

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0398	PERMIT ISSUED MAY 14 2004	CBL: 224 A025001
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Location of Construction: 118-114 Starbird Rd	Owner Name: Brown Development Corp	Owner Address: Po Box 7022	Phone: 207-767-4473
Business Name: n/a	Contractor Name: Terry Brown Builders, Inc.	Contractor Address: CITY OF PORTLAND PO Box 7022 Scarborough	Phone: 2077674473
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Multi Family	Zone: R-24 R-3 PRUD

Past Use: Vacant	Proposed Use: PRUD 12 unit condominium / building #3 (3 units)	Permit Fee: \$2,946.00	Cost of Work: \$300,000.00	CEO District: 3
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Proposed Project Description: PKUD 12 unit condominium / building #3 (3 units)	FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: SB BOLA 1999
	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature _____ Date _____

Permit Taken By: gg	Date Applied For: 04/09/2004	Zoning Approval
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>P Amelto Zone X</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2001-0295</i> Maj <input checked="" type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <input type="checkbox"/> Denied Date: <i>4/23/04</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK. TITLE		DATE	PHONE

8/4/04 - checked foundation for backfill
all on - re-anchors OK - OK to Backfill

5/27/05 - checked plumbing & Framing ^{fund} for
all of Bldg #3 - plumbing tests are on & pressure
holdings - all joints look good - Framing no issues
Mike Collins not in to do electric - Can close all
in when Electric Done (I looked at it while there).

7/29/05 - Final for C-O w/ Mike Collins / CAPT Cass,
Councilman Gorham - A certificate from Fire Alarm installers
for CAPT Cass will be faxed to him by installers per phone conversation.
No issues for Bldg except a few (2) penetrations in furnace room will
be stopped up by builder Terry Brown per phone conversation. No issues for
Mike Collins. All signed original C/O on site & copy given to Mr.
Will Gorham, Councilman City of Portland. TAMM (1 of 3 C/O's for Bldg)

09/20/05 unit 112 final inspected okay
to issue C/O

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Planning Copy**

2001-0295
Application I. D. Number
1012412001
Application Date
Starbird Road Condominiums
Project Name/Description

Brown Development Corporation
Applicant
PO Box 7022, Scarborough, ME 04070
Applicant's Mailing Address
Sebaao Technics Inc.
Consultant/Agent
Agent Ph: (207)856-0277 Agent Fax: (207) 856-2206
Applicant or Agent Daytime Telephone, Fax

Starbird Road, Portland, Maine
Address of Proposed Site
224 A025001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

12 Condominiums Proposed Building square Feet or # of Units **1.40** Acreage of Site **contract zone** Zoning

Check Review Required:

- | | | | |
|--|--|--|--|
| <input type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Pla **\$500.00** Subdivision _____ Engineer Review **\$5,466.00** Date **311412002**

Planning Approval Status:

Reviewer **Kandi Talbot**

- Approved **Approved w/Conditions** See Attached Denied

Approval Date **1/8/2002** Approval Expiration **11812003** Extension to _____ Additional Sheets Attached

OK to Issue Building Permit **Kandi Talbot** **311512002**
signature date

Performance Guarantee Required' Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	3/14/2002 date	\$273,300.00 amount	11/1512003 expiration date
<input type="checkbox"/> Inspection Fee Paid	_____ date	_____ amount	
<input type="checkbox"/> Building Permit Issue	_____ date		
<input checked="" type="checkbox"/> Performance Guarantee Reduced	10/3112002 date	\$42,396.00 remaining balance	see comments signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date
<input type="checkbox"/> Final Inspection	_____ date	_____ signature	
<input type="checkbox"/> Certificate Of Occupancy	_____ date		
<input type="checkbox"/> Performance Guarantee Released	_____ date	_____ signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date	_____ amount	_____ expiration date
<input type="checkbox"/> Defect Guarantee Released	_____ date	_____ signature	

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2001-0295

Application I. D. Number

10/24/2001

Application Date

Brown Development Corporation

Applicant

PO Box 7022, Scarborough, ME 04070

Applicant's Mailing Address

Sebago Technics Inc.

Consultant/Agent

Agent Ph: (207) 856-0277

Agent Fax: 2078562206

Applicant or Agent Daytime Telephone, Fax

Starbird Road Condominiums

Project Name/Description

Starbird Road, Portland, Maine

Address of Proposed Site

224 A025001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of Planning

1 Subdivision

i. that a note be added to the subdivision plat which states that "parking will be allowed on the westerly side of Starbird Road Extension only" and that the applicant shall install "no parking" signs on the easterly side of Starbird Road Extension.

2 ii. that the applicant provide a pedestrian path/footbridge, plans of which must be reviewed and approved by the Planning Department, to allow the public to get from the public parking area to the existing trail, which runs through the property being conveyed to the City.

3 iii. that the condominium documents be revised to include a covenant which will prohibit garage parking spaces to be converted to living space or otherwise eliminated and that Corporation Counsel review and approved the condominium documents prior to issuance of a building permit.

4 iv. that the applicant submit a stormwater maintenance agreement for review and approval by staff prior to issuance of a building permit.

5 v. that the applicant provide to the City an executed easement for public access on, over and across its property and for public parking as designated on the approved site plan.

Approval Conditions of DRC

1 i. See Planning's conditions

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2001-0295
Application I. D. Number
1012412001
Application Date
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Proposed Building square Feet or # of Units Acreage of Site Zoning

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(major/minor) | <input type="checkbox"/> Subdivision
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| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Pla \$500.00 Subdivision _____ Engineer Review \$5,466.00 Date 3/14/2002

DRC Approval Status:

Reviewer Chris Earle/Steve Bushey

- Approved **Approved w/Conditions**
See Attached Denied

Approval Date 1/8/2002 Approval Expiration 1/8/2003 Extension to _____ Additional Sheets Attached

Condition Compliance Kandi Talbot 311512002
signature date

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1 i. See Planning's conditions

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0398	Date Applied For: 04/09/2004	CBL: 224 A025001
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Location of Construction: 110-114 Starbird Rd	Owner Name: Brown Development Corp	Owner Address: Po Box 7022	Phone: 207-767-4473
Business Name: n/a	Contractor Name: Terry Brown Builders, Inc.	Contractor Address: PO Box 7022 Scarborough	Phone: (207) 767-4473
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Multi Family	

Proposed Use: PRUD 12 unit condominium/ building #3 (3 units)	Proposed Project Description: PRUD 12 unit condominium/ building #3 (3 units)
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 04/23/2004

Note: The whole project is 12 condo d.u. - this is building #3 with three condo d.u.

Ok to Issue:

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 2) This building shall remain a three family condominium dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved **Reviewer:** Tammy Munson **Approval Date:** 05/12/2004

Note: see permit number 02-258 and 04-0398 for info regarding permit review.

Ok to Issue:

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Lt. MacDougal **Approval Date:** 04/26/2004

Note: **Ok to Issue:**

- 1) THE SPRINKLER SYSTEM SHALL BE TESTED IN ACCORDANCE WITH NFPA 13 R AND THE RESULTS SUBMITTED TO THE PORTLAND FIRE DEPARTMENT
- 2) THE SPRINKLER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 13 R

Comments:

4/28/2004-tmm: Need stair details, attic access info (two areas of third floor storage area), hvac equip in third floor (weight calculations to carry equip), smoke det locations, clearance in chase, fire blocking in rated wall (tenant sep wall), also, structural support of wall (tenant separation wall) - left message w/builder.

5/12/2004-tmm: ok to issue - rec'd above info



CITY OF PORTLAND MAINE

389 Congress St., Rm 315

Portland, ME 04101

Tel - 207-874-8709

Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine
Planning & Urban Development
Division of Housing & Community Services

FROM DESIGNER: Gawron Architects

29 Black Point Road, Scarborough, Maine 04074

DATE: March 18, 2002

Job Name: Starbird Condominiums

Address of Construction: Starbird Road, Portland, Maine

THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION

Construction project was designed according to the building code criteria listed below.

Building Code and Year 1999 BOCA Use Group Classification(s) R-3

Type of Construction 5B Bldg. Height 29'-2" Bldg. Sq. Footage 8,340

Seismic Zone AV=0.110 Group Class 1

Roof Snow Load Per Sq. Ft. sloped 42 Dead Load Per Sq. Ft. 15psf

Basic Wind Speed (mph) 85 psf ✓ Effective Velocity Pressure Per Sq. Ft. 18.5 psf

Floor Live Load Per Sq. Ft. structure assembly 50 psf ✓

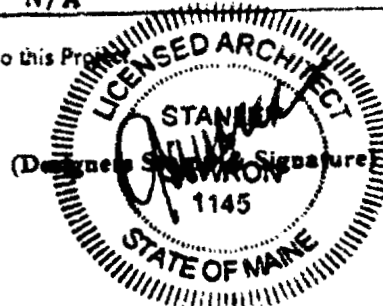
Structure has full sprinkler system? Yes X No _____ Alarm System? Yes _____ No X
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

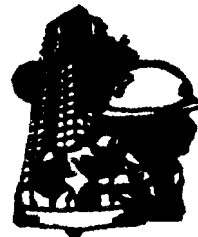
Is structure being considered unlimited area building: Yes ___ No X

If mixed use, what subsection of 313 is being considered N/A

List Occupant loading for each room or space designed into this Project

PSH 6/07/2K





**CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Rm 315
Portland, ME 04101**

**TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service**

FROM: Gawron Architects

RE: Certificate of Design

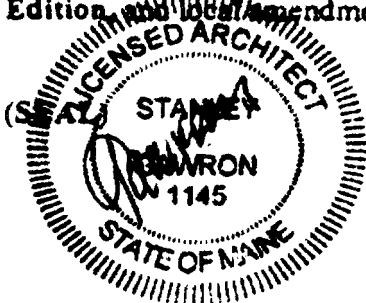
DATE: March 19, 2002

These plans and/or specifications covering construction work on:

Starbird Condominiums

Starbird Road, Portland, Maine

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition and all amendments.



Signature Stan Gawron

Title Principal

Firm Gawron Architects

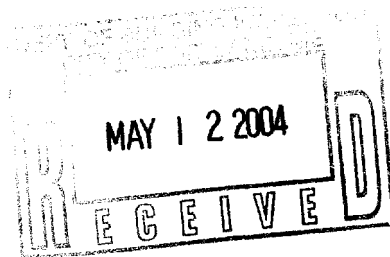
Address 29 Black Point Road, Scarborough, Maine

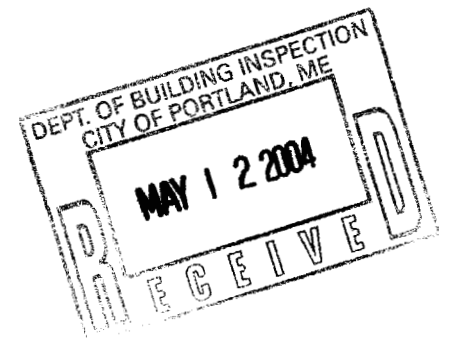
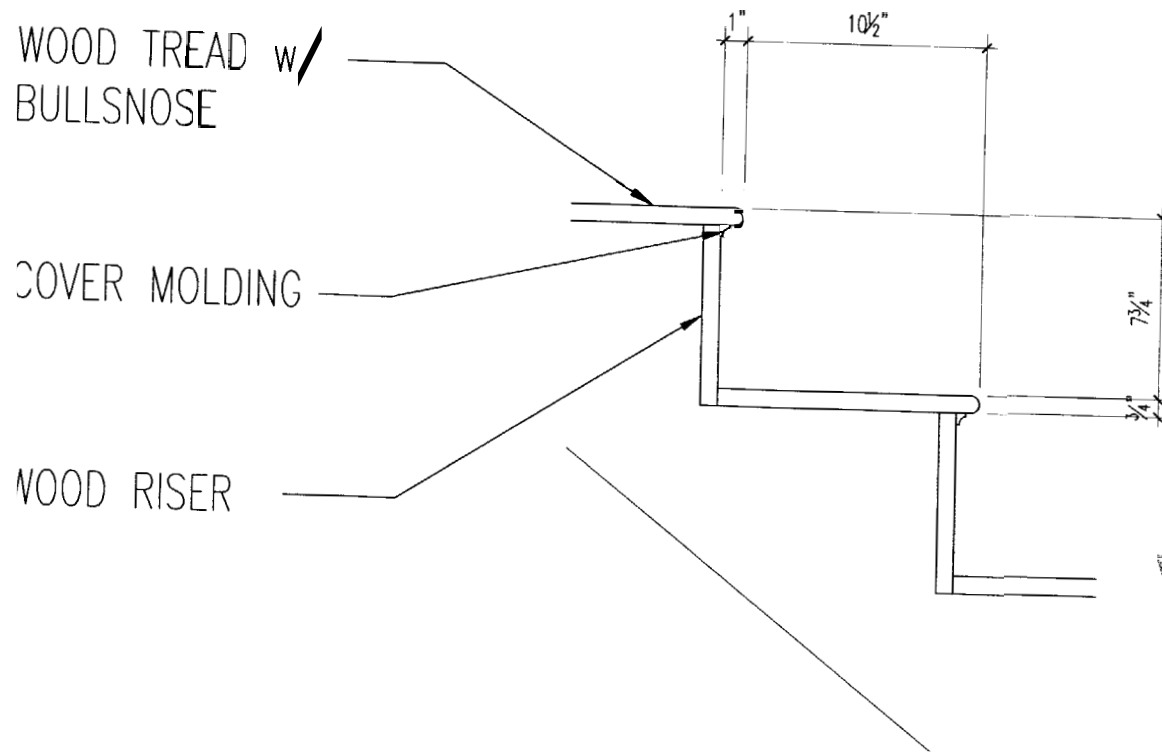
As per Maine State Law:

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

Starbird Condominiums
 Permit review comments

Concern	Response
1. Stair details	Refer to the PDFs included with this submission on Stair Detail & Stair Clearance
2. Attic Access	Refer to the PDF included with this submission on 3 rd Floor
3. Weight calculations showing the 1 st floor framing is adequate to support HVAC equipment.	No air central conditioning is scheduled for this building at this time. If at another date a central air conditioning unit is added to the third floor, structural side data shall be provided to confirm design requirements.
4. Smoke detectors	Refer to the PDFs included with this submission on 1 st Floor Plan, 2nd Floor Plan, and 3 rd Floor Plan
3. Clearance in chase and use	Within the chase will be the flue for the boiler. A zero clearance flue shall be used
6. Fire Blocking	The contractor shall provide fire blocking at each floor level as required by the building code.

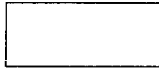




STAIR DETAIL

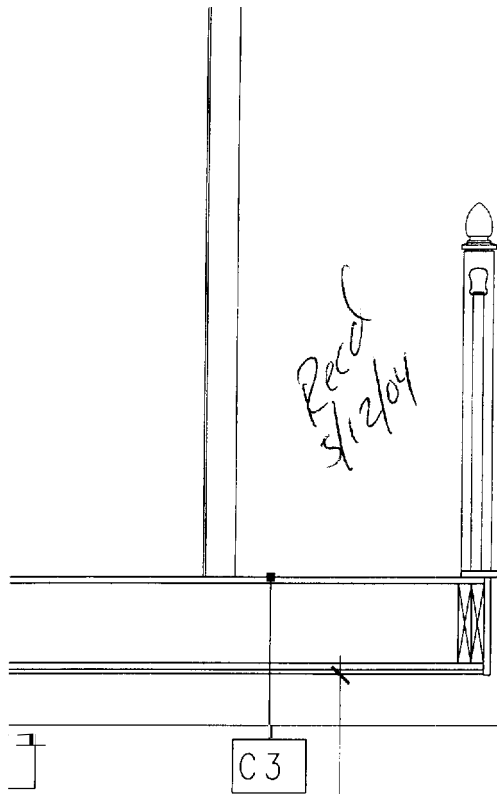
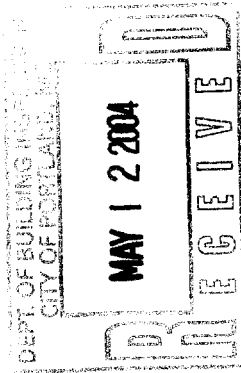
NOT TO SCALE

STAIR



W2

*Rec'd
5/12/04*

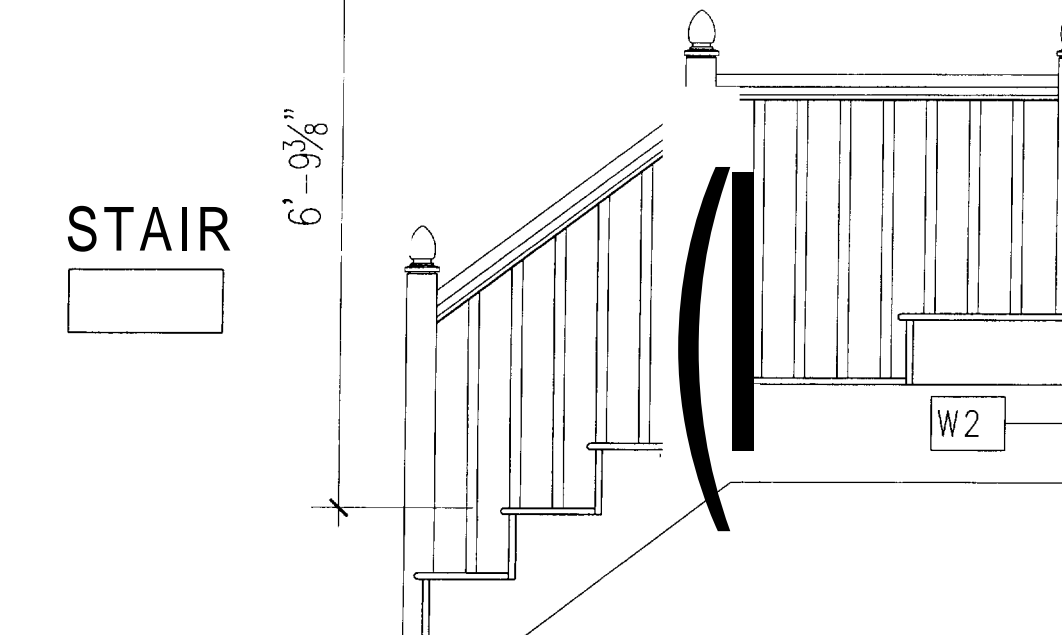


C3

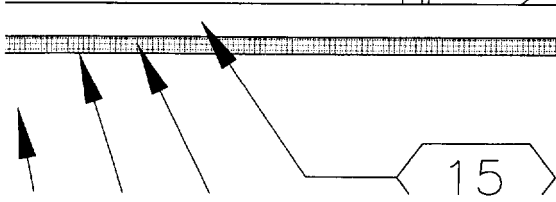
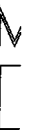
STAIR



6'-9 3/8"

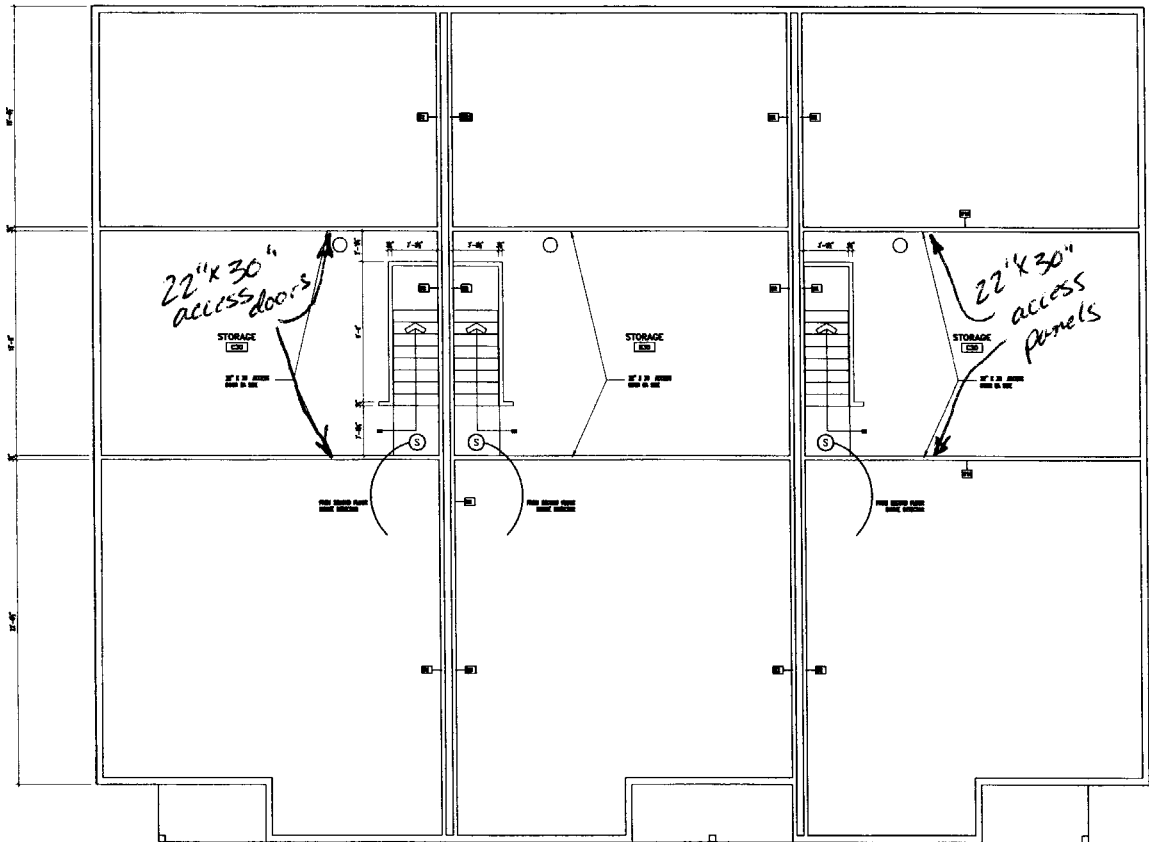


W2



15

ENGINEER
MAY 1 2 2004
 DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME

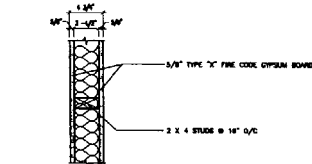


1 THIRD FLOOR PLAN
 A-102 SCALE: 1/4" = 1'-0"

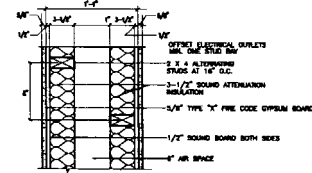
**FLOOR PLAN
 LEGEND**

- (C1) STEEL BALLARD - 6" CONCRETE FILL STEEL COLUMN CONCRETE DOME TOP @ 24" A.F.F. BOTTOM @ 2'-4" A.F.F. SET IN 1" DIAMETER CONCRETE FOOTING
- (C2) STEEL FUEL OIL TANK - FILL PIPE IN WALL BETWEEN UNITS - PAINTED
- (C3) 1" PLYWOOD PAINTED SHELVES w/ 1" WOOD NOSING w/ 4 ADJUSTABLE SHELF SUPPORTS - (5) SHELVES PER CLOSET
- (C4) CLOTHES ROD AND SHELF
- (C5) WOOD POST - PROVIDE SOLID CONTINUOUS BEARING DOWN THROUGH TO TOP OF FINISH FLOOR - REFER TO STRUCTURAL DRAWING
- (C6) KITCHEN CABINETS - LAYOUT BY KITCHEN CABINET SUPPLIER - CONTRACTOR SHALL INSTALL AND COORDINATE WITH ALL TRADES AND SERVICES
- (C7) HOLEY - FUEL OIL FIRED
- (C8) ALL BATHROOM CABINETRY AND LAYOUT BY CABINET SUPPLIER - CONTRACTOR SHALL INSTALL AND COORDINATE WITH ALL TRADES AND SERVICES
- (C9) ROOF WINDOW (ABOVE)
- (C10) PRE-FABRICATED GAS FIREPLACE DETAILS PER SHOP DRAWINGS
- (C11) PATIO - C.M.U. PATIO BRICK w/ 6" COMPACTED SAND w/ 6" COMPACTED GRANULAR FILL w/ UNDISTURBED FLATION ENGINEERED FILL w/ STEEL EDGING - SLOPE AWAY FROM BUILDING 1/4" PER FOOT
- (C12) SOFFIT - 6" DEEP GWB w/ 3 1/2" WOOD FRAMING - ACROSS STAIR & TV / DEN
- (C13) STEEL FLOOR SYSTEM - COORDINATE SIZE, LOCATION, AND CLEARANCES AS REQUIRED BY CODE WITH ALL TRADES
- (H) FIRE ALARM - HEAT ALARM - 120V w/ BATTERY BACK-UP
- (S) FIRE ALARM - SMOKE ALARM - 120V w/ BATTERY BACK-UP

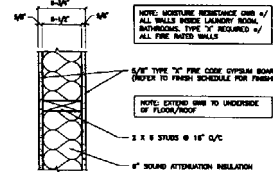
WALL TYPES & CEILING ASSEMBLIES



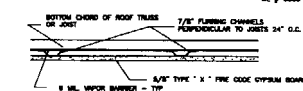
- W1 WALL TYPE (NON-RATED) 1/2" - 1'-0"
- W1A WALL TYPE (1) HR. RATE 1/2" - 1'-0"



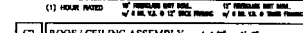
- W2 WALL TYPE (1) HR. RATED 1/2" - 1'-0"



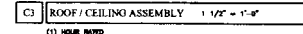
- W3 WALL TYPE (1) HR. RATED 1/2" - 1'-0"



- C1 ROOF / CEILING ASSEMBLY 1/2" - 1'-0"



- C2 ROOF / CEILING ASSEMBLY 1/2" - 1'-0"



- C3 ROOF / CEILING ASSEMBLY 1/2" - 1'-0"



STARBIRD ROAD CONDOMINIUMS
 BROWN DEVELOPMENT CORPORATION
 PORTLAND, MAINE

REVISIONS

NO.	DATE	DESCRIPTION
1		ISSUED FOR CONSTRUCTION
2		REVISED
3		REVISED
4		REVISED

DATE	ISSUED
PROJECT #	031101
DRAWN BY:	DMK
CHECKED BY:	NO
DRAWING SCALE	AS NOTED

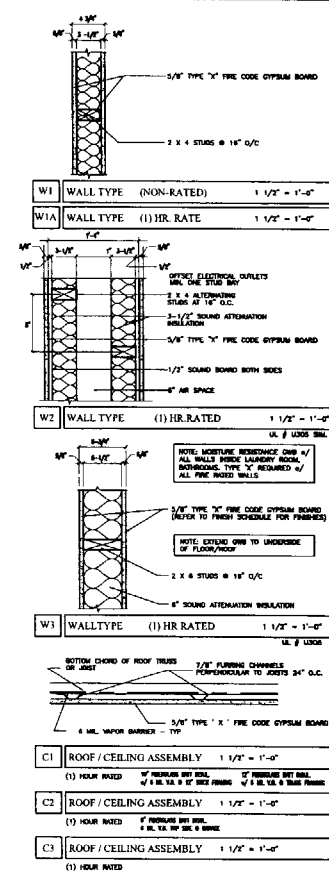
SHEET TITLE
 THIRD FLOOR PLAN

A-102

**FLOOR PLAN
LEGEND**

- Ⓢ STEEL BALLARD - 4" CONCRETE FILL STEEL COLUMN CONCRETE DOME TOP @ 1.0" A.F.F. BOTTOM @ 2.0" A.F.F. 30" DIAMETER CONCRETE FOOTING
- Ⓣ STEEL FUEL OIL TANK - FILL PIPE IN WALL BETWEEN UNITS - PAINTED
- Ⓤ 1/2" PL WOOD PAINTED SHELVES w/ 1" WOOD NOSING @ 4" ADJUSTABLE SHRF. SUPPORTS - (1) SHELVES PER CLOSET
- Ⓥ CLOTHES ROD AND SHELF
- Ⓦ WOOD POST - PROVIDE SOLID CONTINUOUS BEARING DOWN THROUGH TO TOP OF FOUNDATION - REFER TO STRUCTURAL DRAWINGS
- Ⓧ KITCHEN CABINETS - LAYOUT BY KITCHEN CABINET SUPPLIER - CONTRACTOR SHALL INSTALL AND COORDINATE WITH ALL TRADES AND SERVICES
- Ⓨ HOILER - FUEL OIL FIRED
- Ⓩ ALL BATHROOM CABINETRY AND LAYOUT BY CABINET SUPPLIER - CONTRACTOR SHALL INSTALL AND COORDINATE WITH ALL TRADES AND SERVICES
- ⓐ ROOF WINDOW (ABOVE)
- ⓑ PRE-FABRICATED GAS FIREPLACE DETAILS PER SHOP DRAWINGS
- ⓓ PATIO - 6" MIN. PATIO BENCH @ 4" COMPACTED SAND @ 4" COMPACTED GRANULAR FILL @ UNRESTRICTED EXTERIOR ENGINEERED FILL w/ STEEL EDGING - SLOPE AWAY FROM BUILDING 1/4" PER FOOT
- ⓔ SOFFIT - 6" DEEP GWB @ 1 1/2" WOOD FRAMING - ACROSS STAIR & TV / DEN
- ⓕ STEEL FLOOR SYSTEM - COORDINATE SIZE, LOCATION AND CLEARANCES AS REQUIRED BY CODE WITH ALL TRADES
- ⓖ FIRE ALARM - HEAT ALARM - 120V w/ BATTERY BACK-UP
- ⓗ FIRE ALARM - SMOKE ALARM - 120V w/ BATTERY BACK-UP

WALL TYPES & CEILING ASSEMBLIES



STARBUCK ROAD CONDOMINIUMS
BROWN DEVELOPMENT CORPORATION
PORTLAND, MAINE

REVISIONS

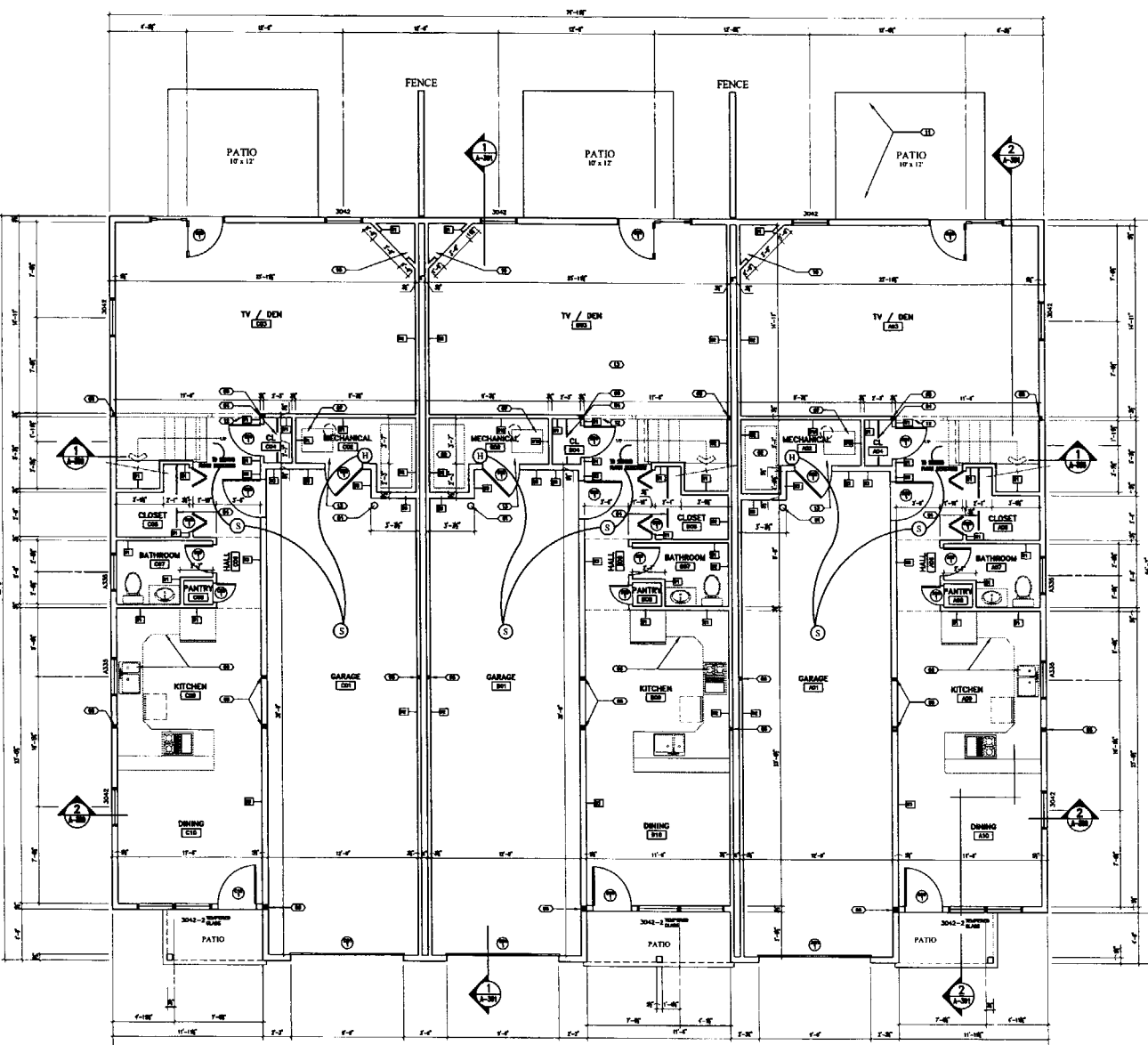
NO.	DATE	DESCRIPTION
1	ISSUED FOR CONSTRUCTION	ISSUED FOR CONSTRUCTION (ISSUED) R022602 R022602 R022602

DATE:	01/08/02
PROJECT #:	01181
DRAWN BY:	DMG
CHECKED BY:	BO
DRAWING SCALE:	AS NOTED

SHEET TITLE
FIRST FLOOR PLAN

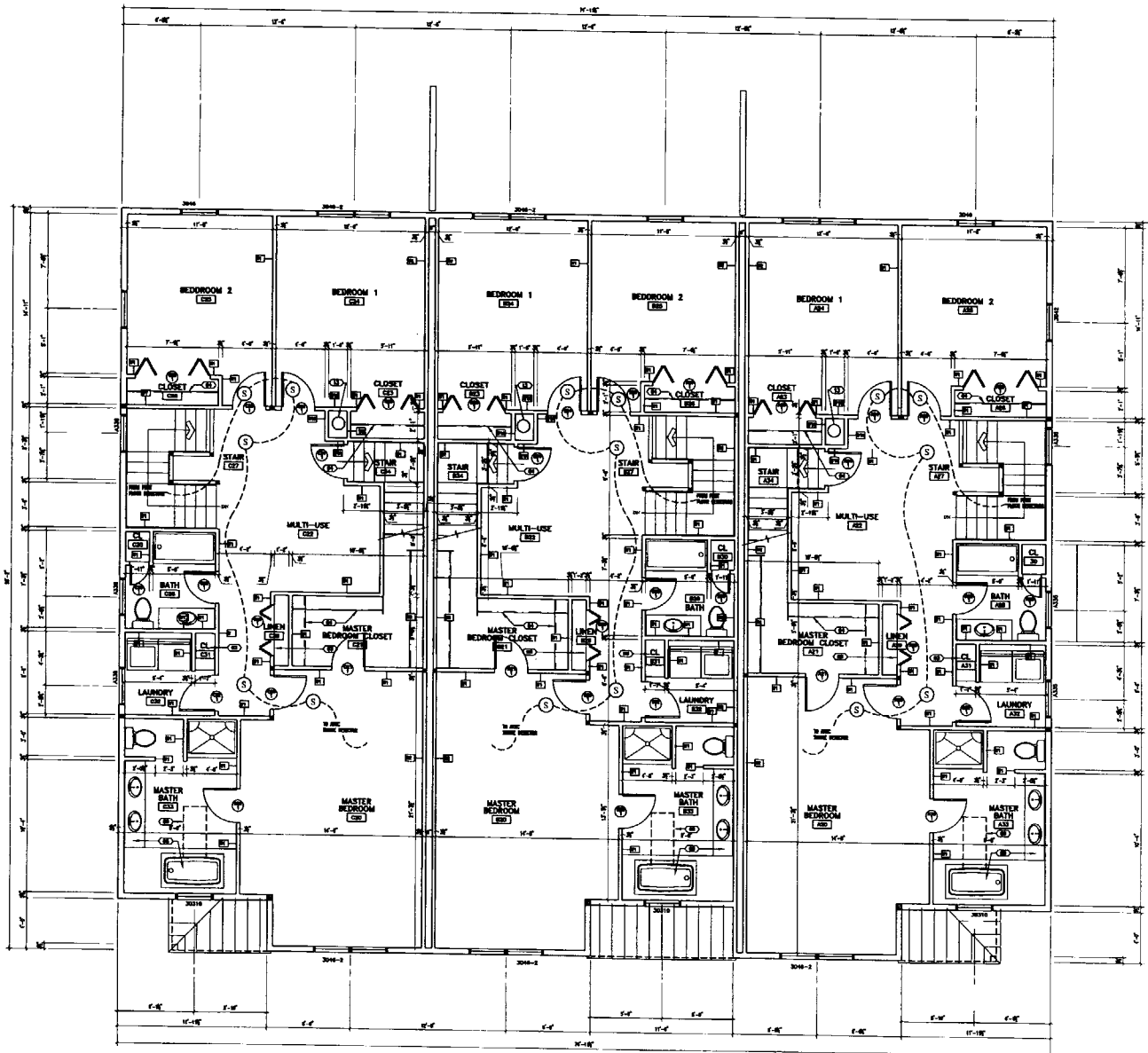
A-100

© COPYRIGHT 1980-2001
BROWN DEVELOPMENT CORPORATION



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

MAY 12 2004

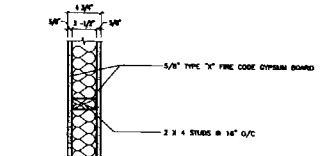


1 SECOND FLOOR PLAN
A-101 SCALE: 1/4" = 1'-0"

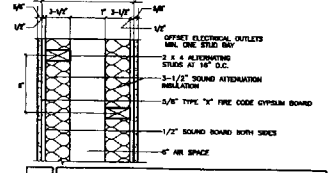
FLOOR PLAN
LEGEND

- (1) STEEL BALLARD - 4" CONCRETE FILL STEEL COLUMN CONCRETE DOME TOP @ 7'-0" A.F. BOTTOM @ 2'-0" A.F. SET IN 10" BRACKET CONCRETE FOOTING
- (2) STEEL FUEL OIL TANK - FILL PIPE IN WALL BETWEEN UNITS - PAINTED
- (3) 1" FLYWOOD PAINTED SHELVES w/ 1" WOOD NOSING w/ 4 ADJUSTABLE SHELF SUPPORTS - 10 SHELVES PER CLOSET
- (4) CLOTHES ROD AND SHELF
- (5) WOOD POST - PROVIDE SOLID CONTINUOUS BEARING DOWN THROUGH TO TOP OF FLOOR JOIST - REFER TO STRUCTURAL DRAWINGS
- (6) KITCHEN CABINETS - LAYOUT BY KITCHEN CABINET SUPPLIER - CONTRACTOR SHALL INSTALL AND COORDINATE WITH ALL TRADES AND SERVICES
- (7) BOILER - FUEL OIL FIRED
- (8) ALL BATHROOM CABINETS AND LAYOUT BY CABINET SUPPLIER - CONTRACTOR SHALL INSTALL AND COORDINATE WITH ALL TRADES AND SERVICES
- (9) ROOF WINDOW (ABOVE)
- (10) PRE-FABRICATED GAS FIREPLACE DETAILS PER SHOP DRAWINGS
- (11) PATIO - C.M.U. PATIO BRK @ 4" COMPACTED SAND @ 4" COMPACTED GRANULAR FILL w/ UNDISTURBED EXISTING ENGINEERED FILL w/ STEEL EDGE - 6' AWAY FROM BUILDING 1/4" PER FOOT
- (12) SOFFIT - 4" DEEP OWB w/ 1/2" WOOD FRAMING - ACROSS STAIR & TV / DEN
- (13) STEEL FLOOR SYSTEM - COORDINATE SIZE, LOCATION AND CLEARANCES AS REQUIRED BY CODE WITH ALL TRADES
- (14) FIRE ALARM - HEAT ALARM - 120V w/ BATTERY BACK-UP
- (15) FIRE ALARM - SMOKE ALARM - 120V w/ BATTERY BACK-UP

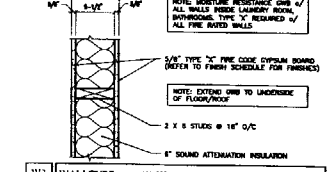
WALL TYPES & CEILING ASSEMBLIES



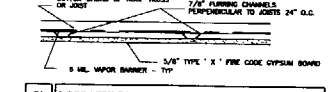
- W1 WALL TYPE (NON-RATED) 1 1/2" - 1'-0"
- W1A WALL TYPE (1) HR. RATE 1 1/2" - 1'-0"



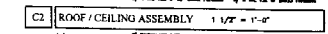
- W2 WALL TYPE (1) HR. RATED 1 1/2" - 1'-0"



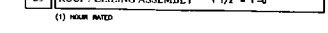
- W3 WALL TYPE (1) HR. RATED 1 1/2" - 1'-0"



- C1 ROOF / CEILING ASSEMBLY 1 1/2" - 1'-0"



- C2 ROOF / CEILING ASSEMBLY 1 1/2" - 1'-0"



- C3 ROOF / CEILING ASSEMBLY 1 1/2" - 1'-0"



GAWRON ARCHITECTS
29 Black Point Road
Scarborough, ME 04074
www.gawron.com
Tel. 207. 883. 6307
Fax. 207. 883. 6361

STARBIRD ROAD CONDOMINIUMS
BROWN DEVELOPMENT CORPORATION
PORTLAND, MAINE

REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR CONSTRUCTION
2	ISSUED FOR CONSTRUCTION
3	ISSUED FOR CONSTRUCTION

DATE:	05/26/04
PROJECT #:	031101
DRAWN BY:	DMG
CHECKED BY:	AS
DRAWING SCALE:	AS NOTED

SHEET TITLE
SECOND FLOOR PLAN

A-101

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BROWN DEVELOPMENT CORPORATION
ALL RIGHTS RESERVED

MAY 12 2004



Fax

To: Terry Brown	From: Tammy Munson
Fax: (207)767-1306	Pages: 1
Phone: (207)831-1776	Date: 04/30/04
Re: Starbird Road	CC:

Urgent For Review Please Comment Please Reply (7 Please Recycle

The following is a list of the items we need addressed on the submitted permits for Starbird Road:

1. Stair details (tread, rise, headroom, etc.)
2. Attic access (~~two~~ areas of the third floor) -please show size and location.
3. Weight calculations showing the third floor framing is adequate to support the HVAC equipment.
4. Smoke detector locations.
5. Clearance in chase and use.
6. Fire blocking in tenant separation wall and structural support.
- 7.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0398	Date Applied For: 04/09/2004	CBL: 224 A025001
------------------------------	--	----------------------------

Location of Construction: 1 10-114 Starbird Rd	Owner Name: Brown Development Corp	Owner Address: Po Box 7022	Phone: 207-767-4473
Business Name: n/a	Contractor Name: Terry Brown Builders, Inc.	Contractor Address: PO Box 7022 Scarborough	Phone: (207) 767-4473
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Multi Family	

Proposed Use: PRUD 12 unit condominium / building #3 (3 units)	Proposed Project Description: PRUD 12 unit condominium /building #3 (3 units)
--	---



Dept: Fire **Status:** Approved with Conditions **Reviewer:** Lt. MacDougal **Approval Date:** 04/26/2004
Note: **Ok to Issue:**

- 1) THE SPRINKLER SYSTEM SHALL BE TESTED IN ACCORDANCE WITH NFPA 13R AND THE RESULTS SUBMITTED TO THE PORTLAND FIRE DEPARTMENT
- 2) THE SPRINKLER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 13R

Comments:

4/28/04-tmm: Need stair details, attic access info (two areas of third floor storage area), hvac equip in third floor (weight calculations to carry equip), smoke det locations, clearance in chase, fire blocking in rated wall(tenant sep wall), also, structural support of wall (tenant separation wall) - left message w/builder.

6

04-0399
04-0395

HOLD
831-1776
Terry Brown -

Fax # 767-1306

Roof snow load - sloped - 42 PSF?

P-G102 shows R-2
NOT R-3

Need All 11x17"

Fireplace vent -

Terry Brown
767-4413

Item	Plan Review	Inspector/Date/Findings
STRUCTURAL Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2)	OK 4' Frostwall	
Foundation Drainage Dampproofing (Section 406)	Shown - Not req.	
Ventilation (Section 409.1) Crawls Space ONLY	✓ -	
Anchor Bolts/Straps (Section 403.1.4)	Shows - 16" Long Hook anchors - 8' oc	
Lally Column Type, Spacing and footing sizes (Table 502.3.4(2))	N/A	
Built-Up Wood Center Girder Dimension/Type (Table 502.3.4(2))	N/A	
Sill/Band Joist Type & Dimensions	Shows - 2x6	
First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))	Slab 4" w/ Rigid Ins.	
Second Floor Joist Species Dimensions and Spacing Table(503.3.1(1) & Table 503.3.2(1))	2x10 12" oc 12' span 2x10 - 12" oc 14.11" span	

2x10 - 12" oc
14.11" span } OK

Attic or additional Floor Joist Species Dimensions and Spacing (Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1))	Pre Engineered TRUSSES	
Roof Rafter; Pitch, Span, Spacing & Dimension (Table 802.3.2(7))	ll	
Sheathing; Floor, Wall and roof (Table 503.2.1(1))		
Fastener Schedule (Table 602.3(1) & (2))		
Private Garage Section 309 and Section 407 1999 BOCA) Living Space ? (Above or beside) Yes		
Fire separation 1 hr ⁰ >	OK	
Fire rating of doors to living space Door Sill elevation (407.5 BOCA)	OK - 1 step.	
Egress Windows (Section 310) A-500	Shows 21042 Meets -	
(Chapter 9)	OK	
Safety Glazing (Section 308)	OK	
Attic Access (BOCA 1211.1)	Not shown	
Draft Stopping around chimney	N/A	

①

Header Schedule	OK	
① Type of Heating System	HVAC in Attic - Central	
Stairs		
Number of Stairways		
Interior 3		
Exterior 0		
Treads and Risers (Section 314)	Not shown	
Width 0		
Headroom -	not shown	
Guardrails and Handrails (Section 315)	Not shown	
Smoke Detectors Location and type/Interconnected	Not shown	
Plan Reviewer Signature		

See Chimney Summary Checklist

- ① Fire Blocking in rated wall
- ② HVAC in Attic
- ③ Attic Access

- ④ Clearance for fireplace vent - clearances.

- ⑤ Stair details

- ⑥ smokes

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0398	Date Applied For: 04/09/2004	CBL: 224 A025001
------------------------------	--	----------------------------

Location of Construction: 110-114 Starbird Rd	Owner Name: Brown Development Corp	Owner Address: Po Box 7022	Phone: 207-767-4473
Business Name: n/a	Contractor Name: Terry Brown Builders, Inc.	Contractor Address: PO Box 7022 Scarborough	Phone: (207) 767-4473
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Multi Family	

Proposed Use: PRUD 12 unit condominium / building #3 (3 units)	Proposed Project Description: PRUD 12 unit condominium / building #3 (3 units)
--	--

Dept: Zoning	Status: Approved with Conditions	Reviewer: Marge Schmuckal	Approval Date: 04/23/2004
Note: The whole project is 12 condo d.u. - this is building #3 with three condo d.u.			Ok to Issue: <input checked="" type="checkbox"/>
<p>1) Separate permits shall be required for future decks, sheds, pools, and/or garages.</p> <p>2) This building shall remain a three family condominium dwelling. Any change of use shall require a separate permit application for review and approval.</p> <p>3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.</p>			
Dept: Building	Status: Pending	Reviewer:	Approval Date:
Note:			Ok to Issue: <input type="checkbox"/>

Applicant: Brown Dev,

Date: 4/23/04

Address: 110 - 114 Starbird Rd

C-B-L: 224-A-025

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New Devel.

04-0398

Zone Location - C-24 Contract Zone - using underlying R-3 PUD

Interior or corner lot -

Proposed Use/Work - Construct building #3 - 3D.U.

Sevage Disposal - City

Lot Street Frontage - 50' min - 400' total approx shown

Front Yard - Allowed up to property line (Contract Zone)

Rear Yard - 25' min - 25' shown to edge of PATIOS

Side Yard - 20' shown between buildings

Projections - Rear patios - Attached 2 car garages

Width of Lot - 75' min 400' shown

Height - 35' MAX - 24' skated

Lot Area -

Lot Coverage/ Impervious Surface - OK Contract Zone

Area per Family -

Off-street Parking - ok under contract zone - Attached 2 car garages

Loading Bays - N/A

3 SPACES Allowed across the street

Site Plan - major/subdivision 2001-0295

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 12 - Zone A

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2001-0295

Application I. D. Number

10124101

Application Date

Brown Development Corporation

Applicant

PO Box 7022, Scarborough, ME 04070

Applicant's Mailing Address

Sebago Technics Inc.

Consultant/Agent

Agent Ph: (207)856-0277

Agent Fax: (207) 856-2206

Applicant or Agent Daytime Telephone, Fax

Starbird Road, Portland, Maine

Address of Proposed Site

224 A025001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail

Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

12 Condominiums

1.40

contract zone

Proposed Building square Feet or # of Units

Acreeage of Site

Zoning

Check Review Required:

- | | | | |
|---|---|--|--|
| <input type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Plan \$500.00 Subdivision _____ Engineer Review **\$5,466.00** Date: **3114102**

Zoning Approval Status:

Reviewer _____

- Approved Approved w/Conditions
See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets
Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	3/14/02 date	\$273,300.00 amount	11/15/03 expiration date
<input type="checkbox"/> Inspection Fee Paid	_____ date	_____ amount	
<input type="checkbox"/> Building Permit Issued	_____ date		
<input checked="" type="checkbox"/> Performance Guarantee Reduced	10131102 date	\$42,396.00 remaining balance	see comment 8 signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date
<input type="checkbox"/> Final Inspection	_____ date	_____ signature	
<input type="checkbox"/> Certificate Of Occupancy	_____ date		
<input type="checkbox"/> Performance Guarantee Released	_____ date	_____ signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date	_____ amount	_____ expiration date

Bldg. 3

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

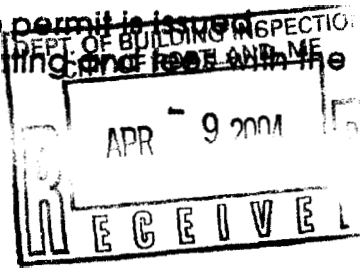
Location/Address of Construction: <u>STARBIRD RD. EXT. PORTLAND, ME.</u>		
Total Square Footage of Proposed Structure <u>7200 SF LIVING SPACE</u>	Square Footage of Lot <u>1.2 ACRES ±</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>224</u> Block# <u>A</u> Lot# <u>025</u>	Owner: <u>BROWN DEVELOPMENT CORP.</u>	Telephone: <u>767-4473</u>
Lessee/Buyer's Name (if Applicable) <u>N/A.</u>	Applicant name, address & telephone: <u>TERRY BROWN</u> <u>P.O. BOX 7022</u> <u>SCARBOROUGH, ME.</u>	Cost Of Work: \$ <u>300,000.00</u> Fee: \$
Current use: <u>VACANT LOT</u> <u>04070</u>		
If the location is currently vacant, what was prior use: <u>NO#&</u>		
Approximately how long has it been vacant <u>'UNKNOWN'</u>		
Proposed use: <u>P.R.U.D. RESIDENTIAL CONDOMINIUMS (BLDG #3)</u> Project description: <u>3 UNITS</u>		
Contractor's name, address & telephone. <u>TERRY BROWN BUILDERS INC.</u> <u>P.O. BOX 7022 SCARBOROUGH, ME. 04070</u>		
Who should we contact when the permit is ready: <u>TERRY BROWN 767-4473</u>		
Mailing address: <u>WILL P/U.</u>		
We will contact you by phone when the permit is ready You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>767-4473</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit

Signature of applicant: [Signature] Date: 4/5/04

This is NOT a permit. you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees and the Planning Department on the 4th floor of City Hall





CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 114 Starbird Rd

CBL 224 A025001

Issued to Brown Development Corp /Terry Brown Builders, Inc.

Date of Issue 08/31/2005

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 04-0398, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Use Group R-3, Type 5b, Boca 1999, Single Family Condo

Limiting Conditions:

This certificate supersedes certificate issued

Approved:

8/31/05
(Date)

Thomas M. Mauley
Inspector

[Signature]
Inspector of Buildings

JLK P.F.D. 8/31/05
MAA 8/31/05

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 114 Starbird Rd

CBL 224 A025001

Issued to Brown Development Corp /Terry Brown Builders, Inc.

Date of Issue 09/26/2005

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 04-0398, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Unit #112

APPROVED OCCUPANCY

Residential Condo

Use Group R-3

Type 5B

BOCA 1999

Limiting Conditions:

None

This certificate supersedes
certificate issued

Approved:

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 110 Starbird Rd

CBL 224 A025001

Issued to Brown Development Corp /Terry Brown Builders, Inc.

Date of Issue 07/28/2005

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 04-0398 , has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

Use Group R-3, Type 5b, Boca 1999, Single Family Condo

Limiting Conditions:

This certificate supersedes certificate issued

Approved:

7/28/05

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

TO: Inspections
FROM: Jay Reynolds, Development Review Coordinator
DATE: September 21, 2005
RE: C. of O. for 114 Starbird Road Extension, Starbird Road Condominiums
Lead CBL (224-A-025); Id# (2001-0295)

After visiting #114 Starbird Road Extension, I have the following comments:

#112 *MWB*

Incomplete site work to be finished as part of the PRUD site development.

At this time, **I recommend issuing a Permanent Certificate of Occupancy.**

Please contact me if you have any questions or comments.
Thank You.

Cc: Sarah Hopkins, Development Review Services Manager
Mike Nugent, Inspection Services Manager
file

File: O:\plan\drc\starbirdext114.doc

Contractor's Material and Test Certificate for Aboveground Piping

PROCEDURE
 Upon completion of work, inspection and tests shall be made by the contractor's representative and witnessed by an owner's representative. All defects shall be corrected and system left in service before contractor's personnel finally leave the job. A certificate shall be filled out and signed by both representatives. Copies shall be prepared for approving authorities, owners, and contractors. It is understood the owner's representative's signature in no way prejudices any claim against contractor for faulty material, poor workmanship, or failure to comply with approving authority's requirements or local ordinances.

DATE **7/29/05**

PROPERTY NAME **STARBIRD CONDOS UNIT 1**

PROPERTY ADDRESS **STARBIRD RD. EXT.**

ACCEPTED BY **State Fire Marshal's Office**

PLANS ADDRESS **#164 State House Station Augusta, Maine 04333-0164**
 Yes No
 Yes No
 Installation conforms to accepted plans
 Equipment used is approved If no, explain deviations. Yes No

INSTRUCTIONS Has person in charge of fire equipment been instructed as to location of control valves and care and maintenance of this new equipment? If no, explain? Yes No
 Has copies of the following been left on the premises?
 1. System components instructions Yes No
 2. Care and maintenance instructions Yes No
 3. NFPA 25 (Owners Manual) Yes No

LOCATION OF SYSTEM	Supplies buildings					
	MAKE	MODEL	YEAR OF MANUFACTURE	ORIFICE SIZE	QUANTITY	TEMPERATURE RATING
SPRINKLERS	GLOBE	RES EXT. AMN.	2002	7/16"	23	155°
	GLOBE	BRASS UP	2002	1/2"	4	155°
	GLOBE	RES EXT. SW.	2002	7/16"	5	155°

PIPING & FITTINGS Type of pipe **CPVC, BLACK IRON**
 Type of fittings **CPVC, VICTAULIC, CAST IRON**

ALARM VALVE OR FLOW INDIC.	Alarm Device			Maximum time to operate through test connection.	
	Type	Make	Model	Minutes	Seconds
	NAME	POTTER	USR-F	0	30

DRY PIPE OPERATION TEST	Dry valve			Q.O.D.			
	Make	Model	Serial no.	Make	Model	Serial no.	
	Time to trip through test connection 1	Water pressure	Air pressure	Trip point air pressure	Time water reached test outlet 1		Alarm operated properly
	Minutes Seconds	Psi	Psi	Psi	Minutes	Seconds	Yes No
Without Q.O.D.							
Without Q.O.D.							

If no, explain Pneumatic Electric Hydraulic

Operation Yes No
 Piping supervised Yes No
 Does valve operate from the manual trip, remote, or both control stations? Yes No
 Is there an accessible facility in each circuit for testing? Yes No If no, explain.

Make	Model	Does each circuit operate supervision loss alarm?		Does each circuit operate valve release?		Maximum time of operate release	
		Yes	No	Yes	No	Minutes	Seconds

PRESSURE TESTING	Location and floor	Make & Model	Setting	Static Pressure		Residual Pressure (flowing)		Flow rate
				Inlet (psi)	outlet (psi)	Inlet (psi)	outlet (psi)	Flow (gpm)

Measured from time inspector's test connection is opened.

TEST DESCRIPTION	Hydrostatic: Hydrostatic tests shall be made at not less than 200 psi (13.6 bar) for 2 hours or 50 psi (3.4 bar) above static pressure in excess of 150 psi (10.2 bar) for 2 hours. Differential dry-pipe valve clappers shall be left open during the test to prevent damage. All aboveground piping leakage shall be stopped. Pneumatic: Establish 40 psi (2.7 bar) air pressure and measure drop, which shall not exceed 1 1/2 psi (0.1 bar) in 24 hours. Test pressure tanks at normal water level and air pressure and measure air pressure drop, which shall not exceed 1 1/2 psi (0.1 bar) in 24 hours.			
TEST	All piping hydrostatically tested at <u>200</u> psi (___ bar) for <u>2</u> hours Dry piping pneumatically tested <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Equipment operates properly <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		If no, state reason	
	Do you certify as the sprinkler contractor that additives and corrosive chemicals, sodium silicate or derivatives of sodium silicate, brine, or other corrosive chemicals were not used for testing systems of stopping leaks? <input type="checkbox"/> Yes <input type="checkbox"/> No			
	Drain test	Reading of gauge located near water supply test connection: <u>90</u> psi (___ bar).	Residual pressure with valve in test connection open wide: <u>85</u> psi (___ bar).	
	Underground mains and lead in connections to system riser flushed before connection made to sprinkler piping?			Other Explain If no, explain _____
Verified by copy of the U Form No. 85B flushed by installer of underground sprinkler piping? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No				
If power-driven fasteners are used in concrete, has representative sample testing be satisfactorily completed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				
BLANK TESTING GASKETS	Number used	Locations	Number removed	
WELDING	Welding piping <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes...			
	Do you certify as the sprinkler contractor that welding procedures comply with the requirements of at least AWS B2.1?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
	Do you certify that the welding was performed by welders qualified in compliance with the requirements of at least AWS B2.1?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Do you certify that the welding was carried out in compliance with a documented quality control procedure to ensure that all discs are retrieved, that openings in piping are smooth, that slag and other welding residue are removed, and that the internal diameters of piping are not penetrated?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
CUTOUTS (DISCS)	Do you certify that you have a control feature to ensure that all cutouts (discs) are retrieved? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
HYDRAULIC DATA NAMEPLATE	Nameplate provided <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	If no, explain		
REMARKS	Date left in service with all control valves open			
SIGNATURES	Name of sprinkler contractor <u>High Tech Fire Protection</u>			
	Test witnessed by			
	For property owner (signed) <u>X</u>	Title	Date	
For sprinkler contractor (signed) <u>X</u> <i>Chris Tiedra</i>	Title <u>DESIGNER</u>	Date <u>8/30/05</u>		
Additional Explanations and notes				

Contractor's Material and Test Certificate for Aboveground Piping

PROCEDURE

Upon completion of work, inspection and tests shall be made by the contractor's representative and witnessed by an owner's representative. All defects shall be corrected and system left in service before contractor's personnel finally leave the job. A certificate shall be filled out and signed by both representatives. Copies shall be prepared for approving authorities, owners, and contractors. It is understood the owner's representative's signature in no way prejudices any claim against contractor for faulty material, poor workmanship, or failure to comply with approving authority's requirements or local ordinances.

PROPERTY NAME **STARBIRD CONDOS UNIT 2** DATE **7/29/05**

PROPERTY ADDRESS **STARBIRO RD. EXT.**

ACCEPTED BY **State Fire Marshal's Office**
 PLANS ADDRESS **#164 State House Station Augusta, Maine 04333-0164**
 Installation conforms to accepted plans Yes No
 Equipment used is approved If no, explain deviations. Yes No

INSTRUCTIONS Has person in charge of fire equipment been instructed as to location of control valves and care and maintenance of this new equipment? Yes No
 If no, explain?
 Has copies of the following been left on the premises?
 1. System components instructions Yes No
 2. Care and maintenance instructions Yes No
 3. NFPA 25 (Owners Manual) Yes No

LOCATION OF SYSTEM **Supplies buildings**

	MAKE	MODEL	YEAR OF MANUFACTURE	ORIFICE SIZE	QUANTITY	TEMPERATURE RATING
SPRINKLERS	GLOBE	RES EXT. RND.	2002	3/16"	23	155°
	GLOBE	BRASS UP	2002	1/2"	4	155°
	GLOBE	RES EXT. SW.	2002	1/16"	5	155°

PIPING & FITTINGS Type of pipe **CPVC, BLACK IRON**
 Type of fittings **CPVC, VICTAULIC, CAST IRON**

ALARM VALVE OR FLOW INDICT.	Alarm Device			Maximum time to operate through test connection.	
	Type	Make	Model	Minutes	Seconds
	NAME	POTTER	USR-F	X 0	30

DRY PIPE OPERATION TEST	Dry valve			Q.O.D.											
	Make	Model	Serial no.	Make	Model	Serial no.									
								Time to trip through test connection ¹	Water pressure	Air pressure	Trip point air pressure	Time water reached test outlet ¹	Alarm operated properly		
								Minutes	Seconds	Psi	Psi	Psi	Minutes	Seconds	Yes
	Without Q.O.D.														
	Without Q.O.D.														

If no, explain

DELUGE & PREACTION VALVES
 Operation Pneumatic Electric Hydraulic
 Piping supervised Yes No
 Does valve operate from the manual trip, remote, or both control stations? Yes No
 Is there an accessible facility in each circuit for testing? Yes No If no, explain.

Make	Model	Does each circuit operate supervision loss alarm?		Does each circuit operate valve release?		Maximum time of operate release	
		Yes	No	Yes	No	Minutes	Seconds

PRESSURE REDUCING VALVES	Location and floor	Make & Model	Setting	Static Pressure		Residual Pressure (flowing)		Flow rate
				Inlet (psi)	outlet (psi)	Inlet (psi)	outlet (psi)	Flow (gpm)

¹ Measured from time inspector's test connection is opened.

TEST DESCRIPTION	<p>Hydrostatic: Hydrostatic tests shall be made at not less than 200 psi (13.6 bar) for 2 hours or 50 psi (3.4 bar) above static pressure in excess of 150 psi (10.2 bar) for 2 hours. Differential dry-pipe valve clappers shall be left open during the test to prevent damage. All aboveground piping leakage shall be stopped.</p> <p>Pneumatic: Establish 40 psi (2.7 bar) air pressure and measure drop, which shall not exceed 1 1/2 psi (0.1 bar) in 24 hours. Test pressure tanks at normal water level and air pressure and measure air pressure drop, which shall not exceed 1 1/2 psi (0.1 bar) in 24 hours.</p>		
TEST	All piping hydrostatically tested at <u>200</u> psi (<u> </u> bar) for <u>2</u> hours Dry piping pneumatically tested <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Equipment operates properly <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		If no, state reason
	Do you certify as the sprinkler contractor that additives and corrosive chemicals, sodium silicate or derivatives of sodium silicate, brine, or other corrosive chemicals were not used for testing systems of stopping leaks? <input type="checkbox"/> Yes <input type="checkbox"/> No		
	Drain test	Reading of gauge located near water supply test connection: <u>90</u> psi (<u> </u> bar).	Residual pressure with valve in test connection open wide: <u>85</u> psi (<u> </u> bar).
	Underground mains and lead in connections to system riser flushed before connection made to sprinkler piping?		
	Verified by copy of the U Form No. 85B flushed by installer of underground sprinkler piping? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		Other Explain
If power-driven fasteners are used in concrete, has representative sample testing be satisfactorily completed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		If no, explain	
BLANK TESTING GASKETS	Number used	Locations	Number removed
WELDING	Welding piping <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes...		
	Do you certify as the sprinkler contractor that welding procedures comply with the requirements of at least AWS B2.1?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
	Do you certify that the welding was performed by welders qualified in compliance with the requirements of at least AWS B2.1?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
	Do you certify that the welding was carried out in compliance with a documented quality control procedure to ensure that all discs are retrieved, that openings in piping are smooth, that slag and other welding residue are removed, and that the internal diameters of piping are not penetrated?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
CUTOUTS (DISCS)	Do you certify that you have a control feature to ensure that all cutouts (discs) are retrieved?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
HYDRAULIC DATA NAMEPLATE	Nameplate provided <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	If no, explain	
REMARKS	Date left in service with all control valves open		
SIGNATURES	Name of sprinkler contractor <u>High Tech Fire Protection</u>		
	Test witnessed by		
	For property owner (signed) <u>X</u>	Title	Date
For sprinkler contractor (signed) <u>X</u> <i>Chris Richard</i>	Title <u>DESIGNER</u>	Date <u>8/30/05</u>	
Additional Explanations and notes			

Contractor's Material and Test Certificate for Aboveground Piping

PROCEDURE
 Upon completion of work, inspection and tests shall be made by the contractor's representative and witnessed by an owner's representative. All defects shall be corrected and system left in service before contractor's personnel finally leave the job. A certificate shall be filled out and signed by both representatives. Copies shall be prepared for approving authorities, owners, and contractors. It is understood the owner's representative's signature in no way prejudices any claim against contractor for faulty material, poor workmanship, or failure to comply with approving authority's requirements or local ordinances.

PROPERTY NAME **STARBIRD CONDOS UNIT 3** DATE **7/29/05**

PROPERTY ADDRESS **STARBIRO RD. EXT.**

ACCEPTED BY **State Fire Marshal's Office**
 PLANS ADDRESS **#164 State House Station Augusta, Maine 04333-0164**
 Installation conforms to accepted plans Yes No
 Equipment used is approved If no, explain deviations. Yes No

INSTRUCTIONS
 Has person in charge of fire equipment been instructed as to location of control valves and care and maintenance of this new equipment? Yes No
 If no, explain?
 Has copies of the following been left on the premises?
 1. System components instructions Yes No
 2. Care and maintenance instructions Yes No
 3. NFPA 25 (Owners Manual) Yes No

LOCATION OF SYSTEM **Supplies buildings**

SPRINKLERS	MAKE	MODEL	YEAR OF MANUFACTURE	ORIFICE SIZE	QUANTITY	TEMPERATURE RATING
	GLOBE	RES EXT. A&M	2002	3/16"	23	155°
GLOBE	BRASS UP	2002	1/2"	4	155°	
GLOBE	RES EXT. SW.	2002	3/16"	5	155°	

PIPING & FITTINGS
 Type of pipe **CPVC, BLACK IRON**
 Type of fittings **CPVC, VICTAULIC, CAST IRON**

ALARM VALVE OR FLOW INDICT.	Alarm Device			Maximum time to operate through test connection.	
	Type	Make	Model	Minutes	Seconds
NAME	POTTER	USR-F	X	0	30

DRY PIPE OPERATION TEST	Dry valve				Q.O.D.							
	Make		Model		Serial no.		Serial no.					
	Time to trip through test connection ¹		Water pressure		Air pressure		Trip point air pressure		Time water reached test outlet ¹		Alarm operated properly	
	Minutes	Seconds	Psi	Psi	Psi	Minutes	Seconds	Yes	No			
Without Q.O.D.												
Without Q.O.D.												

If no, explain

DELUGE & PREACTION VALVES
 Operation Pneumatic Electric Hydraulic
 Piping supervised Yes No
 Does valve operate from the manual trip, remote, or both control stations? Yes No
 Is there an accessible facility in each circuit for testing? Yes No If no, explain.

Make	Model	Does each circuit operate supervision loss alarm?		Does each circuit operate valve release?		Maximum time of operate release	
		Yes	No	Yes	No	Minutes	Seconds

PRESSURE REDUCING VALVES	Location and floor	Make & Model	Setting	Static Pressure		Residual Pressure (flowing)		Flow rate
				Inlet (psi)	outlet (psi)	Inlet (psi)	outlet (psi)	Flow (gpm)

¹ Measured from time inspector's test connection is opened.

TEST DESCRIPTION	<p>Hydrostatic: Hydrostatic tests shall be made at not less than 200 psi (13.6 bar) for 2 hours or 50 psi (3.4 bar) above static pressure in excess of 150 psi (10.2 bar) for 2 hours. Differential dry-pipe valve clappers shall be left open during the test to prevent damage. All aboveground piping leakage shall be stopped.</p> <p>Pneumatic: Establish 40 psi (2.7 bar) air pressure and measure drop, which shall not exceed 1 1/2 psi (0.1 bar) in 24 hours. Test pressure tanks at normal water level and air pressure and measure air pressure drop, which shall not exceed 1 1/2 psi (0.1 bar) in 24 hours.</p>			
TEST	All piping hydrostatically tested at <u>200</u> psi (<u> </u> bar) for <u>2</u> hours Dry piping pneumatically tested <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Equipment operates properly <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		If no, state reason	
	Do you certify as the sprinkler contractor that additives and corrosive chemicals, sodium silicate or derivatives of sodium silicate, brine, or other corrosive chemicals were not used for testing systems of stopping leaks? <input type="checkbox"/> Yes <input type="checkbox"/> No			
	Drain test	Reading of gauge located near water supply test connection: <u>90</u> psi (<u> </u> bar).	Residual pressure with valve in test connection open wide: <u>85</u> psi (<u> </u> bar).	
	Underground mains and lead in connections to system riser flushed before connection made to sprinkler piping?			Other Explain
	Verified by copy of the U Form No. 85B flushed by installer of underground sprinkler piping? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If power-driven fasteners are used in concrete, has representative sample testing be satisfactorily completed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		If no, explain		
BLANK TESTING GASKETS	Number used	Locations	Number removed	
WELDING	Welding piping <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes...			
	Do you certify as the sprinkler contractor that welding procedures comply with the requirements of at least AWS B2.1?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
	Do you certify that the welding was performed by welders qualified in compliance with the requirements of at least AWS B2.1?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
	Do you certify that the welding was carried out in compliance with a documented quality control procedure to ensure that all discs are retrieved, that openings in piping are smooth, that slag and other welding residue are removed, and that the internal diameters of piping are not penetrated?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
CUTOUPS (DISCS)	Do you certify that you have a control feature to ensure that all cutouts (discs) are retrieved?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
HYDRAULIC DATA NAMEPLATE	Nameplate provided <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	If no, explain		
REMARKS	Date left in service with all control valves open			
SIGNATURES	Name of sprinkler contractor <u>High Tech Fire Protection</u>			
	Test witnessed by			
	For property owner (signed) <u>X</u>	<u>Chris Nieland</u>	Title <u>OWNER</u>	Date <u>8/30/05</u>
Additional Explanations and notes				

Contractor's Material and Test Certificate for Aboveground Piping

PROCEDURE

Upon completion of work, inspection and tests shall be made by the contractor's representative and witnessed by an owner's representative. All defects shall be corrected and system left in service before contractor's personnel finally leave the job. A certificate shall be filled out and signed by both representatives. Copies shall be prepared for approving authorities, owners, and contractors. It is understood the owner's representative's signature in no way prejudices any claim against contractor for faulty material, poor workmanship, or failure to comply with approving authority's requirements or local ordinances.

PROPERTY NAME

STARBIRO CONDOS UNIT 1

DATE **7/29/05**

PROPERTY ADDRESS

STARBIRO RD. EXT.

PLANS

ACCEPTED BY **State Fire Marshal's Office**

ADDRESS

#164 State House Station Augusta, Maine 04333-0164

Installation conforms to accepted plans
Equipment used is approved if no, explain deviations.

Yes No
 Yes No

INSTRUCTIONS

Has person in charge of fire equipment been instructed as to location of control valves and care and maintenance of this new equipment? If no, explain?

Yes No

Has copies of the following been left on the premises?

1. System components instructions
2. Care and maintenance instructions
3. NFPA 25 (Owners Manual)

Yes No
 Yes No
 Yes No

LOCATION OF SYSTEM

Supplies building

SPRINKLERS

MAKE	MODEL	YEAR OF MANUFACTURE	ORIFICE SIZE	QUANTITY	TEMPERATURE RATING
GLOBE	RES. EXT. SW.	2002	7/16"	23	155°
GLOBE	BRASS W.P.	2002	1/2"	4	155°
GLOBE	RES. EXT. SW.	2002	7/16"	5	155°

PIPING & FITTINGS

Type of pipe **CPVC, BLACK IRON**
Type of fittings **CPVC, VICTAULIC, CAST IRON**

ALARM VALVE OR FLOW INDIC.

Alarm Device			Maximum time to operate through test connection.	
Type	Make	Model	Minutes	Seconds
NAME	POTTER	USR-F	0	30

DRY PIPE OPERATION TEST

Dry valve				Q.O.D.					
Make		Model	Serial no.	Make		Model	Serial no.		
Time to trip through test connection		Water pressure	Air pressure	Trip point air pressure		Time water reached test outlet		Alarm operated properly	
Minutes	Seconds	Psi	Psi	Psi		Minutes	Seconds	Yes	No
Without Q.O.D.									
Without Q.O.D.									
If no, explain									

DELUGE & PREACTION VALVES

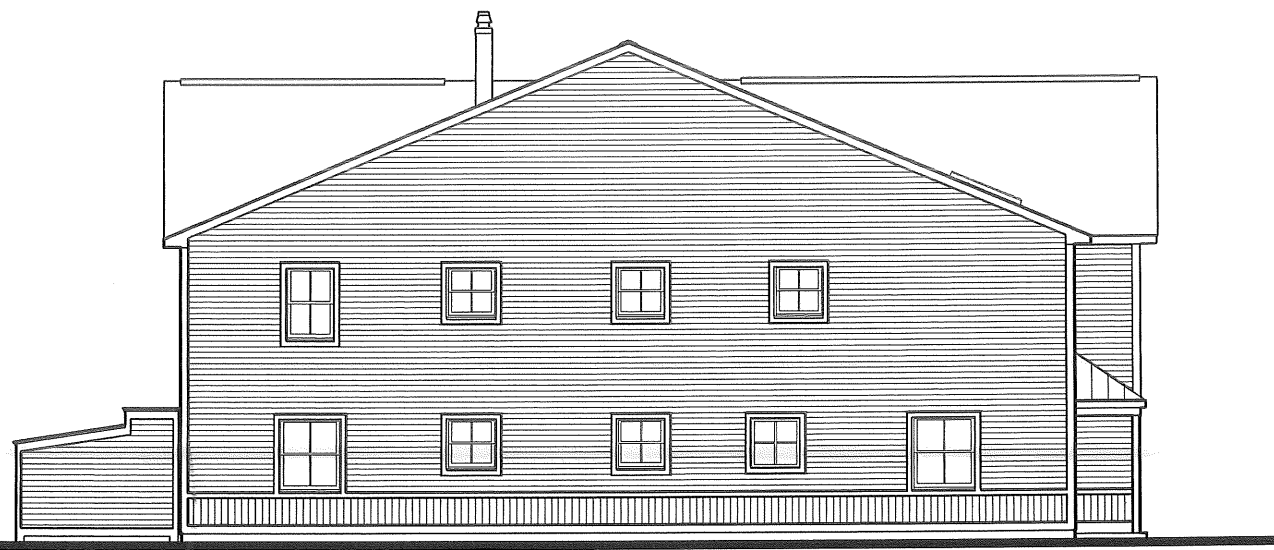
Operation		<input type="checkbox"/> Pneumatic		<input type="checkbox"/> Electric		<input type="checkbox"/> Hydraulic			
Piping supervised									
Does valve operate from the manual trip, remote, or both control stations? <input type="checkbox"/> Yes <input type="checkbox"/> No									
Is there an accessible facility in each circuit for testing? <input type="checkbox"/> Yes <input type="checkbox"/> No <small>If no, explain.</small>									
Make		Model		Does each circuit operate supervision loss alarm?		Does each circuit operate valve release?		Maximum time of operats release	
				Yes No		Yes No		Minutes Seconds	

PRESSURE REDUCING VALVES

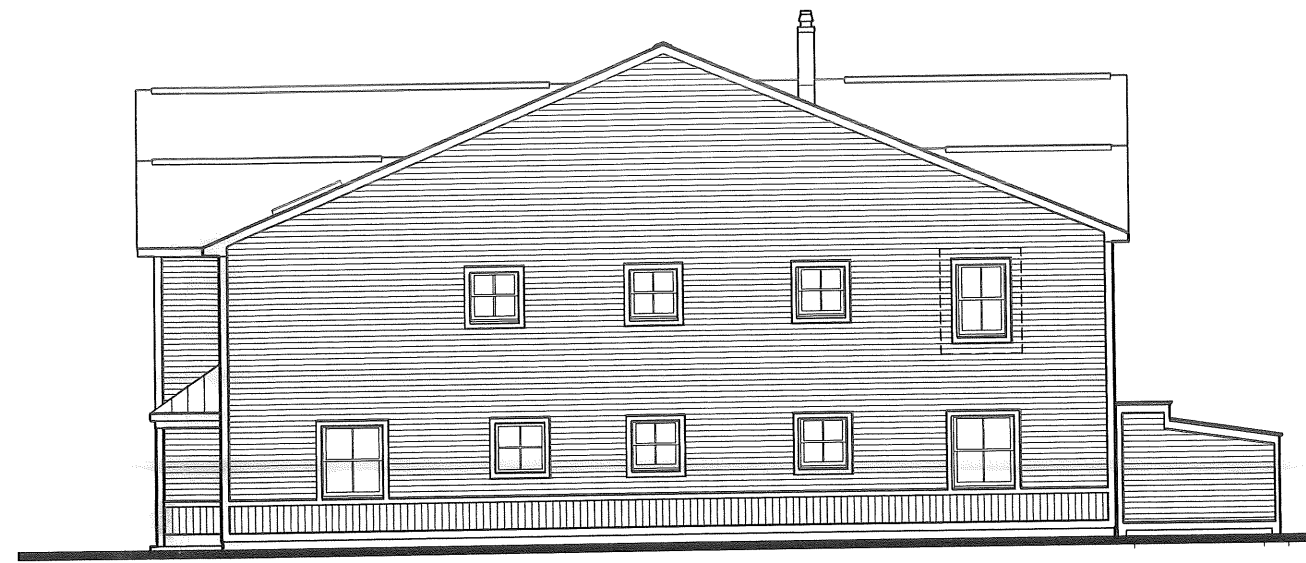
Location and floor	Make & Model	Setting	Static Pressure		Residual Pressure (flowing)		Flow rate
			Inlet (psi)	Outlet (psi)	Inlet (psi)	Outlet (psi)	

1 Measured from time inspector's test connection is opened.

TEST DESCRIPTION	<p>Hydrostatic: Hydrostatic tests shall be made at not less than 200 psi (13.6 bar) for 2 hours or 50 psi (3.4 bar) above static pressure in excess of 150 psi (10.2 bar) for 2 hours. Differential dry-pipe valve clappers shall be left open during the test to prevent damage. All aboveground piping leakage shall be stopped.</p> <p>Pneumatic: Establish 40 psi (2.7 bar) air pressure and measure drop, which shall not exceed 1 1/2 psi (0.1 bar) in 24 hours. Test pressure tanks at normal water level and air pressure and measure air pressure drop, which shall not exceed 1 1/2 psi (0.1 bar) in 24 hours.</p>		
TEST	All piping hydrostatically tested at <u>200</u> psi (___ bar) for <u>2</u> hours Dry piping pneumatically tested <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Equipment operates properly <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		If no, state reason
	Do you certify as the sprinkler contractor that additives and corrosive chemicals, sodium silicate or derivatives of sodium silicate, brine, or other corrosive chemicals were not used for testing systems of stopping leaks? <input type="checkbox"/> Yes <input type="checkbox"/> No		
	Orain test	Reading of gauge located near water supply test connection: <u>1.05</u> psi (___ bar).	Residual pressure with valve in test connection open <u>0.5</u> psi (___ bar).
	Underground mains and lead in connections to system riser flushed before connection made to sprinkler piping?		
	Verified by copy of the U Form No. B5B flushed by installer of underground sprinkler piping? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		Other Explain
	If power-driven fasteners are used in concrete, has representative sample testing be satisfactorily completed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		If no, explain
BLANK TESTING BASKETS	Number used	Locations	Number removed
WELDING	Welding piping <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes...		
	Do you certify as the sprinkler contractor that welding procedures comply with the requirements of at least AWS B2.1?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
	Do you certify that the welding was performed by welders qualified in compliance with the requirements of at least AWS B2.1?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
	Do you certify that the welding was carried out in compliance with a documented quality control procedure to ensure that all discs are retrieved, that openings in piping are smooth, that slag and other welding residue are removed, and that the internal diameters of piping are not penetrated?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
CUTOUTS (DISCS)	Do you certify that you have a control feature to ensure that all cutouts (discs) are retrieved? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
HYDRAULIC DATA NAMEPLATE	Nameplate provided <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	If no, explain	
REMARKS	Date left in service with all control valves open		
	<u>July 29, 2005</u>		
SIGNATURES	Name of sprinkler contractor <u>High Tech Fire Protection</u>		Test witnessed by
	For property owner (signed) <u>X</u>	<u>[Signature]</u>	Title <u>Superintendent</u> Date <u>7/29/05</u>
Additional Explanations and notes			



4 NORTH EXTERIOR ELEVATION
SCH-1 SCALE: NTS



3 SOUTH EXTERIOR ELEVATION
SCH-1 SCALE: NTS



2 EAST EXTERIOR ELEVATION
SCH-1 SCALE: NTS



1 WEST EXTERIOR ELEVATION
SCH-1 SCALE: NTS

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 Fax. 207 . 883 . 0361

STARBIRD ROAD CONDOMINIUMS
 BROWN DEVELOPMENT CORPORATION
 PORTLAND, MAINE

REVISIONS		
#	DATE	DESCRIPTION

DATE:	01/22/02
PROJECT #	031101
DRAWN BY:	DMR
CHECKED BY:	
DRAWING SCALE	AS NOTED

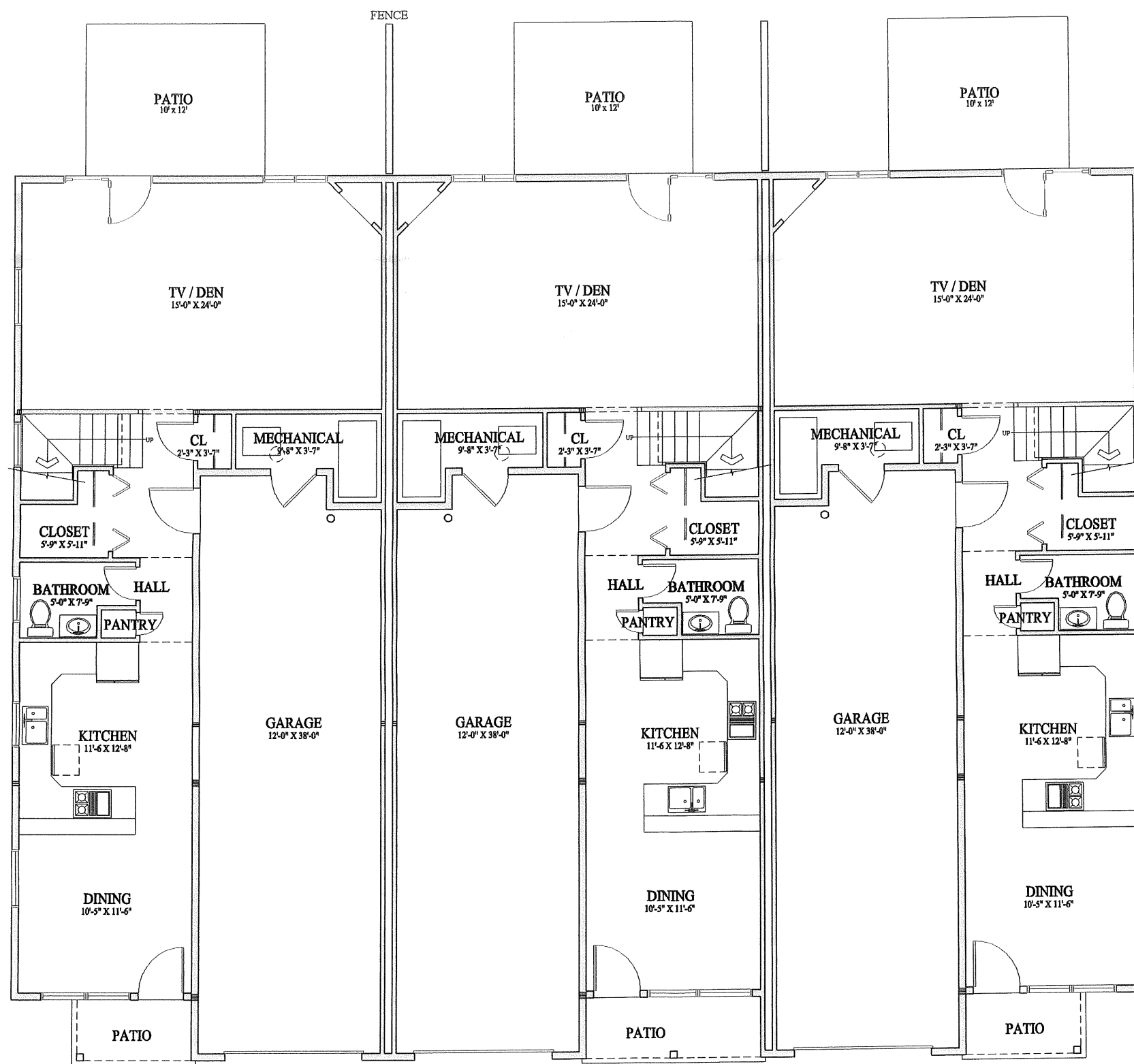
SHEET TITLE
 EXTERIOR ELEVATIONS

SCH-4

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1 FIRST FLOOR PLAN
SCH-1 SCALE: NTS



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PORTLAND, MAINE

REVISIONS		
#	DATE	DESCRIPTION

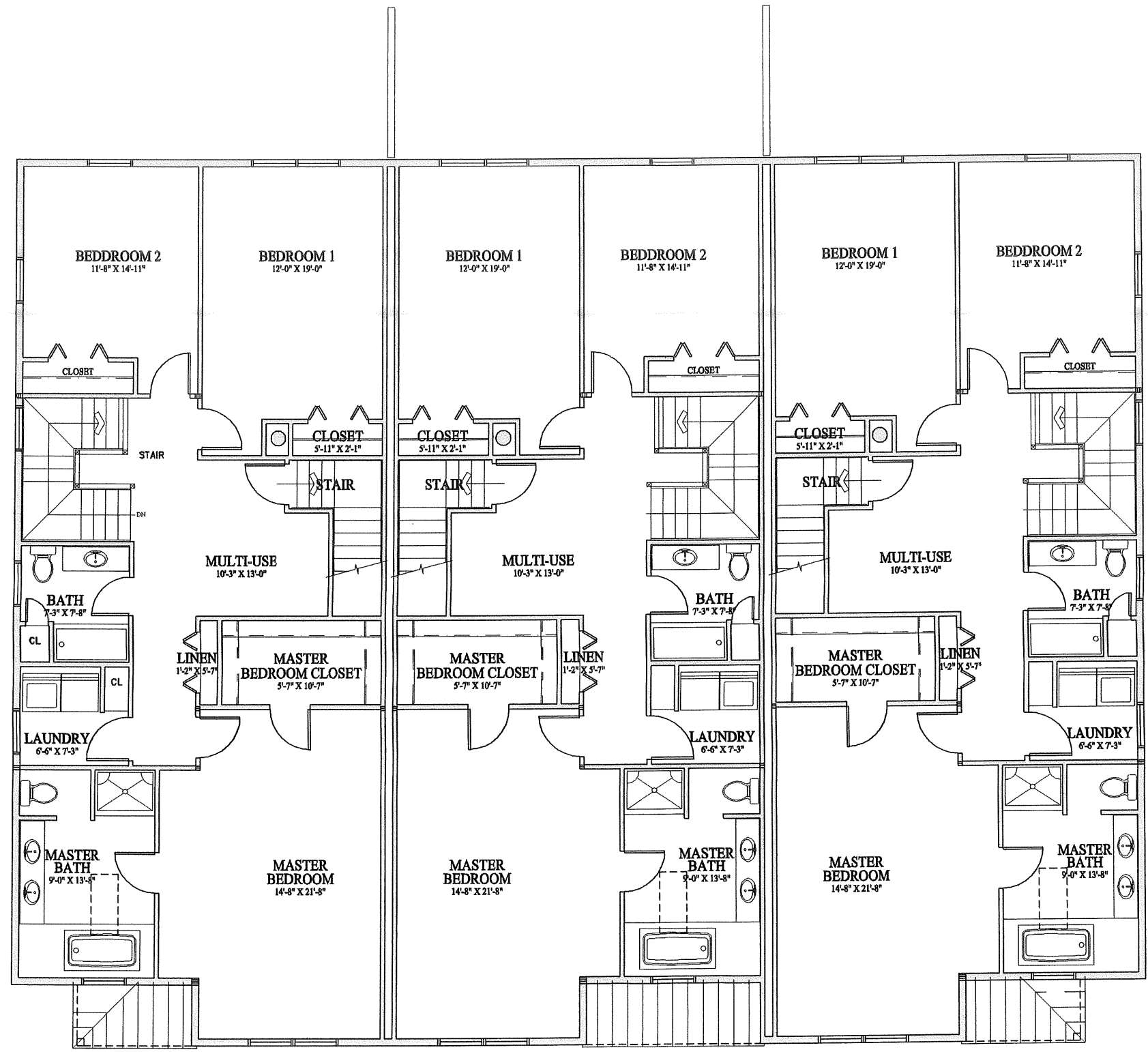
DATE:	01/22/02
PROJECT #:	031101
DRAWN BY:	DMR
CHECKED BY:	
DRAWING SCALE:	AS NOTED

SHEET TITLE
FIRST FLOOR PLAN

SCH-1

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2 SECOND FLOOR PLAN
 SCH-1 SCALE: NTS

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 BROWN DEVELOPMENT CORPORATION
 PORTLAND, MAINE

REVISIONS		
#	DATE	DESCRIPTION

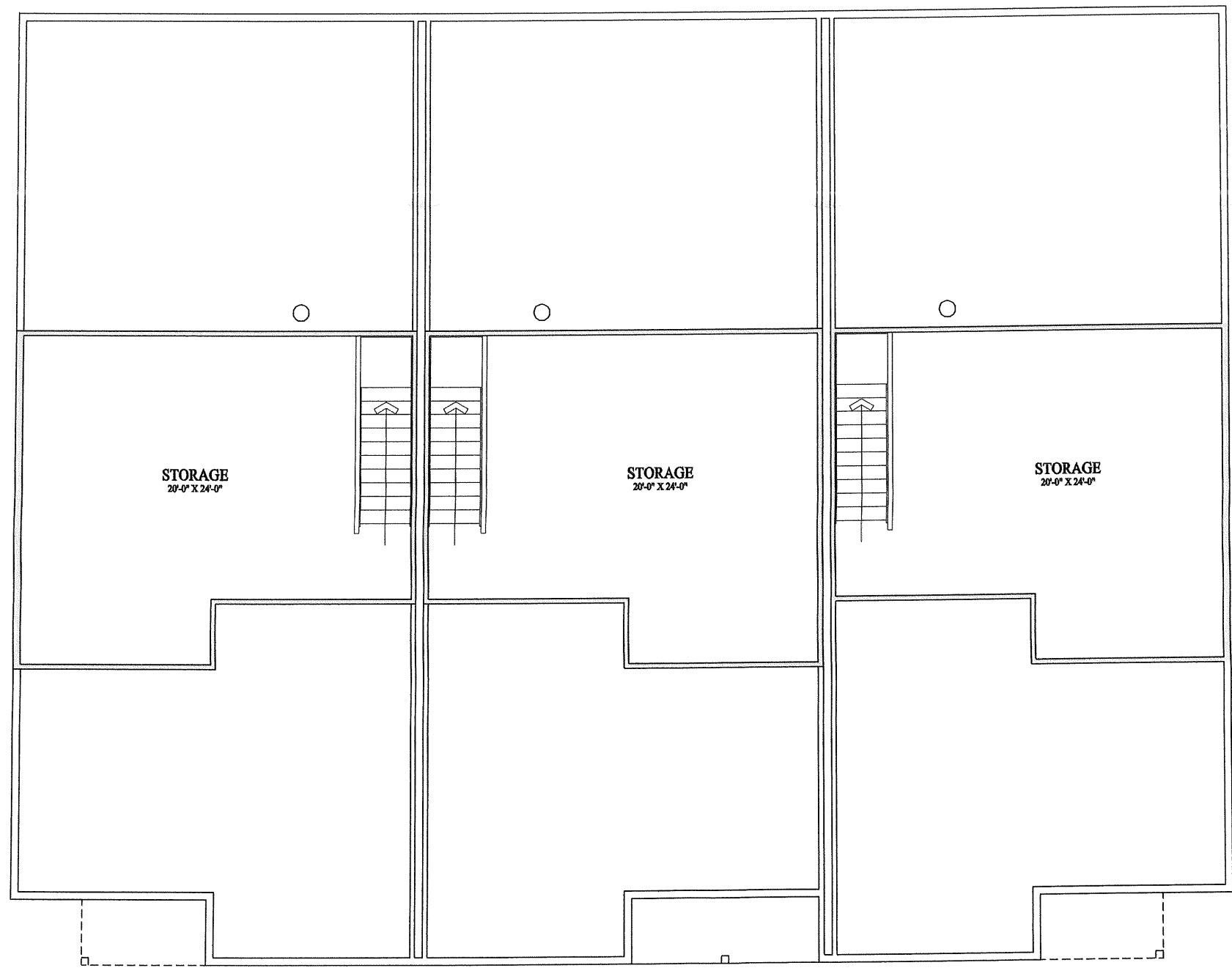
DATE:	01/22/02
PROJECT #	031101
DRAWN BY:	DMR
CHECKED BY:	
DRAWING SCALE	AS NOTED

SHEET TITLE
 SECOND FLOOR PLAN

SCH-2

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1 THIRD FLOOR PLAN
 SCH-3 SCALE: NTS



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 BROWN DEVELOPMENT CORPORATION
 PORTLAND, MAINE

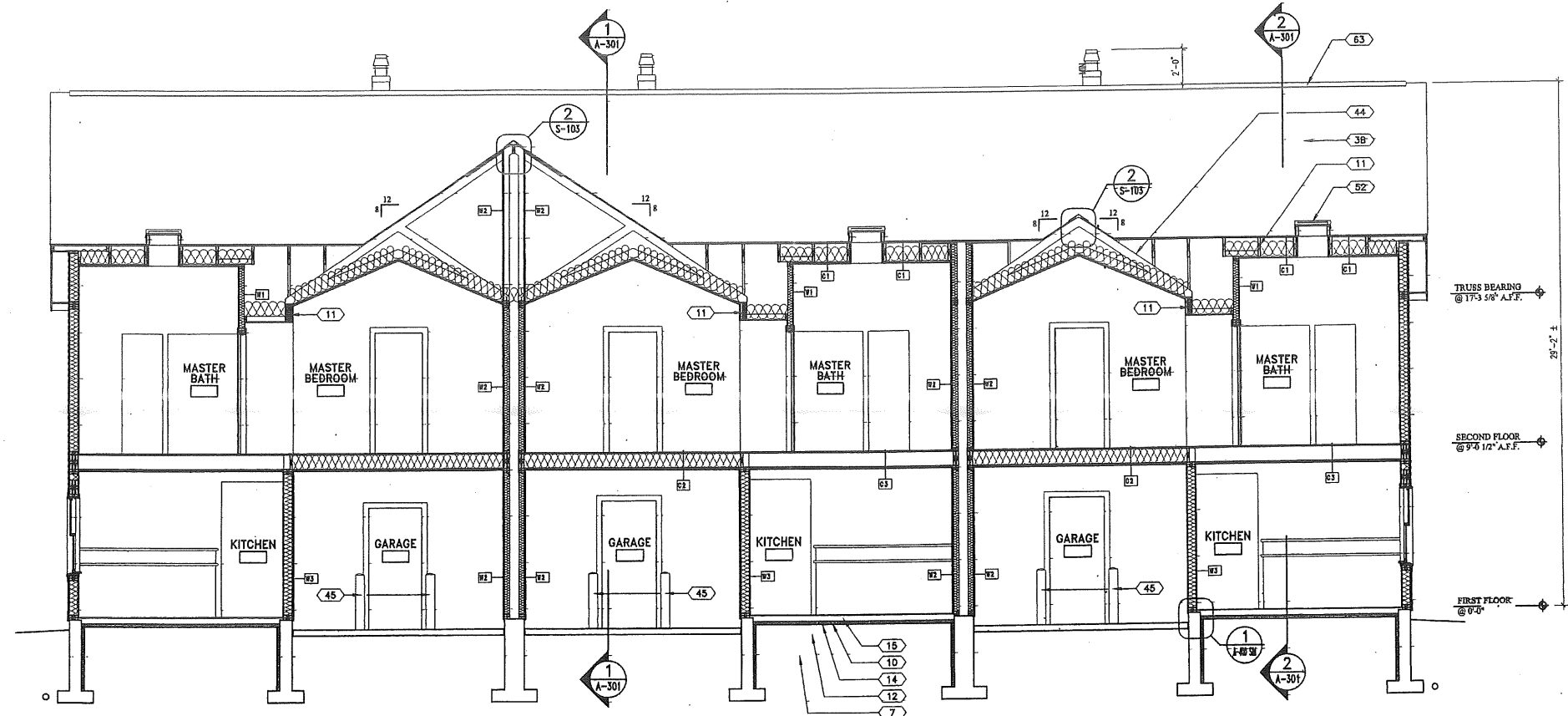
REVISIONS		
#	DATE	DESCRIPTION

DATE:	02/05/02
PROJECT #	031101
DRAWN BY:	DMR
CHECKED BY:	SG
DRAWING SCALE	AS NOTED

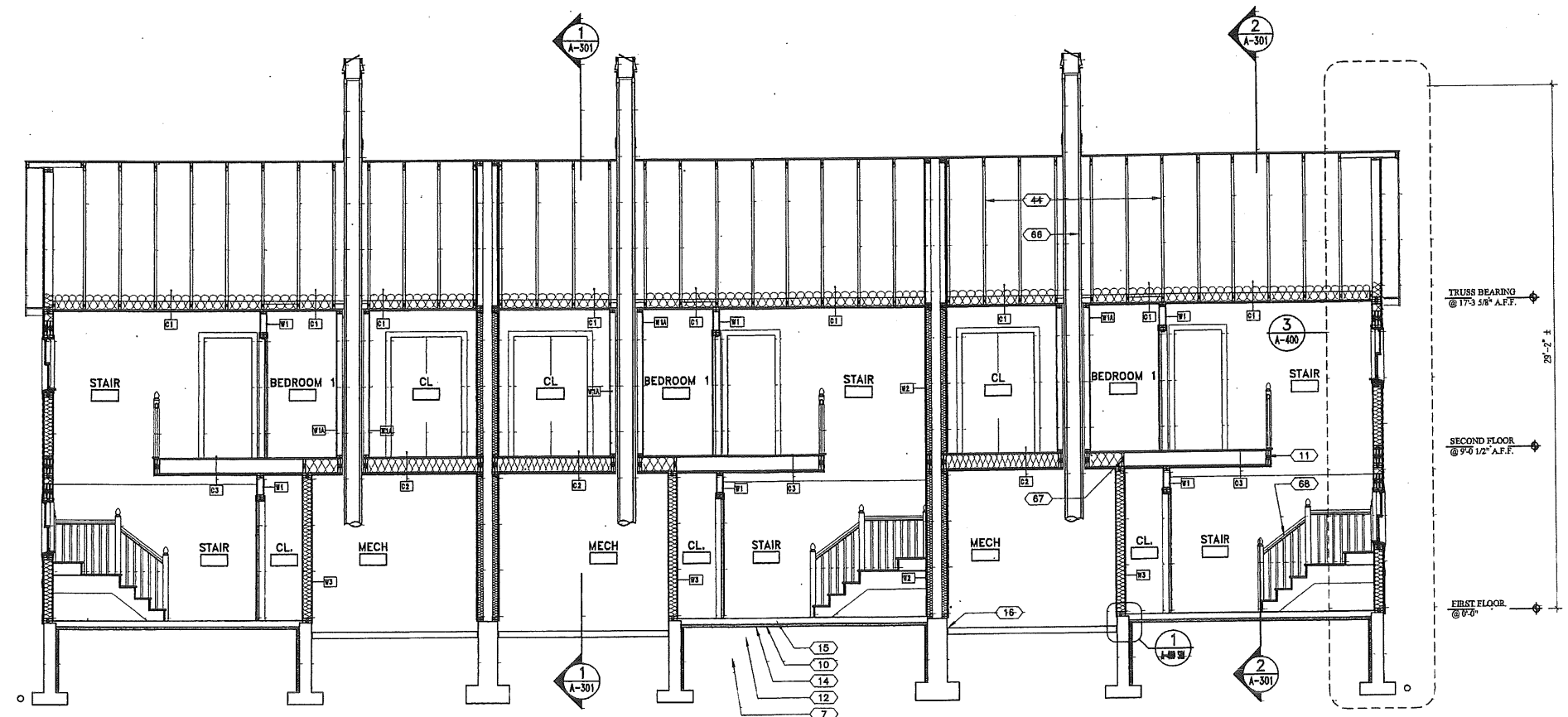
SHEET TITLE
 THIRD FLOOR PLAN

SCH-3

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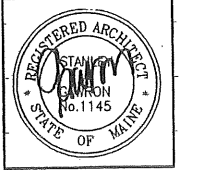
2 BUILDING SECTION
A-300 SCALE: 1/4" = 1'-0"



1 BUILDING SECTION
A-300 SCALE: 1/4" = 1'-0"

SECTION LEGEND

- 01 FOOTING - POURED-IN-PLACE CONCRETE
- 02 STEEL REINFORCING BARS - (3) #5 HORIZONTAL
- 03 4" DRAIN TILE IN WASHED AGGREGATE w/ GEOTECHNICAL FABRIC WRAP - EXIST. @ GRADE
- 04 FOUR JOINT - ROUGHEN CONCRETE SURFACE
- 05 STEEL REINFORCING BARS - (2) #4 TOP & BOTTOM HORIZONTAL
- 06 STEEL REINFORCING BARS - (1) #4 VERTICAL w/ 6" HOOK 14" o.c.
- 07 ENGINEERED BACKFILL COMPACTED TO 95% - REFER TO GEOTECHNICAL REPORT
- 08 STEEL REINFORCING BARS - (1) #4 MID HEIGHT WALL HORIZONTAL
- 09 6" LOAM TOPSOIL FILL @ ALL AREAS BACKFILLED OR DISTURBED BY GRADING
- 10 2" RIGID INSULATION
- 11 REFER TO STRUCTURAL DRAWINGS
- 12 COMPACTED AGGREGATE FILL - REFER TO GEOTECHNICAL REPORT
- 13 1/2" PLYWOOD SUB-FLOOR - GLUE & SCREW TO JOIST PER MANUFACTURERS REQUIREMENTS
- 14 6 MIL VAPOR RETARDER
- 15 4" THK POURED-IN-PLACE CONCRETE FLOOR SLAB w/ 1.4 x 1.4 @ 24" W.W.F. OR FIBERGLASS
- 16 1/2" EXPANSION MATERIAL
- 17 WOOD BASE
- 18 5/8" TYPE 'C' GWB
- 19 VAPOR RETARDER
- 20 6" FIBERGLASS BATT INSULATION
- 21 2"x6" WOOD STUDS @ 16" o.c.
- 22 15 LBS BUILDING PAPER
- 23 5/8" PLYWOOD SHEATHING
- 24 VINYL SIDING - 4" EXPOSURE
- 25 VINYL SIDING WAIST BOARD - COLOR TO MATCH TRIM
- 26 VINYL SIDING - 5" REV. VERTICAL
- 27 HOOK ANCHORS - 1/2" LONG @ 8'-0" o.c. w/ (2) MIN. PER WALL
- 28 VINYL TRIM / TERMINATION STRIP
- 29 TREATED WOOD PLATE
- 30 WATER TABLE - COIL STOCK w/ WOOD - COLOR TO MATCH TRIM
- 31 DOUBLE TOP PLATE
- 32 1/2" x 1 1/4" WOOD FURRING @ 24" o.c. TYPICAL @ UNDERSIDE OF ALL ROOF TRUSSES, CEILING RAFTERS & JOISTS
- 33 VINYL VENTED ROFFT SYSTEM - COLOR TO MATCH TRIM
- 34 COIL STOCK w/ WOOD - COLOR TO MATCH TRIM
- 35 WOOD BLOCKING
- 36 5/8" FLYWOOD ROOF SHEATHING
- 37 VENT BAFFLE
- 38 FIBERGLASS / ASPHALT SHINGLE - ARCHITECTURAL 3 TAB
- 39 10" FIBERGLASS BATT INSULATION
- 40 FOUNDATION WALL - FARGE w/ THOROSEAL
- 41 RIM JOIST PER MANUFACTURERS REQUIREMENTS
- 42 BITUMINUS WATERPROOFING UNDERLAYMENT - FROM ROOF EDGE TO 6'-0" ABOVE & 3'-0" TO EACH SIDE OF VALLEYS, RIDGES AND VERTICAL TRANSITIONS
- 43 TIED DOWNS PER PRE-ENGINEERED TRUSS SUPPLIERS REQUIREMENTS
- 44 PRE-ENGINEERED ROOF TRUSS SYSTEM - PRE-ENGINEERED BY ROOF TRUSS SUPPLIER - PROVIDE BRACING PER SUPPLIER'S REQUIREMENTS
- 45 STEEL BALLARD - REFER TO FLOOR PLANS
- 46 WOOD TRIM
- 47 WOOD WINDOW STOOL
- 48 SEALANT @ PERIMETER
- 49 VINYL CLAD WOOD WINDOW SYSTEM - COLOR TO MATCH TRIM
- 50 GALV. TIE-DOWN (1) PER JOIST
- 51 COUNTER FLASHING - AS REQUIRED BY ROOF WINDOW SUPPLIER
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- 54 SEALANT & BACKER ROD AS REQUIRED @ PERIMETER
- 55 2"x6" WOOD RAFTERS @ 16" o.c.
- 56 METAL STANDING SEAM ROOFING SYSTEM
- 57 4"x6" TREAT WOOD POST
- 58 GALV. WOOD POST BASE PLATE - ANCHOR TO CONCRETE w/ 1/2" D EXPANSION BOLT
- 59 PRE-FINISHED ALUMINUM DRIP EDGE
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- 62 1/2" POURED-IN-PLACE CONCRETE WEATHER STOP RECES
- 63 CONTINUOUS RIDGE VENT SYSTEM
- 64 STEEL PRE-MANUFACTURED CHIMNEY SYSTEM
- 65 CHIMNEY FLASHING - LEAD COATED COPPER
- 66 NOT USED
- 67 CONTINUOUS WOOD FIRE BLOCKING
- 68 STAIR - DESIGN PER SHOP DRAWINGS
- 69 CHIMNEY CAP



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Scarborough, ME 04074
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STARBIRD ROAD CONDOMINIUMS
BROWN DEVELOPMENT CORPORATION
PORTLAND, MAINE

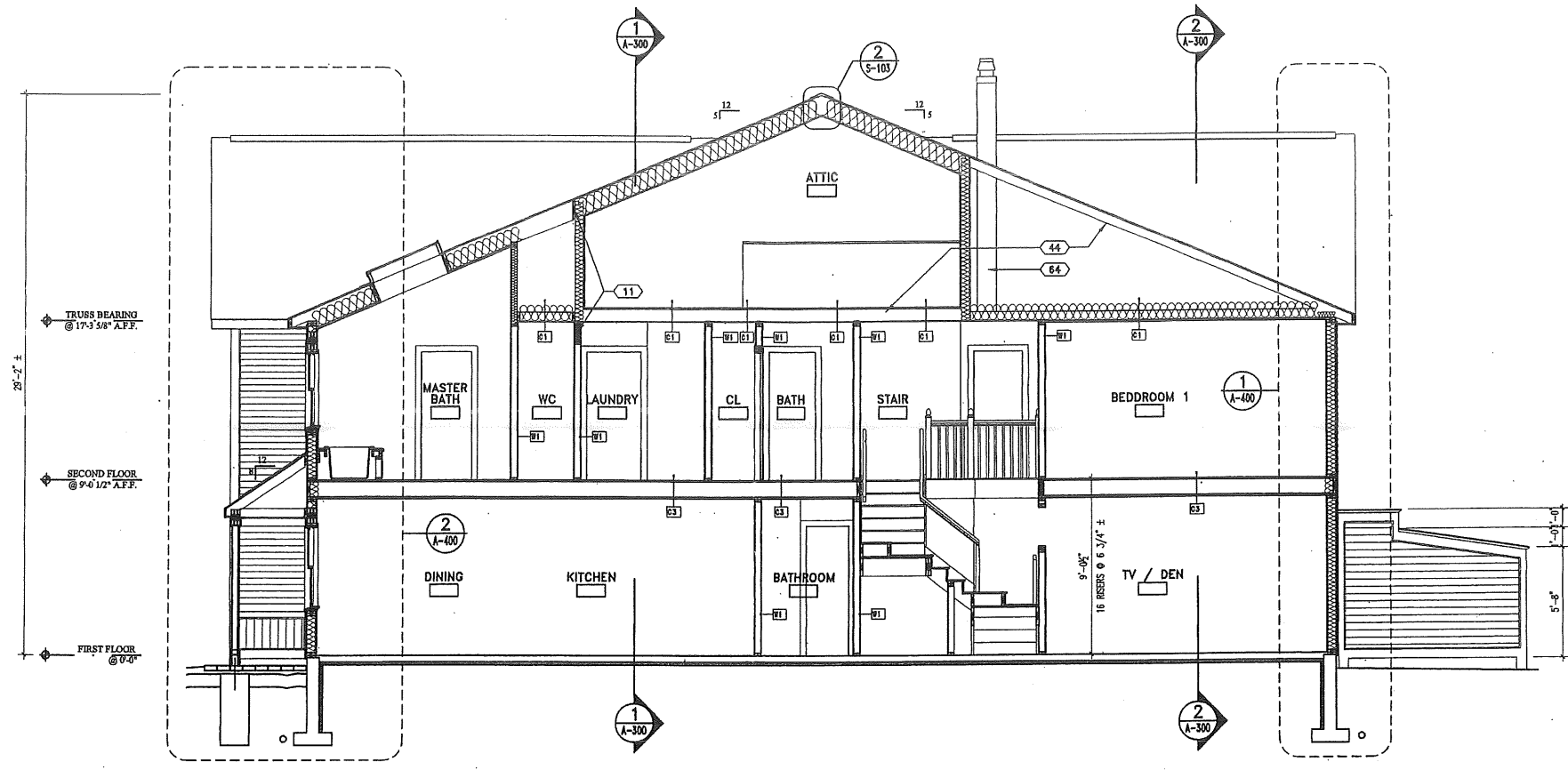
REVISIONS

#	DATE	DESCRIPTION
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2	02/28/02	

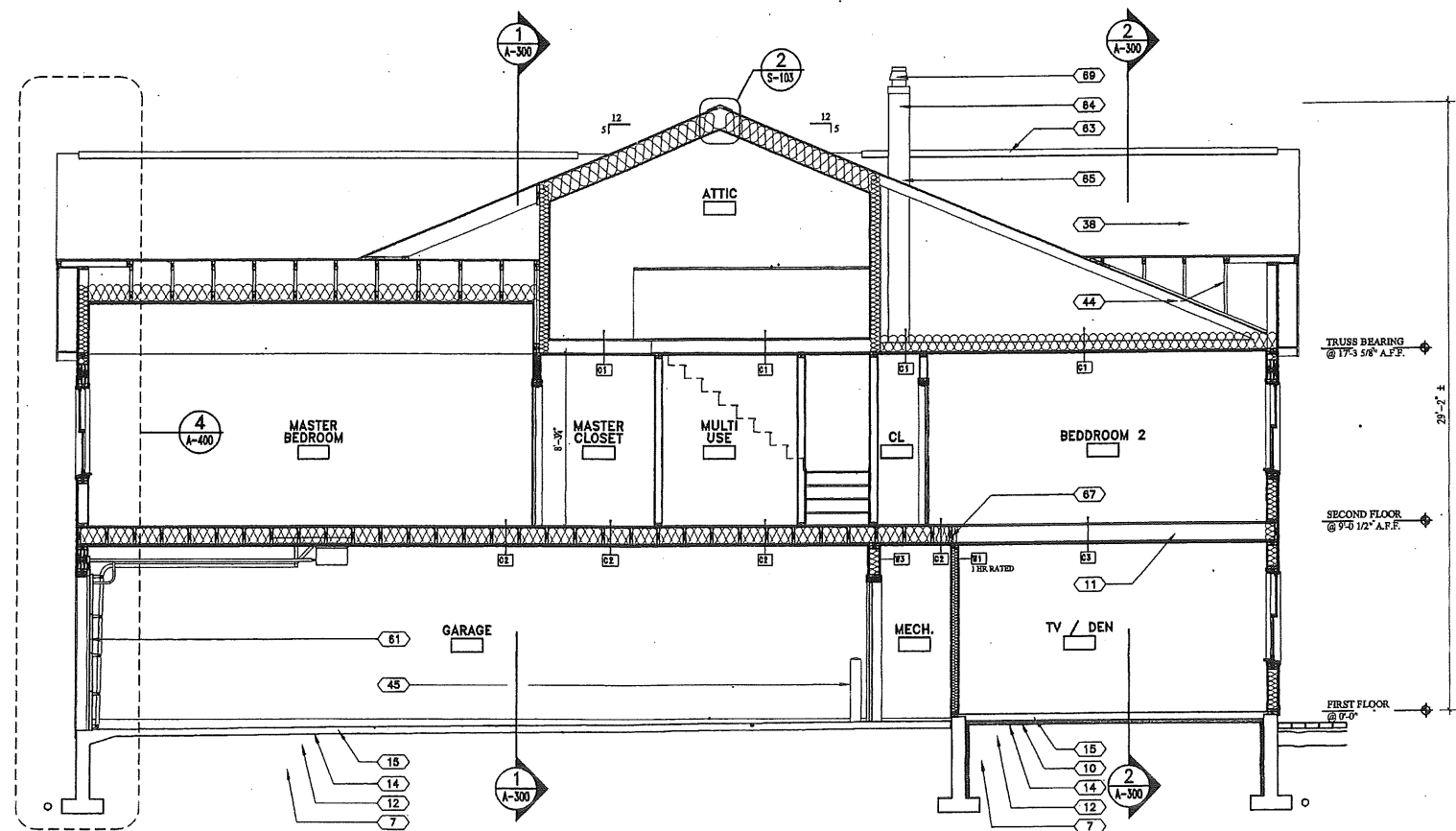
DATE: 02/05/02
PROJECT #: 031101
DRAWN BY: DMR
CHECKED BY: SG
DRAWING SCALE: AS NOTED

SHEET TITLE
BUILDING SECTIONS

A-300



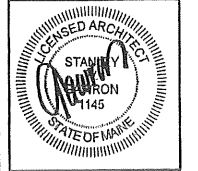
2 BUILDING SECTION
A-301 SCALE: 1/4" = 1'-0"



1 BUILDING SECTION
A-301 SCALE: 1/4" = 1'-0"

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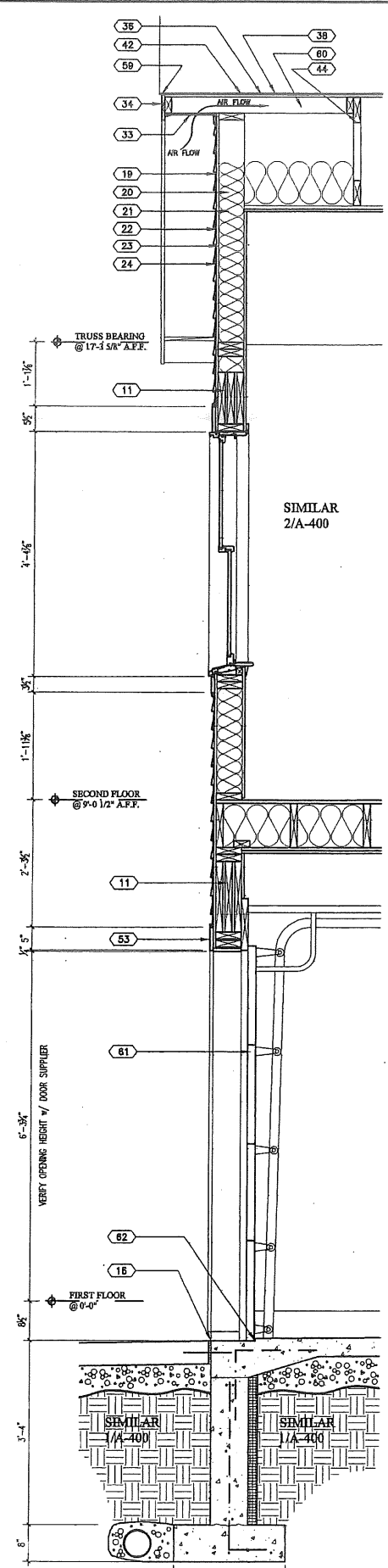
STARBIRD ROAD CONDOMINIUMS
BROWN DEVELOPMENT CORPORATION
PORTLAND, MAINE

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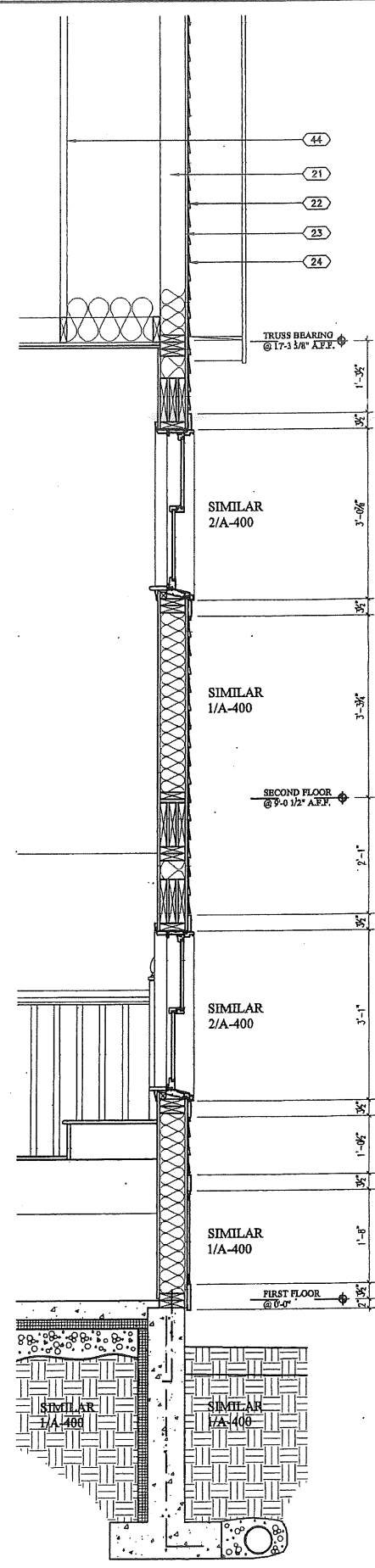
DATE:	05/09/02
PROJECT #	031101
DRAWN BY:	DMR
CHECKED BY:	SG
DRAWING SCALE	AS NOTED

SHEET TITLE
BUILDING SECTIONS

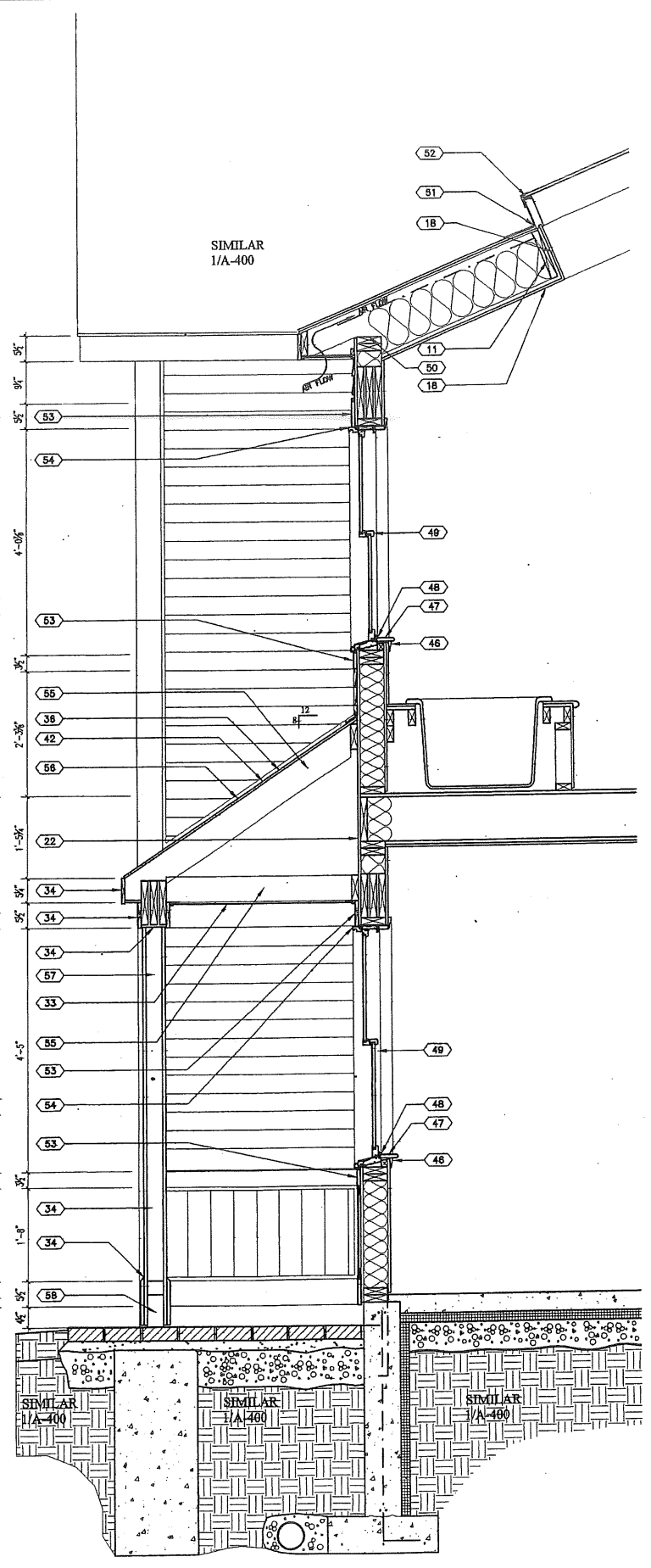
A-301



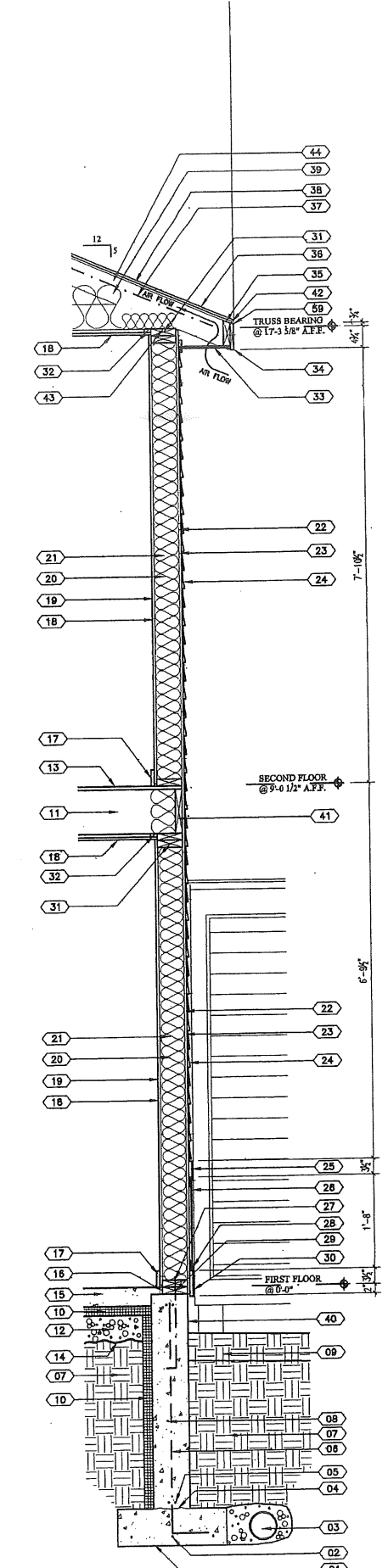
4 WALL SECTION
A-400 SCALE: 3/4" = 1'-0"



3 WALL SECTION
A-400 SCALE: 3/4" = 1'-0"



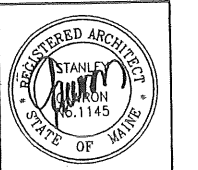
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A-400 SCALE: 3/4" = 1'-0"



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STARBIRD ROAD CONDOMINIUMS
BROWN DEVELOPMENT CORPORATION
PORTLAND, MAINE

REVISIONS		
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2		02/28/02

DATE: 02/05/02
PROJECT #: 031101
DRAWN BY: DMR
CHECKED BY: SG
DRAWING SCALE: AS NOTED

SHEET TITLE
WALL SECTIONS

A-400

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PROPOSED SIGN
"DEAD END STARBIRD ROAD
EXT. PRIVATE DRIVE"

STABILIZED CONSTRUCTION
ENTRANCE (SEE DETAIL SHEET)

40' PUBLIC
ACCESS EASEMENT
TO CITY OF PORTLAND

RETAINING WALL

PRESSURE TREATED
WOODEN GUARD RAIL
(SEE DETAIL SHEET)

5' BIT.
SIDEWALK

INSTALL (2) SIGNS
"PUBLIC PARKING ONLY"

PRESSURE TREATED
WOODEN GUARD RAIL
(SEE DETAIL SHEET)

INSTALL
"NO PARKING"
SIGNS THIS
SIDE OF ROAD

AINAGE
MENT

RETREATED
GUARD RAIL
TAIL SHEET)

40' SEWER
EASEMENT TO CITY OF PORTLAND

1" IRF
2.5' AB GND

RETAINING WALL

N\F
Francis M.
Bk 7549 1

10'x10' PAT

25' BUILDING
SETBACK

POC

N\F
Rita A. LeBarbera
Bk 11715 Pg 257

4" AXLE
5" AB GND

N\F
Benjamin J. Spike &
Corina Burt
Bk 10758 Pg 247

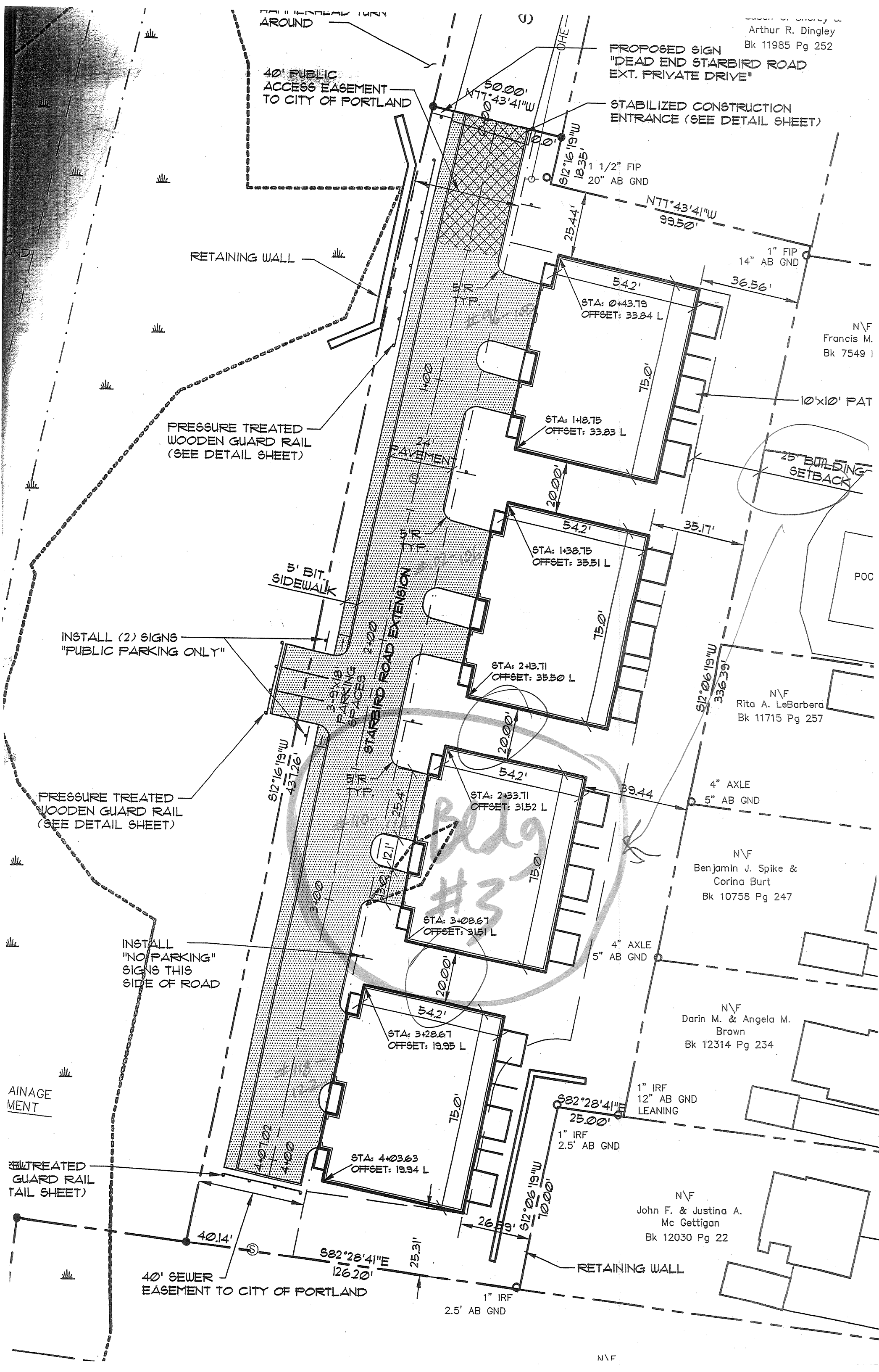
4" AXLE
5" AB GND

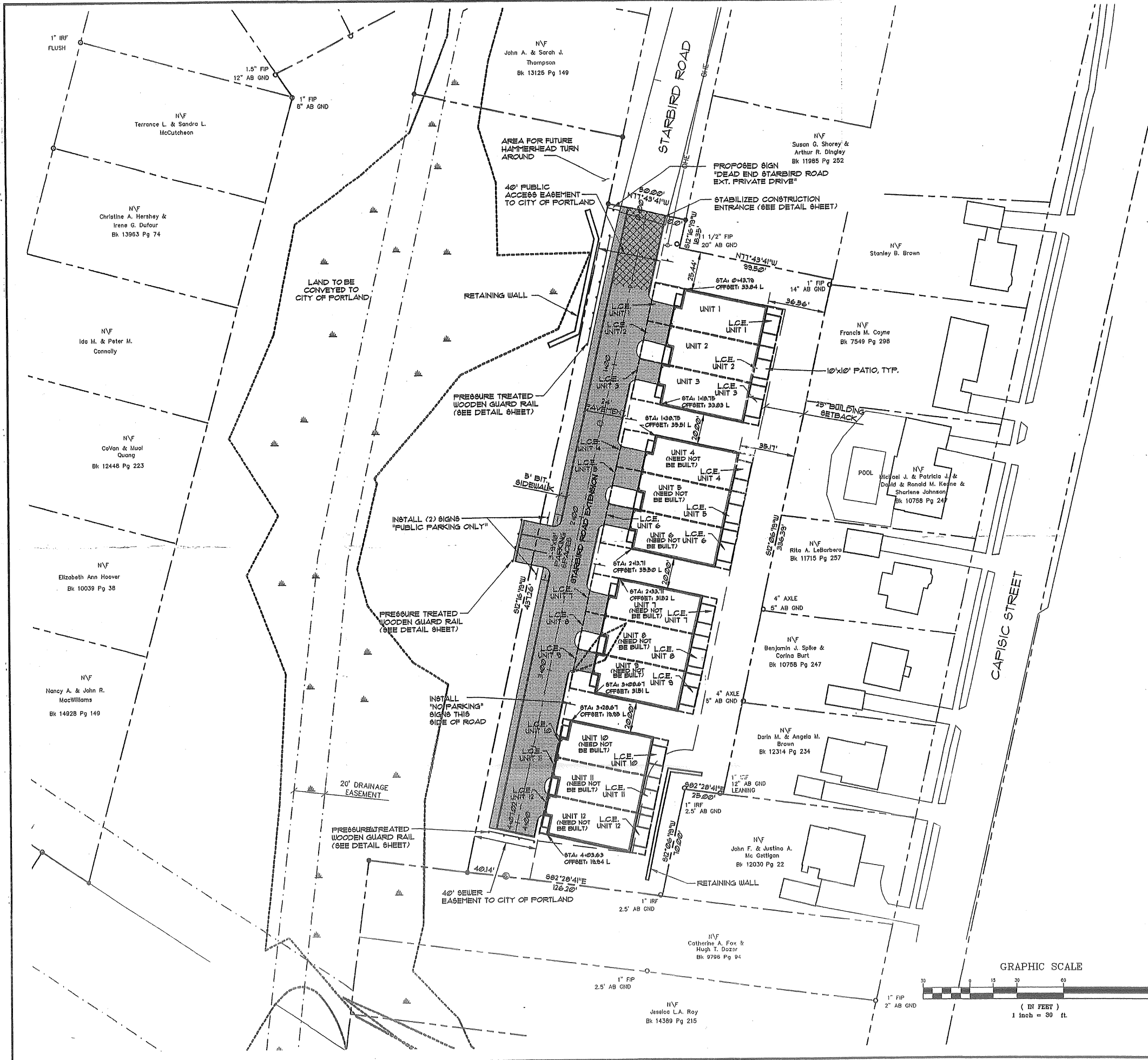
N\F
Darin M. & Angela M.
Brown
Bk 12314 Pg 234

1" IRF
12" AB GND
LEANING

N\F
John F. & Justina A.
Mc Gettigan
Bk 12030 Pg 22

N\F



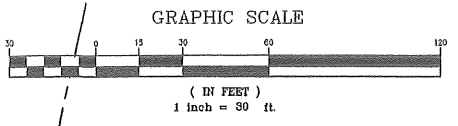


EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
---	EASEMENT	---
---	CENTERLINE	---
---	MONUMENT	---
---	IRON PIPE/ROD	---
---	DRILLHOLE	---
---	BUILDING	---
---	WETLANDS	---
---	EDGE WETLAND	---
---	SIGN	---
---	STREAM	---
---	EDGE PAVEMENT	---
---	CURBLINE	---

GENERAL NOTES:

- RECORD OWNER OF PROPERTY IS STJ, INC. BY A DEED RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (CCRD), IN BOOK 15554, PAGE 15.
- THE PROPERTY IS LOCATED ON THE FOLLOWING PORTLAND CITY TAX MAPS: MAP 222 LOT 6, MAP 224 LOT 1 AND MAP 225 LOT 10.
- PLAN REFERENCES:
 - LOT PLAN OF RIVER VIEW POINT OWNED BY THE MINAT CORPORATION, (SUBDIVISION PLAN), DATED APRIL 1956, DRAWN BY CARL E. EMERY, RECORDED IN THE CCRD, IN PLAN BOOK 45, PAGE 38.
 - PORTLAND CITY ENGINEERING TRAVERSE BOOK PLANS AS LISTED, LITTLE ROAD RIGHT OF WAY AS SHOWN IN TRAVERSE BOOK 95, PAGE 164. CAPISIC STREET RIGHT OF WAY AS SHOWN IN TRAVERSE BOOK 92, PAGES 136 TO 138.
 - CENTRAL MAINE POWER PROFILE PLAN, MOSEHRS TO SEWALL STREET SECTION 18, MILE 7.
- THE BEARINGS SHOWN HEREON ARE BASED ON MAGNETIC NORTH OF 2000.
- THIS PLAN IS BASED UPON A SURVEY PERFORMED IN ACCORDANCE WITH THE MINIMUM STANDARDS ADOPTED BY THE STATE BOARD OF LICENSURE FOR LAND SURVEYORS, CATEGORY 1, CONDITION 2, WITH THE FOLLOWING EXCEPTIONS:
 - THE WRITTEN REPORT IS LIMITED TO THE NOTES ON THIS PLAN.
 - NO DESCRIPTIONS WERE PREPARED PRIOR TO THE ISSUANCE OF THIS PLAN.
 - THE PROPOSED MONUMENTATION WAS NOT SET AT THE ISSUANCE OF THIS PLAN.
- THE TOTAL AREA OF PROPOSED DEVELOPMENT IS 140 ACRES. THE AREA OF PAVEMENT IS 0.34 AC. THE AREA OF THE BUILDINGS IS 0.36 AC. THE TOTAL BUILDABLE COVERAGE IS 0.10 AC, OR 50%.
- IN ACCORDANCE WITH A UNANIMOUS VOTE OF THE PORTLAND CITY COUNCIL AT THEIR MEETING OF SEPTEMBER 9, 2001 THE AREA TO BE CONVEYED TO THE CITY OF PORTLAND IS LOCATED WITHIN THE RESOURCE PROTECTION ZONE (RPZ) AND THE AREA OF PROPOSED DEVELOPMENT IS LOCATED WITHIN A CONTRACT ZONE.
- MUD SHALL NOT BE TRACKED ONTO THE CITY STREET SYSTEM. IN THE CASE THAT MUD IS TRACKED ONTO THE MUNICIPAL STREETS THE APPLICANT WILL BE RESPONSIBLE FOR THE CLEAN UP OF THE STREETS AT THE REQUEST OF EITHER THE DRC OR PUBLIC WORKS.
- NO TEMPORARY STOCK PILES WILL BE PLACED WITHIN 100' OF THE WETLAND OR ON STEEP SLOPES.
- PARKING WILL BE ALLOWED ON THE WESTERLY SIDE OF STARBIRD ROAD EXTENSION ONLY. THE APPLICANT SHALL INSTALL "NO PARKING" SIGNS ON THE EASTERLY SIDE OF STARBIRD ROAD EXTENSION.
- FINISHED FLOOR ELEVATIONS:

UNITS 1-3 =	71.0
UNITS 4-6 =	71.0
UNITS 7-9 =	71.0
UNITS 10-12 =	71.15



REV:	BY:	DATE:	STATUS:
A	SMF	9-17-02	ADDED "NEED NOT BE BUILT" NOTE TO UNITS 4-12

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

CONDOMINIUM PLAT
OF:
STARBIRD ROAD CONDOMINIUMS
STARBIRD ROAD
PORTLAND, MAINE
FOR:
BROWN DEVELOPMENT CORPORATION
P.O. BOX 7022
SCARBOROUGH, MAINE 04070-7022

DESIGN BY: SMF
DRAWN BY: PLS
CHECKED BY: SMF
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