

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 090656

Please Read Application And Notes, If Any, Attached

This is to certify that WAYFARER VILLAGE INC / Barry Donte
has permission to Single Family - Construct a ranch style single family home/ daylight basement, 2 car garage, porch & Deck
AT 386 CAPISIC ST CBL 225 E010001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS	
Fire Dept.	
Health Dept.	
Appeal Board	
Other	
Department Name	
CITY OF PORTLAND	

PERMIT ISSUED

JUL 7 2009

Thomas L. McAuley 7/7/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0656	Issue Date:	CBL: 225 E010001
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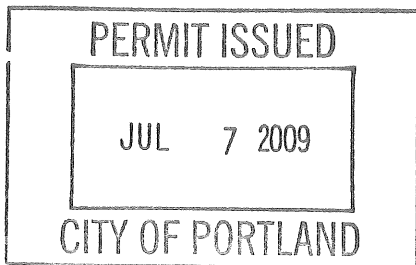
Location of Construction: 386 CAPISIC ST	Owner Name: WAYFARER VILLAGE INC	Owner Address: 143 CRAIGIE ST	Phone:
Business Name:	Contractor Name: Larry Dontello	Contractor Address: P.O. Box 684 P Portland	Phone 2072327220
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R-3

Past Use: Vacant Land	Proposed Use: Single Family - Construct a ranch style single family home/ daylight basement, 2 car garage, porch & Deck	Permit Fee: \$1,395.00	Cost of Work: \$130,000.00	CEO District: 3
Proposed Project Description: Single Family - Construct a ranch style single family home/ daylight basement, 2 car garage, porch & Deck		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRC 2003	
		Signature: <i>Jm 7/7/09</i>		
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: Ldobson	Date Applied For: 06/22/2009	Zoning Approval		
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 12 zone X</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2009-2011</i> Maj <input type="checkbox"/> Minor, <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>OK w/ conditions</i> Date: <i>6/30/09 ABU</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABU</i> Date: _____



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

7/16/09 — Footings and Setbacks - Provided Letter
on Location by Surveyor, "In file",

Footings - O.K.
Setbacks - O.K. ↗

Rebar - OK to pour ICF walls,

Q



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>386 Copisee St Portland</u>		
Total Square Footage of Proposed Structure/Area <u>1326 X 22 X 22 Garage</u>	Square Footage of Lot <u>13,377.5</u>	Number of Stories <u>1</u>
Tax Assessor's Chart, Block & Lot Chart# <u>225 E</u> Block# <u>10</u> Lot#	Applicant *must be owner, Lessee or Buyer* Name <u>Wayford Villegas</u> Address <u>143 Craig St</u> City, State & Zip <u>Portland 04102</u>	Telephone: <u>207 415 7881</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>Same</u> Address City, State & Zip	Cost Of Work: \$ <u>130,000</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>Row Land</u> Number of Residential Units _____ If vacant, what was the previous use? <u>Former Row Land</u> Proposed Specific use: <u>single family Residential</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>Construct a ranch style single family residence with skylite basement, 2 car garage, porch + deck,</u>		
Contractor's name: <u>Larry Donatello Builder</u> Address: <u>PO Box 684 P</u> City, State & Zip <u>Portland, Me 04104</u> Telephone: <u>232-7220</u> Who should we contact when the permit is ready: <u>Jim Gray</u> Telephone: <u>415-7881</u> Mailing address: <u>143 Craig St Portland Me, 04102</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Jim Gray Date: 6-12-09

This is not a permit; you may not commence ANY work until the permit is issued

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0656	Date Applied For: 06/22/2009	CBL: 225 E010001
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Location of Construction: 386 CAPISIC ST	Owner Name: WAYFARER VILLAGE INC	Owner Address: 143 CRAIGIE ST	Phone:
Business Name:	Contractor Name: Larry Dontello	Contractor Address: P.O. Box 684 P Portland	Phone (207) 232-7220
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family - Construct a ranch style single family home/ partial daylight basement, 2 car garage, porch & Deck	Proposed Project Description: Single Family - Construct a ranch style single family home/ partial daylight basement, 2 car garage, porch & Deck
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 06/30/2009
Note: **Ok to Issue:**

- 1) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed building, it may be required to be located by a surveyor.
- 2) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 07/07/2009
Note: **Ok to Issue:**

- 1) Frost protection must be installed per the enclosed detail as discussed w/owner/contractor.
- 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
- 3) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 4) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.
- 5) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.

Dept: DRC **Status:** Approved with Conditions **Reviewer:** Philip DiPierro **Approval Date:** 07/02/2009
Note: **Ok to Issue:**

- 1) Erosion control blankets are to be used on slopes that are 3:1 or greater.
- 2) The foundation drain is to be tied into the City's Storm Drain System.
- 3) Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily.
- 4) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 5) A street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 6) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext. 8822. The Wastewater and Drainage section of Public Services must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

Location of Construction: 386 CAPISIC ST	Owner Name: WAYFARER VILLAGE INC	Owner Address: 143 CRAIGIE ST	Phone:
Business Name:	Contractor Name: Larry Dontello	Contractor Address: P.O. Box 684 P Portland	Phone (207) 232-7220
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

- 7) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 8) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 9) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.

Comments:
6/26/2009-amachado: Spoke to Jim Gray. The rear deck on the building plan does not match the rear deck on the site plan. Jim said that the building plan is correct and that he will amend the site plan. I'm moving the permit forward in the system but I won't sign off until the siteplan is amended.
6/30/2009-amachado: Jim Gray amended siteplan to show the correct size of the deck.

JOHN D. PALMITER

REGISTERED LAND SURVEYOR

29 MAYBERRY ROAD, GRAY, ME 04039
(207) 657-4630

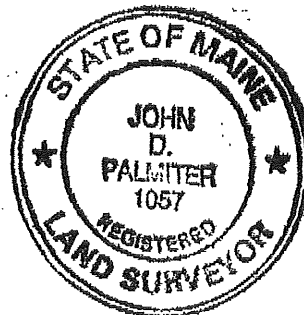
7-15-09

Code Enforcement Dept
City of Portland
389 Congress St.
Portland, Maine 04101

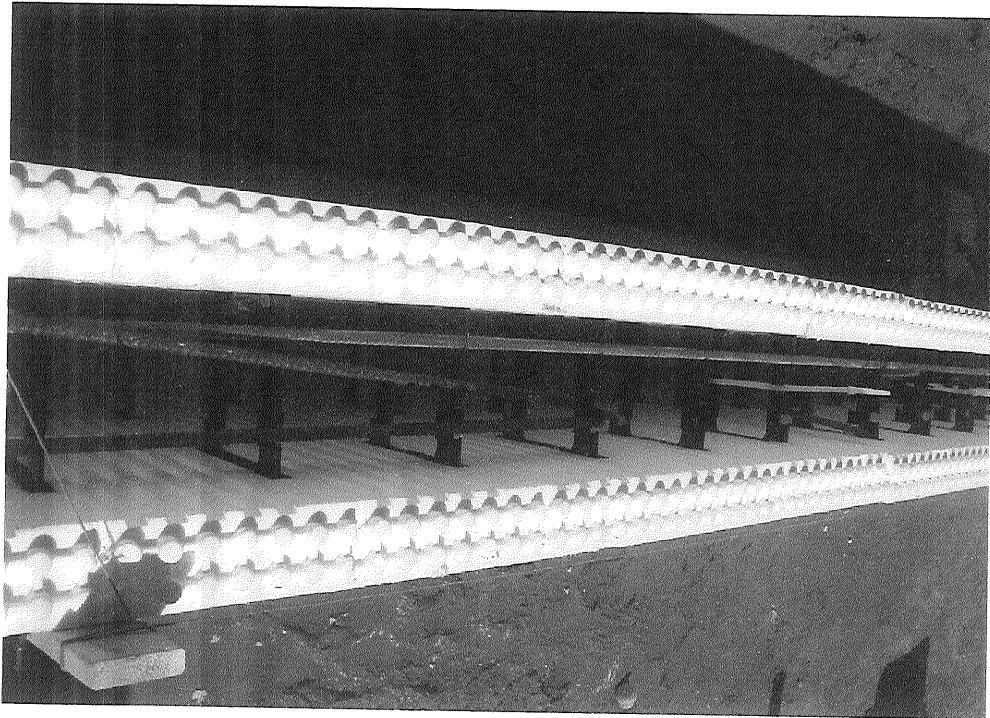
Re: Sideline Setbacks 386 Congress St.

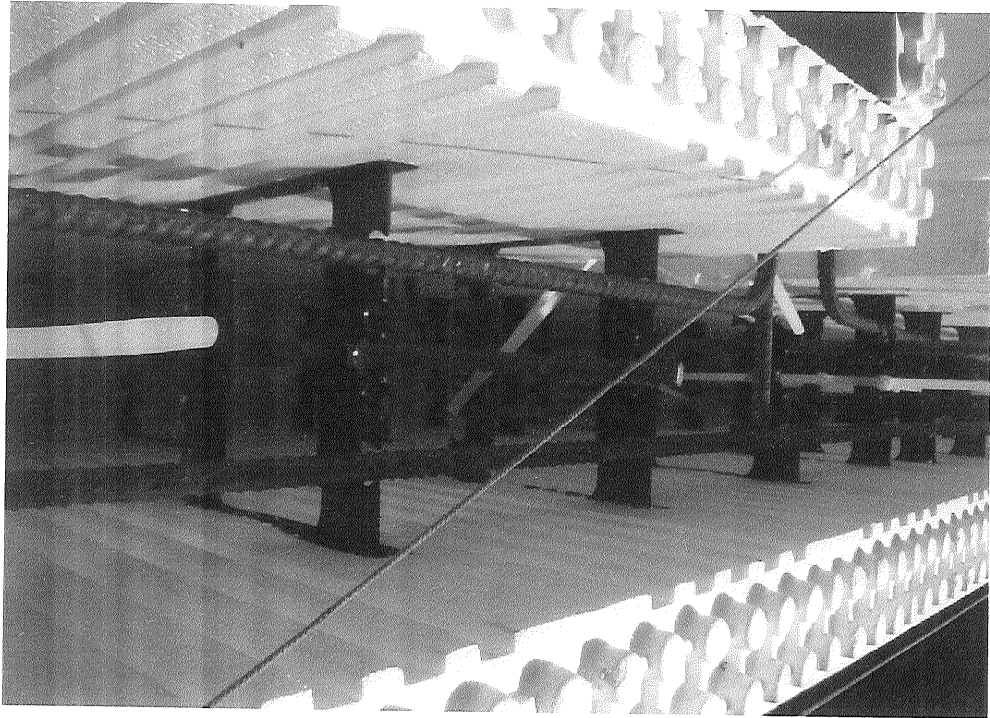
I hereby certify that on 7-15-09 I found the foundation forms to be 9.3' from the northwest line of lot and 9.5' from the southeast line of the lot. The required sideline setback is 8'.

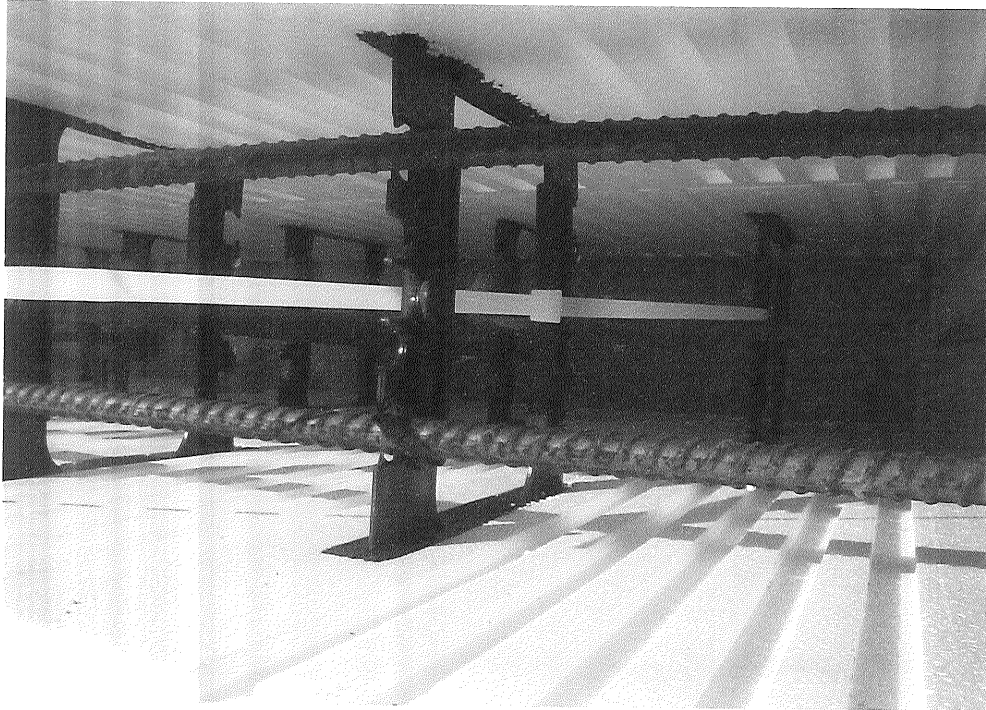
Sincerely Yours
John D. Palmiter
PLS# 1057



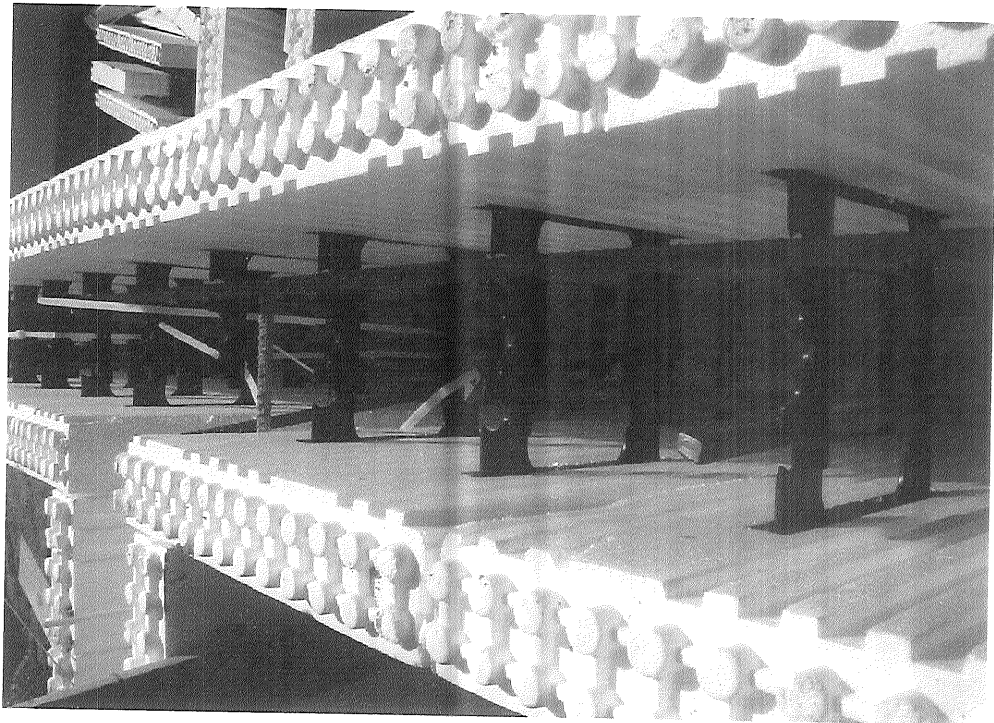
Post-It® Fax Note	7671	Date	7-15-09	# of pages	1
To	Jim Gray	From	J. Palmiter		
Co./Dept.		Co.			
Phone #	415-7881	Phone #	657-4630		
Fax #	879-9801	Fax #	657-4630		

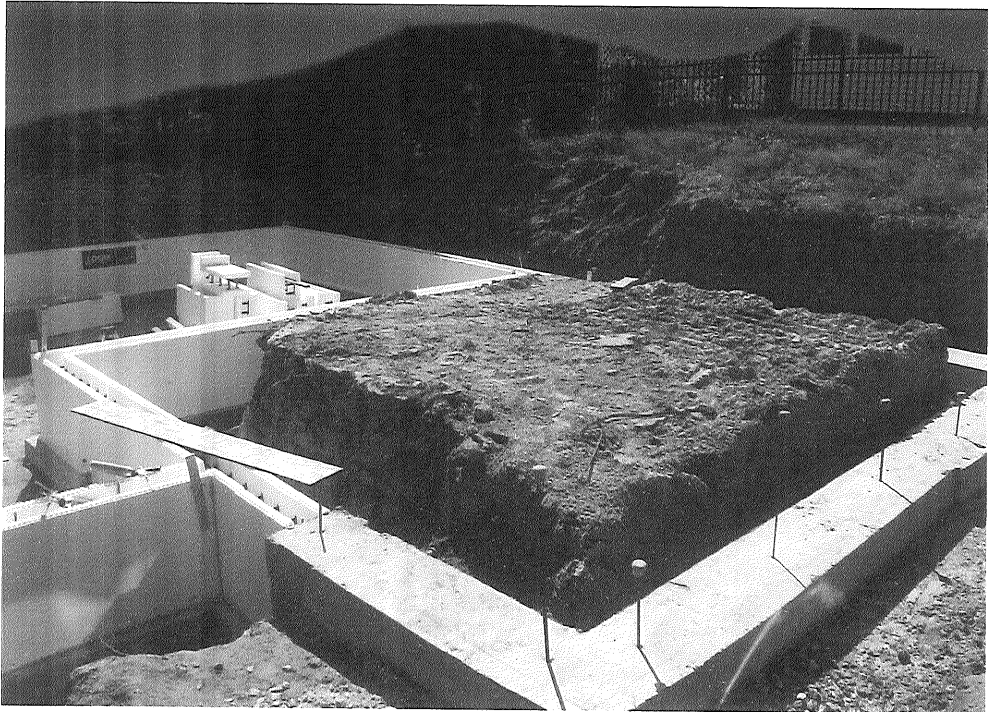


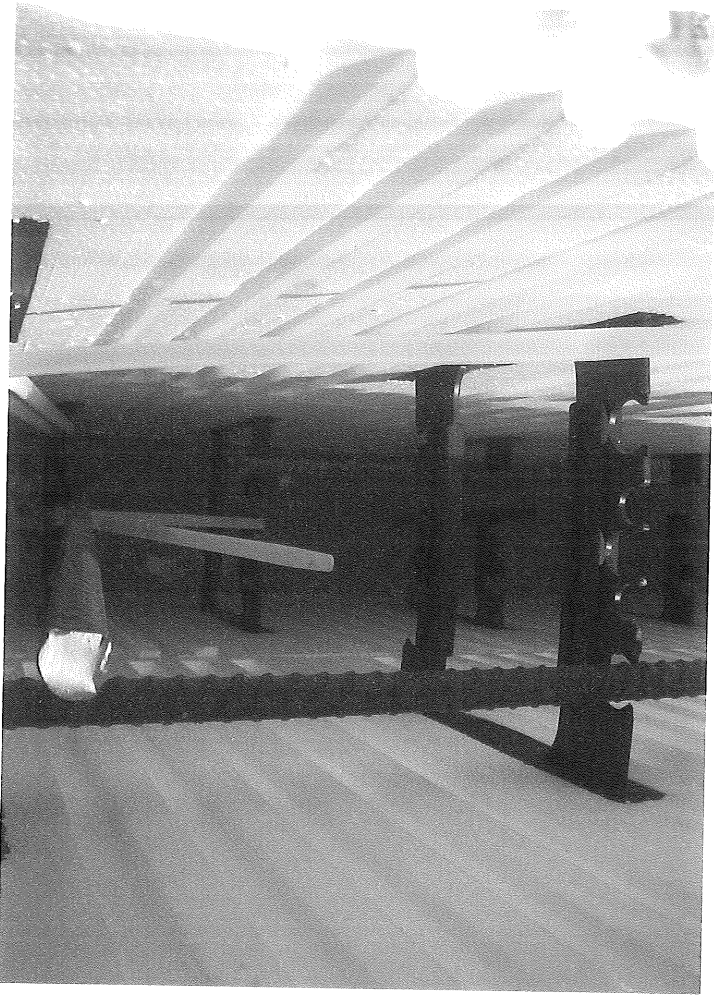












BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

 X **Foundation Inspection: Prior to placing ANY backfill for below grade occupiable space**

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

 X **Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.**
NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

Signature of Applicant/Designee

Thomas H. Malley

Signature of Inspections Official

Date

7/7/09

Date

386 Caprice ST

09-0656

225-E-10

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST		
Soil type/Presumptive Load Value (Table R401.4.1)				
Component	Submitted Plan	Findings	Revisions	Date
STRUCTURAL Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	4" Concrete Slab - ^{16x10} 12x12 footing 8" concrete wall - frost wall around garage	OK		
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	perimeter drains / stone / fabric			
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	NA			
Anchor Bolts/Straps, spacing (Section R403.1.6)	Anchor Bolts 6" OC			
Lally Column Type (Section R407)	3 1/2 concrete lally's	OK		
Girder & Header Spans (Table R 502.5(2))	3 (2x12)	OK		
Built-Up Wood Center Girder Dimension/Type	3 (2x12) engineered beams laminated	OK		
Sill/Band Joist Type & Dimensions				
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10 - 16" OC			
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	NA			
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	NA			

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8))	8:12	
Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	2x10 Rafters 12' OC	
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	1/2 sheathing roof Ice + water shield	
Fastener Schedule (Table R602.3(1) & (2))	per IRC 2003	OK
Private Garage (Section R309) Living Space? (Above or beside)	YES	
Fire separation (Section R309.2)	5/8 Fire rated walls/ceilings	
Opening Protection (Section R309.1)	per IRC 2003	OK
Emergency Escape and Rescue Openings (Section R310)	Egress windows	OK
Roof Covering (Chapter 9)	Asphalt shingles 1/2 sheathing waterproofing	
Safety Glazing (Section R308)	NA	
Attic Access (Section R807)	NA	
Chimney Clearances/Fire Blocking (Chap. 10)	NA	
Header Schedule (Section 502.5(1) & (2))	2 3 1/2 x 9 1/2 versa lam	OK
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	R38 ceilings R19 walls - OK	OK

37 U-Factor windows OK

Type of Heating System		
Means of Egress (Sec R311 & R312)		
Basement	1	OK
Number of Stairways	1	
Interior	1	
Exterior	0	
Treads and Risers (Section R311.5.3)	7 3/8 rise - 10" net head	
Width (Section R311.5.1)	3 ft min	
Headroom (Section R311.5.2)	6' 8"	
Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)	36 min 34-38 guards	
Smoke Detectors (Section R313) Location and type/Interconnected	Each Bedroom all levels interconnected	OK
Draftstopping (Section R502.12) and Fireblocking (Section R602.8)	per IRC 2003	
Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)		
Deck Construction (Section R502.2.1)	4 FT POSTS - 2x10 JUST 16" OC 42 min Rail -	

Applicant: 386 Capisic St
Address: Way for Village Inc (Jim Gray)

Date: 6/26/09

C-B-L: 225-E-10

Permit # 09-0656

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - build one story single family home 48x34 w/ attached 2 car garage
deck & front porch

Sevage Disposal - city

Lot Street Frontage - 50' min. - 67.09' given.

Front Yard - 25' min. - 34' scaled.

Rear Yard - 25' min. - 112' scaled.

Side Yard - 1 side 8' - right side - 8'
- left side - 9'

Projections -

Width of Lot - 65' min. - 67' scaled

Height - 35' max. - 21.75' from lowest grade.

Lot Area - 6500 ϕ min. - 12377 ϕ 5 min

Lot Coverage Impervious Surface - 35% = 4331.95

Area per Family - 6,500 ϕ ok

Off-street Parking - 2 parking spaces required.

34x48 = 1632
4x14 = 56
10x22 = 220
24x5 = 120
Stair 7.5x25 = 18.75
Stair 2.5x45 = 11.25

2058 ϕ
+ 32 (8x4)

2090 ok.

Loading Bays - N/A

Site Plan - 2009-0061 minor/minor - 2 car garage (ok)

Shoreland Zoning/Stream Protection - N/A

Flood Plains - panel 12 - Zone X

* partial daylight basement. (less than half above grade)

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2009-0061

Application I. D. Number

6/22/2009

Application Date

Single Family Home

Project Name/Description

Wayfarer Village Inc

Applicant

143 Craigie St , Portland , ME 04102

Applicant's Mailing Address

Marge Schmuckal

386 - 386 Capisic St , Portland, Maine

Address of Proposed Site

225 E010001

Assessor's Reference: Chart-Block-Lot

Consultant/Agent

Agent Ph: _____ Agent Fax: _____

Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Apt 0 Condo 0 Other (specify) _____

0

Proposed Building square Feet or # of Units

Acreage of Site

Proposed Total Disturbed Area of the Site

Zoning

Check Review Required:

- | | | | |
|---|---|--|--|
| <input type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Zoning Conditional - PB | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> Design Review |
| <input type="checkbox"/> Amendment to Plan - Board Review | <input type="checkbox"/> Zoning Conditional - ZBA | <input type="checkbox"/> Shoreland | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Amendment to Plan - Staff Review | | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> Site Location |
| <input type="checkbox"/> After the Fact - Major | | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Flood Hazard |
| <input type="checkbox"/> After the Fact - Minor | | <input type="checkbox"/> Stormwater | <input type="checkbox"/> Traffic Movement |
| | | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| | | | <input type="checkbox"/> Housing Replacement |
| | | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$250.00 Date 6/22/2009

Zoning Approval Status:

Reviewer _____

- Approved Approved w/Conditions See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------------------|--|-----------------------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ date _____ | _____ amount _____ | _____ expiration date _____ |
| <input type="checkbox"/> Inspection Fee Paid | _____ date _____ | _____ amount _____ | |
| <input type="checkbox"/> Building Permit Issue | _____ date _____ | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ date _____ | _____ remaining balance _____ | _____ signature _____ |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ date _____ | <input type="checkbox"/> Conditions (See Attached) | _____ expiration date _____ |
| <input type="checkbox"/> Final Inspection | _____ date _____ | _____ signature _____ | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ date _____ | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ date _____ | _____ signature _____ | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ submitted date _____ | _____ amount _____ | _____ expiration date _____ |
| <input type="checkbox"/> Defect Guarantee Released | _____ date _____ | _____ signature _____ | |

From: Philip DiPierro
To: Code Enforcement & Inspections
Date: 7/2/2009 3:28:47 PM
Subject: 386 Capisic Street, Single Family Site Plan

Hi all, this project meets the minimum site plan requirements for the issuance of the building permit. See UI for sign off.

Please contact me with any questions.

Thanks,

Phil

City of Portland, Maine
Inspections Division
Inspection Schedule by Date

Appointment Date Between 7/7/2009 And 12/7/2009

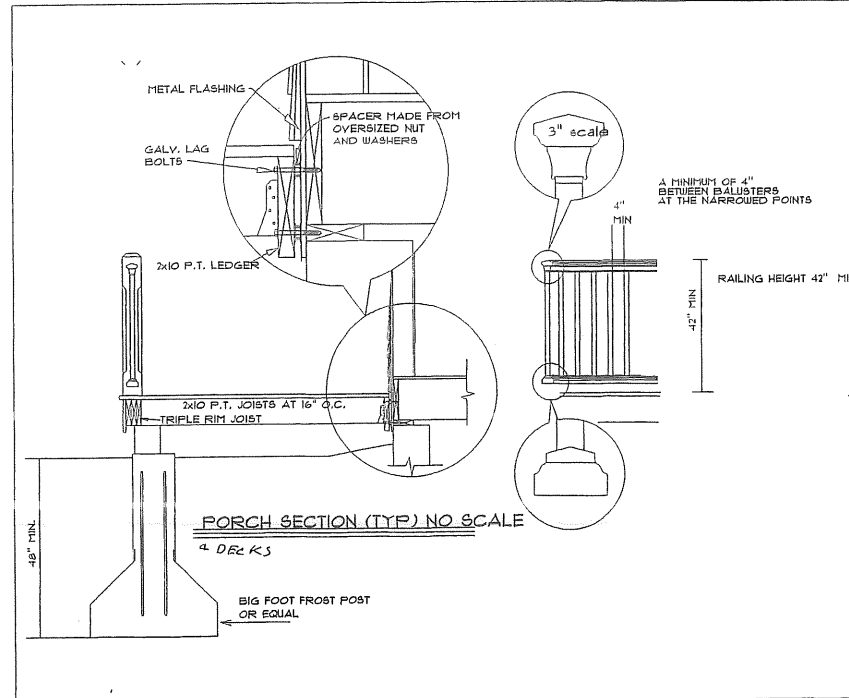
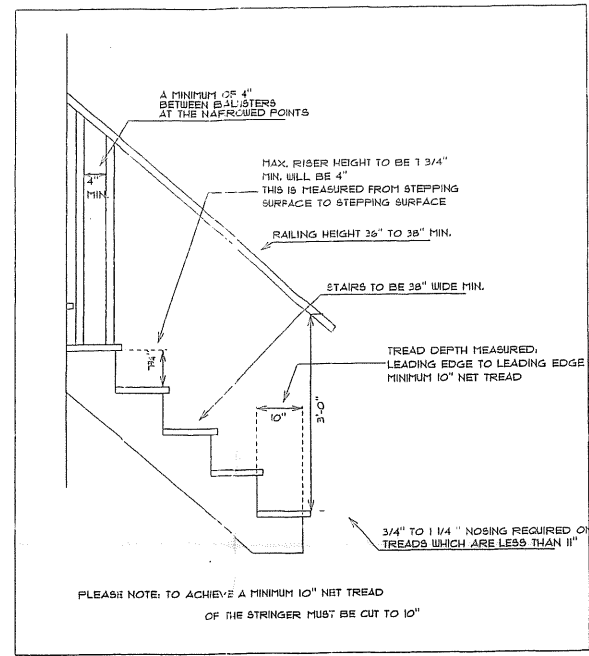
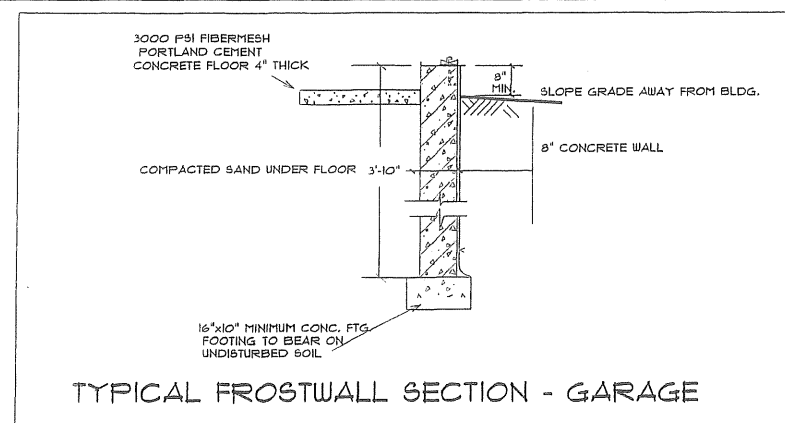
Time	Inspector	Type		Address	Contact	Census Parcel/AppID	Phone		
Date 07/16/2009									
	Chris Hanson	Footings/Setbacks	Prmt	386 CAPISIC ST		225 E010001			
Comments: Footing and setbacks OK owner provided surveyors letter. Rebar OK for ICF walls ,OK to pour walls CHRIS						AppID: 90656	Status:	Score:	
Outcome:									
Date 07/31/2009									
10:00 AM	Jon Rioux	Foundation/Backfill	Prmt	386 CAPISIC ST		225 E010001			
Comments: Jim Gray @ 415-7881 for backfill. Would like inspection as early as possible. /gg						AppID: 90656	Status:	Score:	
Outcome:									
Date 09/18/2009									
6:00 AM	Jeanie Bourke	Close-in/Elec./Plmb./Framing	Prmt	386 CAPISIC ST		225 E010001			
Comments: 415-7881 Jim						AppID: 90656	Status:	Score: 0	
Outcome: Could not locate main permit Met Jim G. And contractor - garage steps 1st riser is 8-1/8" the rest are 7-1/8", need clean out with access panel in vertical vent rise of the island vent in the closet wall of the front bedroom, need to adjust egress window in front bedroom to meet 24" vertical, nail plates on plumbing drain/vent lines (plumber notified), basement stair bottom rise is 8-1/4", will add carpet or flooring to adjust, sheetrock required under basement stair storage room, amendment for the proposed new rear deck design. Ok to close in									
Date 10/08/2009									
6:00 AM	Tom Markley	Electrical Only	ElcPeC	386 CAPISIC ST		225 E010001			
Comments: Jason WOULD LIKE MORNING 329-8236						AppID: 20094379	Status:	Score:	
Outcome:									
Date 10/26/2009									
6:00 AM	Suzanne Hunt	Certificate of Occupancy/Final	Prmt	386 CAPISIC ST		225 E010001			
Comments: 415-7881 Jim Changed to Friday						AppID: 90656	Status:	Score:	
Outcome:									
Date 10/27/2009									
	Suzanne Hunt	Inspection	Prmt	386 CAPISIC ST		225 E010001			
Comments: check stair enclose for for CO smh						AppID: 90656	Status:	Score: 0	
Outcome: staris enclosed SR. request fire caulking be put around pipe penetration. Smh									

City of Portland, Maine
Inspections Division
Inspection Schedule by Date

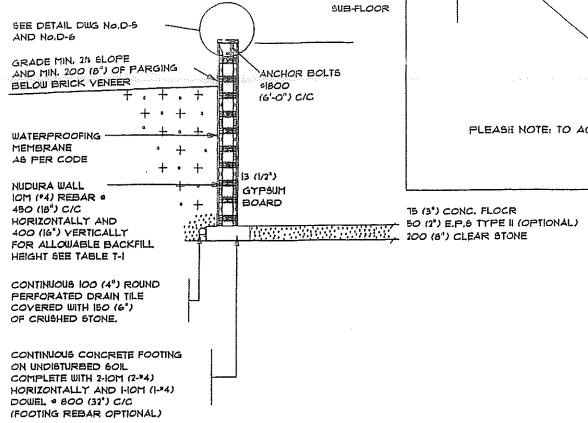
Appointment Date Between 7/7/2009 And 12/7/2009

Time	Inspector	Type	Address	Contact	Census Parcel/AppID	Phone
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Appointments Reported: 6



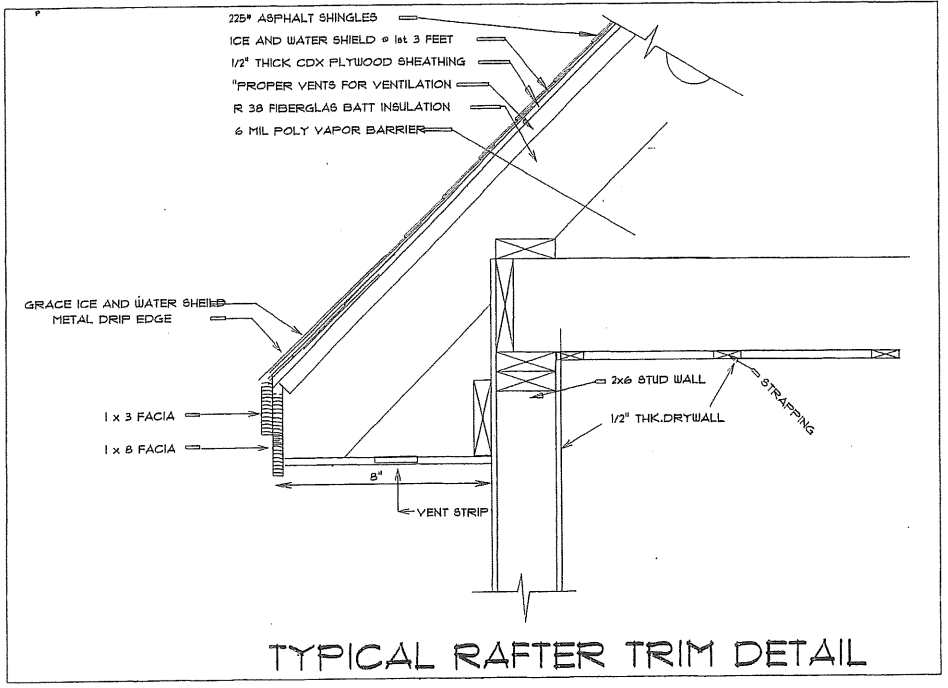
- FOUNDATION NOTES:**
1. ALL FINISH WALL & FOOTING HEIGHTS SHALL BE DETERMINED IN THE FIELD WITH CONTRACTOR.
 2. BASEMENT WINDOW LOCATIONS & AND ROUGH OPENINGS SHALL BE CHECKED & VERIFIED IN FIELD WITH CONTRACTOR, OTHERWISE IF NOT SHOWN SHALL BE DETERMINED IN FIELD BY CONTRACTOR.
 3. ALL ANCHOR BOLTS SHALL BE 1/2"x10" HOOKED OR EQUIVALENT, 1'-0" MAX. OC. & 1'-0" MIN. FROM ALL CORNERS.
 4. ALL LALLY COLUMNS, FOOTINGS, WALLS & BEAMS SHALL BE CHECKED & ENGINEERED BY CONTRACTOR BEFORE FORMS HAVE BEEN SET.
 5. ALL DAYLIGHT BASEMENT CONSIDERATIONS TO BE DETERMINED IN FIELD BY CONTRACTOR IF APPLICABLE.
 6. ALL CONSIDERATIONS FOR UTILITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
 7. CONTRACTOR SHALL CHECK ALL DIMENSIONS WITH FLOOR PLAN OR ANY ADDITIONAL EQUIP. (IE. BULKHEAD ETC.) OR PRODUCT DIMENSIONS OR SPECS. ALSO MUST CHECK ALL STRUCTURAL FRAMING FOR LOAD BEARING & FOUNDATION BEFORE FORMS ARE SET.
 8. CONTRACTOR SHALL ADJUST WALL AND FOOTINGS SIZES TO SOIL BEARING CAPACITIES AS REQ'D.
 9. (DO NOT) BACKFILL MORE THAN 3'-0" BEFORE 1ST FLR. FRAMING JOIST & SUBFLOOR IS COMPLETE.
 10. DRAIN TILE SHALL BE PLACED ON INTERIOR AND EXTERIOR OF FOUNDATION. ALL DRAIN TILE PIPE SHALL BE WRAPPED IN FILTER FABRIC.
- II. SEE BUILDING SECTIONS FOR ADDITIONAL REINFORCING REQUIREMENTS.



LOGIX FOUNDATION

SEE NOTE	FASTENING	LOCATION	CONNECTION	SEE NOTE	FASTENING	LOCATION	CONNECTION
SEE NOTE F	8d	PANEL SIDING (TO FRAMING)	5/8"	COMMON NAIL - REF TO TABLE 2308.10.4.1	FACE NAIL	4-3" 14 GAGE STAPLE 4-3"x0.131" NAIL	SEE SECT. 2303.10.4.1, TABLE 2308.10.4.1 CEILING JOISTS TO PARALLEL RAFTERS
SEE NOTE F	6d	PANEL SIDING (TO FRAMING)	1/2"	COMMON NAIL - REF TO TABLE 2308.10.4.1	FACE NAIL	4-3" 14 GAGE STAPLE 4-3"x0.131" NAIL	SEE SECT. 2303.10.4.1, TABLE 2308.10.4.1 CEILING JOISTS, LAPS OVER PARTITIONS
SEE NOTE C	6d	SUBFLOOR-UNDERLAYMENT	COMBINATION 3/4" OR LESS	COMMON NAIL - REF TO TABLE 2308.10.4.1	TOENAIL	4-3" 14 GAGE STAPLE 4-3"x0.131" NAIL	CONTINUOUS HEADER TO STUD
SEE NOTE P	2" 16 GAGE	WOOD STRUCTURAL PANELS	18x24-3/4"	COMMON NAIL - REF TO TABLE 2308.10.4.1	TOE NAIL	5-3" 14 GAGE STAPLE 5-3"x0.131" NAIL	CEILING JOISTS TO PLATE
SEE NOTE H	2-3/8"x0.131" NAIL	WOOD STRUCTURAL PANELS	18x24-3/4"	COMMON NAIL - REF TO TABLE 2308.10.4.1	FACE NAIL	3-3" 14 GAGE STAPLE 3-3"x0.131" NAIL	CONTIN. CUS. HEADS, 2 PCS.
SEE NOTE D, 6d, SEE NOTE C	6d	WOOD STRUCTURAL PANELS	1/2" OR LESS	COMMON NAIL - REF TO TABLE 2308.10.4.1	FACE NAIL	3-3" 14 GAGE STAPLE 3-3"x0.131" NAIL	AND INTERSECTIONS TOP PLATES, LAPS
SEE NOTE O	1-3/4" 16 GAGE	WOOD STRUCTURAL PANELS	1/2" OR LESS	COMMON NAIL - REF TO TABLE 2308.10.4.1	TOE NAIL	3" 14 GAGE STAPLE @ 8" OC 3"x0.131" NAIL @ 8" OC	RIM JOIST TO TOP PLATE
SEE NOTE N	2-3/8"x0.131" NAIL	WOOD STRUCTURAL PANELS	1/2" OR LESS	COMMON NAIL - REF TO TABLE 2308.10.4.1	TOE NAIL	3-3" 14 GAGE STAPLE 3-3"x0.131" NAIL	OR RAFTERS TO TOP PLATE BLOCK @ BETWEEN JOISTS
SEE NOTE G, J	6d	WOOD STRUCTURAL PANELS	1/2" OR LESS	COMMON NAIL - REF TO TABLE 2308.10.4.1	LAP SPLICE	12-3" 14 GAGE STAPLE TYP. FACE NAIL 12-3"x0.131" NAIL	DOUBLE TOP PLATES
	FACE NAIL	4-3" 14 GAGE STAPLE 4-3"x0.131" NAIL	LEDGER STRIP		TYPICAL FACE NAIL	3" 14 GAGE STAPLE @ 12" OC 3"x0.131" NAIL @ 12" OC	DOUBLE TOP PLATES
	FACE NAIL	5-3" 14 GAGE STAPLE 5-3"x0.131" NAIL	JOIST TO BAND JOIST		FACE NAIL	3" 14 GAGE STAPLE @ 8" OC 3"x0.131" NAIL @ 8" OC	DOUBLE STUDS
	FACE NAIL	3-3" 14 GAGE STAPLE 3-3"x0.131" NAIL	2BY RIDGE BEAM ROOF RAFTER TO		END NAIL	3-3" 14 GAGE STAPLE 3-3"x0.131" NAIL	STU. TO SOLE PLATE
	TOENAIL	3-3" 14 GAGE STAPLE 3-3"x0.131" NAIL	2BY RIDGE BEAM ROOF RAFTER TO		TOE NAIL	3-3" 14 GAGE STAPLE 3-3"x0.131" NAIL	TOP PLATE TO STUD
	FACE NAIL	3-3" 14 GAGE STAPLE 3-3"x0.131" NAIL	JACK RAFTERS TO HIP		TYPICAL FACE NAIL	3" 14 GAGE STAPLE @ 12" OC 3"x0.131" NAIL @ 12" OC	OR BLOCKING SOLE PLATE TO JOIST
	TOE NAIL	4-3" 14 GAGE STAPLE 4-3"x0.131" NAIL	JACK RAFTERS TO HIP		TOENAIL EACH END	3-3" 14 GAGE STAPLE 3-3"x0.131" NAIL	BRDING TO JOIST
	FACE NAIL	4-3" 14 GAGE STAPLE 4-3"x0.131" NAIL	COLLAR TIE TO RAFTER		TOENAIL	3-3" 14 GAGE STAPLE 3-3"x0.131" NAIL	JOIST TO SILL OR GIRDER
	FACE NAIL	3-3" 14 GAGE STAPLE 3-3"x0.131" NAIL	BUILT-UP GIRDER & BEAMS		NOTES	LOCATION	CONNECTION
	FACE NAIL AT EACH SPLICE FACE NAIL AT ENDS	3" 14 GAGE STAPLE @ 24" OC 3"x0.131" NAIL @ 24" OC	BUILT-UP GIRDER & BEAMS		NOTES	LOCATION	CONNECTION
	16" OC	3" 14 GAGE STAPLE @ 24" OC 3"x0.131" NAIL @ 24" OC	BUILT-UP CORNER STUDS		NOTES	LOCATION	CONNECTION
	18" OC	3" 14 GAGE STAPLE @ 24" OC 3"x0.131" NAIL @ 24" OC	BUILT-UP CORNER STUDS		NOTES	LOCATION	CONNECTION
	24" OC	3" 14 GAGE STAPLE @ 24" OC 3"x0.131" NAIL @ 24" OC	BUILT-UP CORNER STUDS		NOTES	LOCATION	CONNECTION
	FACE NAIL	2-3" 14 GAGE STAPLE 2-3"x0.131" NAIL	EACH STUD & PLATE 1" DIAGONAL BRACE TO		NOTES	LOCATION	CONNECTION
	TOENAIL	3-3" 14 GAGE STAPLE 3-3"x0.131" NAIL	(SEE SECT. 2308.10.1, TABLE 2308.10.1) RAFTER TO PLATE		NOTES	LOCATION	CONNECTION

FASTENING SCHEDULE (SEE TABLE 2304.9.1 M.E.S. RESIDENTIAL CONSTRUCTION CODE FOR COMPLETE DETAILS)



TYPICAL RAFTER TRIM DETAIL

THE SE PLANS AND SPECIFICATIONS HAVE NOT BEEN PREPARED BY A REGISTERED ARCHITECT OR ENGINEER. ANYONE ENGAGED IN THE PRACTICE OF ARCHITECTURE OR ENGINEERING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. SUCH THE SE PLANS ARE PROVIDED AS A SERVICE AND IN NO WAY CONSTITUTE A GUARANTEE TO THE ADDRESS AND SUITABILITY OF THE INFORMATION CONTAINED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

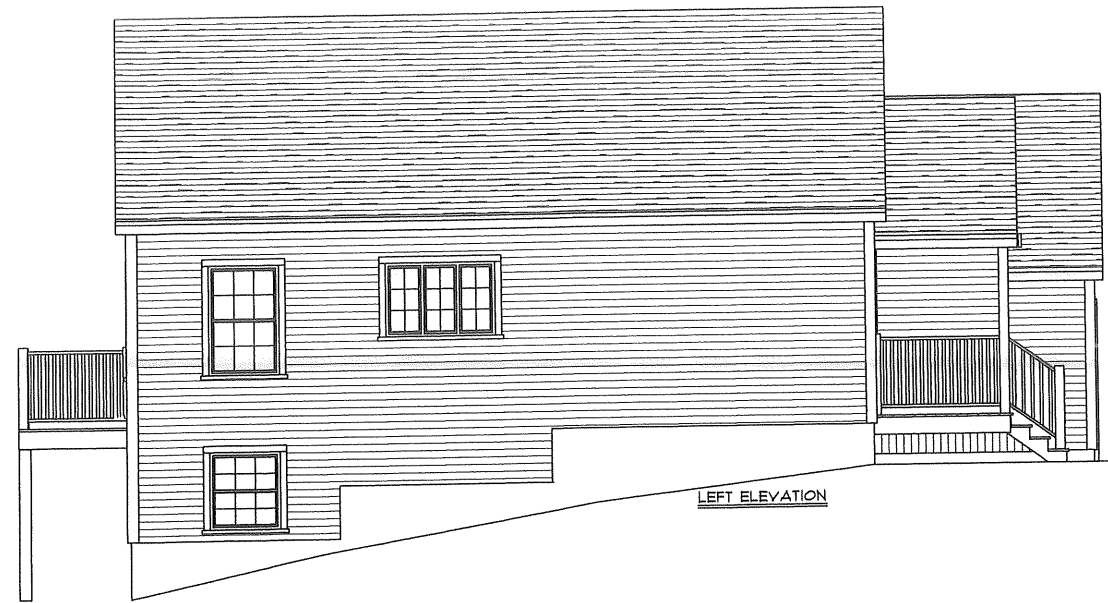
PROJECT NAME: 386 Capritz
FORTIN RESIDENCE

CONTRACTOR:
WAYFARER VILLAGE INC.

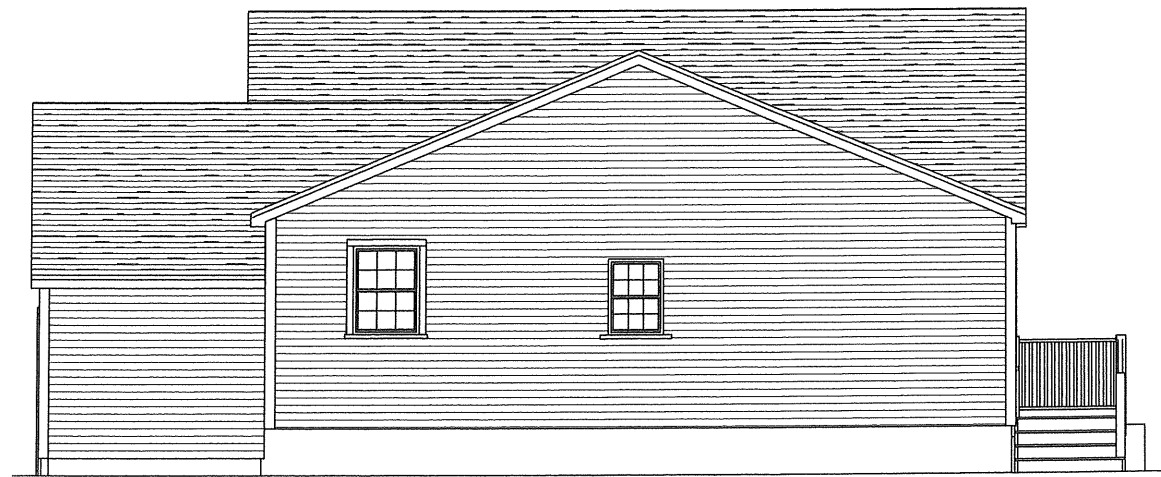
DATE: Jun 02 2009
SCALE: AS NOTED
DRAWN:
FILE:
SHEET 52 OF 52



FRONT ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

THESE PLANS AND SPECIFICATIONS HAVE NOT BEEN PREPARED BY A REGISTERED ARCHITECT OR ENGINEER IN THE STATE OF PORTLAND, ME, AND PORTLAND, ME, IS NOT ENGAGED IN THE PRACTICE OF ARCHITECTURE OR ENGINEERING IN PORTLAND, ME. THESE PLANS ARE PROVIDED AS A SERVICE AND IN NO WAY CONSTITUTE A GUARANTEE TO THE SOURCE AND SUITABILITY OF THE INFORMATION PROVIDED. ALL DIMENSIONS AND SPECIFICATIONS TO BE USED IN THE CONSTRUCTION OF THE HOUSE SHALL BE BY A REGISTERED ARCHITECT OR ENGINEER AND CONTRACTOR BEFORE ACTUAL CONSTRUCTION. CONTRACT SPECIFICATIONS OVERRULE HOUSE PLANS.

#09-0656

PROJECT NAME: 386 Capisic

FORTIN
RESIDENCE

CONTRACTOR:

WAYFARER
VILLAGE INC.

REVISIONS

DATE: JUNE 17, 2009

SCALE: AS NOTED

DRAWN

FLC

SHEET: ___ OF ___

N/F
ANNA K. WELCH
11542/134

N/F
PAUL T. POORE &
RICHARD A. RUNNEY
FORMERLY P/O
WAYFARER VILLAGE, INC.
23032/149

N/F
AARON M. & CORENE
D. MICHEWISER
18965/47

N/F
FREDERICK B. FULLER
& CAROLYN A. O'BRIAN
8497/275

N/F
RAYMOND J. & JUDITH A. LESTAGE
14763/24

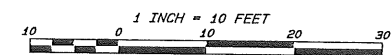
- REFERENCES:
- "LOT PLAN OF RIVER VIEW POINT" OWNED BY THE MINOT CORPORATION DATED APRIL 1956 BY CARL E. EMERY CORD PLAN BOOK 45 PAGE 38
 - "DIVISION OF PROPERTY FOR JIM GRAY" BY CULLENBERG LAND SURVEYING DATED 9/20/05

- NOTES:
- BEARINGS ARE REFERENCED TO MAGNETIC NORTH 1938 PER REF 2
 - LINES SHOWN AND NOT DETAILED ARE ILLUSTRATIVE ONLY. THEY ARE BASED ON TAX MAPS, DEEDS, OTHER SURVEYS, ETC. AND NOT VERIFIED BY THIS SURVEYOR.
 - ELEVATIONS/CONTOURS BASED ON TP2 PK NAIL IN ROAD EDGE POLE#38 ELEV. 56.98 PER CITY OF PORTLAND RECORDS. LEVEL BOOK 809/24
 - BUILDING SETBACKS: FRONT & REAR 25'; SIDE 8'

DEED REFERENCES:
WAYFARER VILLAGE, INC. 23032/149

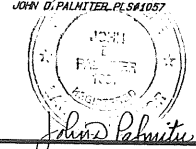
LOT AREA: 12,377 SF = 0.284 ACRES

- LEGEND
- HOLLOW IRON PIPE FOUND (UNLESS NOTED)
 - 5/8" REBAR WITH # 1278 CAP FOUND
 - ⊙ 4" PLASTIC PIPE
 - + 1 1/4" PLASTIC PIPE
 - N/F NON OR FORMERLY OF
 - UTILITY CO. POLE
 - △ SURVEY CONTROL POINT
 - ⊙ SEWER MANHOLE
 - ⊞ CATCH BASIN
 - ⊙ WATER VALVE
 - - - EDGE OF PAVEMENT
 - ⊙ DRAIN COVER
 - SOLID IRON PIN FOUND
 - ⊞ CHAIN LINK FENCE
 - +++ WROUGHT IRON FENCE
 - == GRANITE CURB
 - - - EXISTING CONTOUR
 - ~ ~ ~ PROPOSED FINAL CONTOUR
 - ⊞ GUY ANCHOR
 - 123/456 BOOK & PAGE OF RECORDED DEED
 - - - BUILDING SETBACK
 - BUILDING OVERHANG - 8" WIDE (PROPOSED)
 - - - PROPOSED DRIVEWAY & PARKING
 - - - PROPOSED OVERHEAD WIRES
 - - - PROPOSED WATER SERVICE
 - - - PROPOSED SEWER SERVICE
 - - - PROPOSED GAS SERVICE
 - ⊙ PROPOSED STREET TREE SIMILAR TO EXIST.
 - PROPOSED SILT FENCE

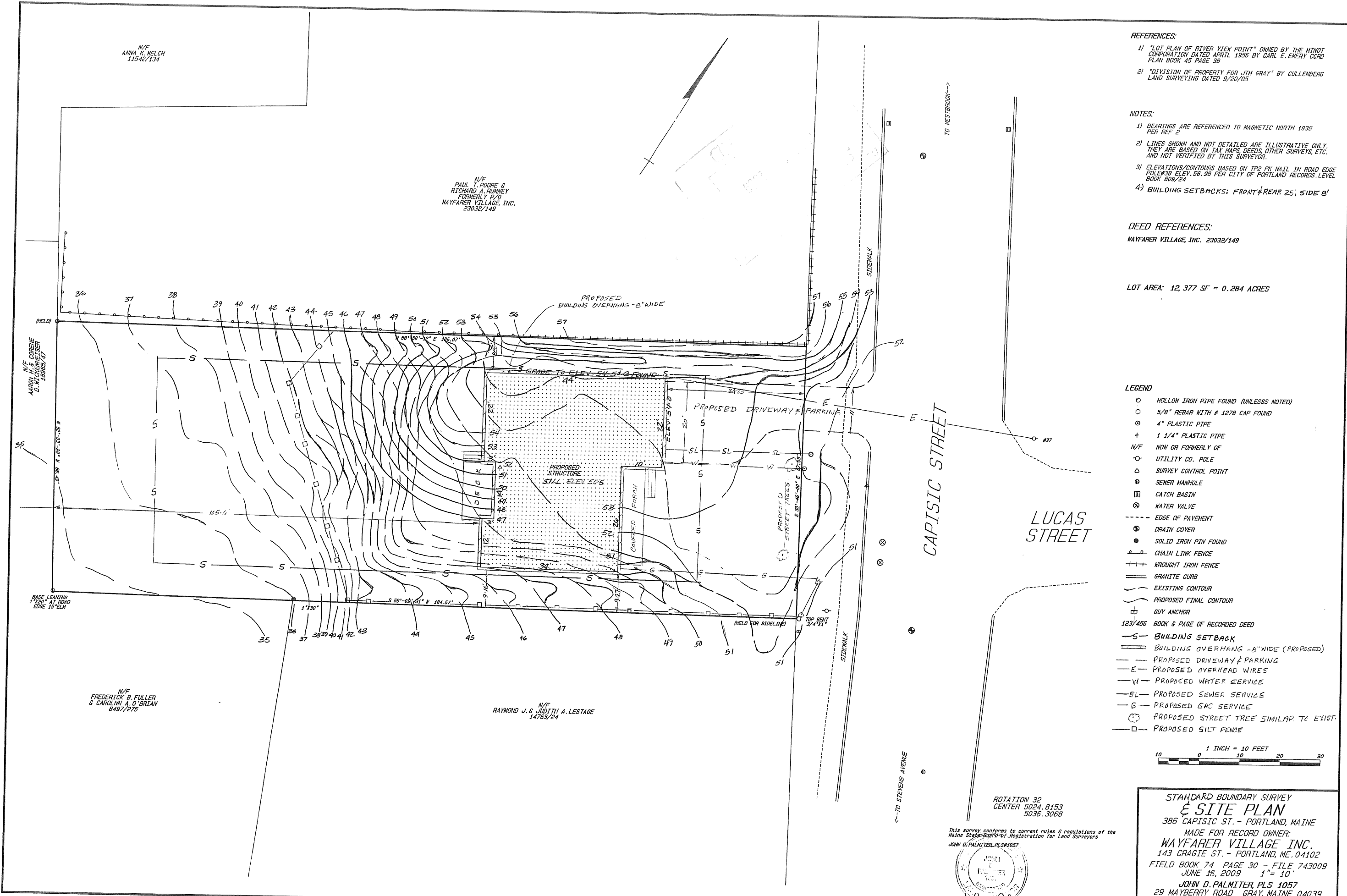


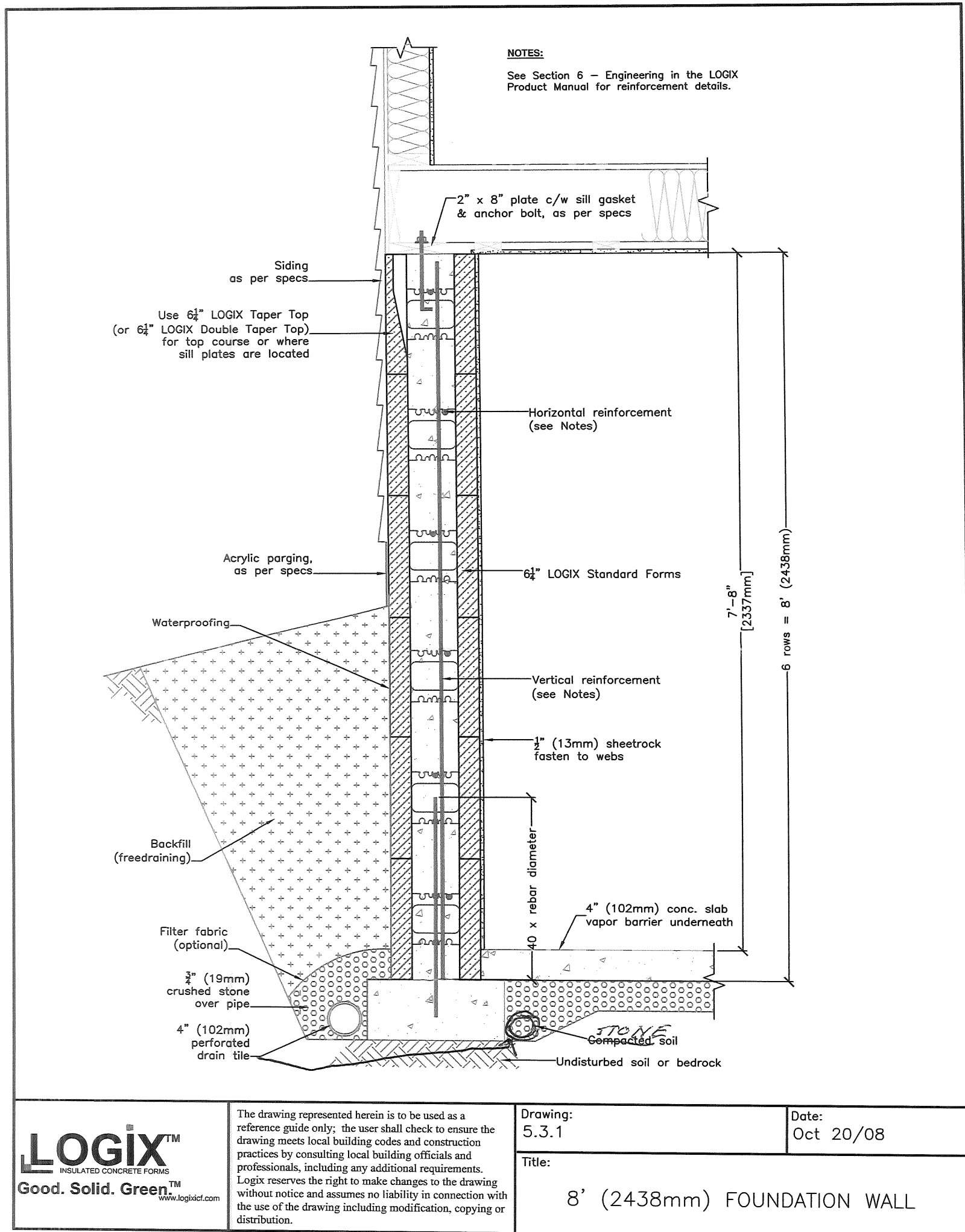
ROTATION 32
CENTER 5024, 8153
5036, 3068

This survey conforms to current rules & regulations of the
Maine State Board of Registration for Land Surveyors
JOHN D. PALMITER, PLS #1057



STANDARD BOUNDARY SURVEY
& SITE PLAN
386 CAPISIC ST. - PORTLAND, MAINE
MADE FOR RECORD OWNER:
WAYFARER VILLAGE INC.
143 CRAGIE ST. - PORTLAND, ME. 04102
FIELD BOOK 74 PAGE 30 - FILE 743009
JUNE 18, 2009 1" = 10'
JOHN D. PALMITER, PLS 1057
29 MAYBERRY ROAD GRAY, MAINE 04039
TELEPHONE (207) 657-4630





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Drawing: 5.3.1

Date: Oct 20/08

Title: 8' (2438mm) FOUNDATION WALL