

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

Please Read Application And Notes, If Any, Attached

PERMIT ISSUED
Permit Number: 080340
224A E00001

This is to certify that CHRISTIAN DWANE K / Construction Systems of New England
has permission to Amend permit# 071428 - eliminate deck and 8' x 10' addition to foundation, eliminate dog house, put basement stairs from garage to basement
AT 23 PRESNELL ST

provided that the person or persons performing or supervising the work in accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or services closed-in. 4 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature] 7/3/08
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

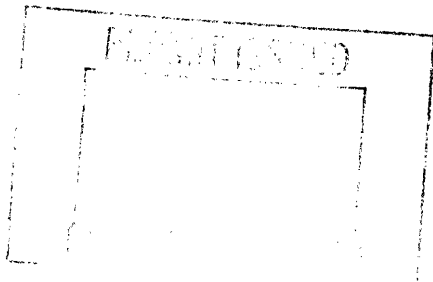
Permit No: 08-0340	Issue Date:	CBL: 224A E006001
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Location of Construction: 23 PRESNELL ST	Owner Name: CHRISTIAN DWANE K	Owner Address: 23 PRESNELL ST	Phone:
Business Name:	Contractor Name: Construction Systems of New Engla	Contractor Address: 10A Thompson's Point Portland	Phone 2078719070
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	Zone: R-3

Past Use: Single Family Home Connected w/ permit# 071428	Proposed Use: Single Family Home - Amend permit# 071428 - eliminate deck, add 8'x12' addition w/foundation, eliminate dog house, put basement stairs from garage to basement, Finish space above garage	Permit Fee: \$170.00	Cost of Work: \$15,000.00	CEO District: 3
Proposed Project Description: Amend permit# 071428 - eliminate deck, add 8'x12' addition w/foundation, eliminate dog house, put basement stairs from garage to basement, Finish space above garage & reconfigure front porch.		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied		INSPECTION: Use Group: R-3 Type: EB
		Signature: <i>[Signature]</i>		Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: ldobson	Date Applied For: 04/11/2008	Zoning Approval		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..



Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: 6/11/08 <i>ABM</i>	Date: _____	Date: _____

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0340	Date Applied For: 04/11/2008	CBL: 224A E006001
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Location of Construction: 23 PRESNELL ST	Owner Name: CHRISTIAN DWANE K	Owner Address: 23 PRESNELL ST	Phone:
Business Name:	Contractor Name: Construction Systems of New Engla	Contractor Address: 10A Thompson's Point Portland	Phone (207) 871-9070
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	

Proposed Use: Single Family Home - Amend permit# 071428 - eliminate deck, add 8'x14' addition w/foundation, eliminate dog house, put basement stairs from garage, to basement, Finish space above garage, & reconfigure front porch	Proposed Project Description: Amend permit# 071428 - eliminate deck, add 8'x14' addition w/foundation, eliminate dog house, put basement stairs from garage to basement, Finish space above garage & reconfigure front porch.
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 06/09/2008
Note: Existing front porch (25' x 6') & front steps (4' x 6') encroach into front yard. Reducing front porch to 5' x 25' and relocating front steps which make the front setback more conforming. Using section 14-425 for the new front porch addition, 3' x 5' extends into the front setback, and 3' x 5' extends 3' passed the 6' maximum depth under section 14-425. This 15 sf is more than covered by the 25 sf area that is being removed from the existing front porch. The whole front porch is now legally nonconforming by 5'8" instead of 6'8".			
<ol style="list-style-type: none"> 1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval. 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. 			
Dept: Building	Status: Approved with Conditions	Reviewer: Tammy Munson	Approval Date: 07/03/2008
Note: Work already inspected at close in inspection.			
1) All conditions applied under permit # 07-1428 are applicable to this permit.			

Comments:
4/11/2008-ldobson: Put original permit with the new amendment
4/17/2008-amachado: Spoke to Dwane. Set up a meeting for 4/22/08 to go over addition and plot plan.
4/22/2008-amachado: Met with Dwane. Explained that the entry on the addition had to meet the current zoning requirements including the 25' front setback. He can use section 14-425 to go into the front setback. He is going to bring in a new plan for the entry and an new plot plan that reflects all parts of the proposed addition.
6/9/2008-amachado: Received all necessary information.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X **Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

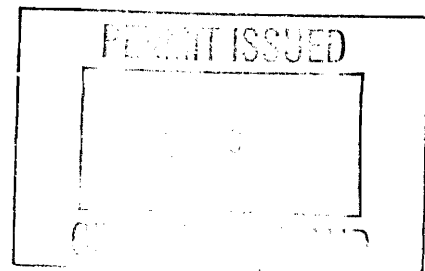
CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

Signature of Applicant/Designee

Date

Signature of Inspections Official

Date





General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>23 Presnell St.</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot <u>9000 sq ft</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>224 AE C</u>	Applicant * must be owner, Lessee or Buyer * Name <u>Dwane Christopher</u> Address <u>10A Thompson's Point</u> City, State & Zip <u>Portland ME 04102</u>	Telephone: <u>207-871-9070</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>15000</u> C of O Fee: \$ _____ Total Fee: \$ <u>170⁰⁰/100</u>
Current legal use (i.e. single family) <u>single family</u>		
If vacant, what was the previous use? _____		
Proposed Specific use: <u>single family</u>		
Is property part of a subdivision? <u>no</u> If yes, please name _____		
Project description: <u>Amend existing permit. eliminate deck - replace with 8x12' living space w/ foundation. eliminate doghouse - put basement stairs from garage to basement. finish space above garage.</u>		
Contractor's name: <u>Construction Systems of NE</u>		
Address: <u>10A Thompson's Point</u>		
City, State & Zip <u>Portland ME 04102</u>		Telephone: <u>871-9070</u>
Who should we contact when the permit is ready: <u>Dwane</u>		Telephone: _____
Mailing address: <u>Same</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: <u>[Signature]</u>	Date: <u>4/11/08</u>	APR 11 2008
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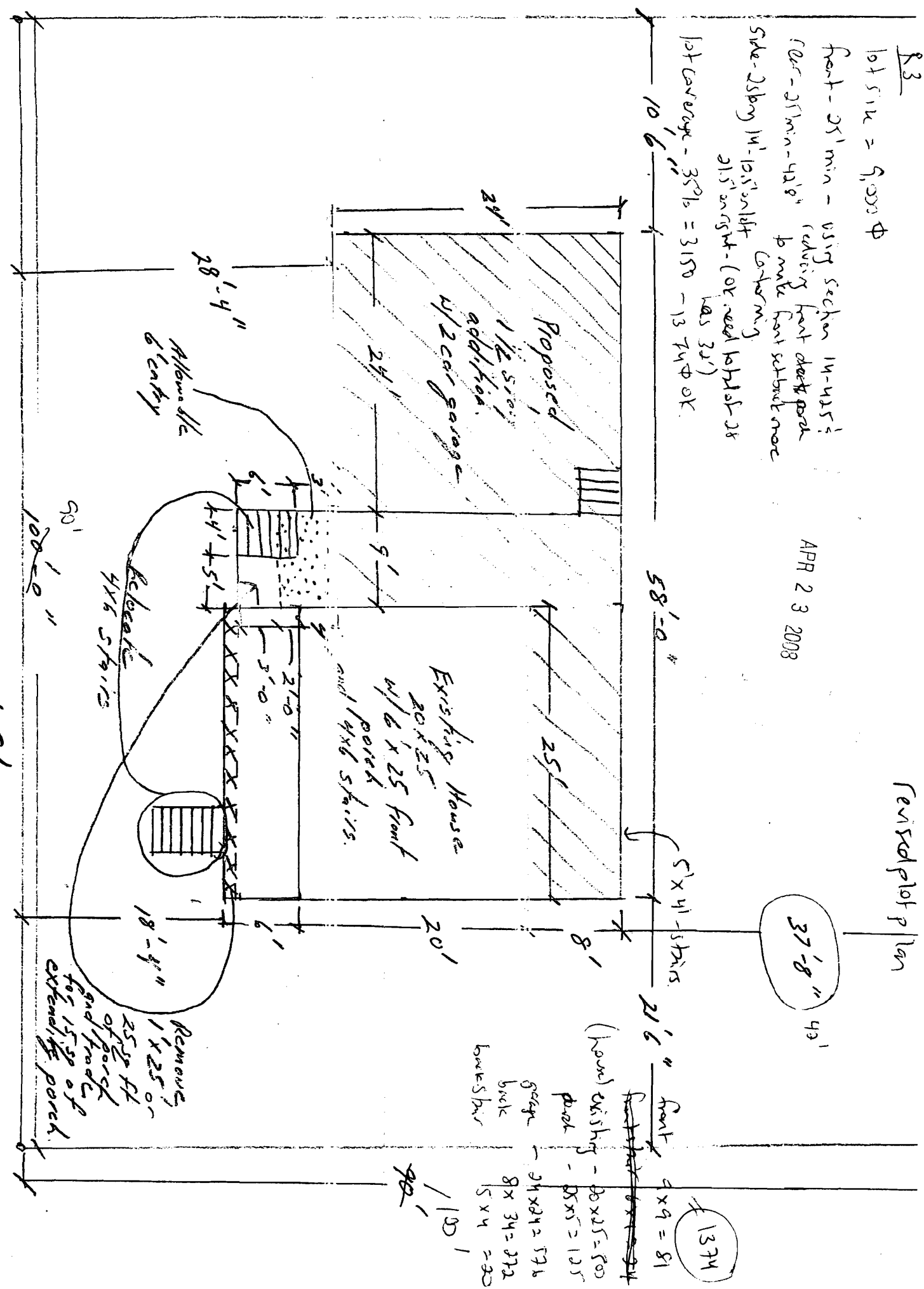
This is not a permit; you may not commence ANY work until the permit is issue

R3
lot size = 9,000 sq ft

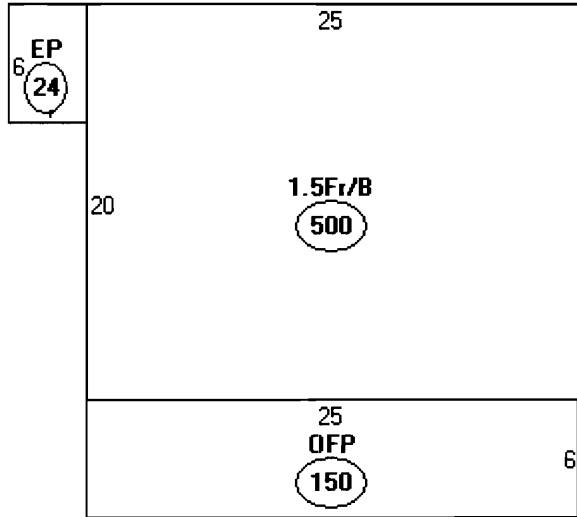
front - 25' min - using section 14-425.5
 rear - 25' min - 42' 0" reducing front setback
 to make front setback more conforming
 side - 25' by 14' - 10.5' on left
 21.5' on right - (or need to hold 25' has 32')

lot coverage - 35% = 3150 - 13 7/8 ft OK

APR 23 2008



23 Presnell St.
 4/23/08 revised plot plan

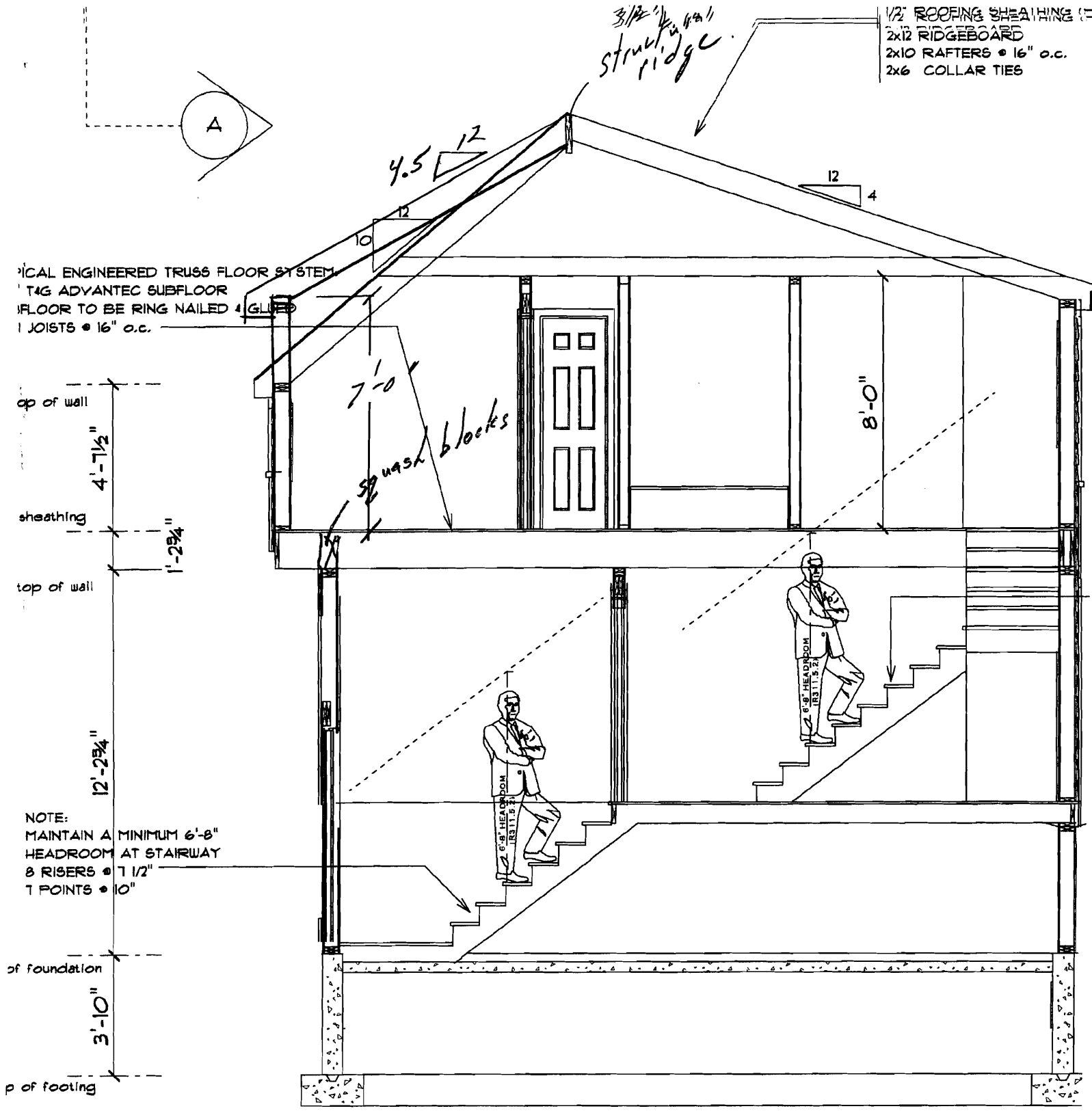


Descriptor/Area

A: 1.5Fr/B
500 sqft

B: EP
24 sqft

C: OFP
150 sqft

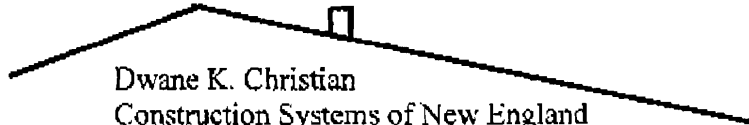


CROSS SECTION B-B

FRAMING DETAIL THE SAME AS
 CROSS SECTION A-A UNLESS NOTED
 SCALE: 1/4" = 1'-0"

APR 23 2008

23 Presnell St.
 cross-section w/ new front dormer.



 Dwane K. Christian

 Construction Systems of New England

 10A Thompson Point

 Portland, Maine 04102

FAX

TO:

Faxed To: 877-8716

Portland

Code Enforcement

Date: *6/5/08*

 Number of Pages: *5*

 Phone: 207-871-9070

 Fax: 207- 871-9108

 cell: 207-749-2236

Remarks: *23 Presnell St.*

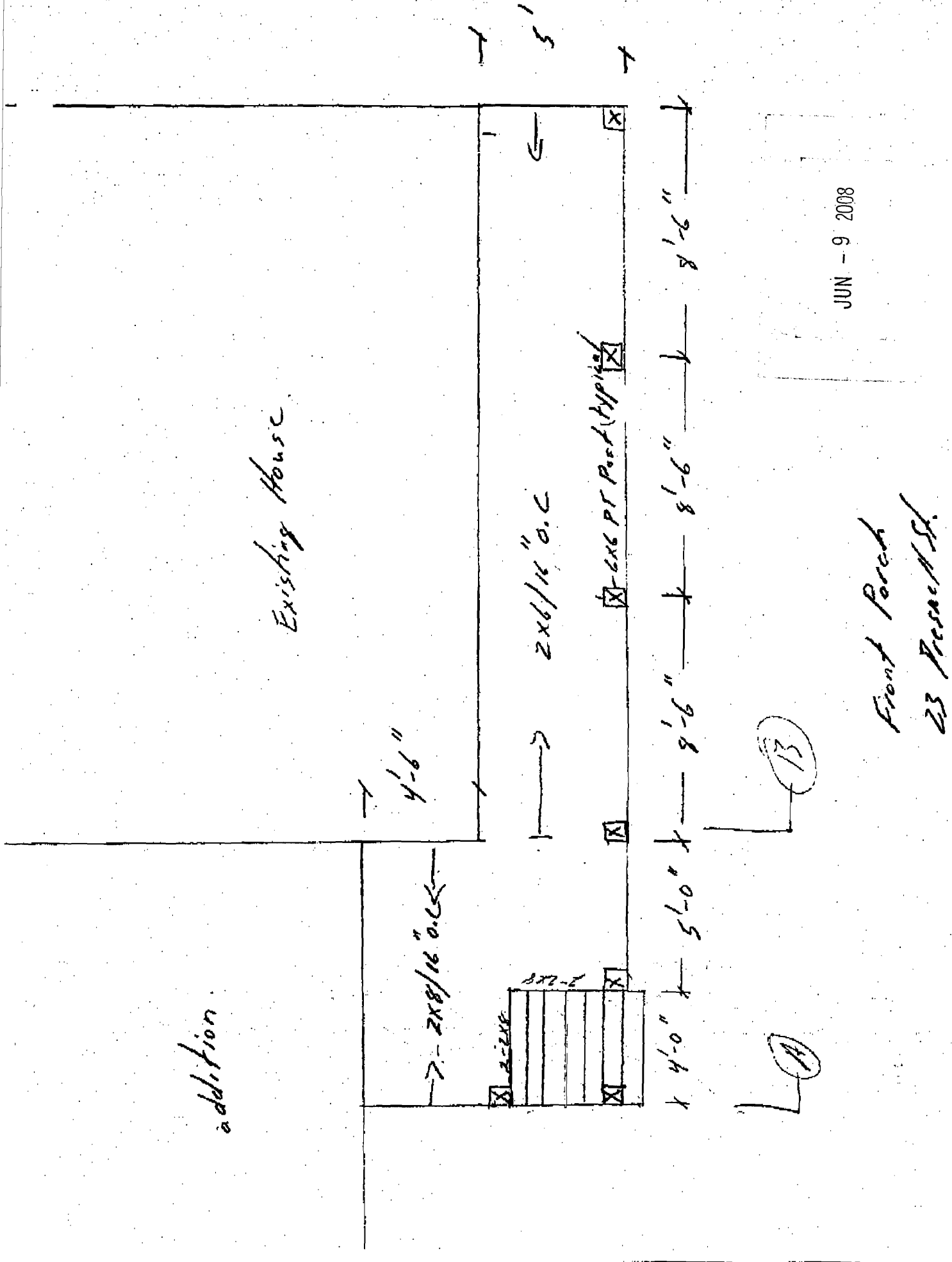
~~*Further*~~

I was informed yesterday that the amended permit is on hold until you receive a detail of the front porch. Following are those details. Should you need anything else please let me know.

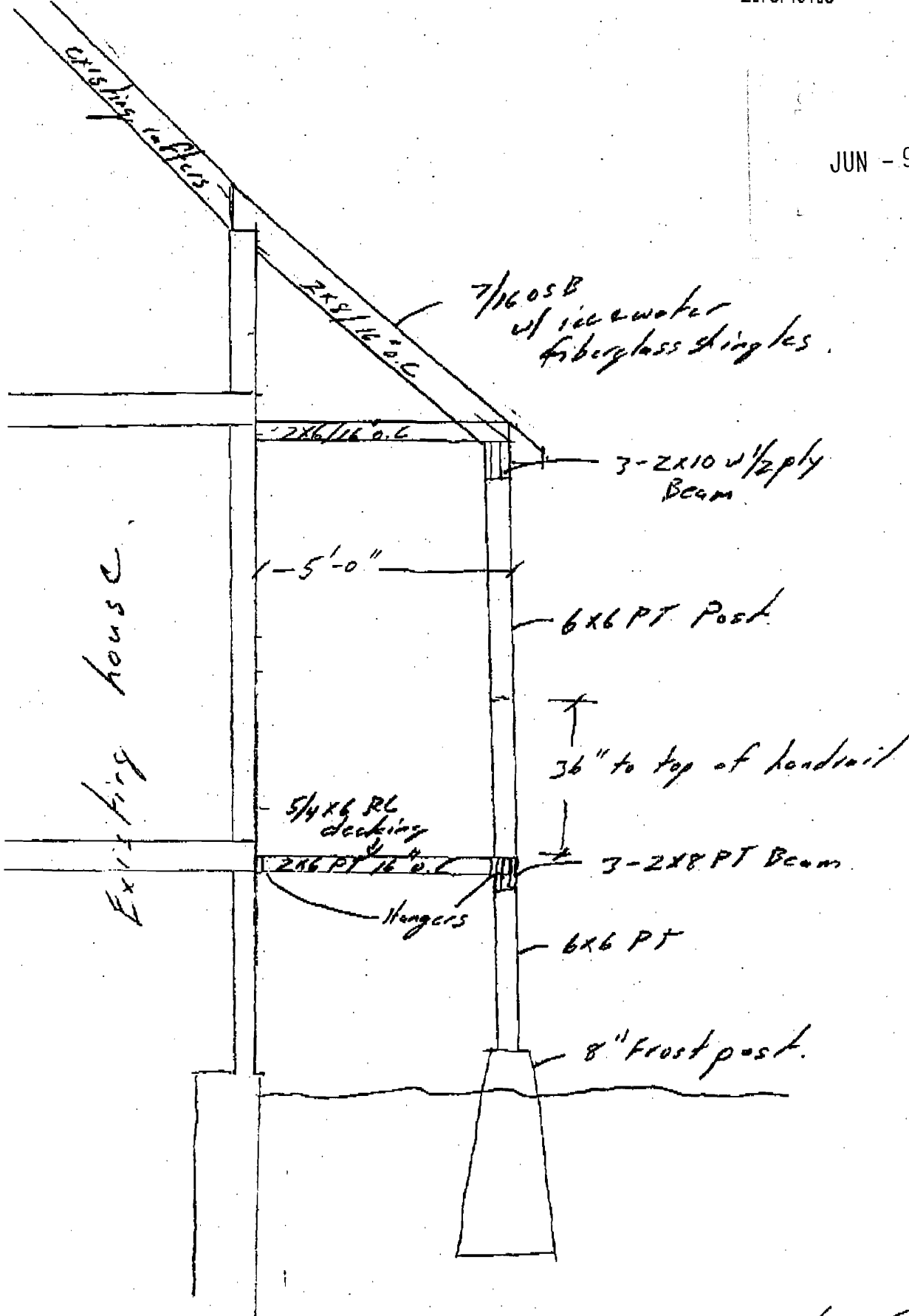
Thanks-

Dwane

JUN - 9 2008

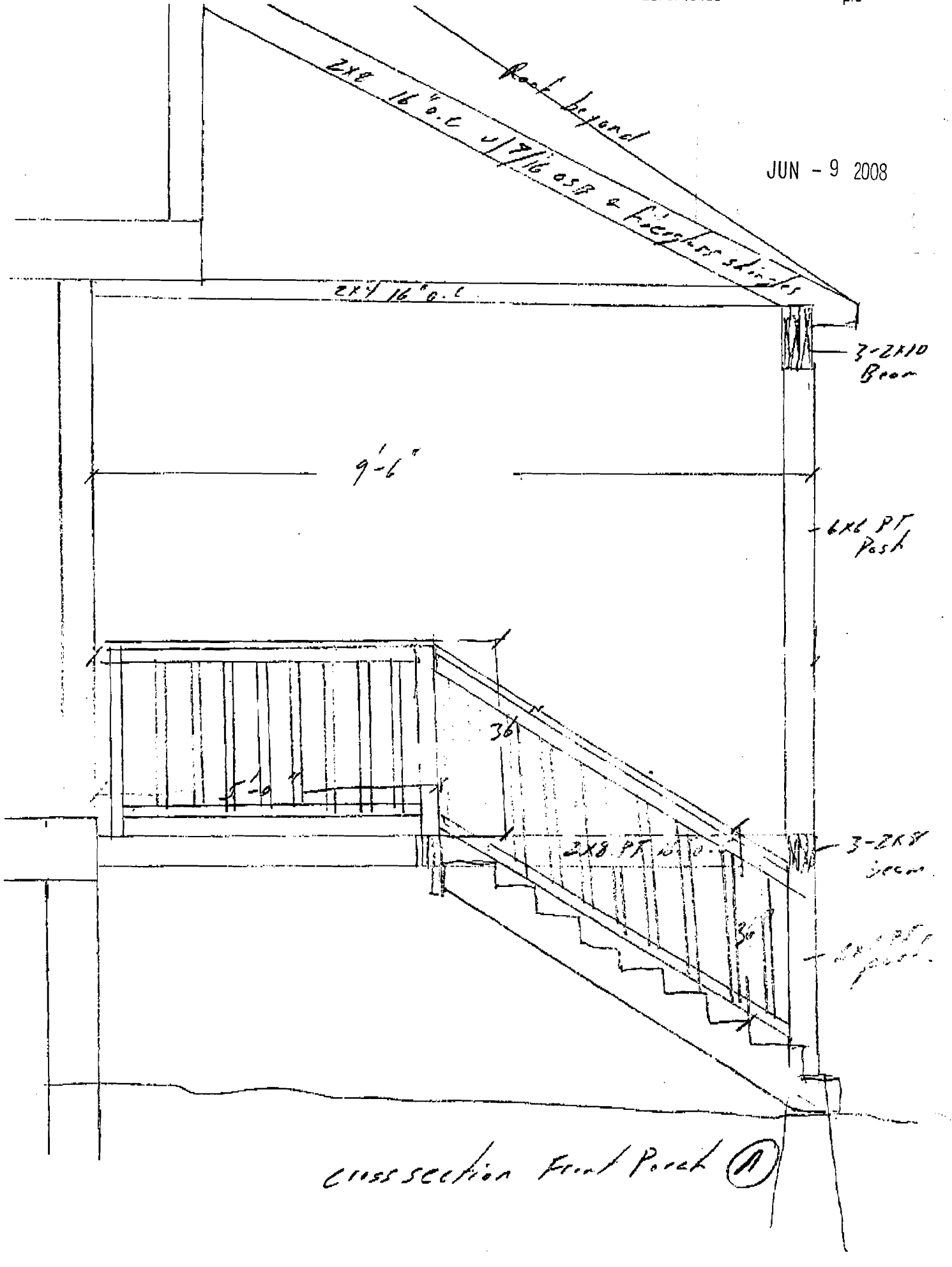


JUN - 9 2008



front porch cross section (B)

JUN - 9 2008



cross section Front Porch (A)