

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read  
Application And  
Notes, If Any,  
Attached

## BUILDING INSPECTION PERMIT

Permit Number: 050509

This is to certify that Ricci Gwen E/Keith Samarahas permission to Install 15' x 9' SunroomAT 33 Presnell St

224A E009001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or enclosed-in. HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED DEPARTMENTS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

PERMIT ISSUED

MAY 18 2005

Department Name

CITY OF PORTLAND

PENALTY FOR REMOVING THIS CARD

Director - Building &amp; Inspection Services

5/18/05

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Issue Date:	CBL:
05-0509	<b>MAY 18 2005</b>	214A E 09001
<b>PERMIT ISSUED</b>		
<b>CITY OF PORTLAND</b>		
Location of Construction:	Owner Name:	Owner Address:
33 Presnell St	Ricci Gwen E	33 Presnell St
Business Name:	Contractor Name:	Contractor Address:
	Keith Samara	22 Bolton Street Portland
Lessee/Buyer's Name	Phone:	Permit Type:
		Additions - Dwellings
		Zone:
		R-3

Past Use:	Proposed Use:	Permit Fee:	Cost of Work:	CEO District:
Single Family Home	Single Family Home, Install 15' x 9' Sunroom	\$111.00	\$10,000.00	3
Proposed Project Description: Install 15' x 9' Sunroom		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied		
		INSPECTION: Use Group: R-3 Type: SB IRC 2003		
		Signature: [Signature] Signature: [Signature]		
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
		Signature: _____ Date: _____		

Permit Taken By:	Date Applied For:	<b>Zoning Approval</b>		
Idobson	05/02/2005			
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.  2. Building permits do not include plumbing, septic or electrical work.  3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	<b>Special Zone or Reviews</b>		<b>Zoning Appeal</b>	<b>Historic Preservation</b>
	<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan		<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>			
	Date: 5/10/05		Date:	Date: 5/10/05

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE	

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- ☒ Footing/Building Location Inspection: Prior to pouring concrete
- N/A Re-Bar Schedule Inspection: Prior to pouring concrete
- N/A Foundation Inspection: Prior to placing ANY backfill
- ☒ Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- ☒ Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

       If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

       CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

X Kurt Samara  
Signature of Applicant/Designee

Date 5/18/05

[Signature]  
Signature of Inspections Official

Date

CBL: 224A-E-009 Building Permit #: 05-0509



# Residential Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 33 Presnell St. Portland, ME, 04102

Total Square Footage of Proposed Structure

135

Square Footage of Lot

9,000

Tax Assessor's Chart, Block & Lot

Chart#

Block#

Lot#

224A E 609-10-11

Owner: Gwen Ricci

Telephone:

(207) 773-2666

Lessee/Buyer's Name (If Applicable)

N/A

Applicant name, address & telephone:

Gwen Ricci  
33 Presnell St.  
Portland, ME 04102  
(207) 773-2666

Cost Of

Work: \$10,000.00?

Fee: \$111.00

Current Specific use: OUT DOOR-Backyard Lawn-Play Area

Proposed Specific use: Sun Room For sitting Enjoying the Sun

Project description:

SUN ROOM, 15 X 9 all glass (except for roof) Floor, etc  
one side Entry Door From outside, one  
inside Entry Door to Kitchen

Contractor's name, address & telephone: Keith Samara - 22 Bolton St. - Portland, ME.  
(207) 749-0737 04102

Who should we contact when the permit is ready: Gwen Ricci

Mailing address:

33 Presnell St.  
Portland, ME 04102

Phone: (207) 773-2666

**Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.**

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

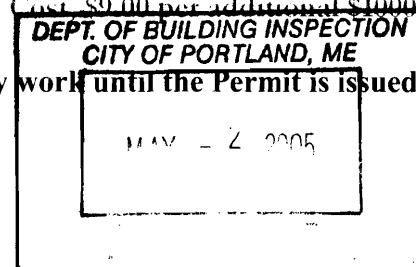
Signature of applicant:

Gwen Ricci

Date: May 2, 2005

Permit Fee: \$30.00 for the first \$1000.00 Construction Cost \$9.00 per additional \$1000.00 cost

**This is not a Permit; you may not commence any work until the Permit is issued.**



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	224A E009001
Location	33 PRESNELL ST
Land Use	SINGLE FAMILY
Owner Address	RICCI GWEN E 33 PRESNELL ST PORTLAND ME 04103
Book/Page	8123/43
Legal	224A-E-9-10-11 PRESNELL ST 29-35 9000 SF

Current Valuation Information

Land	Building	Total
\$32,970	\$54,390	\$87,360

New Estimated Valuation Information

Land	Building	Total	Phase-In Value
\$60,300	\$92,400	\$152,700	\$120,030

Property Information

Year Built 1949	Style Cape	Story Height 1	Sq. Ft. 960	Total Acres 0.207	
Bedrooms 2	Full Baths 1	Half Baths	Total Rooms 5	Attic Part Finsh	Basement Full

Outbuildings

Type SHED-FRAME	Quantity 1	Year Built 1960	Size 8X8	Grade C	Condition F
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Sales Information

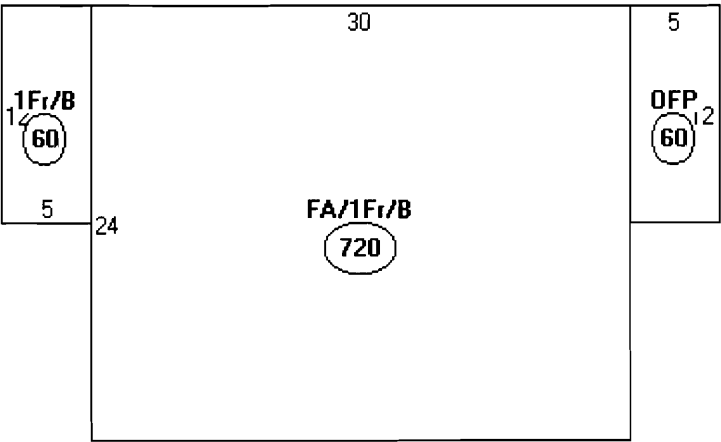
Date	Type	Price	Book/Page
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Picture and Sketch

Picture	Sketch	Tax Map
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[Click here](#) to view Tax Roll Information.  
Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

[Click here](#) to view comparable sales or below to view by:



Descriptor/Area

A: FA/1Fr/B  
720 sqft

B: 1Fr/B  
60 sqft

C: OFP  
60 sqft

9000  
x 35%  
3150 Allowed  
- 720  
- 60  
- 60  
2310 left.



# ELECTRICAL PERMIT

## City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the City of Portland Electrical Ordinance, National Electrical Code and the following specifications:

Date June 13 05Permit # 05 4538CBL# 224 AE 009LOCATION: 33 Presnell St

METER MAKE &amp; #

CMP ACCOUNT #

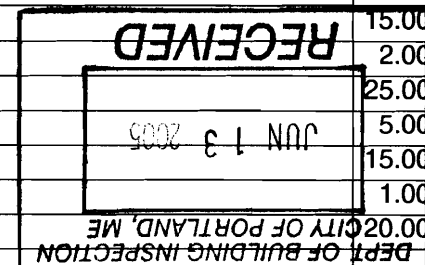
OWNER Gwen Ricci

TENANT

PHONE #

## TOTAL EACH FEE

OUTLETS	<u>6</u>	Receptacles	<u>3</u>	Switches		Smoke Detector	.20
FIXTURES	<u>3</u>	Incandescent		Fluorescent		Strips	.20
SERVICES		Overhead		Underground		TTL AMPS <800	15.00
		Overhead		Underground		>800	25.00
Temporary Service		Overhead		Underground		TTL AMPS	25.00
							25.00
METERS		(number of)					1.00
MOTORS		(number of)					2.00
RESID/COM		Electric units					1.00
HEATING		oil/gas units		Interior		Exterior	5.00
APPLIANCES		Ranges		Cook Tops		Wall Ovens	2.00
		Insta-Hot		Water heaters	<u>1</u>	Fans	2.00
		Dryers		Disposals		Dishwasher	2.00
		Compactors		Spa		Washing Machine	2.00
		Others (denote)					2.00
MISC. (number of)		Air Cond/win					3.00
		Air Cond/cent				Pools	10.00
		HVAC		EMS		Thermostat	5.00
		Signs					10.00
		Alarms/res					5.00
		Alarms/com					15.00
		Heavy Duty(CRKT)					2.00
		Circus/Carnv					25.00
		Alterations					5.00
		Fire Repairs					15.00
		E Lights					1.00
		E Generators					20.00
PANELS		Service		Remote		Main	4.00
TRANSFORMER		0-25 Kva					5.00
		25-200 Kva					8.00
		Over 200 Kva					10.00
						TOTAL AMOUNT DUE	
						MINIMUM FEE/COMMERCIAL	45.00
						MINIMUM FEE	35.00



CONTRACTORS NAME

T.A. NAPOLITANO

MASTER LIC. #

7765

ADDRESS

P.O. BOX 2301 So. PORT Me

LIMITED LIC. #

TELEPHONE

SIGNATURE OF CONTRACTOR

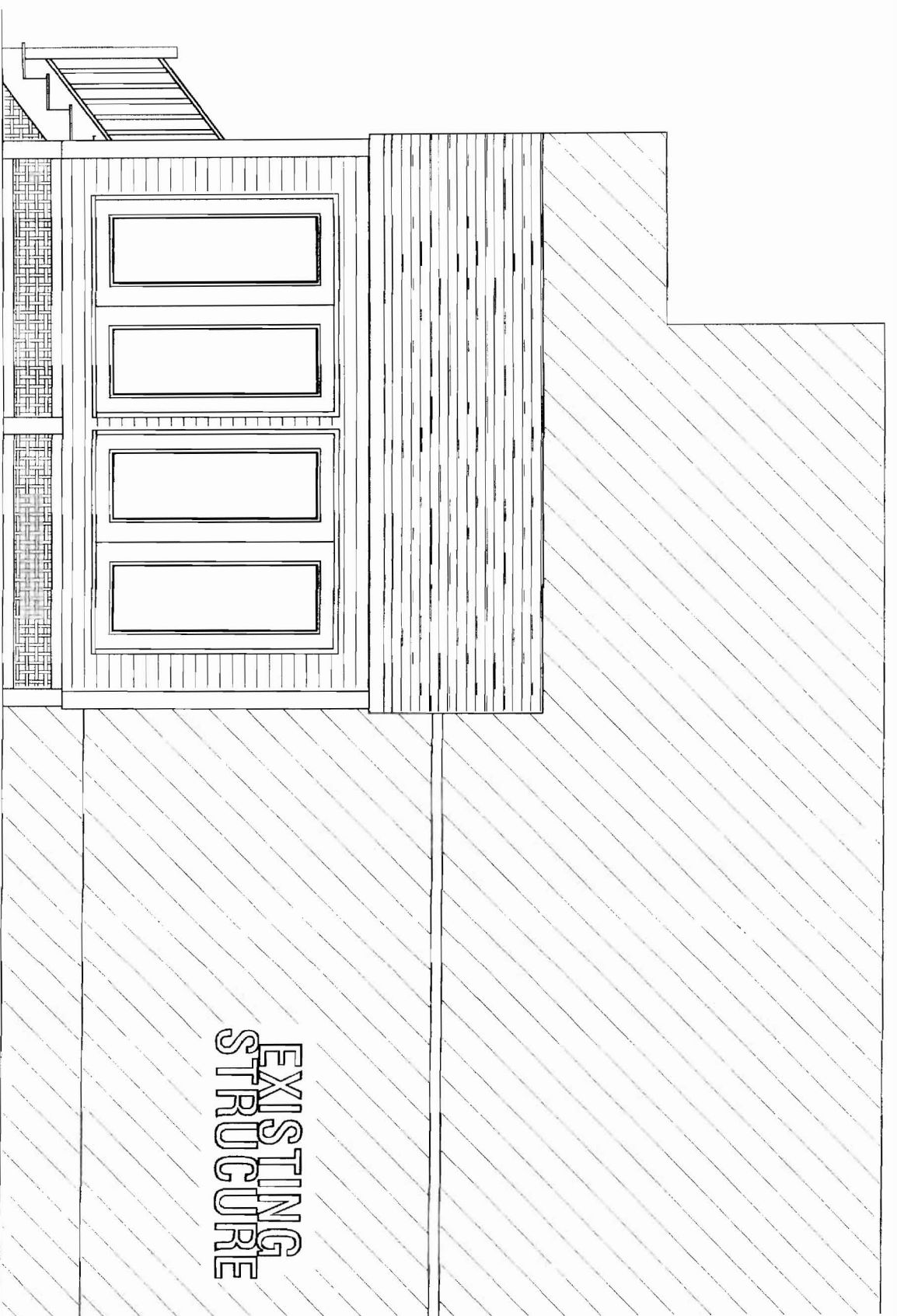
T.A. Napolitano

White Copy - Office

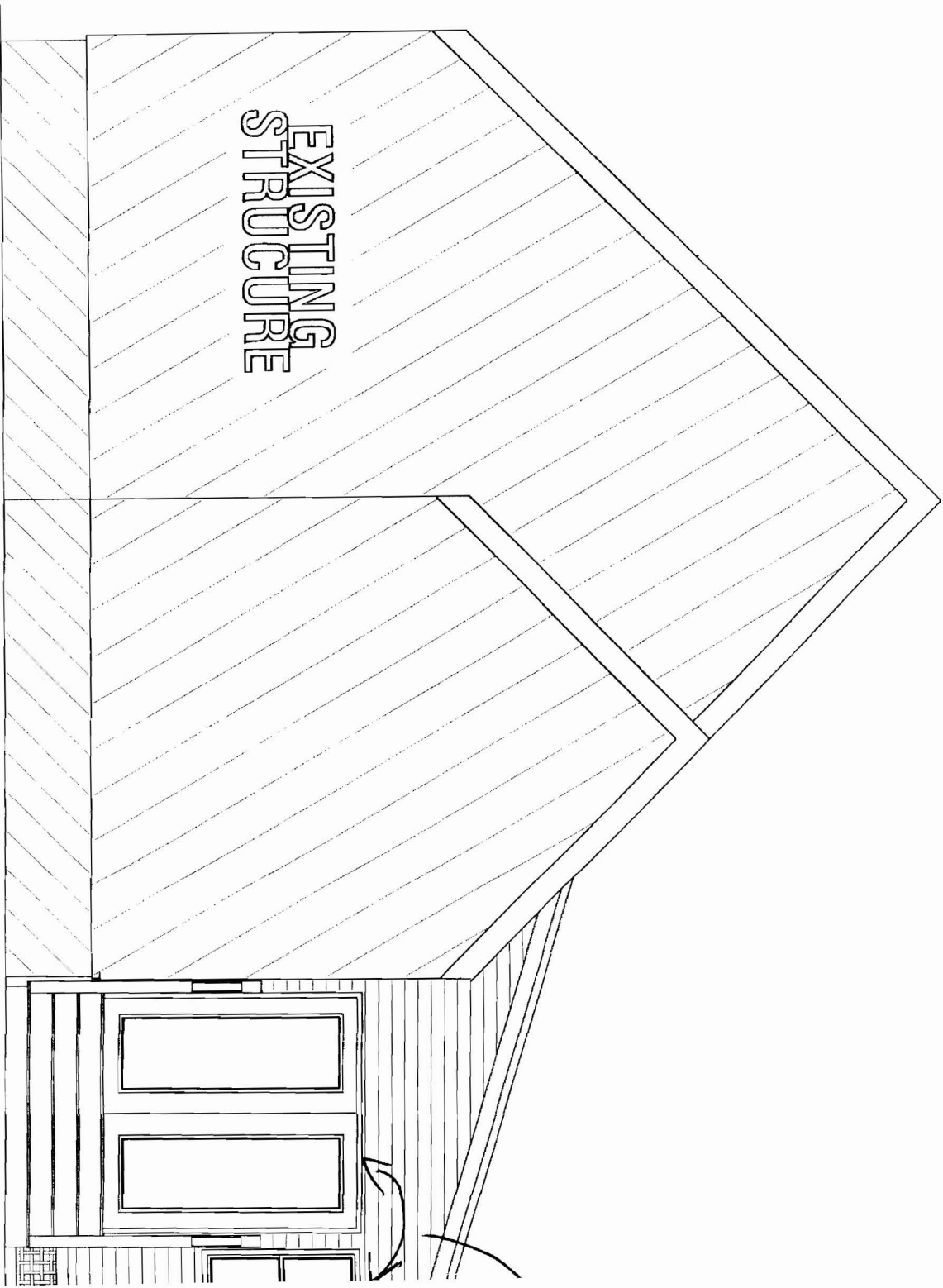
• Yellow Copy - Applicant

# 9672

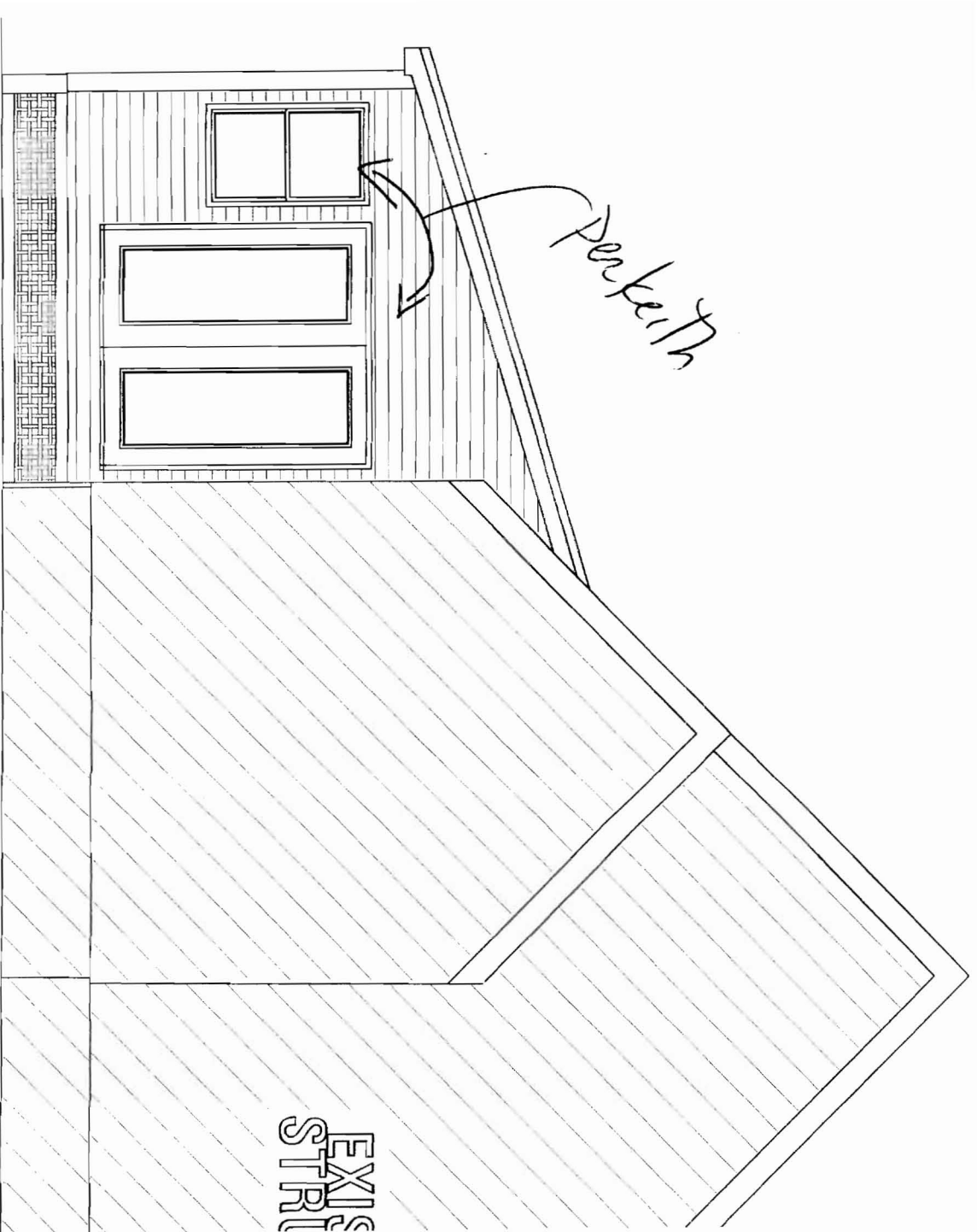




SOUTH ELEVATION



WEST ELEVATION



EAST ELEVATION

# NOTES:

MAIN CARRIER 3/ 2x10

FLOOR JOIST 2x10

STUDS 2x6

COLLAR TIES 2x6

RAFTERS 2x10

HEADERS w/PLW. ~~2x6~~ 2x8 ✓

VINYL EXTERIOR

DRYWALL INTERIOR

TYPICAL 2x6 SIDING EXTERIOR WALL:  
VINYL CLAPBOARDS 4" TO THE LEATHER  
1/2" ADVANTEC SHEATHING  
2x6 STUDS @ 16" o.c.  
R13 BATT INSULATION  
TY PAR OR EQUAL  
6 MIL POLY V.B.  
1/2" DRYWALL  
TAPED AND SANDED

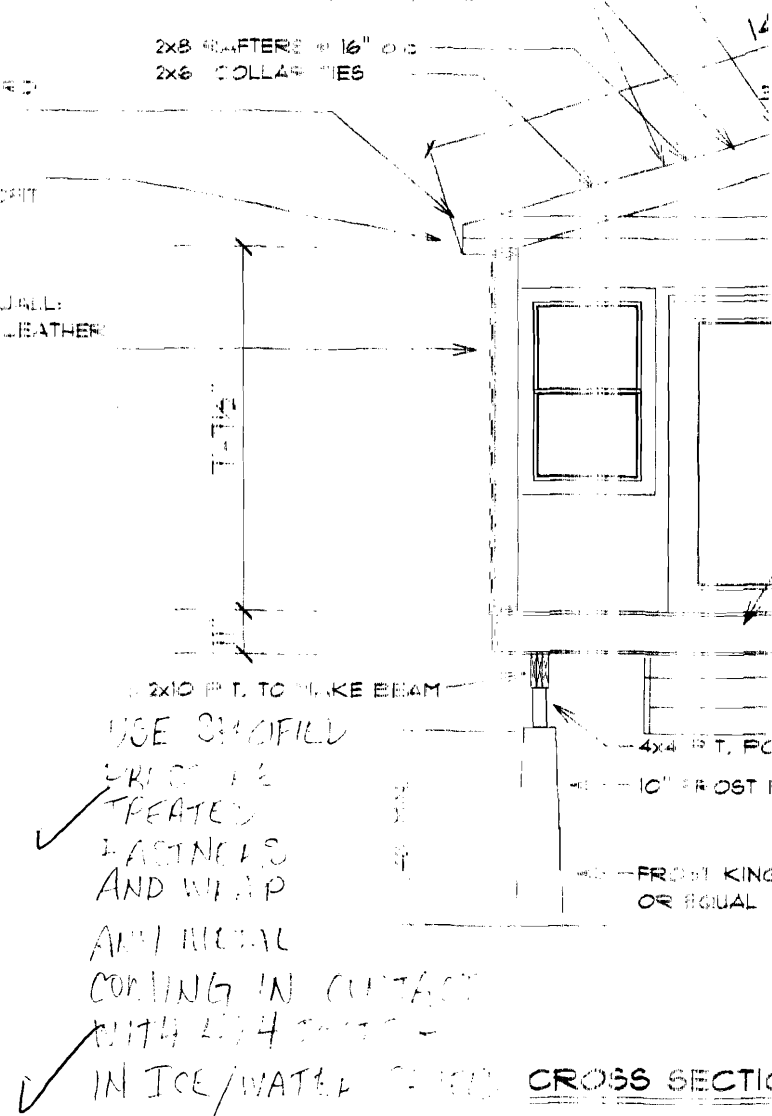
1/2" FACIA  
1/2" SHADOW BOARD  
METAL UNCLIPPED

8" OVERHANG  
VINYL VENTED SOFFIT

TYPICAL FRAME ROOF  
DOUBLE COVERAGE ROLL ROOFING  
GRADE ICE & WATER SHIELD  
1/2" SLOPING FLYWOOD G/U

2x8 RAFTERS @ 16" o.c.  
2x6 COLLAR TIES

STIP EXISTING ROOF  
AND APPL  
GRADE ICE & WATER  
SHIELD



2x10 P.T. TO MAKE BEAM

USE 3/4\"/>

UNCOATED

TREATED

FASTENERS

AND WRAP

AND RIGID

COVERING IN CONTACT

WITH 1/4\"/>

IN ICE/WATER SHIELD

CROSS SECTION

SCALE 1/4\"/>

## FASTENING SCHEDULE

(SEE NOTES A + M FOR ALL FASTENING NOTES)

CONNECTION	FASTENING	LOCATION	NOTES	CONNECTION	
JOIST TO SILL OR GIRDER	3 - 8d COMMON 3 - 3"x0.131" NAIL 3 - 3" 14 GAGE STAPLE	TOENAIL		RAFTER TO PLATE (SEE SECT. 2308.10.1, TABLE 2308.10.1)	3
BRIDGING TO JOIST	3 - 8d COMMON 3 - 3"x0.131" NAIL 3 - 3" 14 GAGE STAPLE	TOENAIL EACH END		1" DIAGONAL BRACE TO EACH STUD & PLATE	2
SOLE PLATE TO JOIST OR BLOCKING	16d @ 16" OC 3"x0.131" NAIL @ 8" OC 3" 14 GAGE STAPLE @ 12" OC	TYPICAL FACE NAIL		BUILT-UP CORNER STUDS	
SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANEL	16d @ 16" OC 3"x0.131" NAIL @ 16" OC 3" 14 GAGE STAPLE @ 12" OC	BRACED WALL PANEL		BUILT-UP GIRDER & BEAMS	3" 14
TOP PLATE TO STUD	2 - 16d COMMON 3 - "x0.131" NAIL 3 - " 14 GAGE STAPLE	END NAIL		BUILT-UP GIRDER & BEAMS	3
STUD TO SOLE PLATE	4 - 8d COMMON 4 - 3"x0.131" NAIL 3 - 3" 14 GAGE STAPLE 2 - 16d COMMON 3 - 3"x0.131" NAIL 3 - 3" 14 GAGE STAPLE	TOE NAIL  END NAIL		COLLAR TIE TO RAFTER	4
DOUBLE STUDS	16d @ 24" OC 3"x0.131" NAIL @ 8" OC 3" 14 GAGE STAPLE @ 8" OC	FACE NAIL		JACK RAFTERS TO HIP	4
DOUBLE TOP PLATES	16d @ 16" OC 3"x0.131" NAIL @ 12" OC 3" 14 GAGE STAPLE @ 12" OC	TYPICAL FACE NAIL		JACK RAFTERS TO HIP	3
DOUBLE TOP PLATES	8 - 16d COMMON 12 - 3"x0.131" NAIL 12 - 3" 14 GAGE STAPLE TYP. FACE NAIL	LAP SPLICE		ROOF RAFTER TO 2-BY RIDGE BEAM	3
BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE	3 - 8d COMMON 3 - 3"x0.131" NAIL 3 - 3" 14 GAGE STAPLE	TOE NAIL		ROOF RAFTER TO 2-BY RIDGE BEAM	3
RIM JOIST TO TOP PLATE	8d @ 6" OC 3"x0.131" NAIL @ 6" OC 3" 14 GAGE STAPLE @ 6" OC	TOE NAIL		JOIST TO BAND JOIST	5
TOP PLATES, LAPS AND INTERSECTIONS	2 - 16d COMMON 3 - 3"x0.131" NAIL 3 - 3" 14 GAGE STAPLE	FACE NAIL		LEDGER STRIP	4
CONTINUOUS HEADER 2 PCS	16d COMMON	16" OC ALONG EDGE		1/2' OR LESS WOOD STRUCTURAL PANELS & PARTICLE BOARD	
CEILING JOISTS TO PLATE	3 - 8d COMMON 5 - 3"x0.131" NAIL 5 - 3" 14 GAGE STAPLE	TOE NAIL		19/32" - 3/4" WOOD STRUCTURAL PANELS & PARTICLE BOARD	
CONTINUOUS HEADER TO STUD	4 - 8d COMMON	TOENAIL		3/4" OR LESS SINGLE FLOOR (COMBINATION SUBFLOOR-UNDERLAYMENT TO FRAMING)	
CEILING JOISTS, LAPS OVER PARTITIONS (SEE SECT. 2308.10.4.1, TABLE 2308.10.4.1)	3 - 16d COMMON MIN. 4 - 3"x0.131" NAIL 4 - 3" 14 GAGE STAPLE	FACE NAIL	COMMON NAIL - REF TO TABLE 2308.10.4.1	1/2" OR LESS PANEL SIDING (TO FRAMING)	
CEILING JOISTS TO PARALLEL RAFTERS (SEE SECT. 2308.10.4.1, TABLE 2308.10.4.1)	3 - 16d COMMON MINIMUM 4 - 3"x0.131" NAIL 4 - 3" 14 GAGE STAPLE	FACE NAIL	COMMON NAIL - REF TO TABLE 2308.10.4.1	5/8" PANEL SIDING (TO FRAMING)	

LETTER:

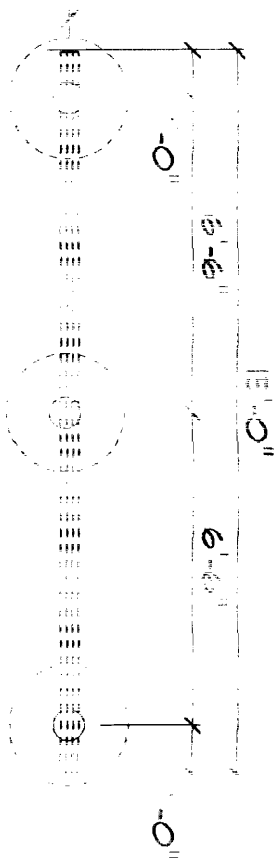
NOTE:

- A COMMON BOX NAILS ARE PERMITTED TO BE USED EXCEPT WHERE OTHERWISE INDICATED  
 B NAILS SPACED AT 6 INCHES ON CENTER AT EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS EXCEPT AT SUPPORTS WHERE SPANS ARE 48 INCHES OR MORE. FOR NAILING OF WOOD STRUCTURAL PANEL AND PARTICLEBOARD DIAGRAMMS AND SHEAR WALLS, REFER TO SECTION 2305. NAILS FOR WALL SHEATHING ARE PERMITTED TO BE COMMON, BOX OR CASING  
 C COMMON OR DEFORMED SHANK  
 D COMMON  
 E DEFORMED SHANK  
 F CORROSION-RESISTANT SIDING OR CASING NAIL  
 G FASTNERS SPACED 3 INCHES OC AT EXTERIOR EDGES AND 6 INCHES OC AT INTERMEDIATE SUPPORTS  
 H CORROSION-RESISTANT ROOFING NAILS w/ 7/16 INCH DIA. HEAD & 1-1/2 INCH LENGTH FOR 1/2 INCH SHEATHING & 1-3/4 INCH LENGTH FOR 25/32 INCH SHEATHING

LETTER:

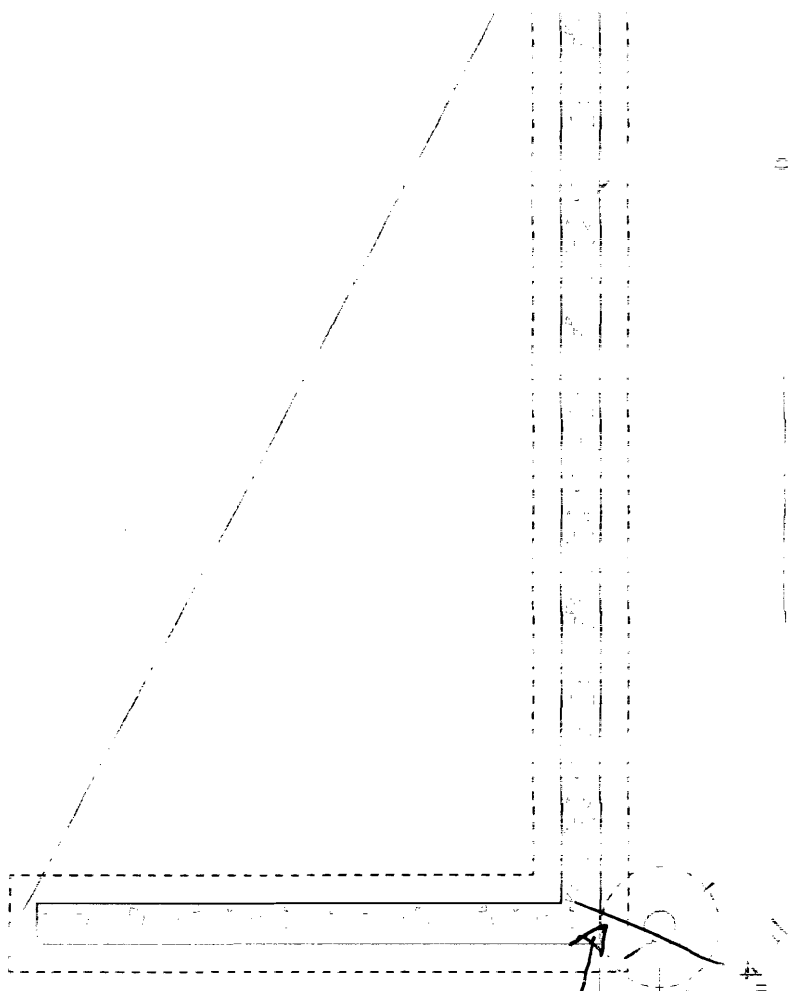
NO

- I CORROSION-RESISTANT STAPLES WITH NO  
 1/2 INCH SHEATHING AND 1-1/2 INCH LENGTH  
 16 INCHES (20 INCHES IF STRENGTH AXIS IN  
 J CASING OR FINISH NAILS SPACED 6 INCHES  
 K PANEL SUPPORTS AT 24 INCHES. CASING OF  
 L FOR ROOF SHEATHING APPLICATIONS, 8d N/  
 M STAPLES SHALL HAVE A MINIMUM CROWN V  
 N FOR ROOF SHEATHING APPLICATIONS, FAST  
 O FASTNERS SPACED 4 INCHES OC AT EDGES  
 WALL SHEATHING AND 3 INCHES OC AT EDG  
 P FASTNERS SPACED 4 INCHES OC AT EDGES



3

SCALE 1/4" = 1'-0"  
POST LAYOUT



not needed  
5' for  
sample  
1' 3" for  
1' 3" for  
1' 3" for

SCALE 1/4" = 1'-0"  
1ST LAYOUT

10'-0"

3'-5"

4'-8"

1'-11"

1ST LAYOUT