

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM

I. D. Number

West, Robert

9/15/97

Applicant

Application Date

700 Brighton Ave, Portland, ME 04102

Fill Permit

Applicant's Mailing Address

Project Name/Description

SAA

700 Brighton Ave

Consultant/Agent

Address of Proposed Site

871-7251

224A-A-006/006

Applicant or Agent Daytime Telephone, Fax

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):

☐ New Building

☐ Building Addition

☐ Change Of Use

☐ Residential

☒ Office

☐ Retail

☐ Manufacturing

☐ Warehouse/Distribution

☐ Parking Lot

☒ Other (specify) Fill Permit

45,247 Sq Ft

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

☐ Site Plan
(major/minor)

☐ Subdivision
of lots

☐ PAD Review

☐ 14-403 Streets Review

☐ Flood Hazard

☐ Shoreland

☐ Historic Preservation

☐ DEP Local Certification

☐ Zoning Conditional
Use (ZBA/PB)

☐ Zoning Variance

☐ Other

Fees Paid: Site Plan Subdivision Engineer Review \$50.00 Date: 9/15/97

DRC Approval Status:

Reviewer Jim Wendel

☐ Approved

☒ Approved w/Conditions
see attached

☐ Denied

Approval Date 9/30/97

Approval Expiration 10/24/97

Extension to

☒ Additional Sheets
Attached

☒ Condition Compliance

Jim Wendel
signature

9/30/97
date

Performance Guarantee

☐ Required*

☐ Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

☐ Performance Guarantee Accepted

date

amount

expiration date

☐ Inspection Fee Paid

date

amount

☐ Building Permit

date

☐ Performance Guarantee Reduced

date

remaining balance

signature

☐ Temporary Certificate Of Occupancy

date

☐ Conditions (See Attached)

☐ Final Inspection

date

signature

☐ Certificate Of Occupancy

date

☐ Performance Guarantee Released

date

signature

☐ Defect Guarantee Submitted

submitted date

amount

expiration date

☐ Defect Guarantee Released

date

signature

700 Brighton Ave

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
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ADDENDUM**

19970067

I. D. Number

West, Robert

9/15/97

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700 Brighton Ave, Portland, ME 04102

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224A-A-005/006

Applicant or Agent Daytime Telephone, Fax

Assessor's Reference: Chart-Block-Lot

DRC Conditions for Approval

1. Install silt fence and hay bales at the down gradient limit of work of the proposed area to be filled. This shall be the first item of work to be completed. The silt fence and hay bales shall remain in place through the fall and winter and until the grass coverage is a minimum of 80%.
2. No additional fill shall be brought on-site without prior notification and approval from the Development Review Coordinator.
3. Existing stockpiled material shall be graded to drain from Brighton Avenue towards Capisic Brook. Final slopes shall be less than 33%.
4. The area to be filled shall be on the applicant's property.
5. The unvegetated area shall be permanently stabilized within 7 days of final grading.
6. The area to be grassed shall have 4" of loam. The loam should be tested to determine the correct application rates of limestone and fertilizer. If testing is not possible then fertilizer may be applied at the rate of 18.4 pounds per 1000 SF using 10-20-20 (N-P205-K20) or equivalent. Apply ground limestone (equivalent to 50% calcium plus magnesium oxide) at a rate of 138 pounds per 1000 SF. The lime and fertilizer shall be worked into the 4" of loam.
7. The seed mixture selected shall be based on recommendations from a knowledgeable source such as the local soil and Water Conservation District or an experienced supplier of seed for the future use and the time of year.
8. Apply the seed as recommended by the supplier; work the seed a 1/4" to 1/2" into the loam.
9. Apply straw mulch at a rate of two bales per 1000 SF.
10. Maintain the silt fence and straw mulch as necessary.
11. The applicant shall complete the work by October 24, 1997.

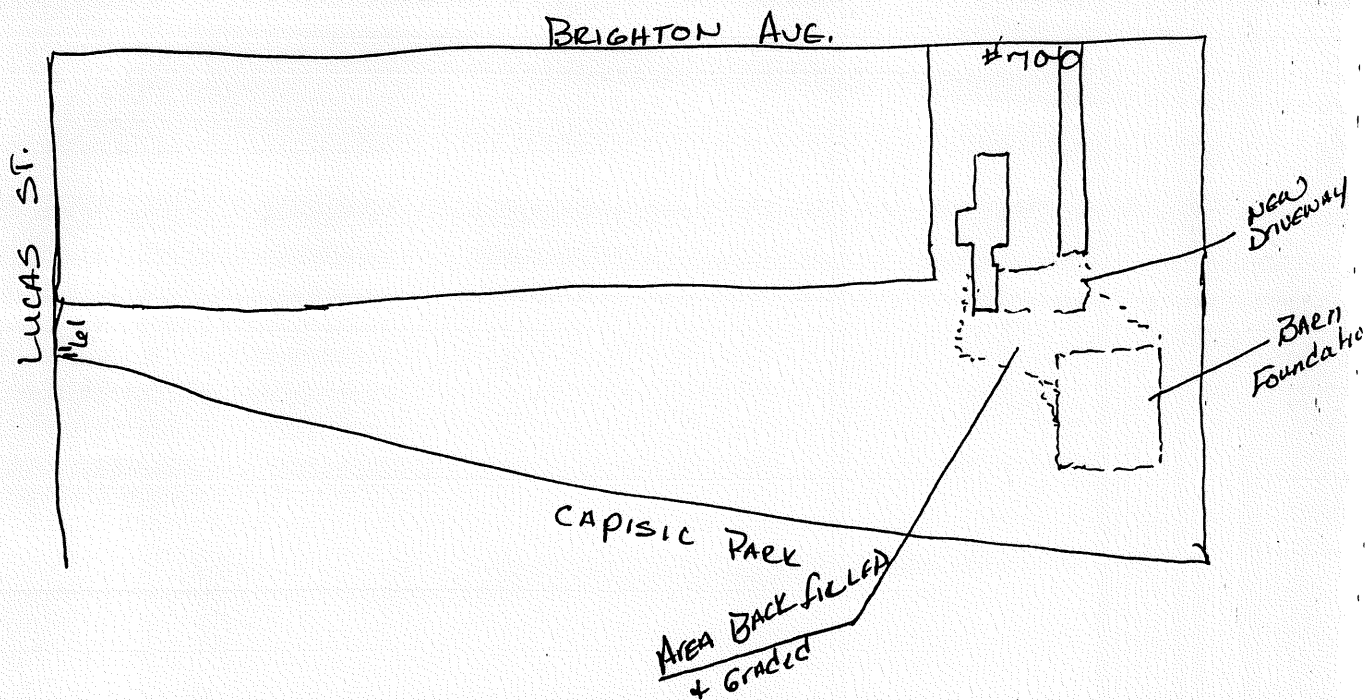
9-15-97

LAST year I had a new GARAGE built. Due To the lack of funds I couldn't complete the YARD work until this year.

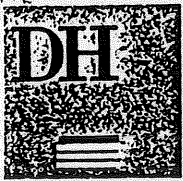
Along with backfilling around the garage, There is an old barn foundation on the property which I would like to fill in.

The foundation size of the barn according to records ARE $48\frac{1}{2}' \times 65\frac{1}{2}'$.

I would like to ~~see~~ blend in the area with the rest of my yard, seed it, and have this area AS Additional Lawn.



no Grades or slopes have been changed. There has only been HEIGHT changes due to the back filled area directly around the GARAGE foundation, which slopes away from the building and driveway.



DeLUCA HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS

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- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

MEMORANDUM

TO: Robert West, Applicant

FROM: Jim Wendel, Development Review Coordinator

DATE: September 30, 1997

RE: Fill Permit-volume less than 500 CY
700 Brighton Avenue

I have reviewed and approve your application to fill an old barn foundation and surrounding area as presented in the submitted documentation with the following conditions.

1. Install silt fence and hay bales at the down gradient limit of work of the proposed area to be filled. This shall be the first item of work to be completed. The silt fence and hay bales shall remain in place through the fall and winter and until the grass coverage is a minimum of 80%.
2. No additional fill shall be brought on-site without prior notification and approval from the Development Review Coordinator.
3. Existing stockpiled material shall be graded to drain from Brighton Avenue towards Capisic Brook. Final slopes shall be less than 33%.
4. The area to be filled shall be on the applicant's property.
5. **The unvegetated area shall be permanently stabilized within 7 days of final grading.** The area shall be stabilized with a grass cover or hot bituminous pavement for access to the new garage. If the applicant chooses not to permanently loam and seed the area than the applicant shall notify the DRC to discuss how to temporarily stabilize the area for the winter and to set a spring time date for completion of final stabilization.
6. The area to be grassed shall have 4" of loam. The loam should be tested to determine the correct application rates of limestone and fertilizer. If testing is not possible than fertilizer may be applied at the rate of 18.4 pounds per 1000 SF using 10-20-20 (N-P205-K20) or equivalent. Apply ground limestone (equivalent to 50% calcium plus

magnesium oxide) at a rate of 138 pounds per 1000 SF. The lime and fertilizer shall be worked into the 4" of loam.

7. The seed mixture selected shall be based on recommendations from a knowledgeable source such as the local Soil and Water Conservation District or an experienced supplier of seed for the future use and the time of year.
8. Apply the seed as recommended by the supplier; work the seed a 1/4" to 1/2" into the loam.
9. Apply straw mulch at a rate of two bales per 1000 SF.
10. Maintain the silt fence and straw mulch as necessary.
11. The applicant shall complete the work by October 24, 1997.

c: Kandi Talbot, Planning Department

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