

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 080710

Please Read
Application And
Notes, If Any,
Attached

This is to certify that WAYFARER VILLAGE INC / James Gray

has permission to 1600 SqFt Single Family Home 3 Bedrooms.

AT 386 CAPISIC ST CBL 225 E010001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

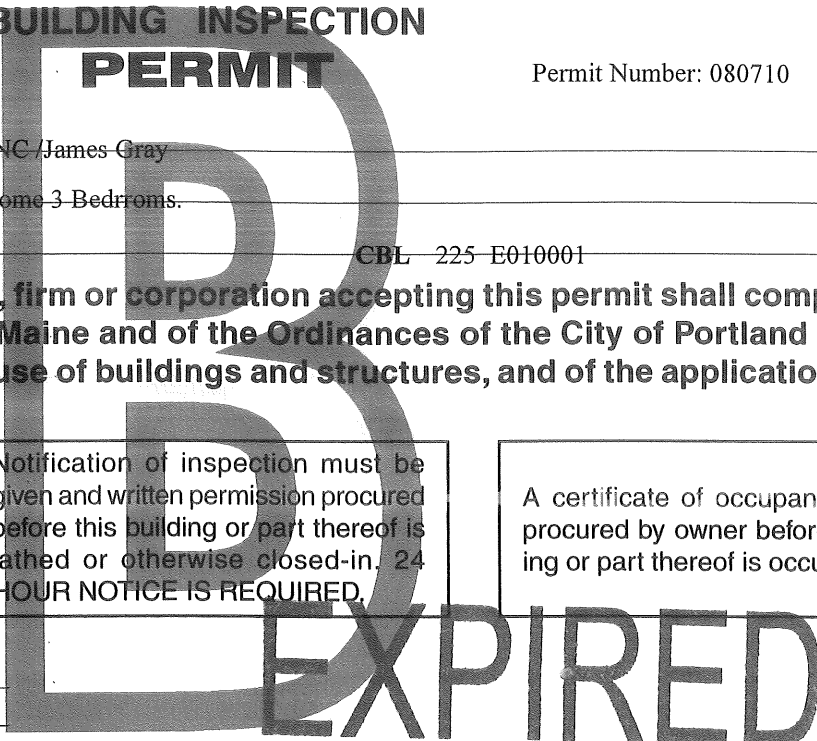
Appeal Board _____

Other _____

Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0710	Issue Date:	CBL: 225 E010001
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Location of Construction: 386 CAPISIC ST	Owner Name: WAYFARER VILLAGE INC	Owner Address: 2 PENNELL LN	Phone: 207-415-7881
Business Name:	Contractor Name: James Gray	Contractor Address: 2 Pennell Ln, PO Box 363 Gray	Phone 2074157881
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R-3

Past Use: Vacant Land	Proposed Use: Single Family Home - 1600 SqFt Single Family Home 3 Bedrroms.	Permit Fee: \$1,265.00	Cost of Work: \$117,000.00	CEO District: 3
Proposed Project Description: 1600 SqFt Single Family Home 3 Bedrroms.		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type:	
		Signature:		Signature:
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
		Signature: Date:		

Permit Taken By: lmd	Date Applied For: 06/17/2008	Zoning Approval		
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <i>N/A</i> <input type="checkbox"/> Flood Zone <i>per 12-2008</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2008-0085</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/>	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<p>Historic Preservation</p> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date:	Date:	Date:

EXPIRED

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0710	Date Applied For: 06/17/2008	CBL: 225 E010001
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Business Name:	Contractor Name: James Gray	Contractor Address: 2 Pennell Ln, PO Box 363 Gray	Phone: (207) 415-7881
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family Home - 1600 SqFt Single Family Home 3 Bedrroms.	Proposed Project Description: 1600 SqFt Single Family Home 3 Bedrroms.
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Dept: Zoning	Status:	Reviewer: Ann Machado	Approval Date:	Ok to Issue: <input type="checkbox"/>
Note:	EXPIRED			
Dept: Building	Status: Pending	Reviewer:	Approval Date:	Ok to Issue: <input type="checkbox"/>
Note:				

Dept: DRC	Status: Pending	Reviewer:	Approval Date:	Ok to Issue: <input type="checkbox"/>
Note:				

Comments:
6/23/2008-amachado: Spoke to Jim Gray. Need a full size copy of the siteplan that is scalable.
6/24/2008-amachado: Spoke to Jim Gray. Full size elevation plans don't reflect the grade change on the property. A daylight basement door is shown on the reduced building plans but not on the fullsize. Need details of the door and details on the foundation plan.
6/26/2009-amachado: Application was never complete. Jim Gray submitted a new single family application 6/22/09.

08-0710



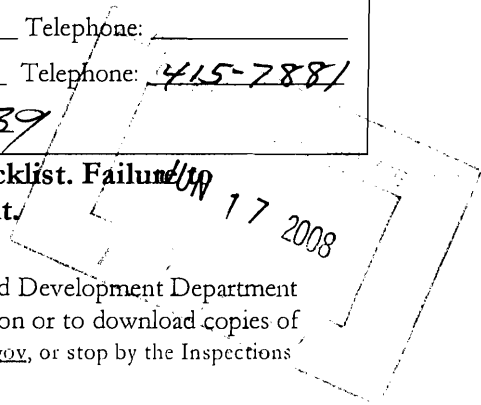
General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>386 Capisic St.</u>		
Total Square Footage of Proposed Structure/Area <u>1600</u>		Square Footage of Lot <u>12,375</u>
Tax Assessor's Chart, Block & Lot Chart# <u>225</u> Block# <u>E</u> Lot# <u>10</u>	Applicant * must be owner, Lessee or Buyer* Name <u>Jama Gray</u> Address <u>P.O. Box 363</u> City, State & Zip <u>Gray, ME 04039</u>	Telephone: <u>415-7881</u>
Lessee/DBA (If Applicable) <u>NA</u>	Owner (if different from Applicant) Name Address <u>Same</u> City, State & Zip	Cost Of Work: \$ <u>117,000</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>Vacant Lot</u> If vacant, what was the previous use? <u>Yard</u> Proposed Specific use: <u>Single Fam Residence</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>New construction - Bengalow style single fam. dwelling - 3 bedroom</u> <u>#060092</u>		
Contractor's name: <u>Jama Gray</u> Address: <u>Same as above</u> City, State & Zip _____ Telephone: _____ Who should we contact when the permit is ready: <u>Jama Gray</u> Telephone: <u>415-7881</u> Mailing address: <u>P.O. Box 363 Gray, ME 04039</u>		

EXPIRED

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.



In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

EXPIRED

Signature: Jama Gray Date: 5-20-08

This is not a permit; you may not commence ANY work until the permit is issue

CK-4844

Applicant: Jim Gray (Wayfare Villages, Inc.)

Date: 6/23/08

Address: 386 Capisic St.

C-B-L: 225-E-010

Permit # 08-070

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - build new 2 story single family home

Sewage Disposal - City

Lot Street Frontage - 50' min - 67' given

Front Yard - 25' min. - 34.5 scaled to steps

Rear Yard - 25' min. - 109.5 scaled to rear steps

Side Yard - 1 1/2 stories 8' min. - *12' scaled on right
2 stories 14' min. - 25' scaled on left

* can reduce to 8' on one side
- need total of 28' - 37' total OK

Projections -

Width of Lot - 65' min - 67.5 scaled

Height - 35' max - 19.5 scaled @ approx average grade

Lot Area - 6,500 sq ft min. - 12,378 sq ft given

Lot Coverage/ Impervious Surface - 35% = 4332.3 sq ft

30 x 36 = 1080

2 x 18 = 36

8 x 2 = 16

5 x 1.5 = 7.5

5 x 2.5 = 12.5

Area per Family - 6,500 sq ft

Off-street Parking - 2 spaces required - OK

Loading Bays - N/A

Site Plan - minor/minor 2008-0085

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - panel 12 - 2008

* partial day light basement

EXPIRED

1152

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy
Marge Schmuckal**

2008-0085
Application I. D. Number
6/17/2008
Application Date
1600 Sq.Ft. Single Family 3 Bedroom H
Project Name/Description

Wayfarer Village Inc
Applicant
2 Pennell Ln , Gray , ME 04039
Applicant's Mailing Address

386 - 386 Capisic St , Portland, Maine
Address of Proposed Site
225 E010001
Assessor's Reference: Chart-Block-Lot

Consultant/Agent
Applicant Ph: (207) 415-7881 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Apt 0 Condo 0 Other (specify) _____
0

Proposed Building square Feet or # of Units Acreage of Site Proposed Total Disturbed Area of the Site Zoning

Check Review Required:

- Site Plan (major/minor) Zoning Conditional - PB Subdivision # of lots _____
- Amendment to Plan - Board Review Zoning Conditional - ZBA Shoreland Historic Preservation DEP Local Certification
- Amendment to Plan - Staff Review Zoning Variance Flood Hazard Site Location
- After the Fact - Major Stormwater Traffic Movement Other _____
- After the Fact - Minor P&Z Review 100 Sheets Review

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer _____ \$50.00 Date 6/18/2008



Zoning Approval Status:

- Approved Approved w/Conditions See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

GENERAL NOTES

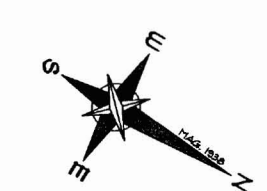
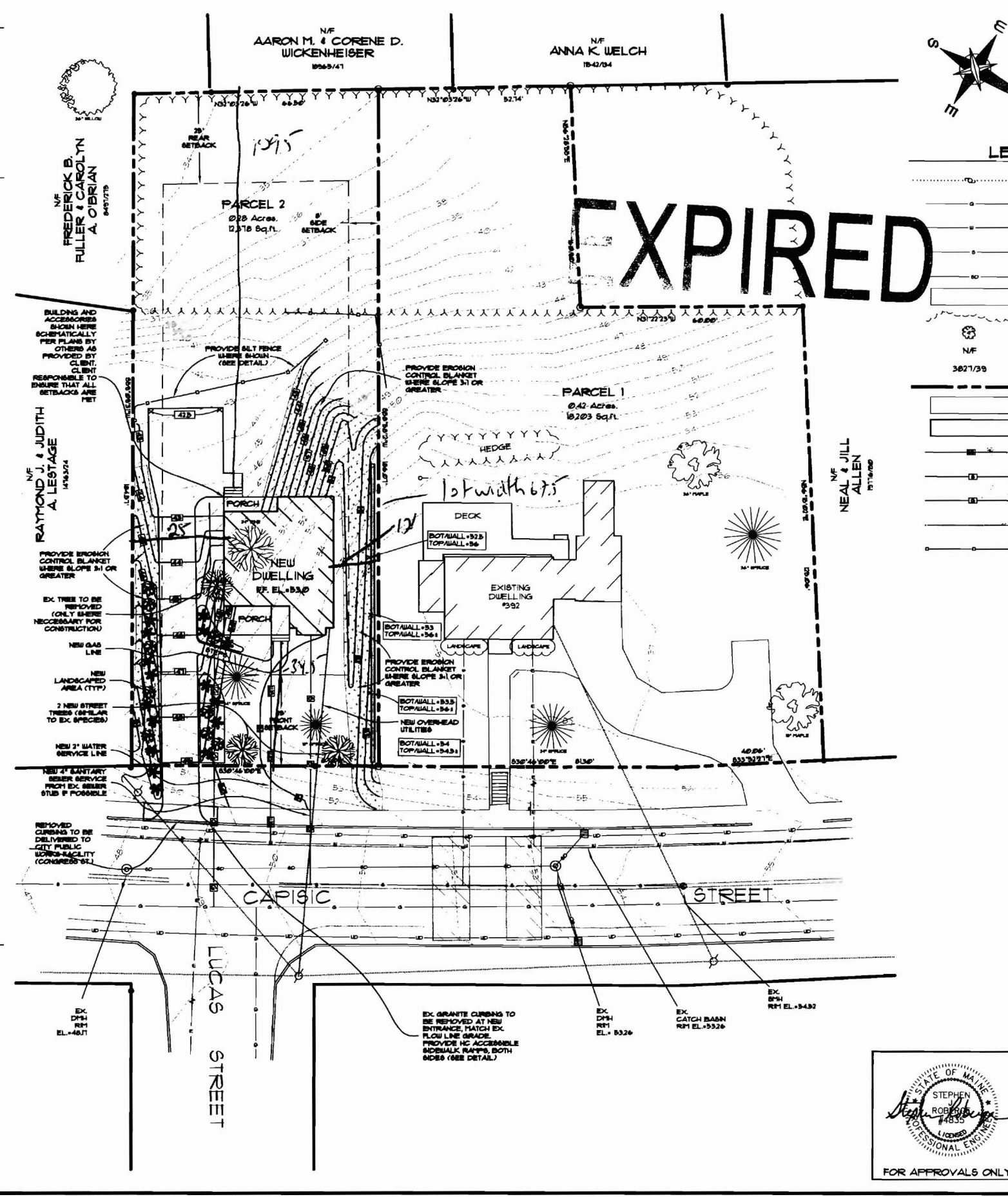
1. TEMPORARY BENCH MARK ASSUMED PER CULLENBERG SURVEY OF 9/26/95.
2. SITE TOPOGRAPHY SHOWN HEREON FROM A FIELD SURVEY AS PERFORMED BY CULLENBERG LAND SURVEYING AND VISUALLY REVISED 8/15/95 AND MAY NOT BE ACCURATE IN ALL LOCATIONS.
3. PROPERTY SURVEY, MERIDIAN AND METES AND BOUNDS PROVIDED CULLENBERG LAND SURVEYING.
4. NO SITE WETLAND REVIEW OR DELINEATION WAS PERFORMED ON THIS SITE.
5. PROPOSED BUILDING FOUNDATIONS AS SHOWN PER PLANS BY HANCOCK LUMBER DATED 8/22/95 AS PROVIDED BY THE CLIENT. REFER TO ACCEPTED ARCHITECTURAL PLANS FOR ACCURATE DIMENSION, ETC.

GENERAL CONSTRUCTION NOTES

1. THE CONTRACT WORK TO BE PERFORMED ON THIS PROJECT CONSISTS OF FURNISHING ALL REQUIRED LABOR, MATERIALS, EQUIPMENT, EXPENSES, PARTS AND SUPPLIES NECESSARY FOR OR APPURTENANT TO THE INSTALLATION OF CONSTRUCTION IMPROVEMENTS IN ACCORDANCE WITH THESE DRAWINGS AND AS FURTHER ELABORATED IN ANY ACCOMPANYING SPECIFICATIONS.
2. THE WORK SHALL BE PERFORMED IN A THOROUGH WORKMANLIKE MANNER. ALL CONTRACTORS TO CONFORM TO ALL APPLICABLE CIVIL STANDARDS, ANY ORDINANCES, A SPECIFICATION OR DESIGNATION OF THE AMERICAN SOCIETY FOR TESTING MATERIALS, FEDERAL SPECIFICATIONS, OR OTHER STANDARDS, CODES OR ORDERS, REFERS TO THE MOST RECENT OR LATEST SPECIFICATION OR DESIGNATION.
3. ALL CONSTRUCTION WITHIN THE CITY OF PORTLAND RIGHT OF WAY SHALL COMPLY WITH CITY PUBLIC WORKS STANDARDS. ALL CONSTRUCTION WITHIN A STATE RIGHT OF WAY SHALL COMPLY WITH MAINE D.O.T. STANDARDS. ALL UTILITY CONSTRUCTION SHALL CONFORM TO RESPECTIVE UTILITY STANDARDS.
4. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY THE CITY OF PORTLAND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF PORTLAND REQUIRED TO PERFORM ALL THE WORK (STREET OPENING, BUILDING PERMIT, ETC.). THE CONTRACTOR SHALL POST ALL SIGNS AS REQUIRED, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
5. PRIOR TO CONSTRUCTION THE SITE CONTRACTOR IS TO NOTIFY ALL AREA UTILITY COMPANIES AND GOVERNMENTAL AGENCIES OF PLANNED CONSTRUCTION. THE SITE CONTRACTOR IS REQUIRED TO CONTACT DIS-SAFE (1-888-728-4874) AT LEAST 3 BUSINESS DAYS PRIOR TO ANY EXCAVATION TO VERIFY ALL UNDERGROUND AND OVERHEAD UTILITY LOCATIONS.
6. THE PROJECT DRAWINGS ARE GENERALLY SCHEMATIC AND INDICATE THE POSSIBLE LOCATION OF EXISTING UNDERGROUND UTILITIES. INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY MAPS, RECORD PLANS, AND FIELD SURVEY. IT IS NOT GUARANTEED TO BE CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE ACTUAL LOCATION AND ELEVATIONS OF ALL UTILITIES. INCLUDING SUPPORT, WHEN THESE SERVICES ARE TO BE LEFT IN PLACE. THE CONTRACTOR IS TO PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTION DURING THE EXCAVATING AND BACKFILLING OPERATIONS. SHOULD ANY UNEXPECTED OR INCORRECTLY CHARTERED UTILITIES BE FOUND, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH THE WORK IN THIS AREA.
7. OSHA REGULATIONS MAKE IT UNLAWFUL TO OPERATE CRANES, BOOMS, HORNS, ETC. WITHIN TEN FEET (10') OF ANY ELECTRICAL LINE. IF THE CONTRACTOR MUST OPERATE CLOSER THAN TEN FEET, THE CONTRACTOR MUST CONTACT THE POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER BARRIERS BEFORE ENCROACHING ON THIS REQUIREMENT.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE ALL PLANS, APPROVALS, AND DETAILS FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL THE SITE CONDITIONS IN THE FIELD AND CONTACT THE DESIGN ENGINEER IF THERE ARE ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT AN APPROPRIATE REVISION CAN BE MADE PRIOR TO BIDDING.
9. THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF THE BUILDING AREA (SITE PLANS SHOW APPROXIMATE BUILDING DIMENSIONS). ALL SITE DIMENSIONS ARE REFERENCED TO PROPERTY CORNER, THE FACE OF CURB, OUTSIDE FACE OF WALL, OR EDGE OF PAVING UNLESS OTHERWISE NOTED.
10. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED IN WRITING BY THE OWNER, DESIGN ENGINEER, AND APPROPRIATE GOVERNMENTAL AGENCY PRIOR TO INSTALLATION.
11. THE CONTRACTOR SHALL RESTORE ALL UTILITY STRUCTURES, PIPE, UTILITIES, PAVEMENT, CURBS, SIDEWALKS, AND LANDSCAPED AREAS DISTURBED BY CONSTRUCTION TO AS GOOD AS BEFORE BEING DISTURBED AS DETERMINED BY CITY OF PORTLAND CODE ENFORCEMENT OFFICIALS. ANY DAMAGES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
12. TRAFFIC CONTROL MEASURES SHALL BE UTILIZED IN ACCORDANCE WITH MAINE DOT STANDARDS. THE CONTRACTOR SHALL PROVIDE, MAINTAIN AND PROTECT TRAFFIC CONTROL DEVICES TO THE EXTENT REQUIRED BY LAW FOR THE PROTECTION OF THE PUBLIC CONSISTING OF CONES, BARRIERS, SIGNS, LIGHTS, FLAGS AND UNPROTECTED TRAFFIC CONTROL PERSONNEL AS REQUIRED OR ORDERED BY THE DESIGN ENGINEER OR CODE ENFORCEMENT PERSONNEL. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LINES AND PROVISIONS INDICATED AT ALL TIMES UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE CITY OF PORTLAND. PAVEMENT MARKINGS SHALL BE PAINT STRIPS TYPE IN ACCORDANCE WITH PORTLAND SPECIFICATIONS. TWELVE (12") WIDE STOP BAR AND FOUR (4") WIDE STRIPES SHALL BE LOCATED AS SHOWN ON THE PLANS.
13. THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF ALL PRODUCT, MATERIALS AND PLANT SPECIFICATIONS TO THE OWNER AND DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 10 WORKING DAYS FOR REVIEW.
14. THE OWNER MAY RETAIN AN INDEPENDENT TESTING LABORATORY FOR SOIL AND PAVEMENT TESTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COSTS ASSOCIATED WITH ANY RECONSTRUCTION AND RE-TESTING OF UNSATISFACTORY SOILS.
15. ALL EXCAVATION SHALL BE BACKFILLED TO EXISTING GRADE BEFORE THE END OF THE DAY OR ADEQUATELY PROTECTED FROM DANGER TO HUMANS AND ANIMALS.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL FIELD LAYOUT. THE OWNER WILL PROVIDE A BENCH MARK AT THE CONSTRUCTION SITE FROM WHICH TO BEGIN LAYOUT.
17. THE CONTRACTOR SHALL FURNISH ELECTRICAL, POWER, WATER, AND SANITARY FACILITIES FOR HIS EXCLUSIVE USE AT THE CONSTRUCTION SITE SHOULD THE CONTRACTOR DEEM THIS ESSENTIAL FOR THE PROPER PERFORMANCE OF THE CONTRACT.
18. WORK MAY PROGRESS MONDAY THROUGH SATURDAY 7:00 AM TO 5:00 PM. WORK AT OTHER TIMES MAY PROCEED UPON WRITTEN APPROVAL BY THE OWNER AND THE CITY OF PORTLAND. THE CONTRACTOR SHALL BE REQUIRED TO CONFORM WITH ALL RULES AND REGULATIONS SET FORTH IN CITY OF PORTLAND SUBDIVISION REGULATIONS.
19. THE CONTRACTOR SHALL GUARANTEE THE PATENTED REMEDY OF ANY DEFECTS DUE TO FAULTY MATERIALS OR WORKMANSHIP AND DEFECTS IN WORK OR FOR ANY RESULTS DAMAGE WHICH SHALL APPEAR WITHIN A PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION OF THE PROJECT.
20. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
21. A PRE-CONSTRUCTION CONFERENCE WITH THE OWNER, DESIGNER, CITY OFFICIALS AND CONTRACTOR SHALL BE REQUIRED BEFORE ANY CONSTRUCTION OCCURS ON THE PROJECT. DURING CONSTRUCTION THERE SHALL BE WEEKLY PROGRESS MEETINGS WITH THE OWNER (ON SITE OR TELECONFERENCE) UNTIL PROJECT COMPLETION.
22. PROPER IMPLEMENTATION AND MAINTENANCE OF EROSION CONTROL MEASURES ARE OF PARAMOUNT IMPORTANCE FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ORATE INSPECTIONS OF THE OWNER, THEIR REPRESENTATIVES, OR STATE/LOCAL FEDERAL INSPECTORS AT NO ADDITIONAL COST TO THE OWNER.
23. SEWER AND WATER CONNECTIONS TO THE EXISTING LINES, THE TYPE AND LOCATIONS OF WHICH TO BE VERIFIED BY THE CONTRACTOR ARE TO BE MADE IN CONFORMANCE WITH THE CITY OF PORTLAND WATER AND SANITARY DISTRICT REGULATIONS.

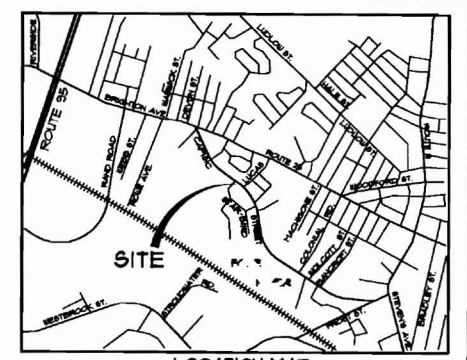
GRADING NOTES

1. THE CONTRACTOR SHALL PRESERVE EXISTING TREES WHERE POSSIBLE.
2. TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING.
3. EROSION CONTROL LAYERS SHALL START AT THE DEEPEST PORTION OF THE HILL AND AS PLACEMENT PROGRESSES, LAYERS SHALL BE PLACED APPROXIMATELY HORIZONTAL IN EIGHT (8) INCH (2") LIFTS AT THE CLOSE OF EACH DAY'S WORK. THE EROSION CONTROL LAYERS SHALL BE GRADED, CRIMPED, ROLLED AND SEALED AGAINST INFILTRATION OF WATER. EXCESS EXCAVATION, IF ANY, SHALL BE REMOVED. OFFSITE UNLESS CONTRACTOR OBTAINS WRITTEN APPROVAL FROM OWNER FOR STOCKPILING MATERIALS ONSITE.
4. THE CONTRACTOR SHALL COMPACT FILL UNDER ALL PARKING, BUILDING, AND DRIVE AREAS TO 98% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D697 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
5. AGGREGATE FOR GRAVEL SURFACE COURSE SHALL MEET TYPE "A" HDOT GRAVELS SECTION 709.06. AGGREGATE FOR GRAVEL BASE COURSE SHALL MEET TYPE "D" HDOT GRAVELS SECTION 709.06. THE COMPLETED SURFACE OF EACH LAYER OF GRAVEL SHALL BE SHAVED AND MAINTAINED TO A TOLERANCE ABOVE OR BELOW THE REQUIRED GRADE, OF ONE HALF INCH.
6. ALL AREAS WHERE LOAM IS REQUIRED SHALL BE TRIPPED AND SHAPED TO THE REQUIRED GRADE. ALL OBSTRUCTIONS SHALL BE REMOVED FROM THE LOAM. LOAM SHALL BE SPREAD UNIFORMLY ON THE PREPARED AREAS TO A UNIFORM DEPTH OF FOUR INCHES (4"). ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS. IT IS NECESSARY TO COMPACT THE TOPSOIL ENOUGH TO ENSURE GOOD CONTACT WITH THE UNDERLYING SOIL, HOWEVER, UNDER CORRECTION IS TO BE AVOIDED AS IT PREVENTS SEED GERMINATION.



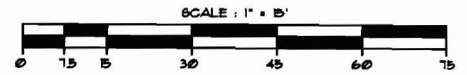
LEGEND

- EX. UTILITY POLE
- EX. GAS MAIN
- EX. WATER MAIN
- EX. SANITARY SEWER
- EX. STORM DRAIN
- EX. PAVEMENT
- EX. TREE LINE
- EX. TREE
- NF NOU OR FORMERLY
- 3627/39 BOOK AND PAGE #
- PROPERTY LINE
- EX. ASPHALT SIDEWALK
- NEW ASPHALT PAVING
- NEW WATER MAIN
- NEW SANITARY SEWER
- NEW GAS SERVICE
- NEW OVER-HEAD UTILITIES
- NEW SILT FENCE



UTILITY CONSTRUCTION NOTES

1. UTILITY CONNECTION DESIGN AS REFLECTED ON THESE PLANS MAY CHANGE SUBJECT TO UTILITY COMPANY AND CITY STAFF REVIEW.
2. PROPER COORDINATION WITH THE RESPECTIVE UTILITY COMPANY SHALL BE PERFORMED BY THE CONTRACTOR TO ENSURE THAT ALL UTILITY COMPANIES (AND CITY) STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET.
3. ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION BY UTILITY COMPANY PERSONNEL PRIOR TO BACKFILL OF TRENCHES.
4. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER CONSTRUCTION APPROVED ACCURATE METHOD.
5. SANITARY LINES SHALL MAINTAIN A TEN FOOT (10') MINIMUM HORIZONTAL AND EIGHTEEN INCH (18") VERTICAL SEPARATION DISTANCE FROM WATER LINES.
6. RELOCATION OF UTILITY COMPANY FACILITIES (SUCH AS POLES) SHALL BE RELOCATED WITH THE AGREEMENT OF OWNER (OR CITY) AND UTILITY COMPANY.
7. ALL WATER LINES TO HAVE 5" OF EARTH COVER OVER PIPE WHERE POSSIBLE. THE WATER LINES ARE TO BE CONSTRUCTED, BACKFILLED AND COMPACTED TO PORTLAND WATER DISTRICT STANDARDS.



- REV. 4 6/18/06 REGRADE SITE, RELOCATE RETAINING WALL
- REV. 3 5/25/06 REV. BLDG. DRIVE UTILS, GRADING, ETC.
- REV. 2 6/8/05/06 REV. BLDG. COORDINATE PER C.O.P. REVIEW LETTER OF JAN 25, 2006
- REV. 1 8/28/05 REV. BLDG. DIMS. AND LOCATION PER CLIENT REQUEST.

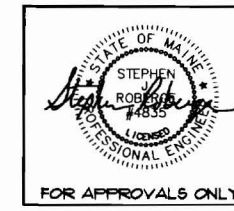


S.J.R. ENGINEERING
 21 MAYFLOWER ROAD
 AUGUSTA, MAINE
 TEL: (207) 622-1616

RESIDENTIAL DEVELOPMENT PLAN
 CASIC STREET

WAYFARER VILLAGE, INC - JAMES R. GRAY PRES.
 2 PENNELL LANE - GRAY, MAINE 04039
 CUMBERLAND COUNTY

SCALE: AS SHOWN DRAWN BY: BONAC PROJECT: GRAY-RDP3
 DATE: OCT, 2005 CHECKED BY: SJR DRAWING #1



GENERAL NOTES

These plans were designed to conform to the latest edition of the International Residential Code for One- and Two-Family Dwellings (exclusive of seismic and high wind regulations). Due to continuous changes in both local and national building codes, accommodating all building restrictions is impossible. Therefore, these plans are subject to local requirements and interpretations. If these plans are not signed and sealed by a registered architect, it becomes the responsibility of the user to make certain these plans comply to local code requirements. In the event of a conflict between specifications contained in this set of plans and applicable codes or regulations in your area, the more stringent provision shall apply and be followed during construction. Variations required by local building officials shall not be binding on the designer, or the Goringhouse Co. Inc. The Goringhouse Co. Inc. is not responsible for the availability of any suggested manufactured products specified on these plans or material lists.

BUILDER QUALIFICATIONS & CONSTRUCTION STANDARDS

These plans are intended for use only by persons knowledgeable in and familiar with generally accepted methods, techniques and industry standards for construction and who are familiar with all applicable codes and other regulations that govern the construction of the type of structure. All construction is to be performed in accordance with these regulations and standards. If no building code ordinance has been locally adopted, then the International Residential Code should be used. The Goringhouse Company Inc. cannot be responsible for any construction methods or procedures followed that are not specified or called out specifically in these plans and specifications.

DIMENSIONS

Written dimensions shall take precedence over scale dimensions. (DO NOT SCALE DRAWINGS).

ERRORS AND OMISSIONS

Every effort has been made to insure that these plans are accurate and drawn to reflect all current national standards for safe and proper building practices. Any errors or omissions found should be reported to the Technical Services Department of the Goringhouse Company Inc. at P.O. Box 1717, Middletown, CT 06457, (203) 632-1064. In addition to insuring that errors will be corrected for future purchasers, replacement copies of the plans will be provided to you free of charge once corrections are made.

DESIGN LOADS

These plans were designed to meet the external load conditions noted below. However, design load specifications (especially for roofs) vary from region to region due to local codes and geographic conditions. User must consult with local building code officials to determine if these design load specifications are adequate. If the design loads do not meet local requirements, it becomes the user's responsibility to have these plans altered to conform to such requirements.

Table with 3 columns: Location, Dead Loads, Live Loads. Rows include Roof, First Floor, Second Floor, Decks and Balconies, Ceiling, and Cantilevered Floors & Floors Over Garages.

INSULATION & WEATHER SEALING

It may be necessary to alter the width of framing members or the size and style of wall sheathing on exterior walls to something other than shown on these plans in order to accommodate alternate insulation materials as may be required by local codes or conventions. Caulking or gasketing is to be applied to all exterior sills and plates and all exterior envelope penetrations (between window or door frames and rough openings). Unless inconsistent with local code requirements, insulation with the following "R" values is to be installed with vapor barrier facing towards the heated space.

Table with 2 columns: Insulation Type, R-Value. Rows include Ceiling Insulation (attic space above) and Ceiling Insulation (combination rafter-joints).

Table with 2 columns: Location, R-Value. Rows include Exterior Walls (2x6 construction) and Floors Over Unheated Crawl Spaces or Unheated Basements.

FOUNDATIONS

1. Footings shall bear on firm, undisturbed soil a minimum of 24" below the final finished grade line for one and two story structures. However, should the frost line be locally deeper than 24", then the bottom of footings shall extend below this local frost line. Where sloping grades are involved, footing depths must always be measured from the point at the final finished grade line that is closest to the footing.

2. To insure proper support for the footings and foundation walls, footings must always be poured with a flat bottom surface. Footings may be stepped where necessary to allow the footing to remain below frostline on a sloping grade, but the structure may not be built on a site where the finished grade line exceeds thirty degrees down from level. Sloping sites require special engineering for extended foundation walls and stepped footings.

3. A minimum 2500 psf soil bearing is required.

4. Drains shall be provided around all usable spaces located below ground. Drain tiles, perforated pipe, or other methods approved by local codes should be installed at or below the area to be protected, and must discharge by gravity or mechanical means to a drainage system.

5. Apply bituminous foundation coating on all exterior walls below grade, and damp proofing on all exposed surfaces of concrete walls above grade and on all slabs not covered by finish materials. It is the responsibility of the foundation contractor to waterproof the foundation walls with the appropriate materials for local conditions.

CONCRETE

- 1. All concrete for walls, footings, and basement slabs shall develop and maintain a minimum compressive strength of 2500 psi at 28 day strength.
2. All concrete for garage slabs and porches shall develop and maintain a minimum compressive strength of 3000 psi at 28 day strength.
3. Concrete forms, shoring and pouring methods shall conform to all current practices endorsed by the American Concrete Institution.
4. Backfill shall not be placed against basement retaining walls until:
a. Concrete or masonry grout has reached its 28-day strength, and
b. Structural floor framing (including sub-floor) required to stabilize walls is complete, fully nailed and anchored, and
c. Walls have been properly shored.

FRAMING NOTES

The following is a list of procedures to accompany standard building practices and should be followed during the framing of the structure.

- A. All frame walls shall have stud framing placed at 16" o.c. except where noted otherwise.
B. Top plates shall be doubled on all walls except where noted otherwise.
C. Jack studs under all headers shall be continuous to sole plate.
D. Double joists under all walls parallel to joists except where noted otherwise; also under kitchen cabinets and bath tubs parallel with joists.
E. Block all stud walls as required for sheathing.
F. Solid blocking between all joists and rafters at supporting walls and beams except at rim joists.
G. Double rim joists at all walls parallel to joists.
H. Beams, girders, and joists supporting bearing walls or concentrated loads shall not be notched or drilled with holes larger than 1" in diameter.
I. All rafters shall be notched to provide full bearing on supports.
J. The ends of all joists shall bear on not less than 1 1/2" on wood or metal and not less than 3" on masonry. The ends of all beams or girders shall bear on not less than 3".
K. Lap all joists 3" minimum (24" maximum) at all interior bearing supports.
L. All sills and ledger boards at concrete walls shall have anchor bolts of the size and spacing shown on the drawings. Each board shall be secured with at least two bolts and each board shall have a bolt within 12" of each end.
M. Provide double framing at all roof and floor diaphragm penetrations, unless noted otherwise on plans.
N. Contractor shall provide adequate bracing or otherwise support all portions of the structure until all members have been permanently joined together.
O. All roof trusses shall be designed by a registered engineer for the truss manufacturer. Submit sealed truss engineering drawings to the local Building Department indicating bracing, etc., that may be required.
P. All wood in permanent contact with concrete shall be pressure treated with a water borne preservative.
Q. All mechanical holes through any structural member shall be at the center line of the member in compliance with the latest edition of the Wood Structural Design Data specifications.
R. All slabs on grade shall be reinforced with 6x6 10/10 welded wire mesh.

WOOD FRAMING

All solid sawn lumber shall be a minimum #2 grade or better with a Fiber Stress in Bending factor (Fb) of 675 psi BASE VALUE and a Modulus of Elasticity (E) of 1,400,000 psi unless otherwise specified. Solid sawn lumber at visually exposed locations shall be of a "clear grade or select". All lumber shall have a moisture content of no more than 19%. Lumber shall be graded in accordance with the Western Wood Products Association and/or the Canadian Wood Council.

- A. Post, Beams, & Headers #2 or Better
B. Floor, Ceiling Joists, & Rafters #2
C. Plates & Blocking #2
D. Sill, Exterior Deck, & Balcony Components Pressure Treated
E. Studs Stud Grade
F. Roof Sheathing 1/2" C-D Plywood (32/16) with interior/exterior glue
G. Sub-Floor over Joists 3/8" T&G Plywood

- H. Glu-Lam Beams-A.I.T.C. Industrial Grade with dry use adhesive (wet use for exterior use) Fb 2400 psi, E=1,700,000
I. Laminated Veneer Lumber (LVL) Fb 2800 psi, E=2,000,000

WINDOW & DOOR REQUIREMENTS

- A. All windows are noted by window schedule in plan and elevation, with specific manufacturer selection by owner and/or contractor. Contractor must verify all required rough framing openings.
B. Bedrooms and sleeping areas must have at least one window with a sill height of no more than 44" above the floor which will meet local code egress requirements.
C. All windows, patio doors, and doors with glass shall be double glazed, insulated units with wood or aluminum frame and sash.
D. Exterior doors are to be foam-core insulated steel doors unless otherwise noted.
E. All doors between garage and living areas shall be one hour fire rated assemblies with 1/2" solid wood core (or code approved equivalent) with self closing mechanism.

MISCELLANEOUS

- A. Plumbing diagrams or drawings shall be provided by the Plumbing Contractor. Heating/Cooling duct diagrams or drawings shall be provided by the Heating/Ventilation and Air Conditioning contractor.
B. Heat loss or energy use calculations shall be provided by the heating/cooling contractor or other professional as required by regulations.
C. All fireplaces shall be UL approved zero-clearance fireplaces with triple-wall metal flue. UL approved spark arrester chimney cap with approved rain cap. All fireplace openings shall be provided with tempered glass doors. Provide seismic combustion air for fireplaces, wood stoves, and liquid fuel heating appliances (per the "Chimneys and Fireplaces" chapter of the International Residential Code).
D. Chimneys shall extend at least 2 feet higher than any portion of the building within a 10 foot radius, but shall not be less than 3 feet above the roof where the chimney passes through the roof.
E. Hot and bathroom enclosures are to have 1/2" water resistant gypsum board and a hot moisture resistant surface up to 6'-0" from above the floor.
F. All exterior doors and windows shall vent to the outside through sheet metal ducts. Caulk around all penetrations through exterior envelope.
G. Provide 5/8" x 1/4" fire rated gypsum board between garage and living areas including garage ceilings where living areas are above.
H. Owner is responsible for site location of all foundations and site penetrations (i.e. sewer, water, underground power conduit stub-up).

STRUCTURAL & MISCELLANEOUS METAL

Structural shapes, bars, and plates shall be steel meeting American Society for Testing & Materials (ASTM) standard A36. Pipe columns, where shown on plans, shall be standard weight meeting ASTM A53, type S, Grade B. Design and fabrication shall conform to the latest edition of American Institute of Steel Construction (AISC) specifications. Exposed welds shall be ground smooth and flush. Reinforcement shall be bent cold and shall not be welded. All items except those to be erected with cast-in-place concrete shall be shop painted with rust primer. Erection shall conform to AISC specifications.

CONNECTORS & FASTENERS

- A. All nailing and fastening shall comply with the applicable code's Nail Fastening Schedule (UBC Table (25-2), BOCA Appendix E).
B. All flush beams and girders shall use joist hangers to support abutting joists and rafters.

FLASHING

Install flashing and counter-flashing of 26-gauge galvanized metal or aluminum wherever dissimilar building materials join or intersect at the roof of the structure. This includes all intersections of the roof with vertical walls, chimneys, and dormers, and as otherwise shown on the drawings. Flashing must also be installed above windows and doors, and at all horizontal joints in sheet siding.

GUTTERS

All gutters shall be made of aluminum or as otherwise shown on drawings. Gutters should be secured a minimum of every 4'-0" with approved fasteners.



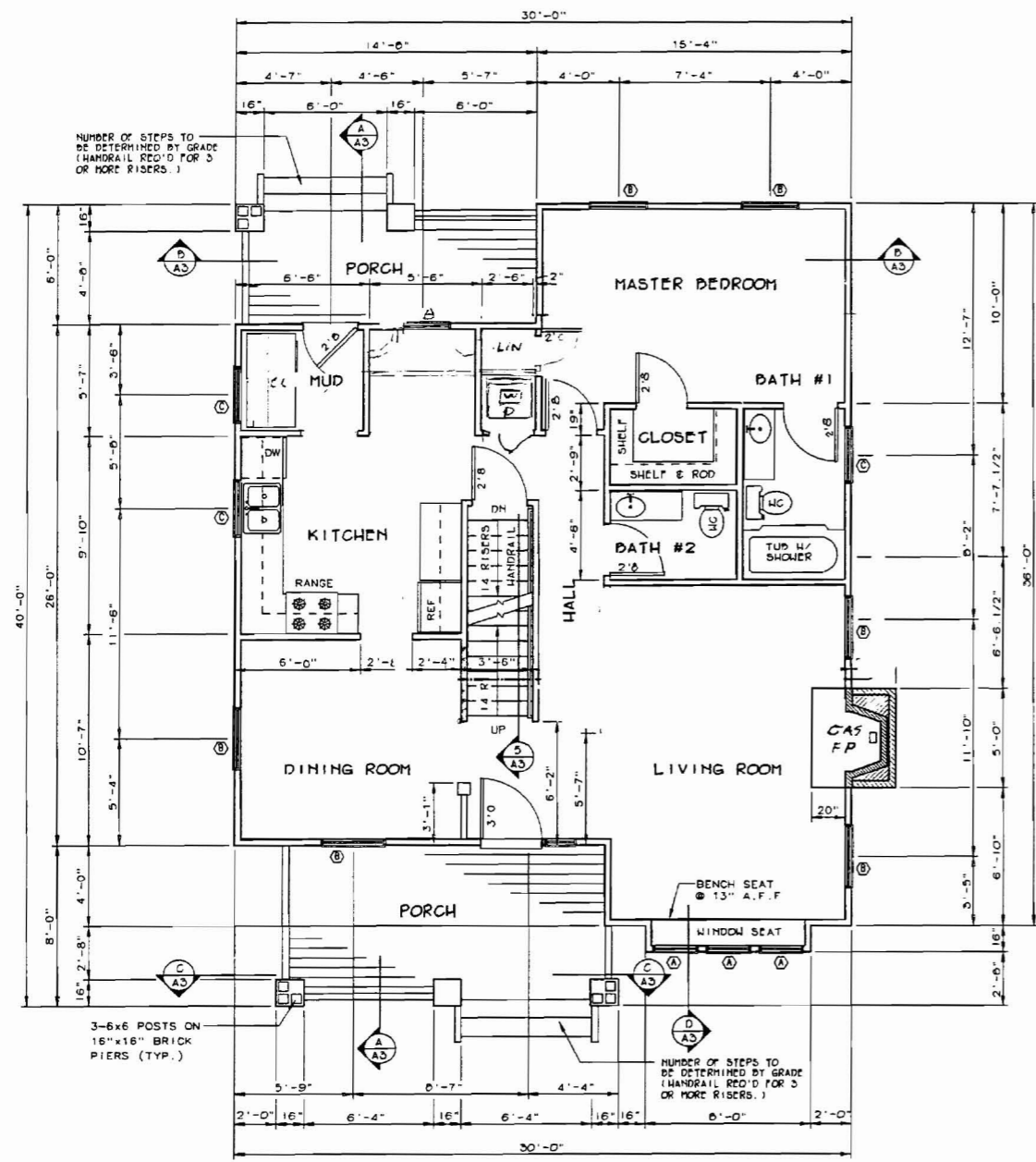
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ABBREVIATIONS

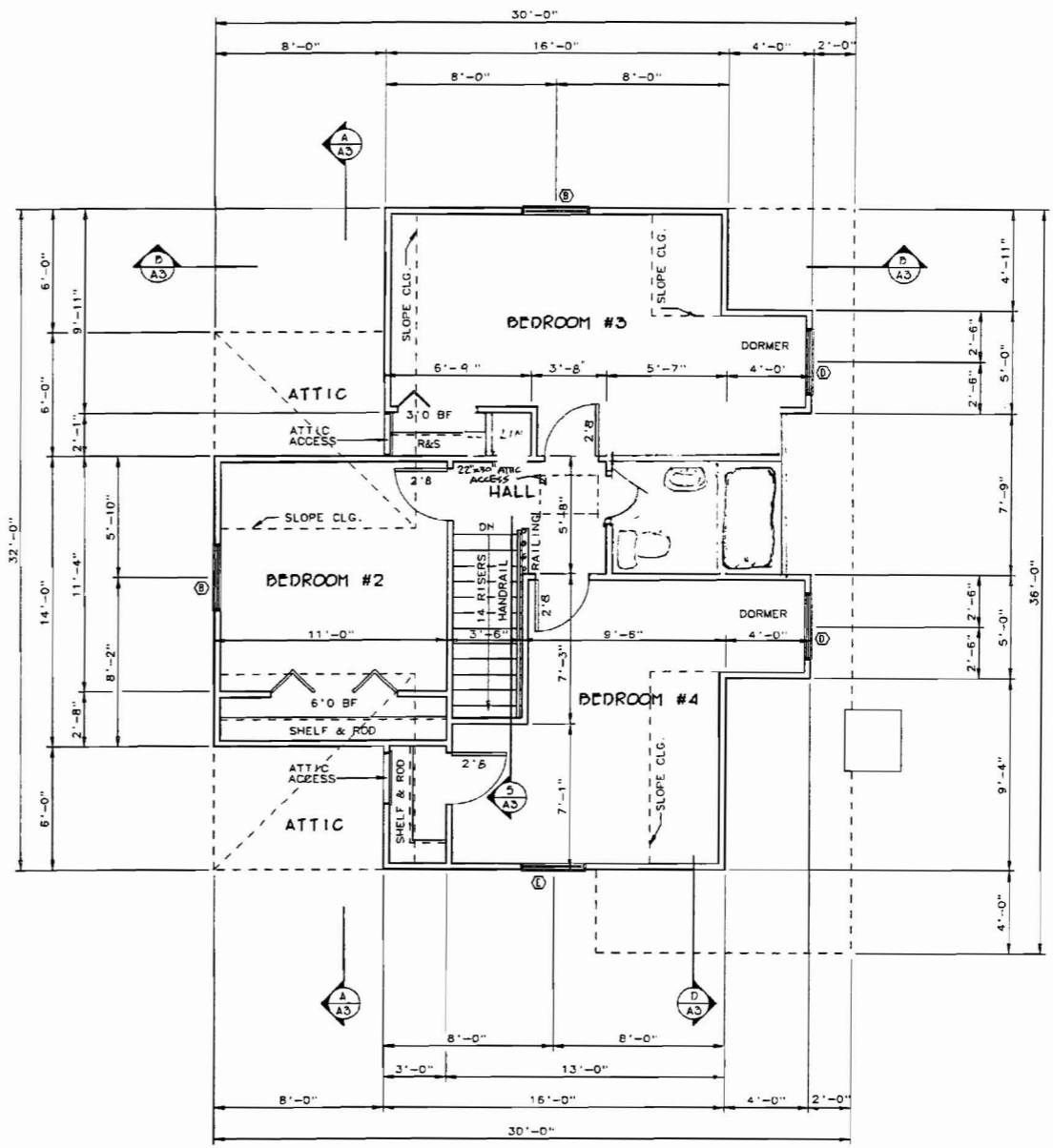
Table with 3 columns: Abbreviation, Description, and Unit/Notes. Includes terms like AFF ARCH, BSMNT, BRG, BD, BLDG, BM, CAB, CLG, CTR, CC, CLR, CONC, CONSTR, CONT, d, DL, DIAM, DRWG, EW, ELEC, ELEV, EXT, FIN, FLR, FD, FTG, FDN, GA, GWB, HDR, HORIZ, HB, INT, JST, LAM, LL, LVL, MFG, MAX, MECH, MIN, NO, O.C., OPT, PEN, REQD, R.O., S.C., SQ, STD, STOR, T&G, TYP, UNO, VERT, WC, W, WWJ, WWM, WD.

Architectural Drawing Index table with 2 columns: Drawing Code and Description. Rows include CS Cover Sheet/General Notes, A-1 Schedule/Kitchen Plan/Alternate Crawl Space-Slab Version, A-2 Elevations/Window Schedule, A-3 Cross Section/Details, E-1 Electrical Floor Plans, S-1 Alternate Block Foundation Details, S-2 Basement Foundation Plan/Details, S-3 Crawl Space Foundation Plan/Details, S-4 Slab Foundation Plan/Details, S-5 Floor Framing Plans/Lumber Specifications, S-6 Roof Framing Plan/Second Floor Ceiling Framing Plan.



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"
 TOTAL LIVING AREA: 1690 SF
 FIRST FLOOR: 931 SF
 SECOND FLOOR: 680 SF
 BASEMENT: 920 SF

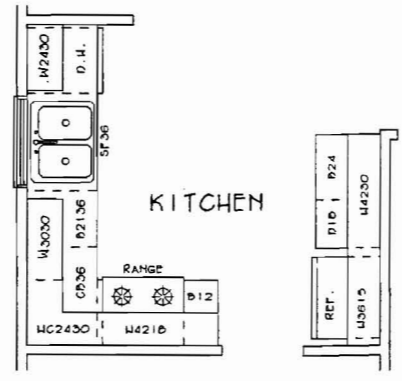


SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

FLOOR FINISH SCHEDULE

ROOM	FLOOR		
	CARPET	HL. W/O	TILE
PORCH			
LIVING ROOM			●
DINING ROOM			●
KITCHEN			●
MASTER BEDROOM	●		
BEDROOM #2	●		
BEDROOM #3	●		
BEDROOM #4	●		
BATH #1			●
BATH #2			●
BATH #3			●
HALL			●



CABINET PLAN

SCALE: 3/8" = 1'-0"

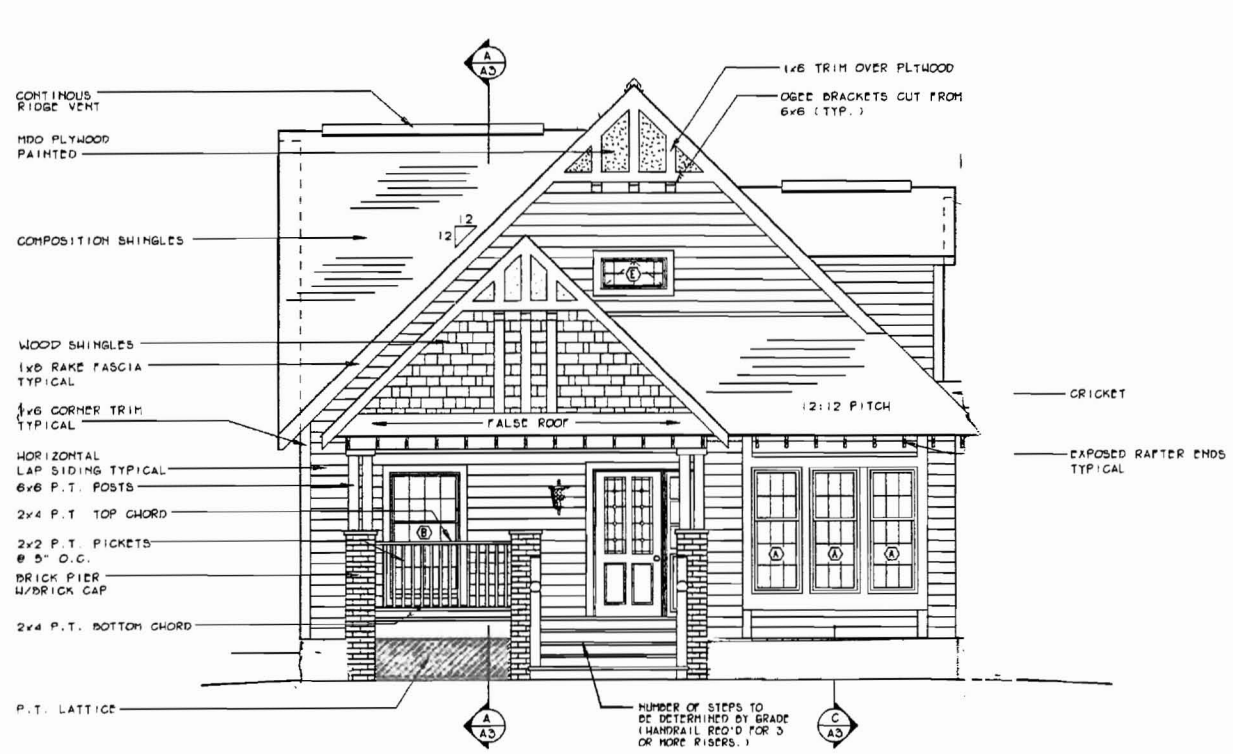
Notes:

- Dimensions shown are from outside of exterior frame walls to one side of partitions.
- Exterior house walls are 2x4 studs @ 24" o.c. Interior partitions are 2x4 studs @ 16" o.c.
- Install 6 mil. vapor barrier @ exterior walls, ceilings, and under slabs.
- Carpet all areas unless otherwise shown.
- All exterior and bearing wall openings to have 2x12 headers unless otherwise specified. Rough opening height should be approximately 6'-10 3/4".

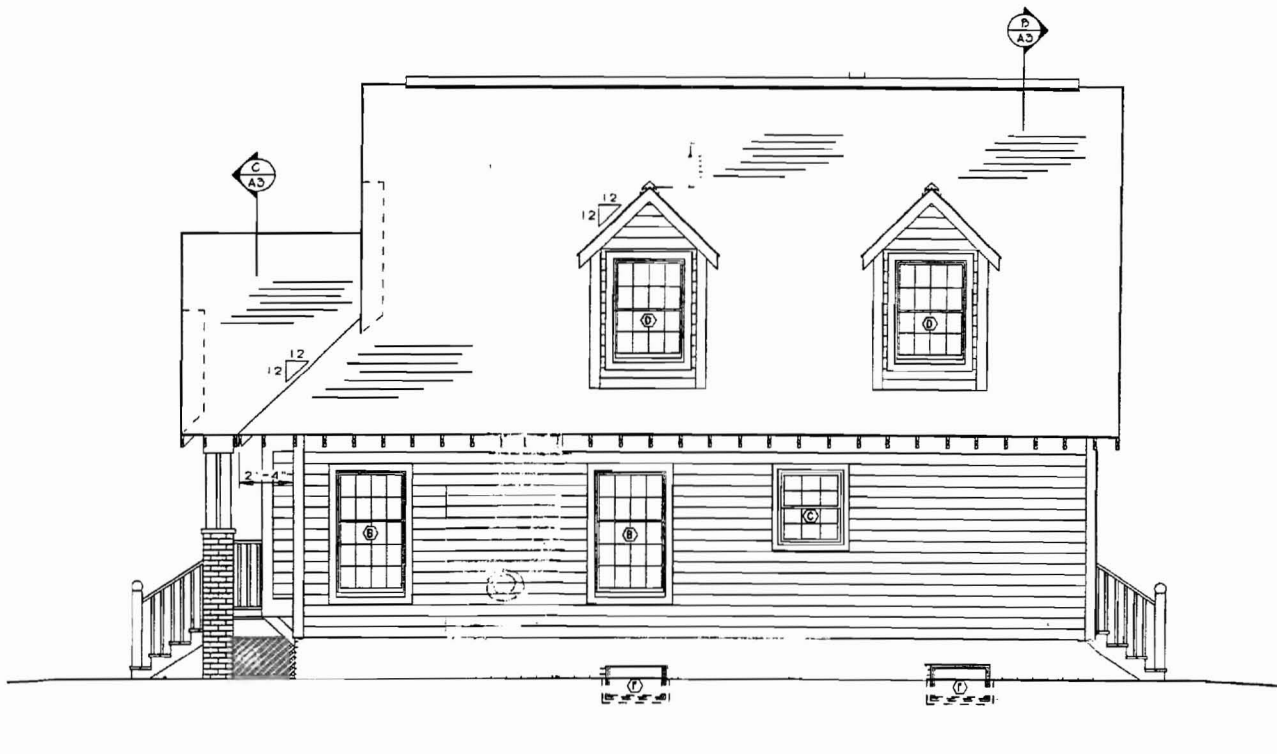
WINDOW SCHEDULE

SYMBOL	MODEL #	UNIT DIMENSION	ROUGH OPENING SIZE	REMARKS
(A)	2056	2'-1 5/8" x 5'-9 1/4"	2'-2 1/8" x 5'-9 1/4"	TEMPERED GLASS
(B)	3056	3'-1 5/8" x 5'-9 1/4"	3'-2 1/8" x 5'-9 1/4"	TEMPERED GLASS
(C)	2832	2'-9 5/8" x 3'-5 1/4"	2'-10 1/8" x 3'-5 1/4"	
(D)	3048	3'-1 5/8" x 4'-9 1/4"	3'-2 1/8" x 4'-9 1/4"	
(E)	AR51	2'-11 15/16" x 1'-5"	3'-0 1/2" x 1'-5 1/2"	
(F)	2817	2'-6 1/8" x 1'-7 3/8"	2'-6 5/8" x 1'-7 1/4"	LOCATED IN ATTIC

EXPIRED



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

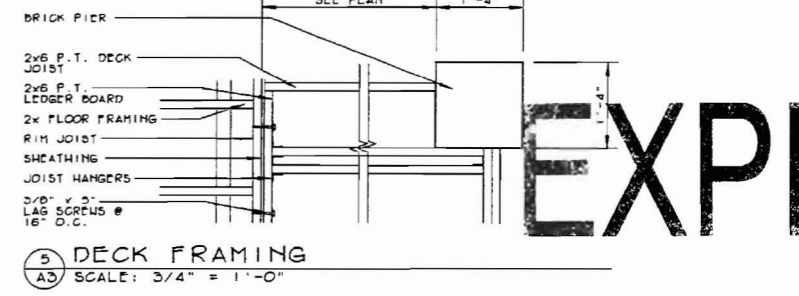
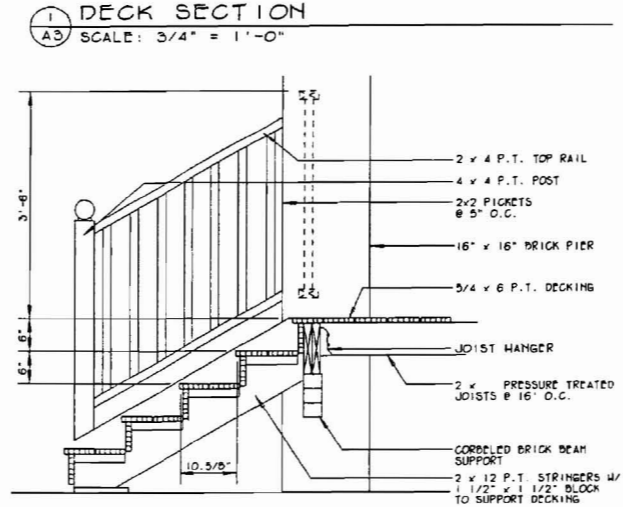
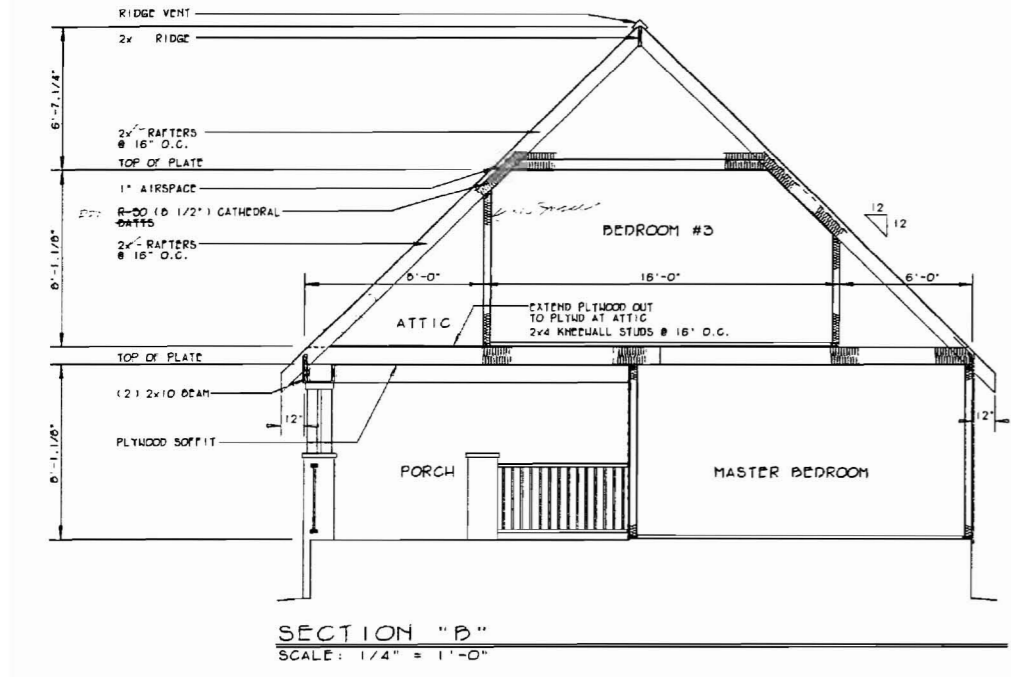
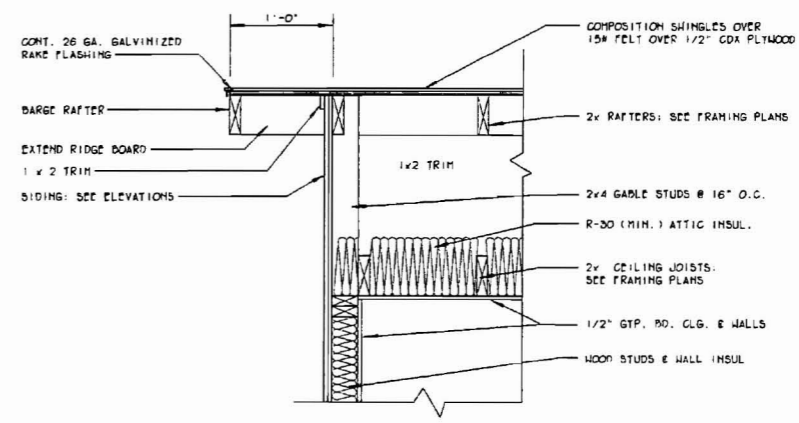
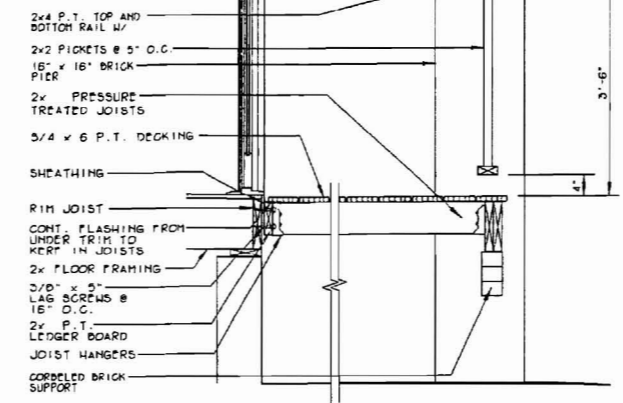
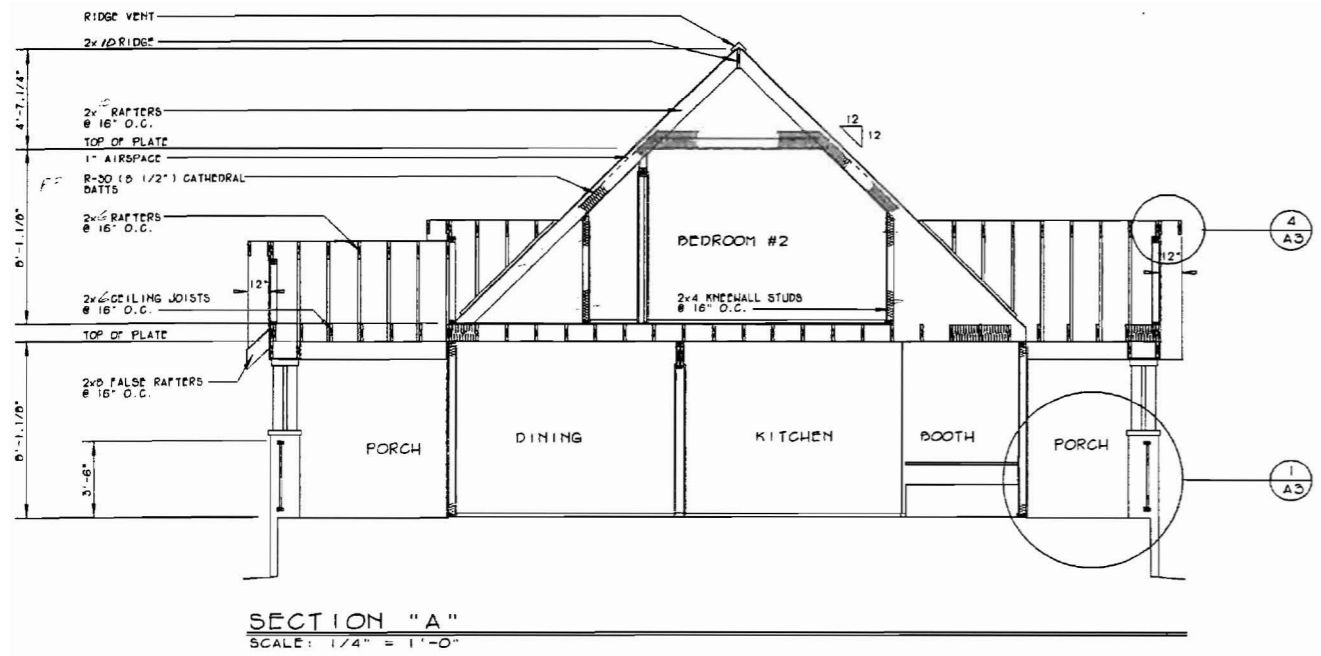


LEFT ELEVATION
SCALE: 1/4" = 1'-0"

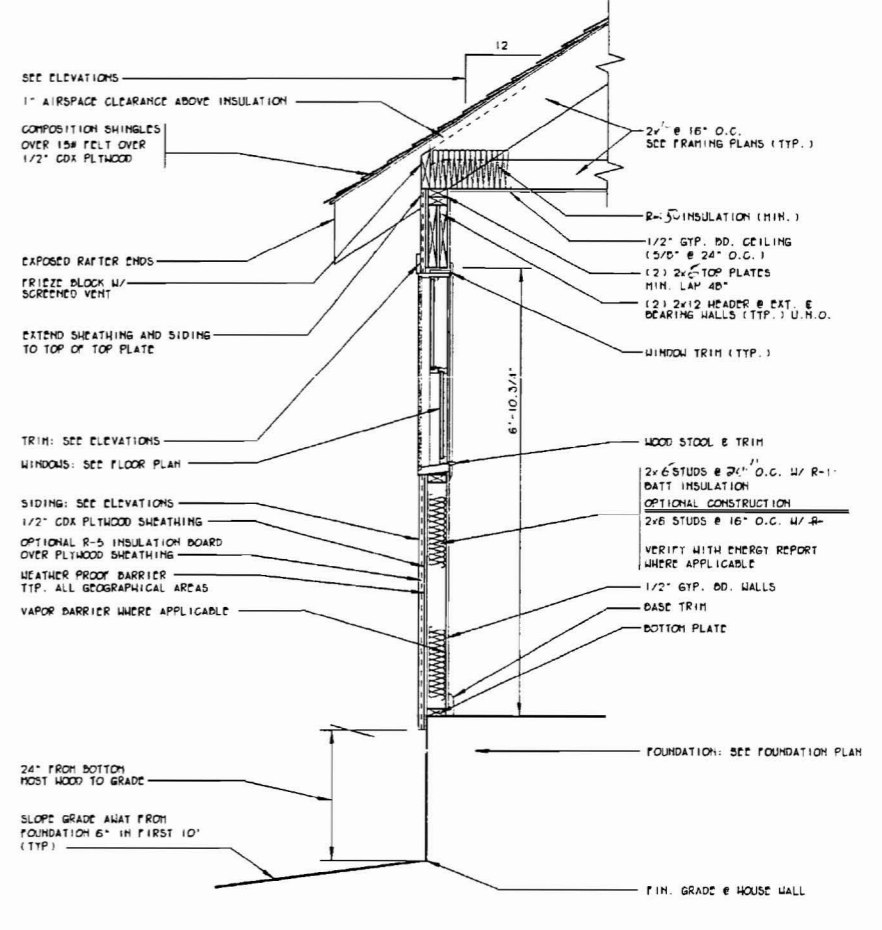
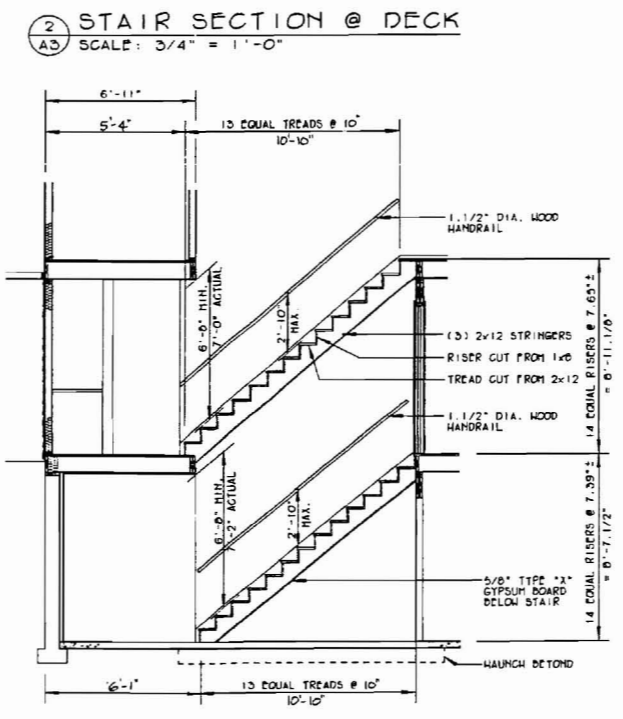
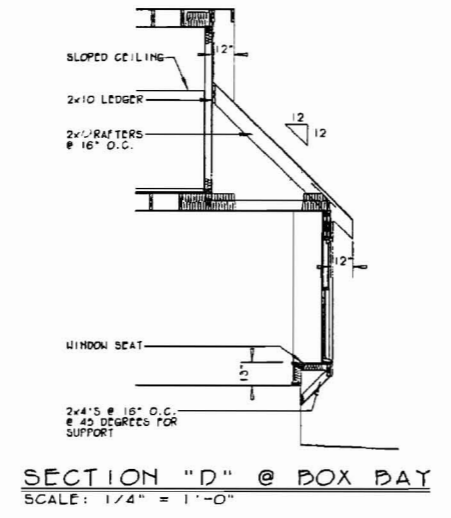
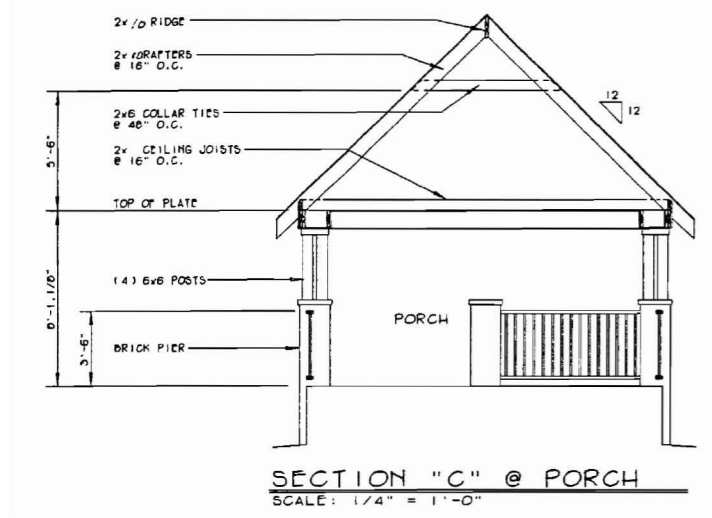
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WINDOW SCHEDULE				
SYMBOL	MODEL #	UNIT DIMENSION	ROUGH OPENING SIZE	REMARKS
(A)	2096	2'-1 5/8" x 5'-9 1/4"	2'-2 1/8" x 5'-9 1/4"	TEMPERED GLASS
(B)	2096	3'-1 5/8" x 5'-9 1/4"	3'-2 1/8" x 5'-9 1/4"	TEMPERED GLASS
(C)	2032	2'-9 5/8" x 3'-5 1/4"	2'-10 1/8" x 3'-5 1/4"	
(D)	2046	3'-1 5/8" x 4'-9 1/4"	3'-2 1/8" x 4'-9 1/4"	
(E)	ARD1	2'-11 15/16" x 1'-5"	3'-0 1/2" x 1'-5 1/2"	
(F)	2017	2'-8 1/8" x 1'-7 3/8"	2'-8 5/8" x 1'-7 1/4"	LOCATED IN ATTIC

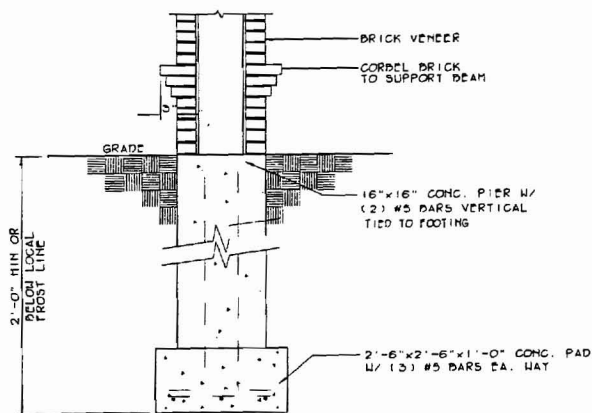
- Notes:**
1. Install 2" continuous screened vent or 4" x 16" screened vent in soffit. Maintain a minimum 1" airspace between the ceiling insulation and roof sheathing.
 2. Louver vents at gables or ridge vent continuous throughout.
 3. Windows in sleeping rooms must be approved for emergency escape. Verify with local codes.
 4. Install steel angle lintels over masonry openings. Size per local code.



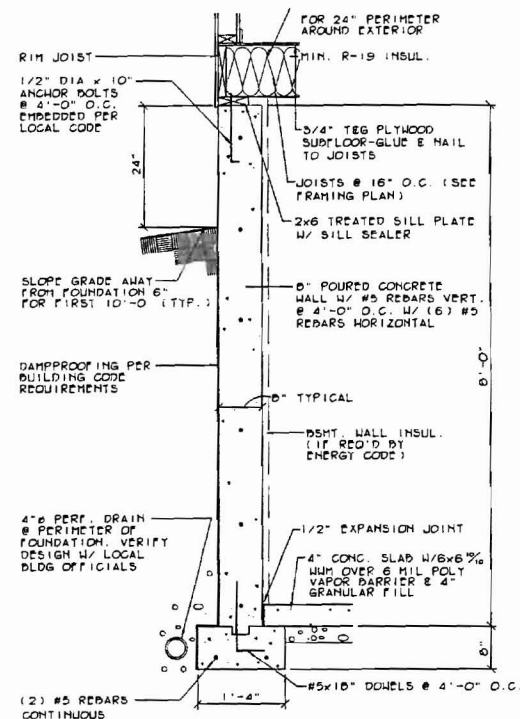
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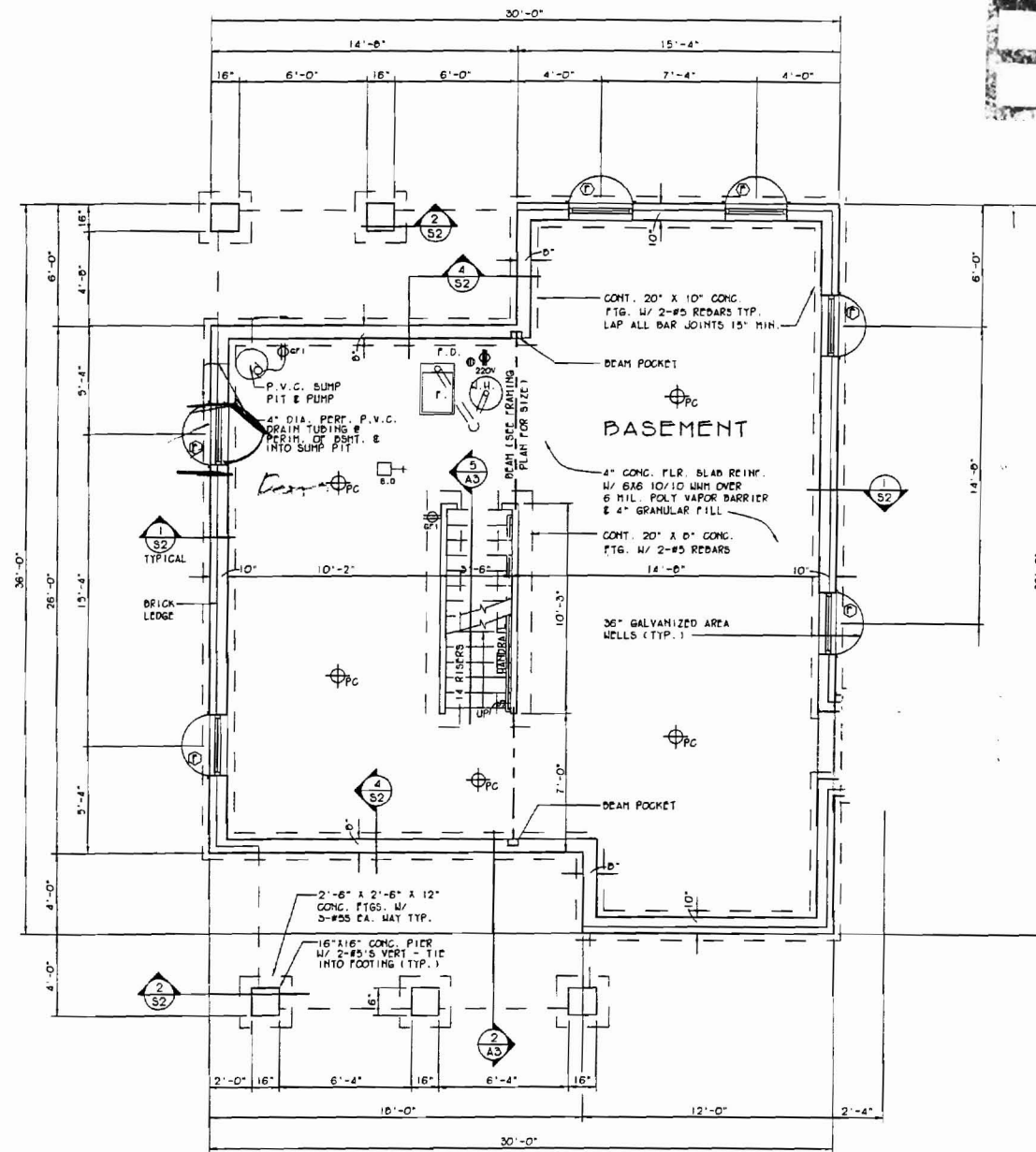
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2 CONC PIER DETAIL
SCALE: 3/4" = 1'-0"



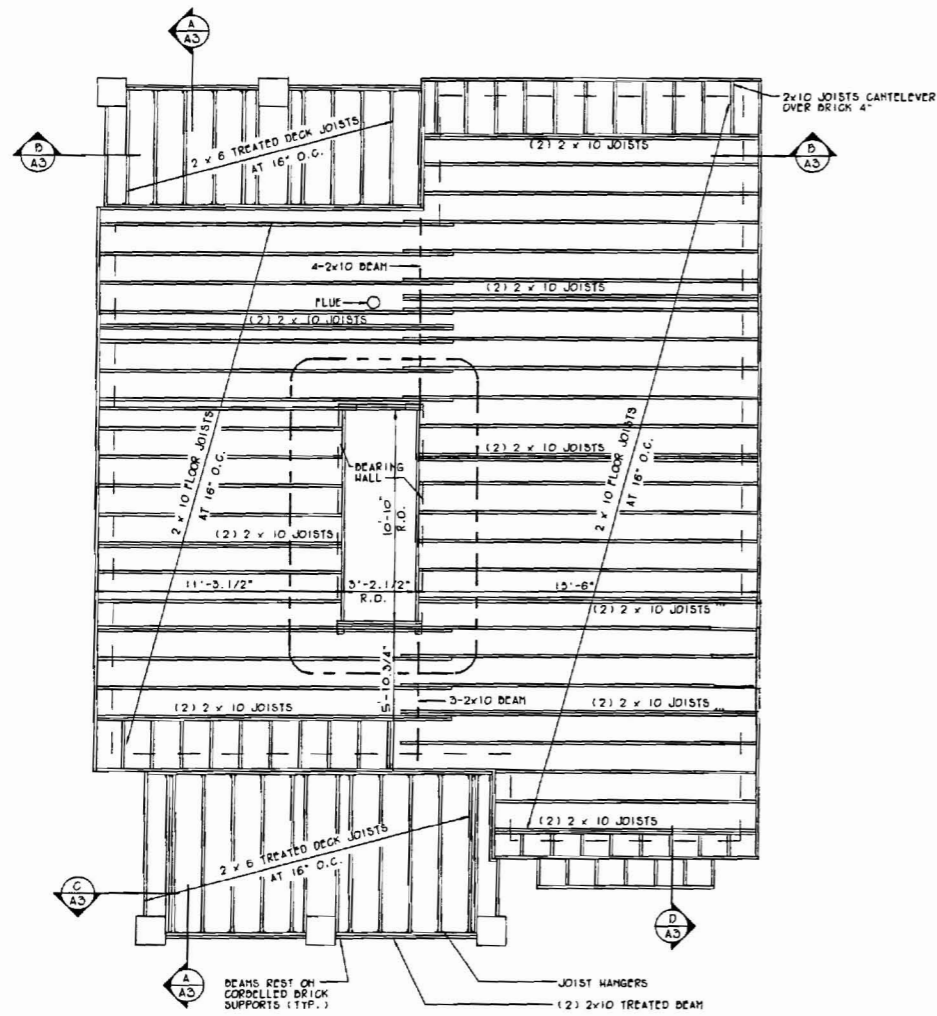
4 FOUNDATION DETAIL
SCALE: 3/4" = 1'-0"



FOUNDATION PLAN - BASEMENT
SCALE: 1/4" = 1'-0"
TOTAL SQ. FT. = 920

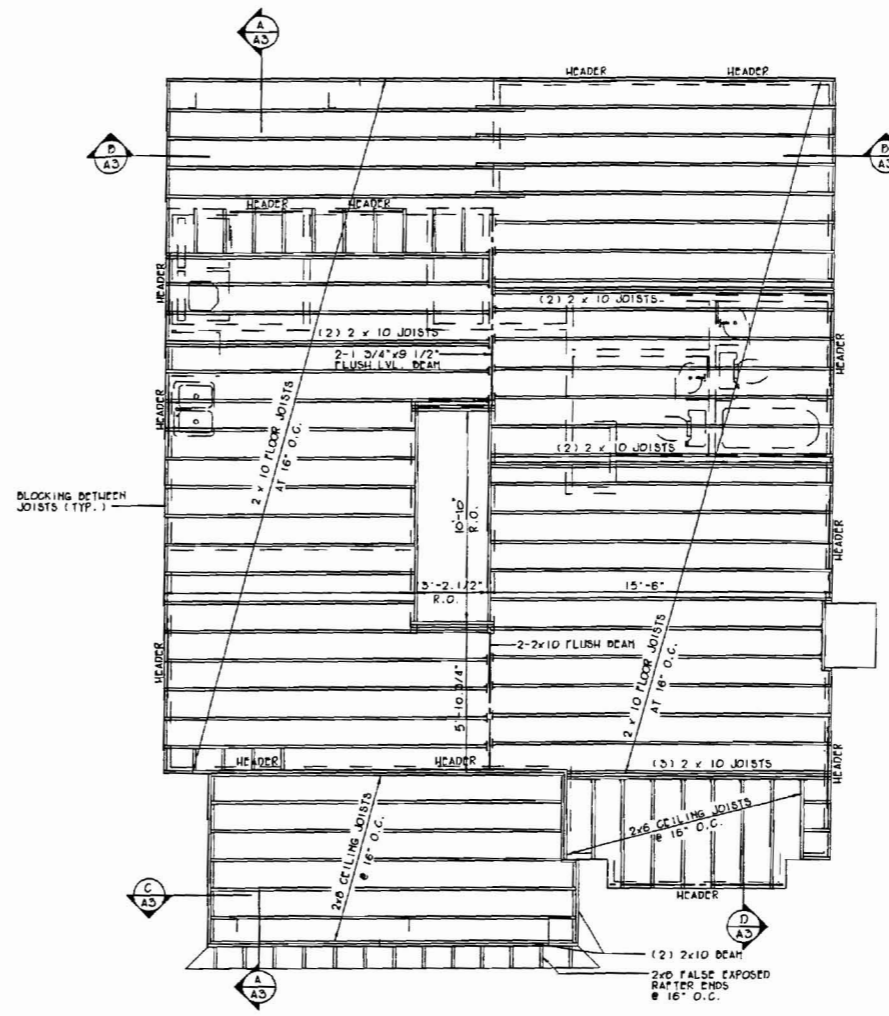
IMPORTANT NOTE about egress requirements for basements.
Some building codes require a second means of egress from a basement. Before beginning construction, the owner must:

- 1) Determine if such a code has been adopted locally.
- 2) Determine what method of egress will satisfy such code requirements, and.
- 3) Provide an addendum to these plans indicating what manner of egress opening to install and where to install it.



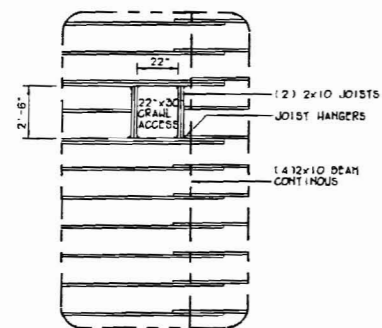
FIRST FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



SECOND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



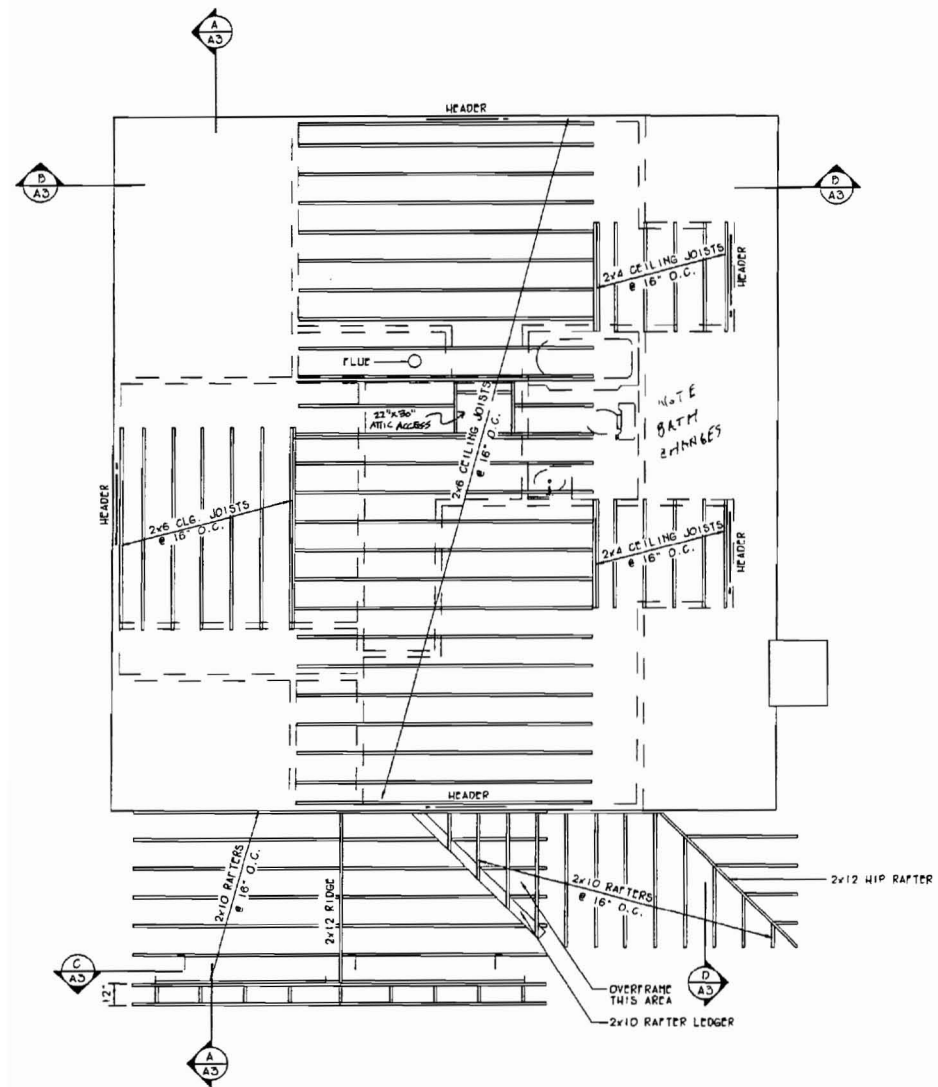
SLAB/CRAWLSPACE OPTION

SCALE: 1/4" = 1'-0"

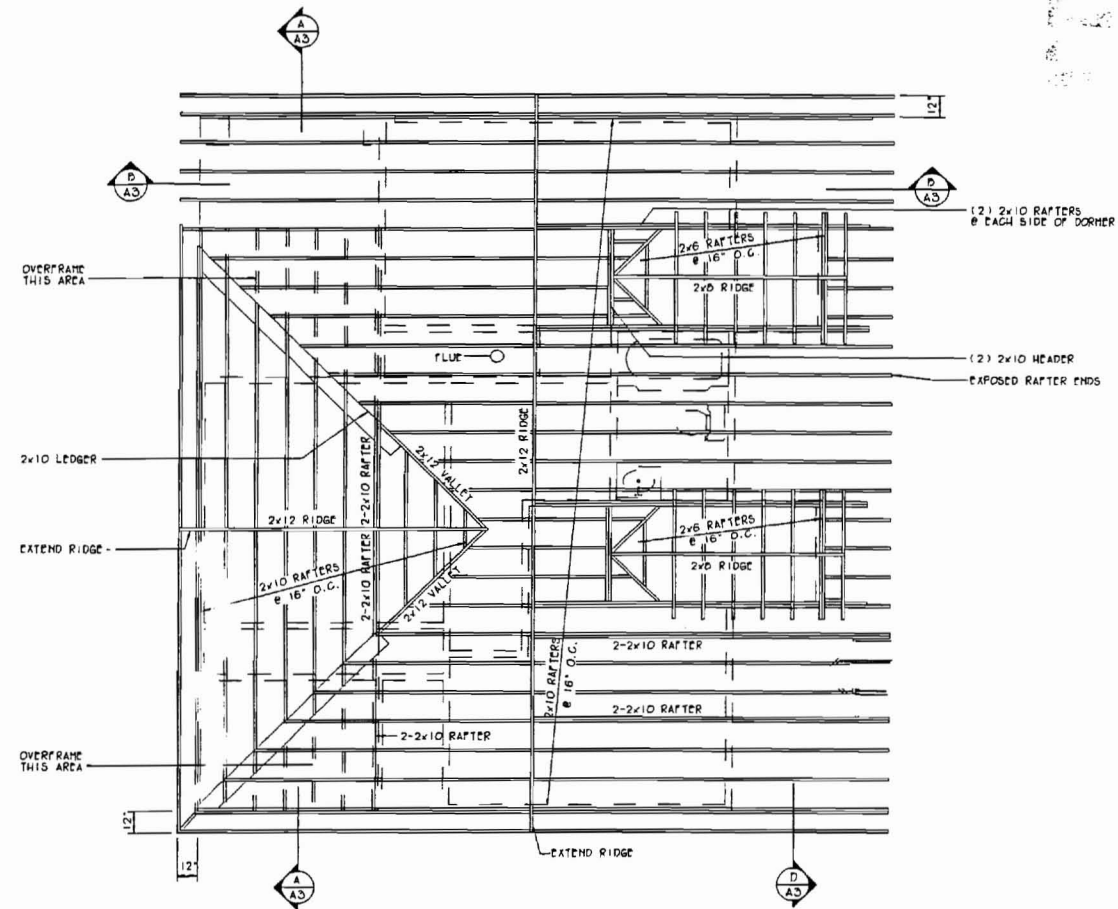
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Framing Lumber Specifications					
Stress rated framing members shall be used which equal or exceed the following specifications. If lower grade lumber is used, excessive deflection may occur.					
Fiber Stress in Bending (F _b = 975 psf (Base value))			Modulus of Elasticity (E = 1,400,000 psf)		
First Floor Joists			Second Floor Joists		
40 lbs. Live Load 10 lbs. Dead Load			30 lbs. Live Load 10 lbs. Dead Load		
SIZE	INCHES O.C.	MAX. SPAN	SIZE	INCHES O.C.	MAX. SPAN
2 x 6	12"	10'-3"	2 x 6	12"	11'-3"
	16"	9'-4"		16"	10'-3"
2 x 8	12"	13'-6"	2 x 8	12"	14'-11"
	16"	12'-3"		16"	13'-8"
2 x 10	12"	17'-3"	2 x 10	12"	19'-0"
	16"	15'-5"		16"	17'-2"
	24"	12'-7"		24"	14'-1"
2 x 12	12"	20'-7"	2 x 12	12"	23'-0"
	16"	17'-10"		16"	19'-11"
	24"	14'-7"		24"	16'-3"
Ceiling Joists			Rafter Joists		
20 lbs. Live Load 10 lbs. Dead Load			30 lbs. Live Load 15 lbs. Dead Load		
SIZE	INCHES O.C.	MAX. SPAN	SIZE	INCHES O.C.	MAX. SPAN
2 x 4	12"	9'-5"	2 x 6	12"	12'-11"
	16"	8'-7"		16"	11'-3"
	24"	7'-2"		24"	9'-2"
2 x 6	12"	14'-9"	2 x 8	12"	16'-3"
	16"	12'-10"		16"	14'-3"
	24"	10'-6"		24"	11'-8"
2 x 8	12"	18'-9"	2 x 10	12"	20'-1"
	16"	16'-3"		16"	17'-5"
	24"	13'-5"		24"	14'-2"
2 x 10	12"	22'-11"	2 x 12	12"	23'-3"
	16"	19'-10"		16"	20'-2"
	24"	16'-11"		24"	16'-6"
2 x 12	12"	26'-6"			
	16"	23'-0"			
	24"	18'-8"			

EXPIRED



SECOND FLOOR CEILING FRAMING PLAN
SCALE: 1/4" = 1'-0"



ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"