

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes. If Any,
Attached

BU **INSPECTION**

PERMIT

Permit Number: 090932

This is to certify that WAYFARER VILLAGE INC Harry Dor
has permission to Amendment permit#090656 - change cathedral ceiling to conventional ceiling eliminate the ridge beam
AT 386 CAPISIC ST 225 E010001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is used-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____
Department Name

Christy M 8/28/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0932	Issue Date: 8/28/09	CBL: 225 E010001
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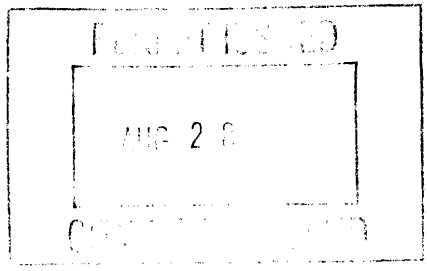
Location of Construction: 386 CAPISIC ST	Owner Name: WAYFARER VILLAGE INC	Owner Address: 143 CRAIGIE ST	Phone:
Business Name:	Contractor Name: Larry Dontello	Contractor Address: 257 Blackstrap Rd Falmouth	Phone: 2072327220
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	Zone:

Past Use: Single Family Home - amendment permit#090656	Proposed Use: Single Family Home - amendment permit#090656 - change cathedral ceiling to conventional ceiling eliminate the ridge beam	Permit Fee: \$30.00	Cost of Work: \$30.00	CEO District: 3
Proposed Project Description: Amendment permit#090656 - change cathedral ceiling to conventional ceiling eliminate the ridge beam		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: SB IRC-2003	
		Signature: _____		Signature: <i>CO</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: Ldobson	Date Applied For: 08/28/2009	Zoning Approval
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: _____	Date: _____	Date: _____



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0932	Date Applied For: 08/28/2009	CBL: 225 E010001
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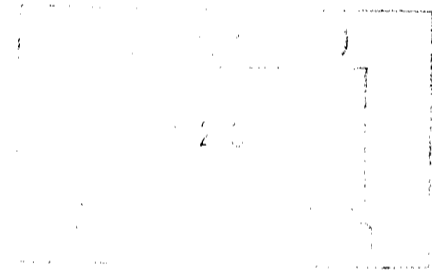
Location of Construction: 386 CAPISIC ST	Owner Name: WAYFARER VILLAGE INC	Owner Address: 143 CRAIGIE ST	Phone:
Business Name:	Contractor Name: Larry Dontello	Contractor Address: 257 Blackstrap Rd Falmouth	Phone: (207) 232-7220
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	

Proposed Use: Single Family Home - amendment permit#090656 - change cathedral ceiling to conventional ceiling eliminate the ridge beam	Proposed Project Description: Amendment permit#090656 - change cathedral ceiling to conventional ceiling eliminate the ridge beam
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Dept: Zoning **Status:** Approved **Reviewer:** Chris Hanson **Approval Date:** 08/28/2009
Note: **Ok to Issue:**

Dept: Building **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 08/28/2009
Note: **Ok to Issue:**

- 1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
- 2) Fastener schedule per the IRC 2003
- 3) The attic scuttle opening must be 22" x 30".





General Building Permit Application

Amendment

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>386 Caprice</u>		
Total Square Footage of Proposed Structure/Area <u>15100</u>	Square Footage of Lot	Number of Stories <u>1</u>
Tax Assessor's Chart, Block & Lot Chart# <u>225</u> Block# <u>E</u> Lot# <u>10</u>	Applicant * must be owner, Lessee or Buyer * Name Address City, State & Zip	Telephone:
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>No Change</u> C of O Fee: \$ _____ Total Fee: \$ <u>30</u>
Current legal use (i.e. single family) <u>Single Fam</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>zone</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>change to cathedral ceiling to conventional 10' ceiling, & eliminate the Ridge Room 090656</u>		
Contractor's name: <u>Larry Donatelli</u> Address: <u>386 Caprice St</u> City, State & Zip: <u>Portland</u> Telephone: _____ Who should we contact when the permit is ready: <u>Jim Gray</u> Telephone: <u>415-7881</u> Mailing address: <u>143 Craig St Portland ME 04107</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 8-27-01

This is not a permit; you may not commence ANY work until the permit is issue



Same-Day Permitting

As part of Portland's city-wide effort to improve customer service and help streamline doing business within the City, the Inspections Division has developed a new permitting system for qualified properties and for specific construction projects.

This permitting program applies only to existing single family homes not located within a historic district or shoreland zone.

Eligible Projects

Please submit a complete application with the required plans

- Interior non structural projects (i.e. Adding closets, bathrooms, changing floor plans, kitchen remodels)
- Repairs to existing decks, porches and stairs that meet current zoning setbacks
- Adding or replacing windows and doors (not to include bay windows)
- Sheds less than 144 sq. ft.
- One story open entry/porch, 50 sq. ft. or less with maximum 6 ft. projection from the principal structure
- Chimney installation (NFPA 211 disclosure statement required)
- Propane tanks
- Heating Appliances (i.e. HVAC systems, gas inserts/monitors, wood/pellet stoves)
- Bulkheads 50 sq. ft. or less with maximum of 2 ft. in height (low profile)

Inspections are still required per City Code of Ordinance.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that this project meets the above criteria and that the work performed will not go beyond these parameters.

Signature of applicant

Date:

8-27-07

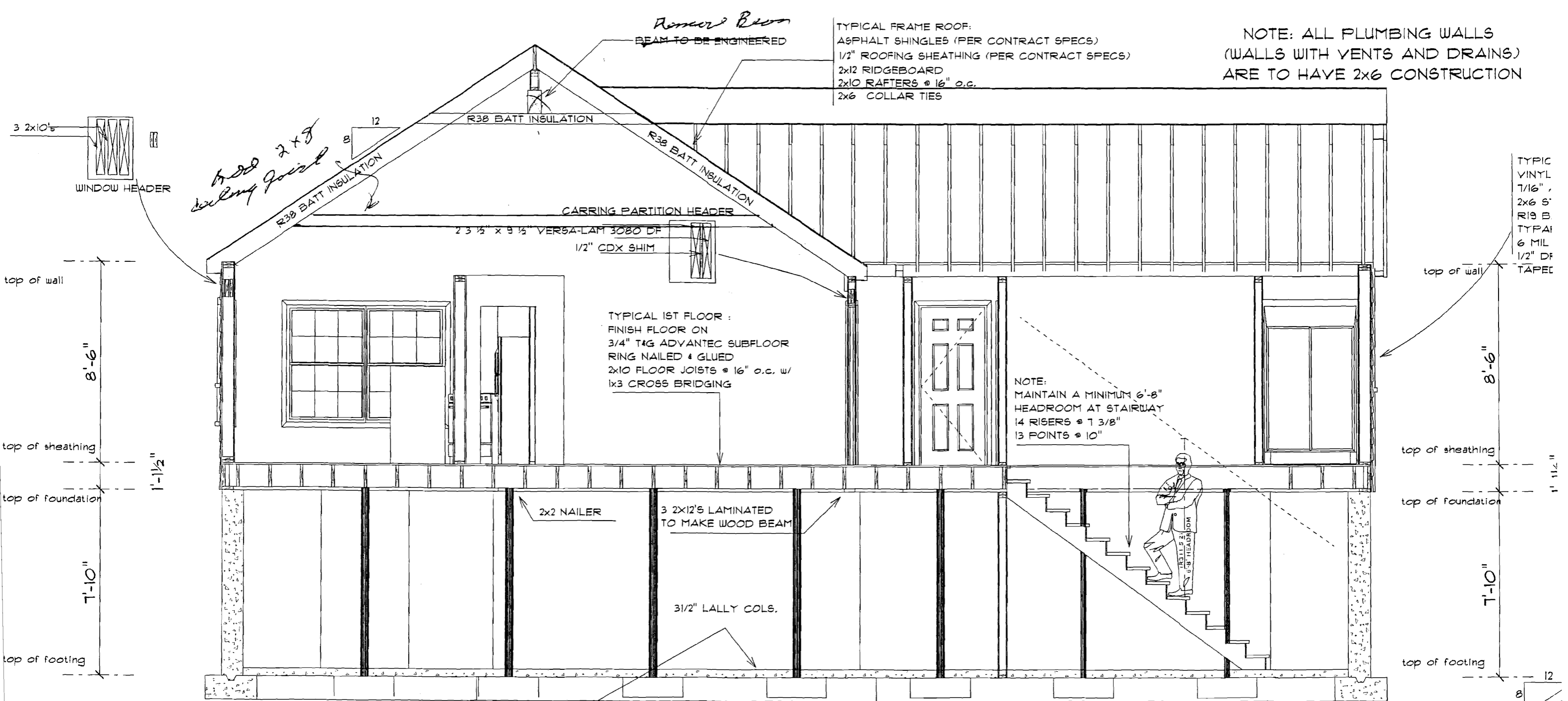
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TYPICAL FRAME ROOF:
 ASPHALT SHINGLES (PER CONTRACT SPECS)
 1/2" ROOFING SHEATHING (PER CONTRACT SPECS)
 2x12 RIDGEBOARD
 2x10 RAFTERS @ 12" o.c.
 2x6 COLLAR TIES



CROSS SECTION C-C

FRAMING DETAIL THE SAME AS
 CROSS SECTION A-A & B-B UNLESS NOTED
 SCALE: 1/4" = 1'-0"



TYPICAL FRAME ROOF:
 ASPHALT SHINGLES (PER CONTRACT SPECS)
 1/2" ROOFING SHEATHING (PER CONTRACT SPECS)
 2x12 RIDGEBOARD
 2x10 RAFTERS @ 16" o.c.
 2x6 COLLAR TIES

NOTE: ALL PLUMBING WALLS
 (WALLS WITH VENTS AND DRAINS)
 ARE TO HAVE 2x6 CONSTRUCTION

*add 2x8
 ceiling joist*

Remove Beam
 BEAM TO BE ENGINEERED

TYPICAL 1ST FLOOR :
 FINISH FLOOR ON
 3/4" T&G ADVANTEC SUBFLOOR
 RING NAILED & GLUED
 2x10 FLOOR JOISTS @ 16" o.c. w/
 1x3 CROSS BRIDGING

NOTE:
 MAINTAIN A MINIMUM 6'-8"
 HEADROOM AT STAIRWAY
 14 RISERS @ 7 3/8"
 13 POINTS @ 10"

TYPICAL BASEMENT FLOOR :
 4" CONCRETE SLAB c/w
 6 mil POLY VAPOR BARRIER
 3/4" CRUSHED ROCK

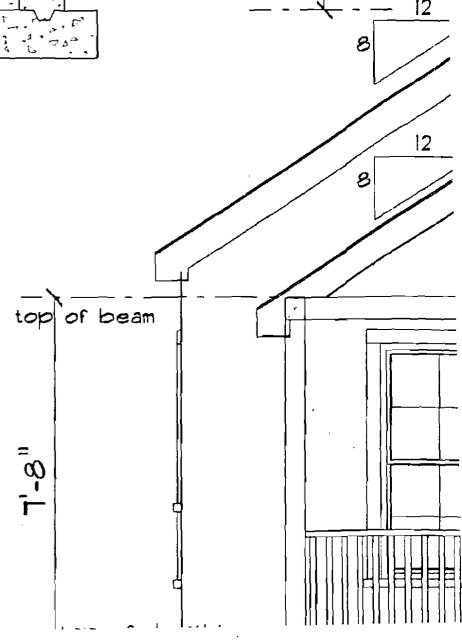
CROSS SECTION A-A
 SCALE: 1/4" = 1'-0"

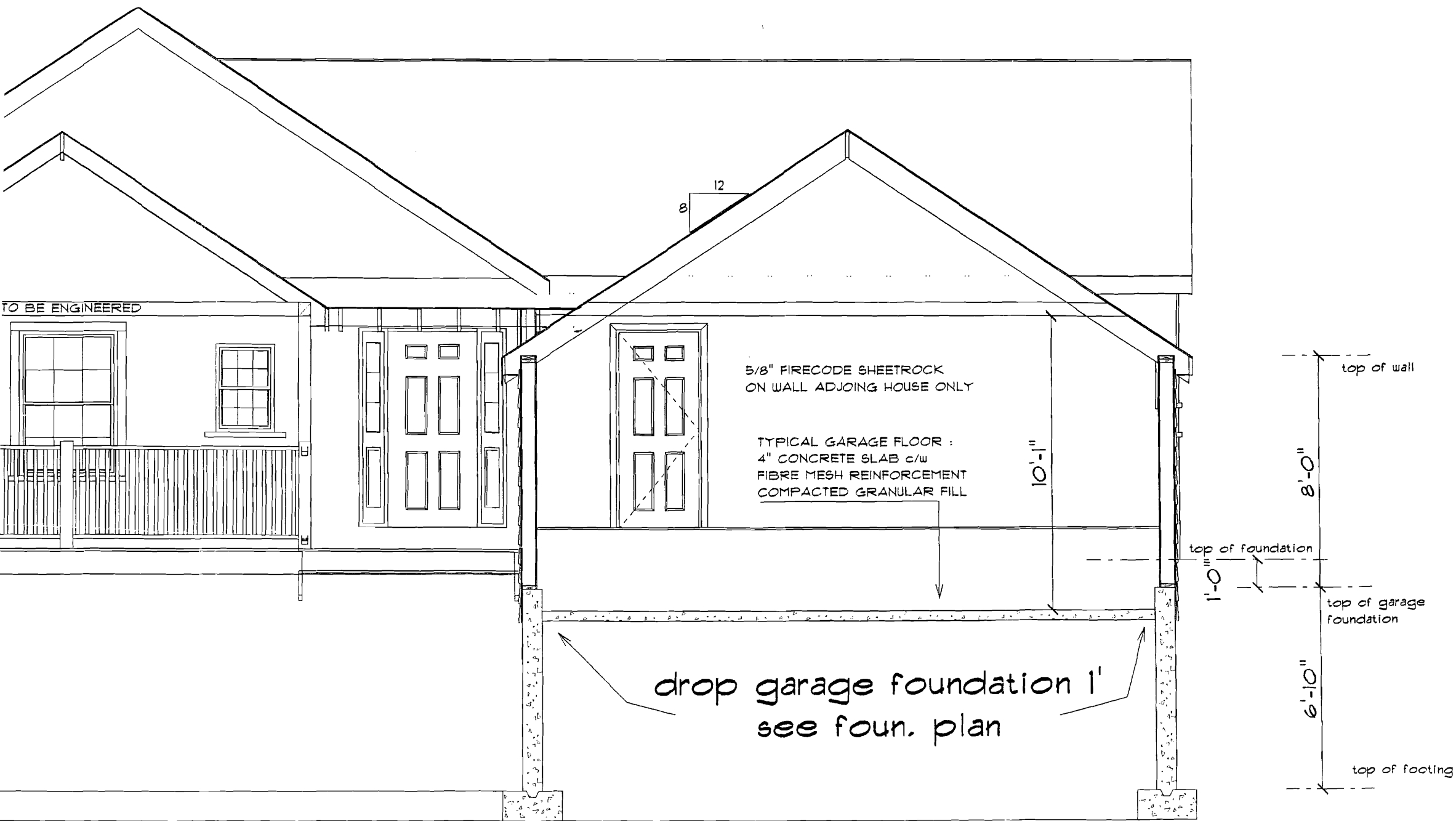
TYPIC VINYL
 7/16"
 2x6 S'
 R19 B
 TYPIC
 6 MIL
 1/2" DF
 TAPE

top of beam
 1'-8"

top of wall
 8'-6"
 top of sheathing
 1'-1 1/2"
 top of foundation
 1'-10"
 top of footing

top of wall
 8'-6"
 top of sheathing
 1'-11 1/2"
 top of foundation
 1'-10"
 top of footing





CROSS SECTION B-B
 FRAMING DETAIL THE SAME AS
 CROSS SECTION A-A UNLESS NOTED
 SCALE: 1/4" = 1'-0"

PROJECT NAME:

FOR T I N
 R E S I D E N C E

CONTRACTOR:

W A Y F A R E R
 V I L L A G E I N C .