot coverage is being met. It is noted that the maximum 10' setback requirement is being met because 14-298(f) exempts additions to existing buildings to be exempted if any new additions are projecting closer to the Street, which it does. It is also noted that the given building height of 28' is meeting the minimum height requirement under 14-298(h)1 for the relocated mechanical room and 14-298(h)5 for the addition because it projects closer to Chestnut Street.

Division 20 and Division 21, i.e. Parking and Loading requirements do not apply in this zone. Instead the planning requirements of 14-526a(2)b site plan standards apply.

Separate permits will be required for any new signage.

Marge Schmuckal
Zoning Administrator



PORTLAND MAINE

Strengthening a Remarkable City, Rebuilding a Community, for Life www.portmaine.org

Planning & Urban Development Department
Penny St. Louis Littell, Director

Planning Division
Alexander Jaegerman, Director

January 30, 2009

Mr. Peter Quesada
Back Cove Company
P.O. Box 7525
Portland, ME 04112

RE: Proposed Walgreen's Pharmacy: 127 Marginal Way
CBI - 25-A-014
Application ID: 2008-0127

Dear Mr. Quesada, *Peter*

On January 30, 2009 the Portland Planning Authority approved a minor site plan for a proposed Walgreen's Pharmacy at 127 Marginal Way as submitted by Back Cove Company and shown on the approved plan prepared by Back Cove Company and dated January 26, 2008 with the following conditions:

1. That the Marginal Way driveway (approx. 125 feet from the Marginal Way/ Chestnut Street intersection) as shown on a site plan dated 12-26-08 may be used until the City has advanced its plan for on-street parking along the Marginal Way frontage of the subject property. The City shall give the property owner a minimum of 60 days notice of the City's intent to install parallel parking along the street and to close the curb cut opening. Property owner shall contribute \$5,000 towards an account to be held by the City to cover the cost of closing the curb cut, which shall be accomplished by the City or its contractors. In the event the curb cut is not closed by June 1, 2015, the money shall be refunded to the property owner. At the time of closing the Marginal Way curb cut, the property owner shall reconfigure the parking spaces and travel lanes on their site to assure safe circulation and access from the shared (87 Marginal Way, LLC/ Back Cove Company) driveway, subject to the review and approval of the City Transportation Engineer and the Planning Authority.
2. That a revised exterior lighting plan including specifications and catalog cuts shall be submitted for Planning Authority review and approval.
3. That the landscaping plan shall be revised to replace the Euonymus Alatus with other plant material such as Dwarf Korean Lilacs, Miss Kim Lilacs or Spirea as approved by the City

Arborist. Also the Barberry should be a Bayberry.

4. The brick sidewalk along Marginal Way shall be a minimum of 8 feet wide.
5. Site Plan shall be revised reflecting a stormwater management plan including water quality treatment and addressing comments from Dan Goyette's memo dated 9-18-08.
6. That all exterior signage shall be submitted for Planning Authority review and approval.
7. That the dumpster enclosure shall be a solid wood fence unless an alternative design is approved in writing by the Planning Authority.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

1. The above approvals do not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.
2. Final sets of plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.
3. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and seven (7) final sets of plans must be submitted to and approved by the Planning Division and Public Services Dept. prior to the release of the subdivision plat for recording at the Registry of Deeds or prior to the release of a building permit, street opening permit or certificate of occupancy for site plans. If you need to make any modifications to the approved plans, you must submit a revised subdivision or site plan application for staff review and approval.
4. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
5. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
6. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
7. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Rick Knowland, Senior Planner at 874-8725.

Sincerely,



Alexander Jaegerman
Planning Division Director
Attachments.

1. Performance Guarantee Packet

Electronic Distribution:

Penny St. Louis-Tittell, Director of Planning and Urban Development
Alexander Jaegerman, Planning Division Director
Barbara Barbydt, Development Review Services Manager
Richard Knowland, Senior Planner
Philip DiPiero, Development Review Coordinator
Marge Schmuackal, Zoning Administrator
Tammy Munson, Inspections Division Director
Lisa Danforth, Administrative Assistant
Michael Hohnicky, Public Services Director
Kathy Farley, Public Services
Bill Clark, Public Services
David Margolis-Pineo, Deputy City Engineer
Jane Ward, Public Services
Keith Gautreau, Fire
Jeff Farling, City Arborist
Tom Errico, Wilbur Smith Consulting Engineers
Dan Coyette, Woodard & Curran
Assessor's Office
Approval Letter File
Hard Copy - Project File

MARCE - LATEST UPDATE
ON WALGREENS MARGINAL
WAY
RK

Fore River Company 5 Milk Street P.O. Box 7525 Portland, Maine 04112 (207) 772-6404

TRANSMITTAL NOTICE - By hand		DATE: 12/30/08
TO: Rick Knowland, Senior Planner Planning Department City of Portland		SUBJECT: 127 Marginal Way - Site Plan review.
NO OF COPIES:	DESCRIPTION:	
7	Site plan 127 Marginal Way revised 12/26/08 (24x36)	
7	Site plan 127 Marginal Way revised 12/26/08 (11x17)	
7	Marginal Way Sidewalk and Driveway Sections 12/26/08 (81/2X11)	
7	Gorrill Palmer letter dated 12/30/08 and AutoTurn plan	
REMARKS:		
Dear Rick,		
Attached are in response to the email you sent me on Dec. 18th. regarding the site plan application for Walgreen's at 127 Marginal Way. For your convenience I copied your email and added my responses in BOLD, ALL CAPS, RED font below. Please review and call me with questions or comments.		
Sincerely, BK		

Bruce and Peter, The recently submitted revised site plan for Walgreen's was reviewed at Wednesday's staff review meeting. Below is a summary of comments raised at the meeting.		
1. Traffic		
Tom Errico, Traffic Review Consultant has noted that one of the Marginal Way driveways has been shifted to the east to increase the separation distance. He is deliberating whether he feels comfortable approving a waiver administratively on the driveway separation standard or if this is more appropriately reviewed by the Planning Board. When he makes that decision I will contact you accordingly. N/A - SEE NOTE BELOW.		
The driveway nearest Marginal Way on Chestnut Street has been widened to 36 feet wide. A justification for such a wide driveway beyond the normal 24 foot width standard should be provided including the length of the truck, a turning movement radius drawing showing the truck and the proposed driveway opening. SEE ATTACHED.		
The traffic generation data previously requested has not been submitted. SEE ATTACHED.		
Also please refer to Mr. Errico's previous memo. THE DRIVEWAYS ON MARGINAL WAY HAVE BEEN CLOSED OR RELOCATED TO MEET MR. ERRICO'S 125 FT MINIMUM SEPARATION.		
2. Landscaping		
Jeff Tarling, City Arborist, found the landscaping plan to be improved but had a few minor comments on species selection which I will need to get back to you on. I WILL REVISE THE		

DEC 30 2008

RECEIVED

LANDSCAPING PLAN AS SOON AS I RECEIVE MR. TARLING'S COMMENTS FROM YOU.

3. Marginal Way Sidewalks

As previously indicated the sidewalk along Marginal Way must be brick. **SITE PLAN NOTES REVISED AND COPIES OF BRICK SIDEWALK AND DRIVEWAY SECTION ATTACHED.**

4. Bayside Street Light Fixtures

I did have a meeting with CMP and it is possible to install Bayside street light fixtures along the street frontage of the property. Street lights will be required as part of this approval.

I can discuss the details of this with you. **A LIGHT FIXTURE AND POLE TO BE STAGGERED MIDWAY BETWEEN THE EXISTING POLES ON THE NORTH SIDE OF MARGINAL WAY HAS BEEN ADDED TO SITE PLAN. EXACT LOCATION TBD TO AVOID EXISTING UTILITIES AND NEW DRIVEWAY.**

5. Stormwater Treatment

As previously indicated in Dan Goyette's memo of 9-18-08 stormwater quality treatment will be required. See Technical and Design Standards and Guidelines, Section V (stormwater management standards) 3 (H) which states "any parking facility for the equivalent of 25 cars or greater shall be required to provide for on-site treatment to remove contaminants..."

Dan Goyette's memo includes other technical engineering comments that presumably will be addressed in the next submission

BELOW IS A COPY OF MR. GOYETTE'S MEMO IN *Blue italics*. THE STATUS OF ITEMS ON HIS LIST IS NOTED IN BOLD RED. PLEASE LET ME KNOW IF YOU HAVE A DIFFERENT UNDERSTANDING OF THE STATUS OF ANY OF THESE ITEMS.

Comments

- *On Sheet 1, the catchbasin detail indicates a 2 foot sump. The City Technical Standards require a 3 foot sump.* **PREVIOUSLY ADDRESSED - SUMP CHANGE TO 3 FT.**
- *The pipe trench detail located on Sheet 1 should indicate 12" of crushed stone over the pipe.* **PREVIOUSLY ADDRESSED - PLEASE CONFIRM THAT THE CITY REQUIRES CRUSHED STONE OR SAND.**
- *No sidewalk construction details have been provided and all sidewalk improvements will be required to be made in brick. Any deficient sidewalks will need to be replaced.* **BRICK SIDEWALKS ON MARGINAL WAY ADDED TO SITE PLAN. A COPY THE STANDARD DETAILS FROM THE CITY'S TECH. STANDARDS IS ATTACHED IN THIS SUBMITTAL.**
- *Street light improvements may be required.* **STREET LIGHT NOTE ADDED TO SITE PLAN.**
- *A Stormwater Management Plan has not been provided. Based on the available parking spaces, stormwater treatment will be required. I WILL ASK MITCHELL TO REVISE TO STORMWATER TREATMENT AND MANAGEMENT PLAN WHEN AND IF WE HAVE AN APPROVED SITE PLAN.*

- *No sewer service has been indicated on the plans as being proposed or existing. This should be identified. **PREVIOUSLY ADDRESSED AND SHOWN ON PLAN.***
- *No work is currently being proposed within Chestnut Street. The applicant should be aware that Chestnut Street is a moratorium street. **OKAY.***
- *Is there a photolab or food preparation area being proposed within the new Walgreen's? If so, additional information with regards to the waste produced by these operations should be provided. **PREVIOUSLY ADDRESSED WITH LETTER SUBMITTED TO CITY FROM WALGREEN'S.***

6. Bicycle Rack

A bicycle rack has been shown but its not in proximity to the drug store entrance. See sec. 14-526(2)(c)(2). The bicycle rack standard requires 2 bike racks for every 10 parking spaces for the first 100 parking spaces.

TEN BIKE SPACES SHOWN ON PLAN. SIX BIKE SPACES SHOWN IN A CENTRALIZED LOCATION AND FOUR BIKE SPACES SHOWN ADJACENT TO ROCK GYM ENTRY.

7. B-7 Window Standard

I have not had the opportunity to discuss your latest submission with Alex yet but it is much improved in terms of meeting the intent of the design standards.

PLEASE FORWARD MR. JAEGERMAN'S COMMENTS.

These are the comments I have to date. I will inform you of any further comments as they become available.



December 30, 2008

Mr. Peter Quesada
Fore River Company
5 Milk Street
Portland, Maine 04104

Subject: Response to City Staff Review comments
Proposed Pharmacy
Portland, Maine

Dear Peter:

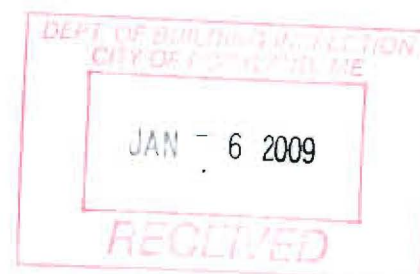
Per your request, Gorrill-Palmer Consulting Engineers, Inc. has reviewed two of Tom Errico's comments on the above referenced project which you asked us to address. These two comments and our responses are provided below:

Comment: *"The applicant shall provide documentation that supports the trip generation estimate for the prior tenant Whole Grocer having similar characteristics as a large supermarket. Following a review of the requested information, I will make a determination on whether a contribution to the Marginal Way Master Plan is required"*

Response: Prior to the Whole Grocer closing, I personally shopped at the Whole Grocer about every month and became quite familiar with its operation. In my opinion, its use and trip generation was consistent with a typical supermarket. Our office utilized ITE Land Use Code 850, Supermarket which has an average rate of 10.5 trip ends which we applied to the 9,793 sf market. The data points in ITE include two stores under 20,000 sf which would have a trip rate higher than the average rate (ie more trip credits) than used in our letter of July 31st calculating the trip credits.

Comment: *"The driveway nearest Marginal Way on Chestnut Street has been widened to 36 feet wide. A justification for such a wide driveway beyond the normal 24 foot width standard should be provided including the length of the truck, a turning movement radius drawing showing the truck and the proposed driveway opening"*

Response: Gorrill-Palmer Consulting Engineers Inc. has attached a printout of the AutoTurn tracking for a delivery truck with a 50 foot wheelbase. As can be seen from the tracking, the 36 foot driveway width is need for a delivery vehicle to turn onto Chestnut Street without impacting parked vehicles on the opposite side of Chestnut Street.



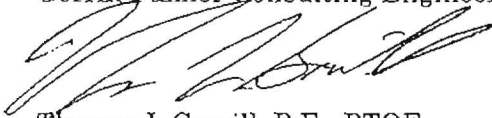
Gorrill-Palmer Consulting Engineers, Inc.

Mr. Peter Quesada
December 30, 2008
Page 2 of 2

If you have any questions please contact our office.

Sincerely,

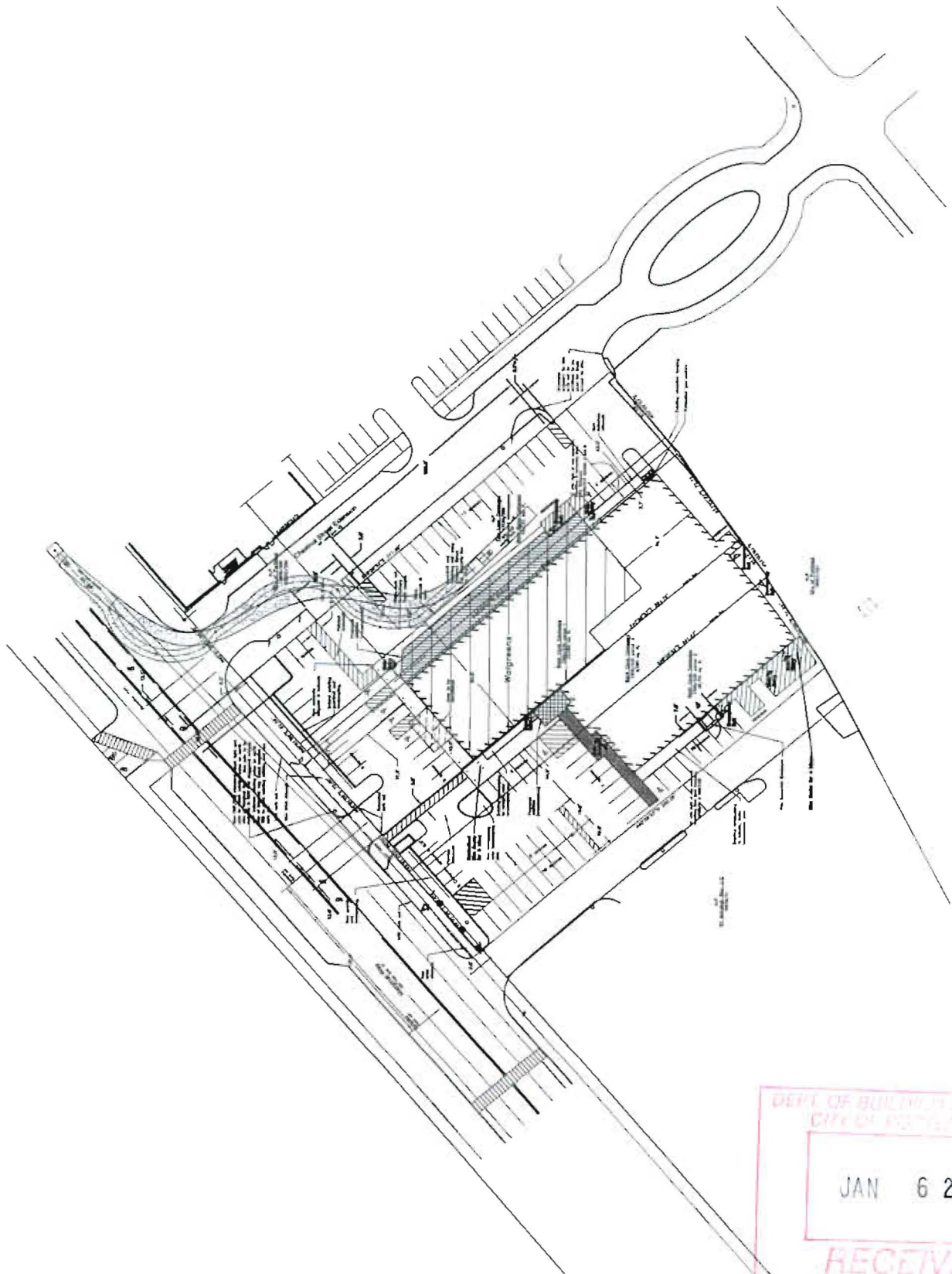
Gorrill-Palmer Consulting Engineers, Inc.

A handwritten signature in black ink, appearing to read 'T. L. Gorrill', is written over the company name.

Thomas L Gorrill, P.E., PTOE
President

Enclosure

TLG/tlg/JN 1871/ Quesada12-30-08



DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
JAN 6 2009
RECEIVED

BORING LOG B-1

Project: 135 Marginal Way
 Location: Portland, Maine
 Client: Fore River Company
 Project No. 816-04

Approximate Surface Elevation: 10'
 Ground Water Depth: 6'
 Date: 7/26/01

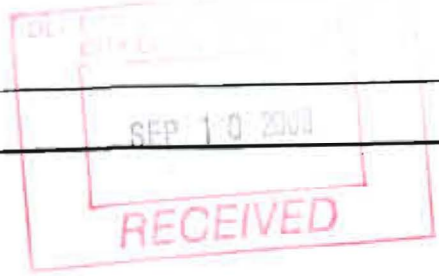
DEPTH, FT.	SYMBOL	SAMPLES	DESCRIPTION OF MATERIAL	SAMPLE RECOVERY, IN.	BLOWS PER 6"	SPT-N BLOWS PER FT.	MOISTURE CONTENT	Lab Tests
35								
40								
45								
50			Depth Blows per ft 48.0 to 49.0 38 49.0 to 50.0 34 50.0 to 50.5 >50/6" Dense Glacial Soil (note: interpreted from rod probe blow count resistance). Bottom of Exploration at 50.5': refusal in dense glacial soil or on bedrock.					
55								
60								
65								

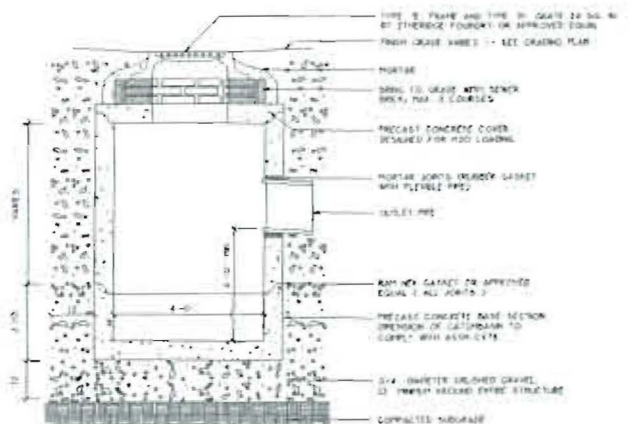
BORING LOG B-2

Project: 135 Marginal Way
 Location: Portland, Maine
 Client: Fore River Company
 Project No. 816-04

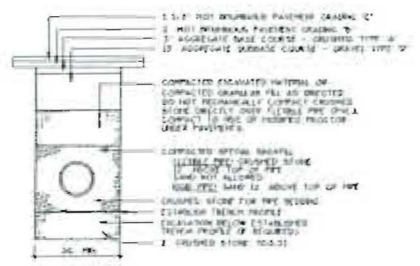
Approximate Surface Elevation: 10'
 Ground Water Depth: 5'
 Date: 7/26/01

DEPTH, FT.	SYMBOL	SAMPLES	DESCRIPTION OF MATERIAL	SAMPLE RECOVERY, IN.	BLOWS PER 6"	SPT-N BLOWS PER FT.	MOISTURE CONTENT	Lab Tests
0			ASPHALTIC CONCRETE					
0	S-1		FILL; silty sand with gravel; sand, ash, black, tan, gray, wet.		6	17		
			Becomes loose.		12			
					5			
	S-2				2	2		
					1			
					1			
10	S-3		SILTY CLAYEY SAND (SM-ML)	24	1	2		
					1			
					1			
					2			
15	S-4		SILTY CLAY (CL-ML); stiff to very soft, moist to wet.	24	6	14		
					7			
					7			
	U-5			24	7			
20								
25	U-6			24				
	FV		Undisturbed: Su = 0.24 ksf, Residual: Su = 0.10 ksf					
	FV		Undisturbed: Su = 0.25, Residual: Su = 0.09					
			Bottom of Exploration at 28': not refusal.					
30								

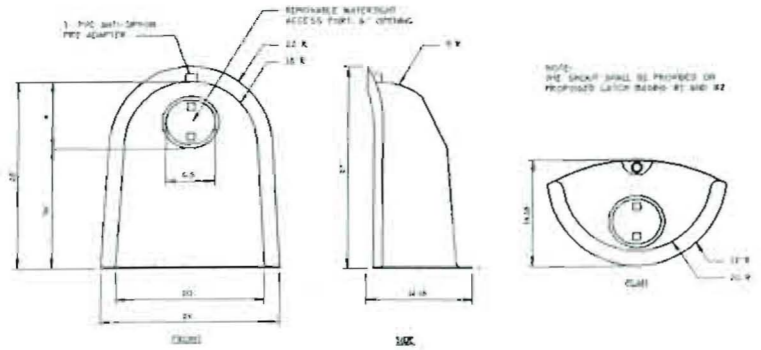




1 PRECAST CONCRETE CATCHBASIN
NOT TO SCALE



2 PIPE TRENCH DETAIL
NOT TO SCALE

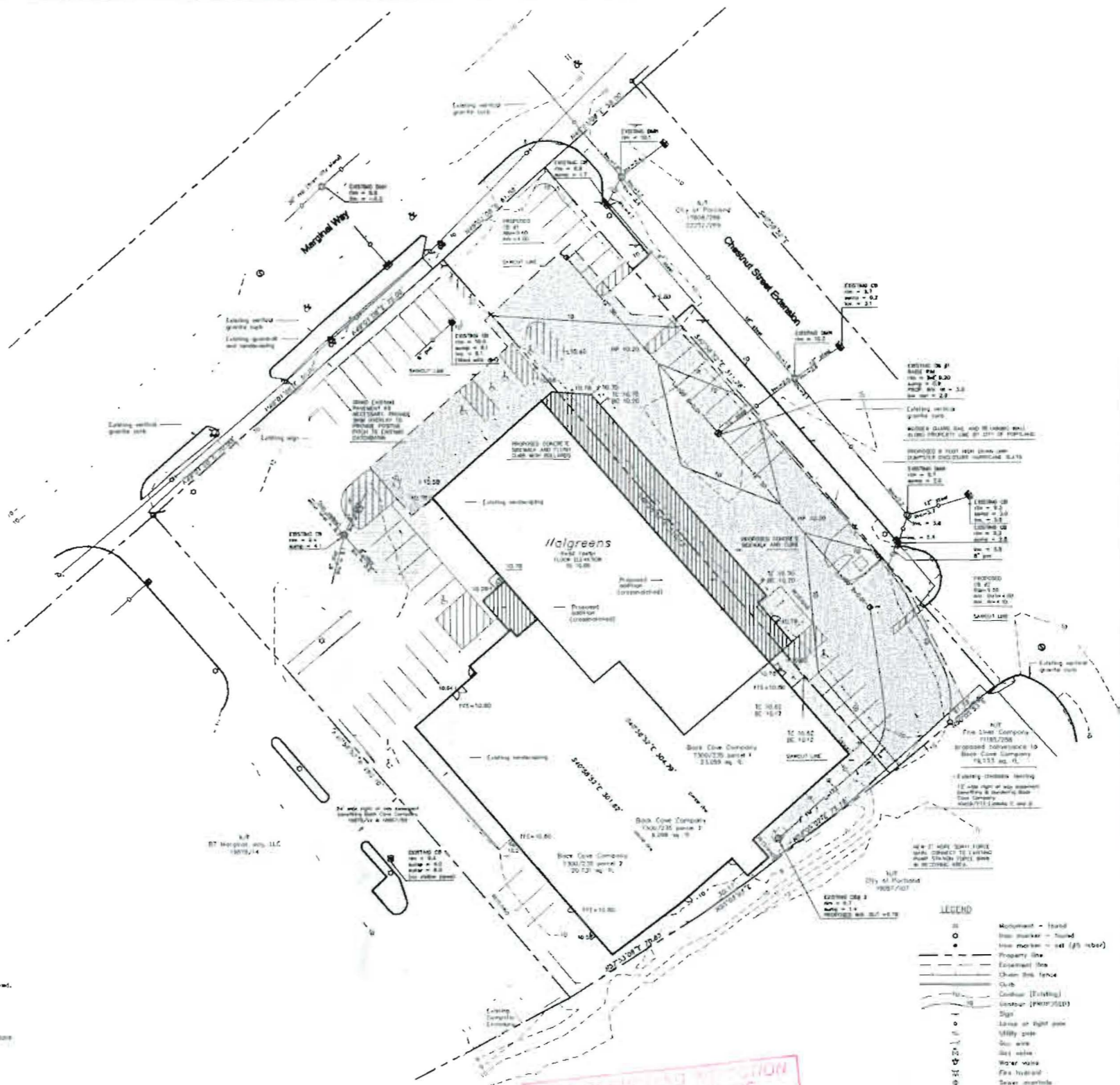


3 THE SNOOT
NOT TO SCALE

CONSTRUCTION NOTES
 (1) Contractor shall install existing monument to the limits shown on the plan (shown areas). Existing pavement and contaminated soil shall be removed. Work as required with MDO1 Type B gravel to the pavement grade. Compact gravel to 95% Modified Proctor before paving.

SURVEY NOTES
 (1) Survey was done by Howard Associates, 113 Gray Road, Farmington, Maine 04008. "2010/01/04 Land Title Survey Existing Conditions Survey" made for Base Cove Company.
 (2) Book and Page references are to the Cumberland County Registry of Deeds, unless otherwise specified.
 (3) Easements are referenced to 2003 as well as the deed.
 (4) Project boundaries shown 100'-14" dimensions @ 5.16 City Datum (MPL 100').
 (5) All utility locations shown herein are approximate, based on review of utility records and information provided by others. Dig Street at shown location the underground utility location, size, and depth was. The dig was marked on the ground by an approved source. The appropriate utilities should be contacted prior to any construction.
 (6) The point is located in Book page 1 (area of existing building). See also reference 2.
 (7) Chestnut Street Extension has not yet been formally accepted into City Engineering.

SURVEY REFERENCES
 (1) "The Land Platting Submittal Plan" included in Plan Book 205, Page 40.
 (2) Food Services Site Map (Commonwealth) Book Number: 2005/003 @ 14 of Portland, Maine. [Internal date: July 11, 1998].
 (3) City of Portland, Maine, Inc. Map 25.
 (4) Layout of Marginal Way on 10' of the City Street Records & Volume 1, Page 125.



LEGEND

○	Monument - Hand
●	Iron marker - Hand
○	Iron marker - 1/2\"/>
---	Property line
---	Easement line
---	Chain link fence
---	Club
---	Condition (Existing)
---	Condition (Proposed)
---	Sign
---	Line of sight pole
---	Utility pole
---	Gas wire
---	Water wire
---	Fire hydrant
---	Street marker
---	Curb curb
---	Curb curb (round)
---	Curb curb (square)
---	Curb curb (Proposed)
---	Drain manhole
---	Manhole
---	Overhead utility line
---	Storm drain (Existing)
---	Storm drain (Proposed)
---	Flow main (Proposed)
---	Base of Formwork
---	Dead reference (Book/Page)
---	Existing building
---	First floor elevation
---	Spot grade (Existing)
---	Spot grade (Proposed)

Prepared For:
 Owner/Applicant:
BACK COVE COMPANY
 P.O. Box 7025
 Portland, Maine 04112

Prepared By:
MITCHELL & ASSOCIATES
 Landscape Architects
 The Shapiro School
 75 Center Street
 Portland, Maine 04101
 Tel: (207) 774-4427

127 Marginal Way

Portland, Maine

127 Marginal Way

Date: **AUGUST 21, 2008**

Issued For: **AMENDED SITE PLAN**

Revisions:

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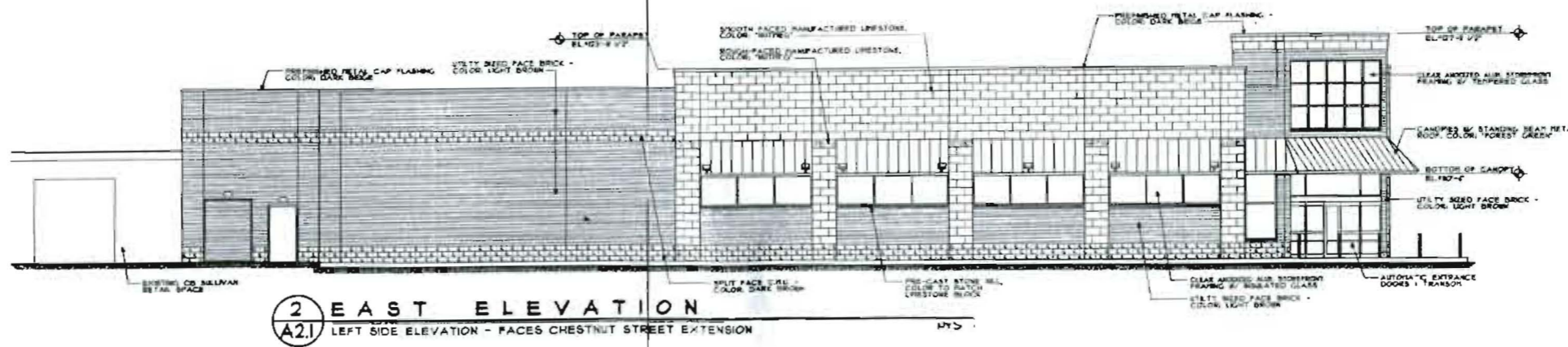
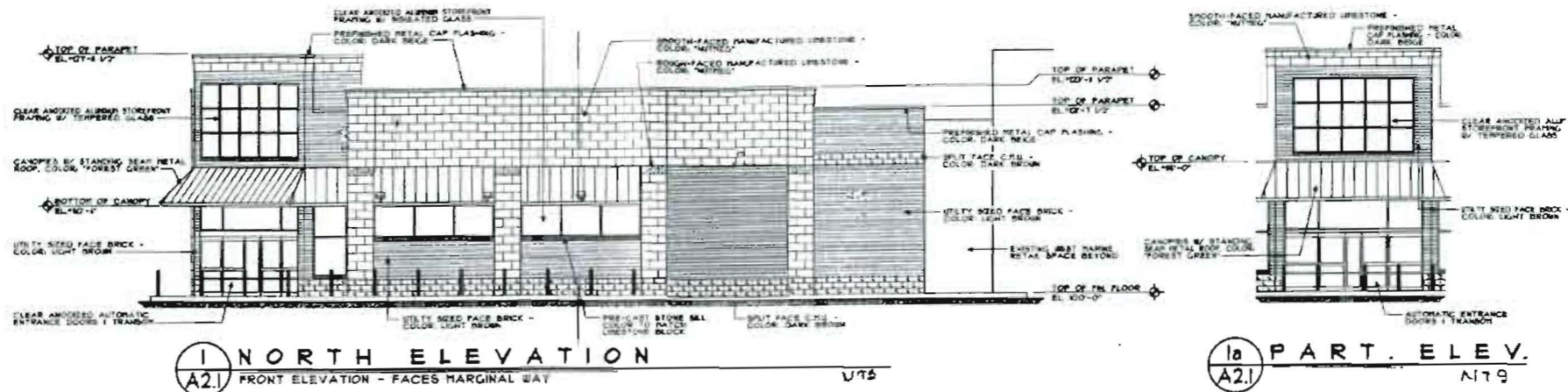
Title: **GRADING AND DRAINAGE PLAN**

Scale: 1" = 20'

North

Sheet No: **1**

STORE		BUILDING	
NEW	<input checked="" type="checkbox"/>	NEW	<input type="checkbox"/>
REMODELING	<input type="checkbox"/>	EXISTING	<input checked="" type="checkbox"/>
RELOCATION	<input type="checkbox"/>	NEW SHELL ONLY	<input type="checkbox"/>
OTHERS	<input type="checkbox"/>		



NO.	DATE	BY	DESCRIPTION	COMET
REVISIONS				

CERTIFICATION AND SEAL

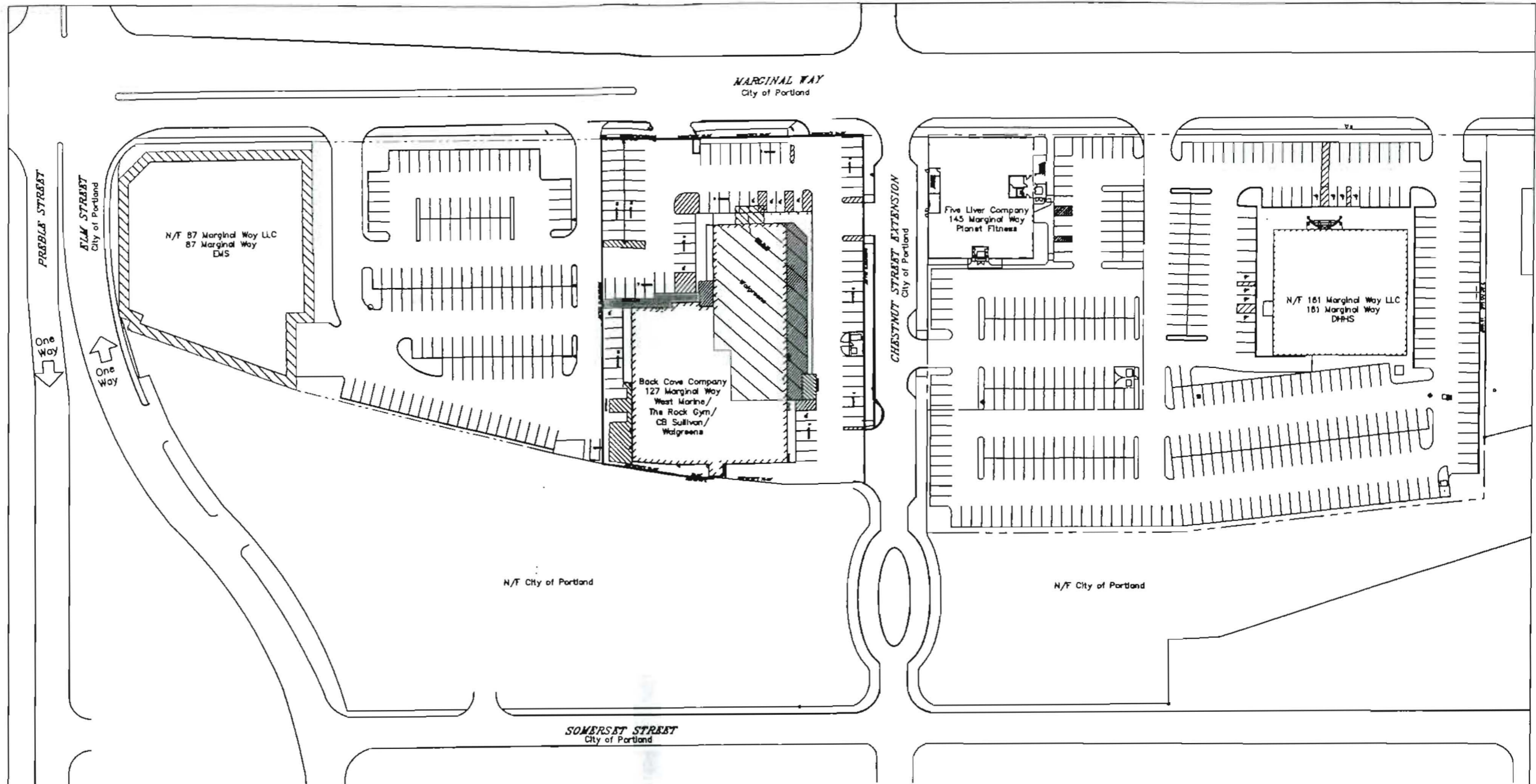
ARCHITECT	ENGINEER
-----------	----------

STORE NUMBER 11898
PROJECT NAME
Walgreens Store
(SWC) Marginal & Chestnut
Portland, ME

DRAWING TITLE
PRELIMINARY EXTERIOR ELEVATIONS

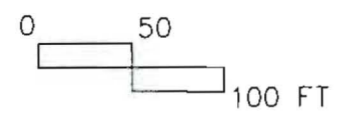
CADD PLOT	SCALE AS NOTED	DRAWING NO.
VOID PLOT	DRAWN BY: B.R.S.	P2.1
SUPERSEDES PLAN DATED:	DATE ISSUED: 11/10/08	
	REVIEWED BY:	OF DWGS





Not an as built plan.
Field Verify

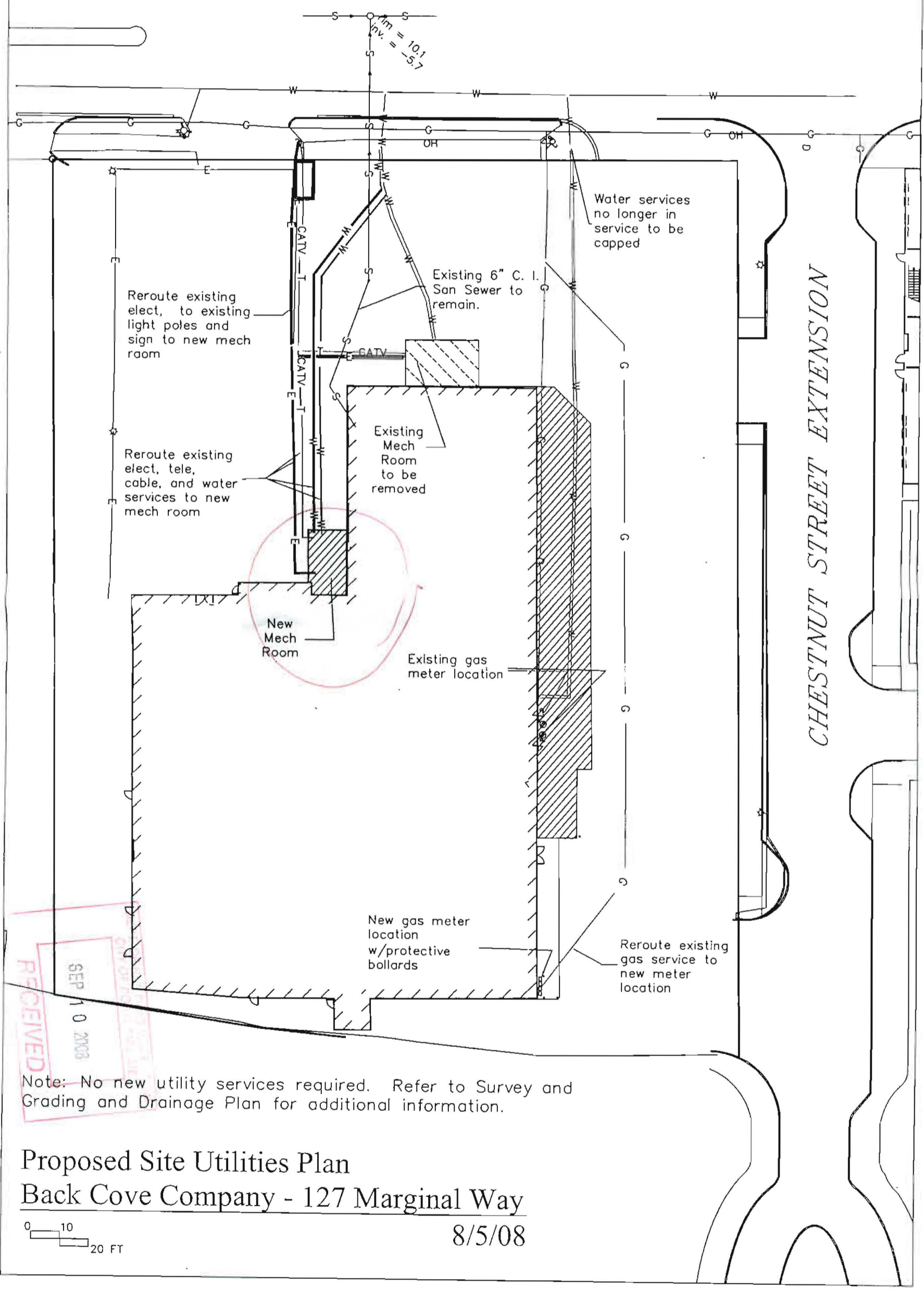
Site / Abutters Plan
 Back Cove Company - 127 Marginal Way
 Five Liver Company - 145 Marginal Way



7/28/08



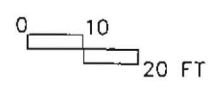
MARGINAL WAY



CHESTNUT STREET EXTENSION

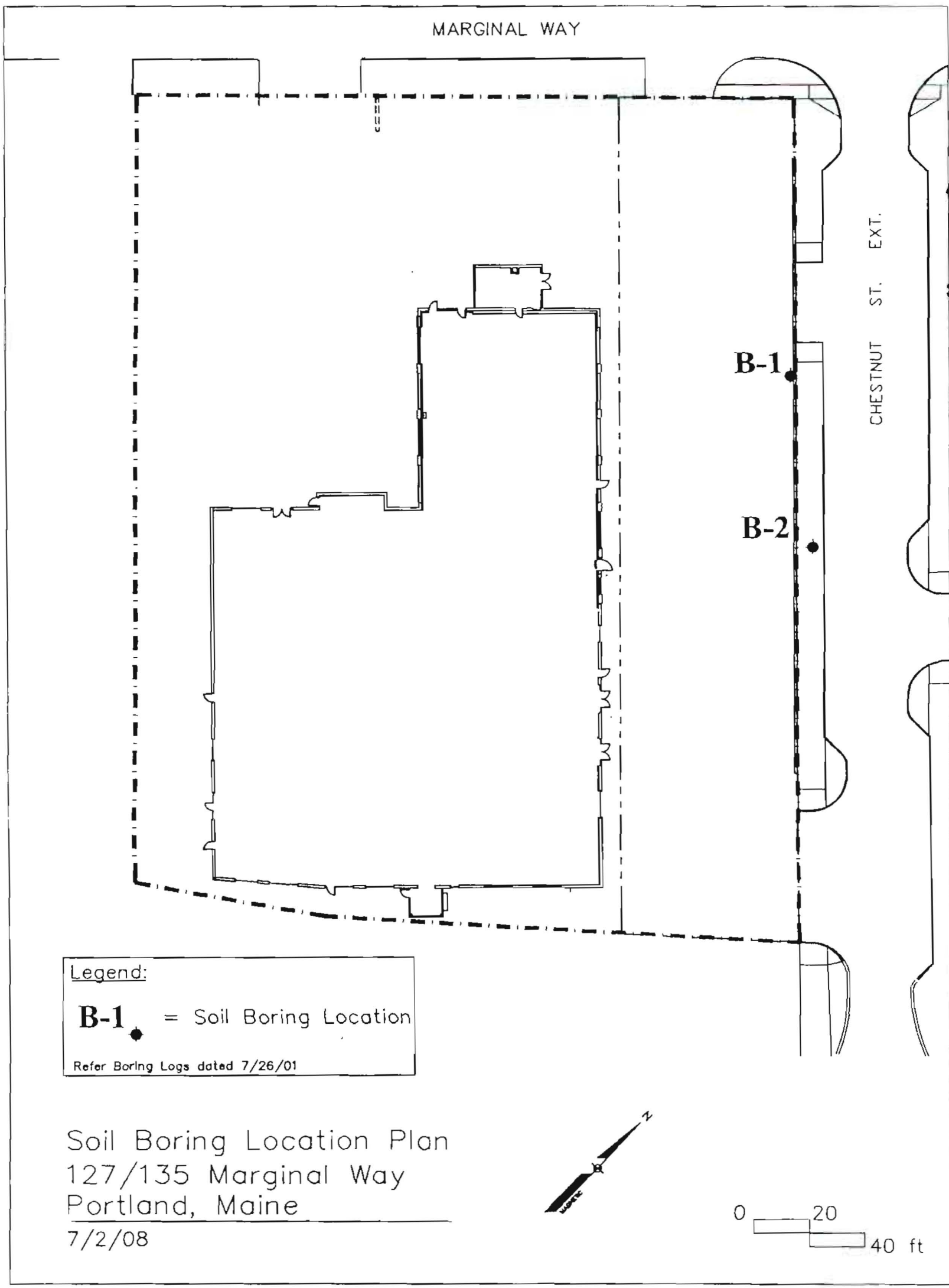
Note: No new utility services required. Refer to Survey and Grading and Drainage Plan for additional information.

Proposed Site Utilities Plan
Back Cove Company - 127 Marginal Way



8/5/08

RECEIVED
SEP 10 2008
CITY OF PORTLAND



REVISIONS
 127/135 MARGINAL WAY
 SEP 10 2008