

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Planning Copy**

**2001-0295**  
Application I. D. Number

**10/24/2001**  
Application Date

**Starbird Road Condominiums**  
Project Name/Description

**Brown Development Corporation**

Applicant

**PO Box 7022, Scarborough, ME 04070**

Applicant's Mailing Address

**Sebago Technics Inc.**

Consultant/Agent

**Agent Ph: (207)856-0277**

**Agent Fax: (207) 856-2206**

Applicant or Agent Daytime Telephone, Fax

**Starbird Road, Portland, Maine**

Address of Proposed Site

**224 A025001**

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_

**12 Condominiums**

**1.40**

**contract zone**

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

**Check Review Required:**

- |   |  |  |  |
|---|--|--|--|
| <input type="checkbox"/> Site Plan (major/minor)        | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                   | <input type="checkbox"/> Shoreland                   | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBNPB) | <input type="checkbox"/> Zoning Variance             |  | <input type="checkbox"/> Other _____             |

Fees Paid: Site Pla **\$500.00** Subdivision \_\_\_\_\_ Engineer Review **\$5,466.00** Date **3/14/2002**

**Planning Approval Status:**

Reviewer **Kandi Talbot**

- Approved  **Approved w/Conditions** See Attached  Denied

Approval Date **1/8/2002** Approval Expiration **1/8/2003** Extension to \_\_\_\_\_  Additional Sheets Attached

**OK to Issue Building Permit** **Kandi Talbot** **3/15/2002**  
signature date

**Performance Guarantee**

Required  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

- |  |                           |  |                                      |
|--|---------------------------|--|--------------------------------------|
| <input checked="" type="checkbox"/> Performance Guarantee Accepted | <b>3/14/2002</b><br>date  | <b>\$273,300.00</b><br>amount                      | <b>11/15/2003</b><br>expiration date |
| <input type="checkbox"/> Inspection Fee Paid                       | _____<br>date             | _____<br>amount                                    |                                      |
| <input type="checkbox"/> Building Permit Issue                     | _____<br>date             |  |                                      |
| <input checked="" type="checkbox"/> Performance Guarantee Reduced  | <b>10/31/2002</b><br>date | <b>\$42,396.00</b><br>remaining balance            | <b>see comments</b><br>signature     |
| <input type="checkbox"/> Temporary Certificate of Occupancy        | _____<br>date             | <input type="checkbox"/> Conditions (See Attached) | _____<br>expiration date             |
| <input type="checkbox"/> Final Inspection                          | _____<br>date             | _____<br>signature                                 |                                      |
| <input type="checkbox"/> Certificate Of Occupancy                  | _____<br>date             |  |                                      |
| <input type="checkbox"/> Performance Guarantee Released            | _____<br>date             | _____<br>signature                                 |                                      |
| <input type="checkbox"/> Defect Guarantee Submitted                | _____<br>submitted date   | _____<br>amount                                    | _____<br>expiration date             |
| <input type="checkbox"/> Defect Guarantee Released                 | _____<br>date             | _____<br>signature                                 |                                      |

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ADDENDUM

2001-0295

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Agent Ph: (207) 856-0277      Agent Fax: 2078562206

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10/24/2001

Application Date

Starbird Road Condominiums

Project Name/Description

Starbird Road, Portland, Maine

Address of Proposed Site

224 A025001

Assessor's Reference: Chart-Block-Lot

**Approval Conditions of Planning**

1 Subdivision

i. that a note be added to the subdivision plat which states that "parking will be allowed on the westerly side of Starbird Road Extension only" and that the applicant shall install "no parking" signs on the easterly side of Starbird Road Extension.

2 ii. that the applicant provide a pedestrian path/footbridge, plans of which must be reviewed and approved by the Planning Department, to allow the public to get from the public parking area to the existing trail, which runs through the property being conveyed to the City.

3 iii. that the condominium documents be revised to include a covenant which will prohibit garage parking spaces to be converted to living space or otherwise eliminated and that Corporation Counsel review and approved the condominium documents prior to issuance of a building permit.

4 iv. that the applicant submit a stormwater maintenance agreement for review and approval by staff prior to issuance of a building permit.

5 v. that the applicant provide to the City an executed easement for public access on, over and across its property and for public parking as designated on the approved site plan.

**Approval Conditions of DRC**

1 i. See Plannina's conditions

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
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DRC Copy**

**2001-0295**  
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Fees Paid: Site Pla **\$500.00** Subdivision \_\_\_\_\_ Engineer Review **\$5,466.00** Date **3/14/2002**

**DRC Approval Status:**

Reviewer **Chris Earle/Steve Bushey**

- Approved  Approved w/Conditions See Attached  Denied

Approval Date **1/8/2002** Approval Expiration **1/8/2003** Extension to \_\_\_\_\_  Additional Sheets Attached

Condition Compliance **Kandi Talbot** **3/15/2002**  
signature date

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| <input type="checkbox"/> Inspection Fee Paid                       | _____<br>date             | _____<br>amount                                    |                                      |
| <input type="checkbox"/> Building Permit Issue                     | _____<br>date             |  |                                      |
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**Approval Conditions of DRC**

1 i. See Planning's conditions



**CITY OF PORTLAND MAINE**

389 Congress St., Rm 315

Portland, ME 04101

Tel - 207-874-8709

Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine  
Planning & Urban Development  
Division of Housing & Community Services

FROM DESIGNER: Gawron Architects

29 Black Point Road, Scarborough, Maine 04074

DATE: March 18, 2002

Job Name: Starbird Condominiums

Address of Construction: Starbird Road, Portland, Maine

**THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION**

Construction project was designed according to the building code criteria listed below:

Building Code and Year 1999 BOCA Use Group Classification(s) R-3

Type of Construction 5B Bldg. Height 29'-2" Bldg. Sq. Footage 8,340

Seismic Zone AV=0.110 Group Class 1

Roof Snow Load Per Sq. Ft. sloped 42 Dead Load Per Sq. Ft. 15psf

Basic Wind Speed (mph) 85 psf ✓ Effective Velocity Pressure Per Sq. Ft. 18.5 psf

Floor Live Load Per Sq. Ft. structure assembly 50 psf ✓

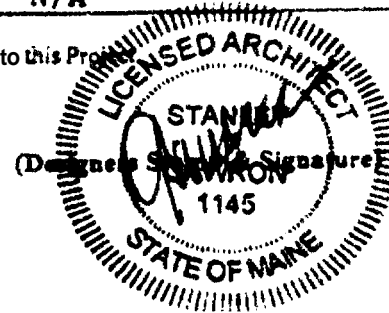
Structure has full sprinkler system? Yes X No \_\_\_\_\_ Alarm System? Yes \_\_\_\_\_ No X  
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

Is structure being considered unlimited area building: Yes \_\_\_ No X

If mixed use, what subsection of 313 is being considered N/A

List Occupant loading for each room or space, designed into this Project

PSH 6/07/2K





**CITY OF PORTLAND  
BUILDING CODE CERTIFICATE  
389 Congress St., Rm 315  
Portland, ME 04101**

**TO: Inspector of Buildings City of Portland, Maine  
Department of Planning & Urban Development  
Division of Housing & Community Service**

**FROM: Gawron Architects**

**RE: Certificate of Design**

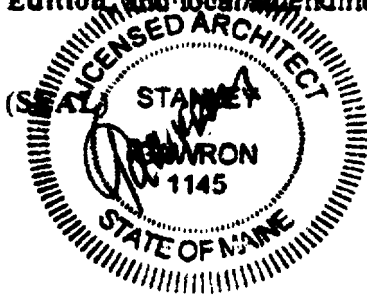
**DATE: March 19, 2002**

**These plans and/or specifications covering construction work on:**

Starbird Condominiums

Starbird Road, Portland, Maine

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition and local amendments.



Signature Stan Gawron

Title Principal

Firm Gawron Architects

Address 29 Black Point Road, Scarborough, Maine

**As per Maine State Law:**

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

# Fax

To: Terry Brown From: Tammy Munson  
 Fax: (207)767-1306 Pages: 1  
 Phone: (207)831-1776 Date: 04/30/04  
 Re: Starbird Road CC:

Urgent  For Review  Please Comment  Please Reply  Please Recycle

**The following** is a list of the items we need addressed on the submitted permits for Starbird Road:

1. **Stair** details (tread, rise, headroom, etc.)
2. Attic access (two areas of the third floor) -please show size and location.
3. Weight calculations showing the third floor framing is adequate to support the HVAC equipment.
4. Smoke detector locations. - Check drawing -
5. Clearance in chase and use.
6. Fire blocking in tenant separation wall and structural support.
- 7.

*Not installing*

*A300-  
Double R.m.*

*\*Need smoke on third floor*

**From:** <drichards@gawronturgeon.com>  
**To:** Portland.CityHall(TMM)  
**Date:** Wed, May 12, 2004 12:30 PM  
**Subject:** Starbird Condominiums

Good Morning Terry,

Per our conversation this morning we are e-mailing you 6 PDF files which address the concerns posed by your review of the building permit application of the subject project.

If you have any questions or if we can be of further assistance please do not hesitate to contact me at our office.

Thank you.

Best regards,

David M. Richards

Gawron Turgeon Architects  
29 Black Point Road  
Scarborough, ME 04074

p 207-883-6307



**FLOOR PLAN LEGEND**

- ① 3/4" WALLTYPE - CONCRETE PERMIT WALL WITH 1/2" FIBER REINFORCED CONCRETE FLOORING @ 2" MIN. BOTTOM & 2" MIN. TOP
- ② 3/4" WALLTYPE - FILL PIER WALL BETWEEN UNITS - PAINTED
- ③ 2" WALLTYPE - 1" WOOD SIDING + ADJUSTABLE SHIP
- ④ 2" WALLTYPE - 1" WOOD SIDING + ADJUSTABLE SHIP
- ⑤ CLOSET ROD AND SHELF
- ⑥ 2" WALLTYPE - 1" WOOD SIDING + ADJUSTABLE SHIP
- ⑦ 2" WALLTYPE - 1" WOOD SIDING + ADJUSTABLE SHIP
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**WALL TYPES & CEILING ASSEMBLIES**

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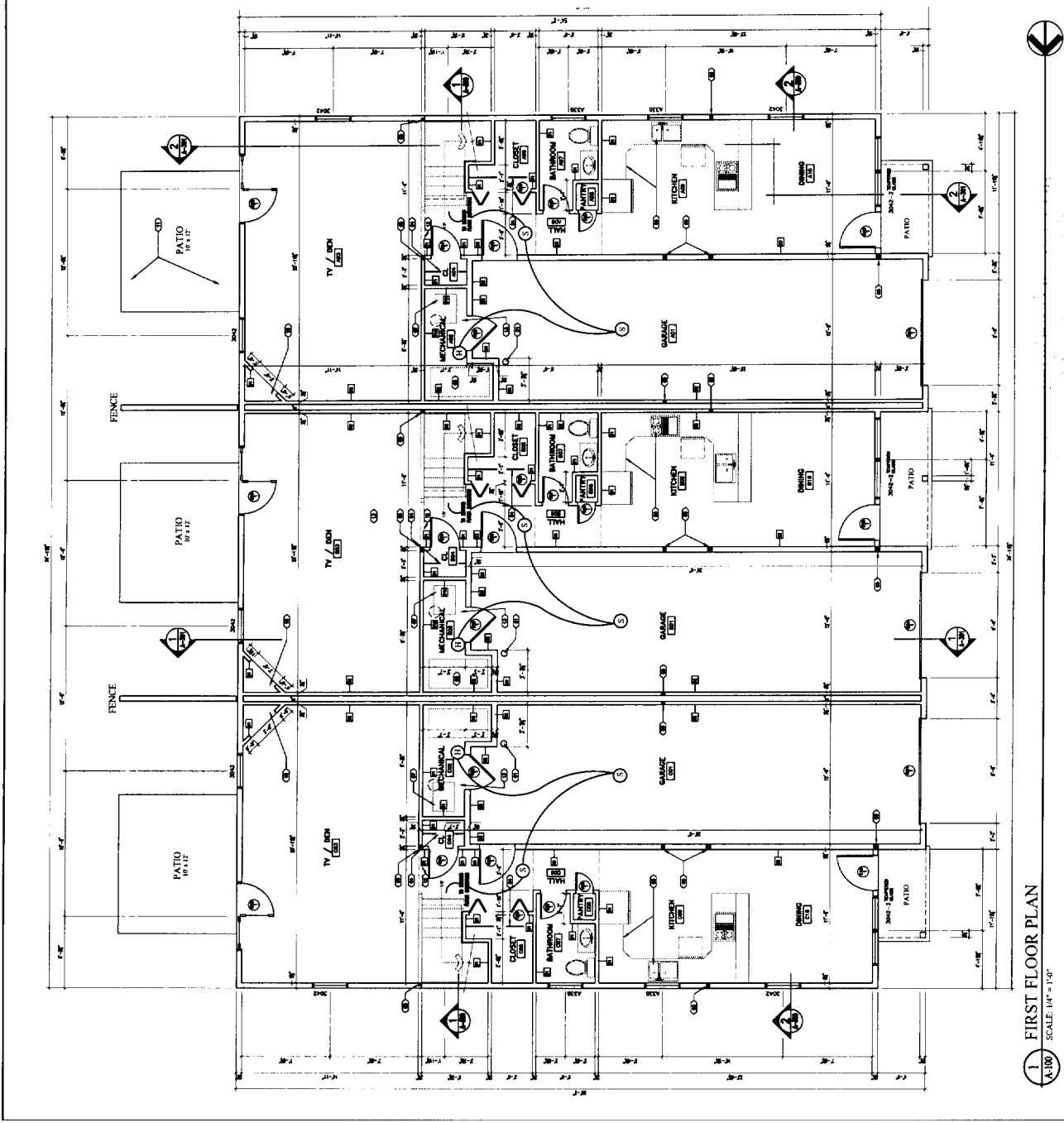
**1 FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

Starbird Condominiums

Permit review comments

| Concern   | Response   |
|---|--|
| 1. Stair details  | Refer to the PDFs included with this submission Stair Detail & Stair Clearance   |
| 2. Attic Access   | Refer to the PDF included with this submission 3 <sup>d</sup> Floor  |
| 3. Weight calculations showing the third floor framing is adequate to support HVAC equipment. | No air central conditioning is scheduled for this building at this time. If at another date a central air conditioning unit is added to the third floor, structural data shall be provided to confirm design requirements. |
| 4. Smoke detectors  | Refer to the PDFs included with this submission 1 <sup>st</sup> Floor Plan, 2nd Floor Plan, and 3 <sup>rd</sup> Floor Plan   |
| 5. Clearance in chase and use   | Within the chase will be the flue for the boiler. A zero clearance flue shall be used  |
| 6. Fire Blocking  | The contractor shall provide fire blocking at each floor level as required by the building code.   |

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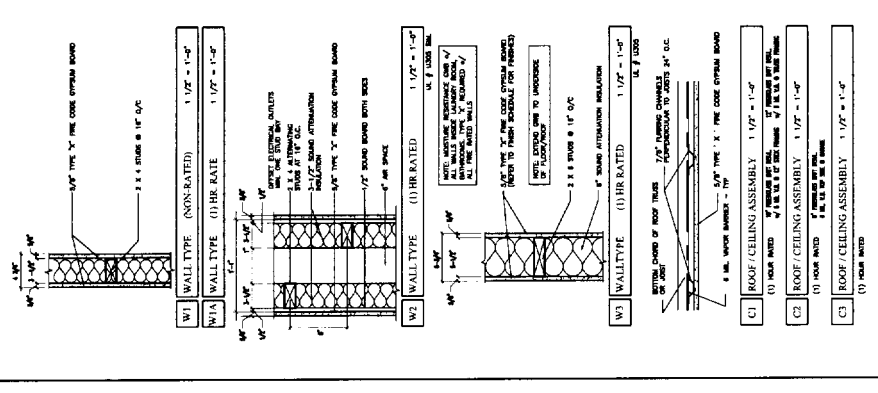


1 FIRST FLOOR PLAN  
SCALE 1/4" = 1'-0"

FLOOR PLAN  
LEGEND

- ① STEEL WALL: 4" CONCRETE FILL STEEL COLLUMS, CONCRETE FRAME TOP & BOTTOM @ 2'-0" RISE PER FOOT, CONCRETE FOOTING
- ② 2" X 4" STUDS @ 16" O.C. WITH 1/2" GYPSUM BOARD
- ③ 2" X 4" STUDS @ 16" O.C. WITH 1/2" GYPSUM BOARD & 1/2" GYPSUM SHEET
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WALL TYPES & CEILING ASSEMBLIES



**GAWRON ARCHITECTS**  
20 Third Street  
Portland, ME 04101  
www.gawron.com  
Tel: 207.851.8841

**BROWN DEVELOPMENT CORPORATION**  
STARBUCK ROAD CONDOMINIUMS  
PORTLAND, MAINE

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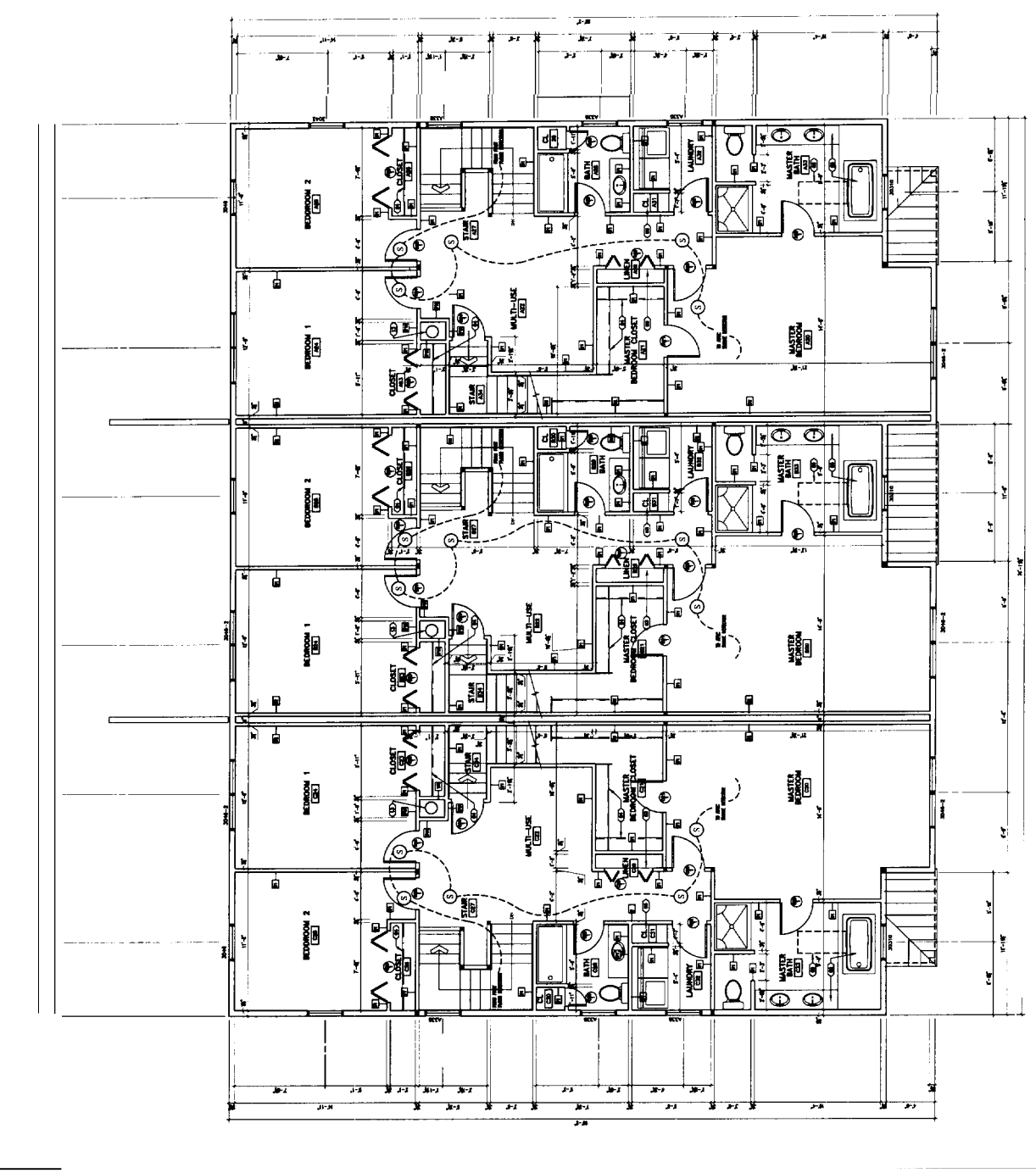
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SHEET TITLE  
FIRST FLOOR PLAN

**A-100**

SCALE: 1/4" = 1'-0"

MAY 1 2 2004

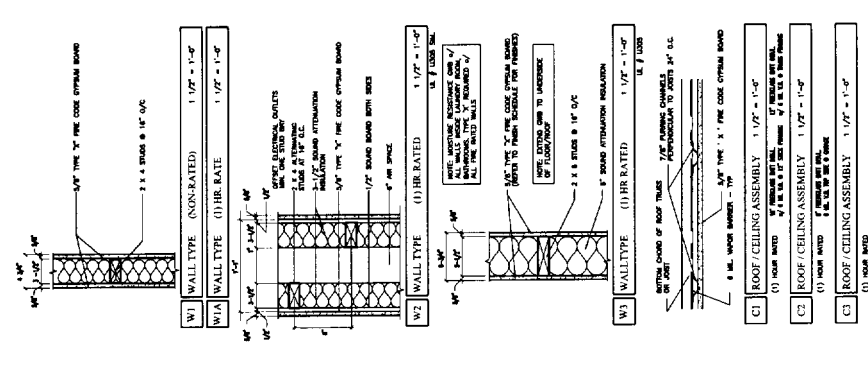


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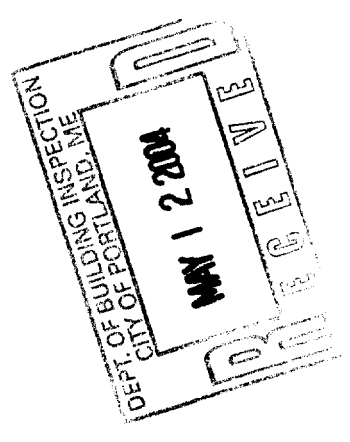
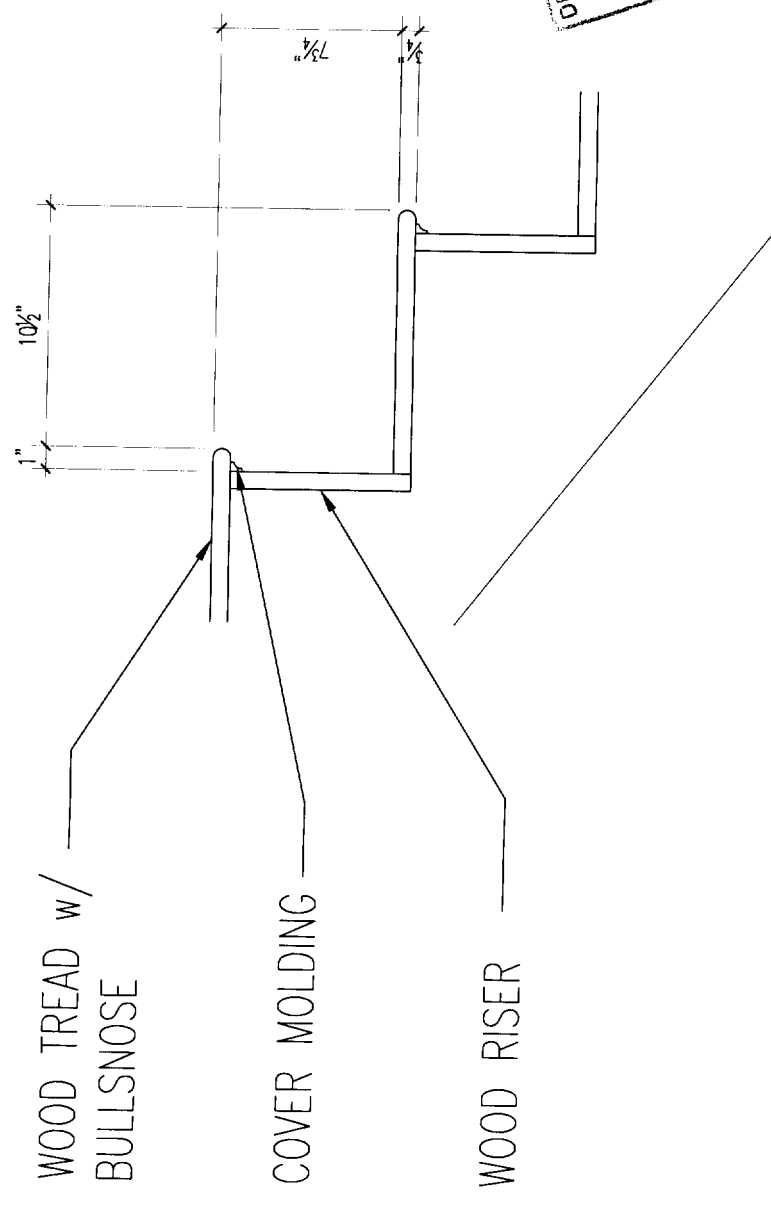
MAY 12 2004  
REVISED

- LEGEND**
- (1) STEEL REINFORCED CONCRETE FULL CROSS COLUMN CONCRETE FRAME 10W x 10W @ BOTTOM @ 2'-3" SET IN 1/4" DIAMETER CONCRETE FOOTING
  - (2) STEEL PIPE OUT TAKE - 1/2" PIPE IN WALL BETWEEN UNITS - PAINTED
  - (3) SCHEDULE 40 STEEL PIPE - 4" WOOD JOISTING + ADJUSTABLE SHELF
  - (4) CLOTHES ROD AND SHELF
  - (5) 2" WOOD JOISTING
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**WALL TYPES & CEILING ASSEMBLIES**

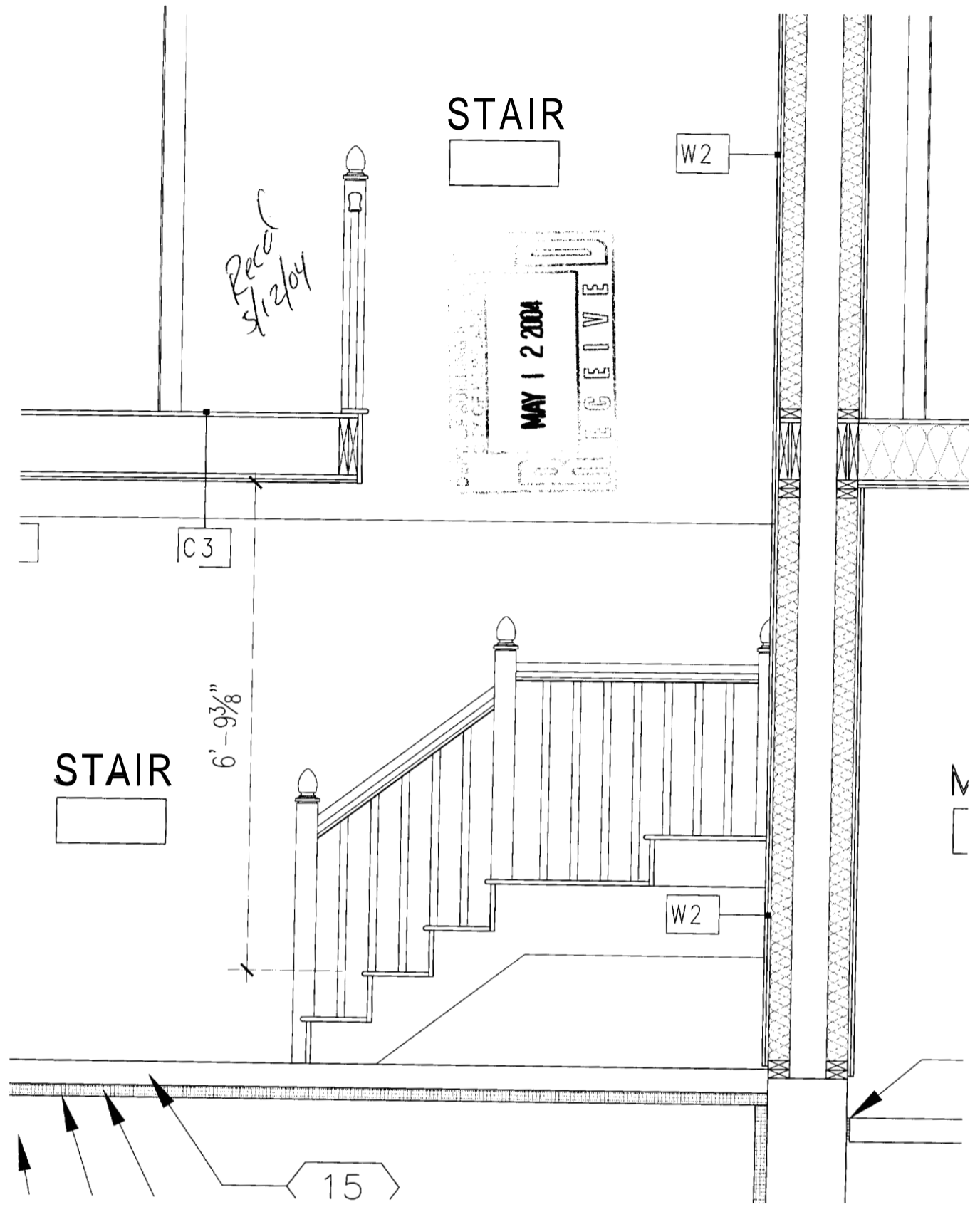






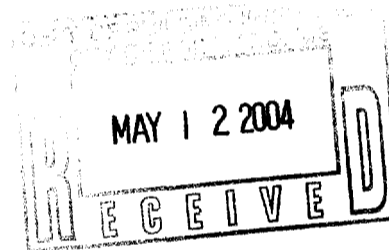
# STAIR DETAIL

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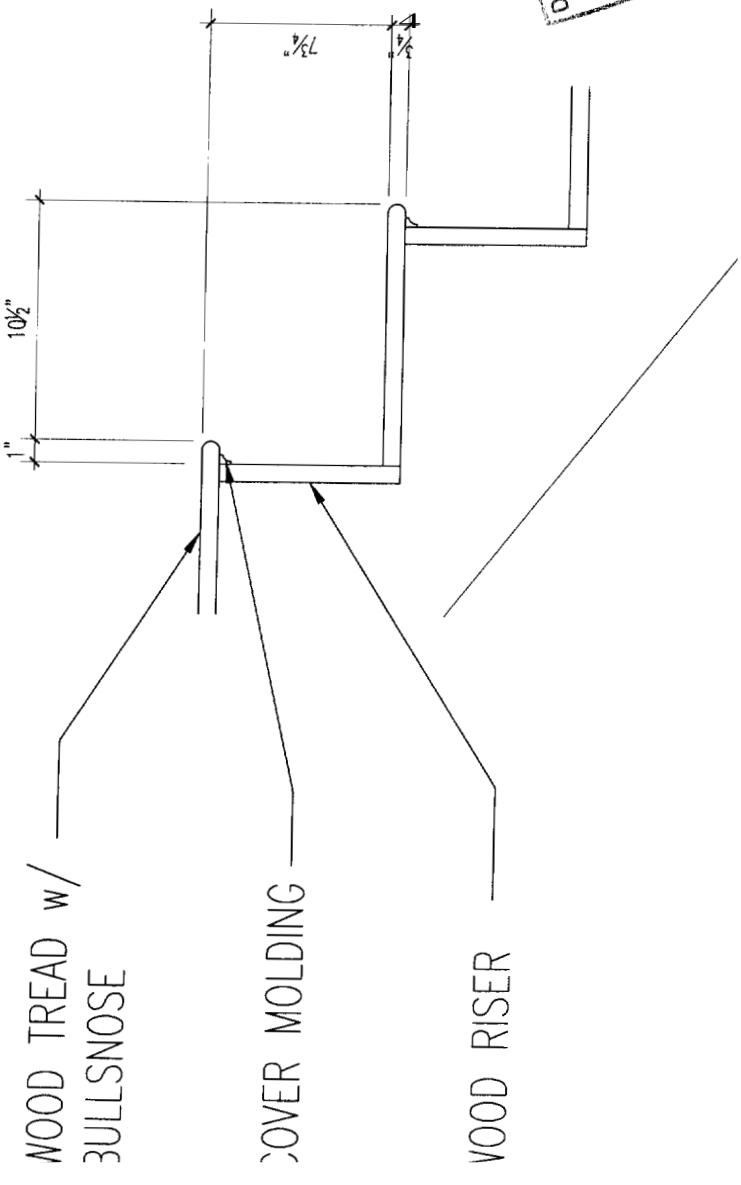


**Starbird Condominiums**  
 Permit review comments

| Concern   | Response  |
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| 1. Stair details  | Refer to the PDFs included with this submission in Stair Detail & Stair Clearance   |
| 2. Attic Access   | Refer to the PDF included with this submission in 3 <sup>d</sup> Floor  |
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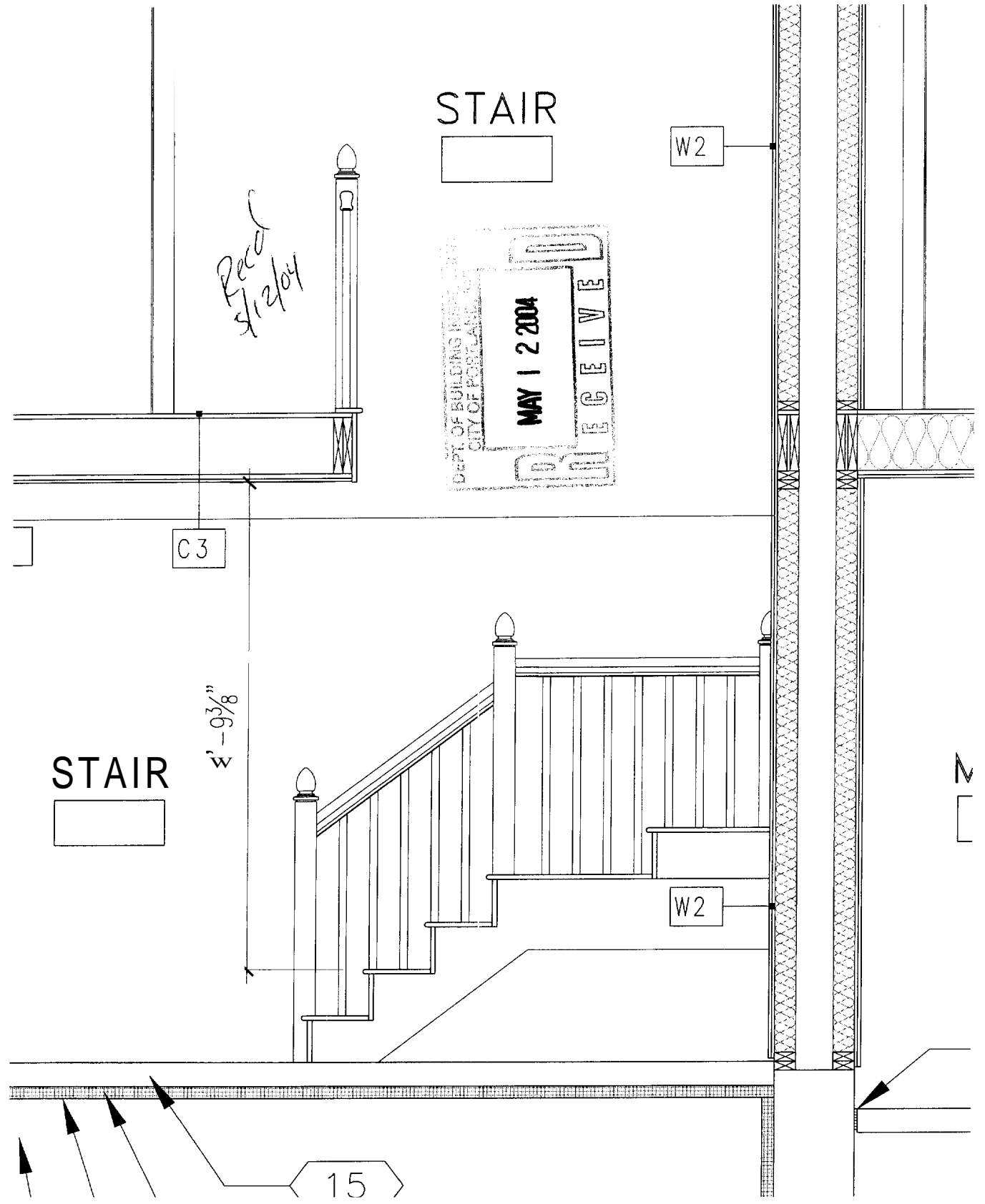




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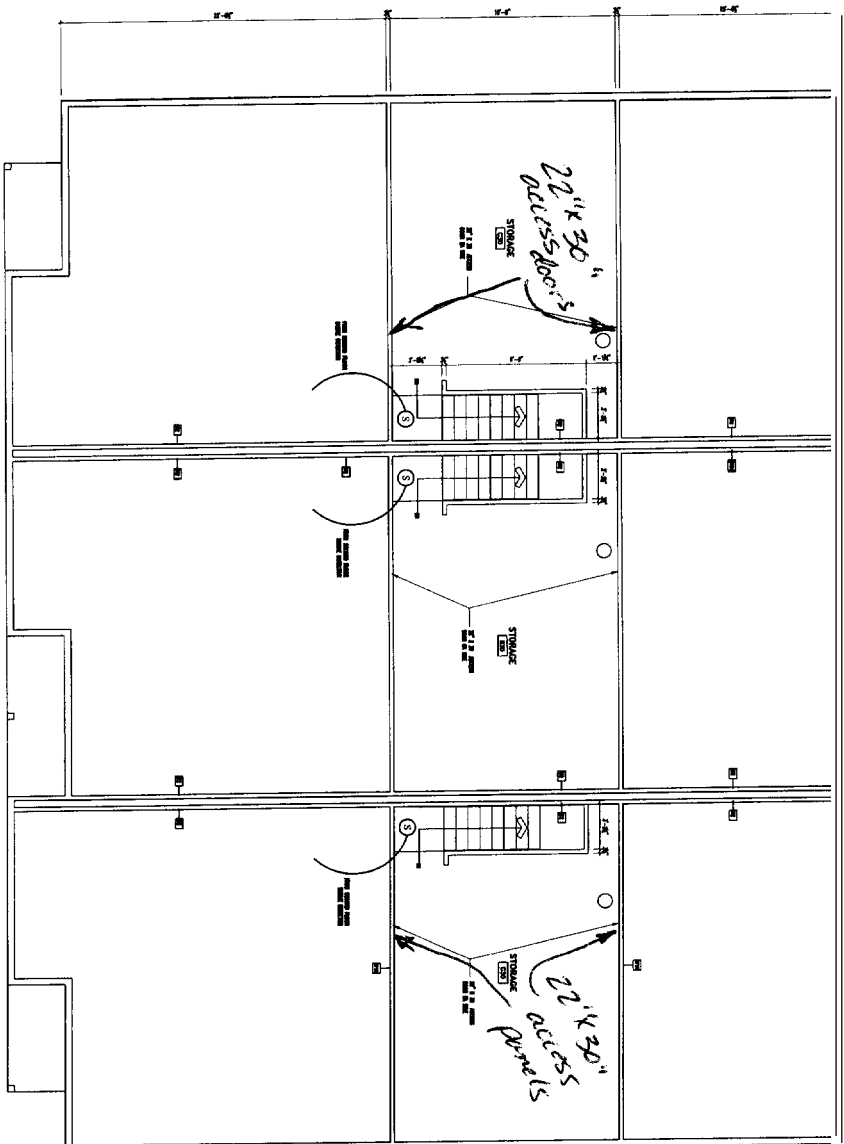
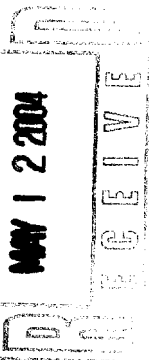
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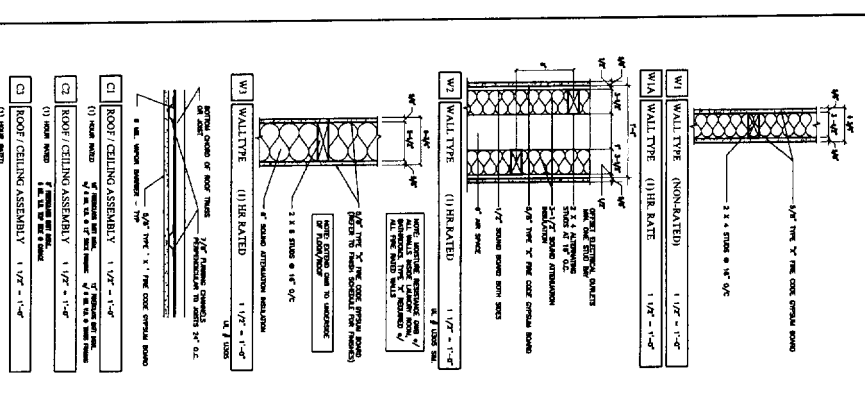


1 THIRD FLOOR PLAN  
SCALE 1/8" = 1'-0"

FLOOR PLAN  
LEGEND

- 1. 2" x 4" STUDS @ 16" O.C. WITH 1/2" GYP. BOARD
- 2. STEEL STUDS @ 16" O.C. WITH 1/2" GYP. BOARD
- 3. 1/2" GYP. BOARD
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- 87. 1/2" GYP. BOARD WITH 1/2" GYP. BOARD
- 88. 1/2" GYP. BOARD WITH 1/2" GYP. BOARD
- 89. 1/2" GYP. BOARD WITH 1/2" GYP. BOARD
- 90. 1/2" GYP. BOARD WITH 1/2" GYP. BOARD
- 91. 1/2" GYP. BOARD WITH 1/2" GYP. BOARD
- 92. 1/2" GYP. BOARD WITH 1/2" GYP. BOARD
- 93. 1/2" GYP. BOARD WITH 1/2" GYP. BOARD
- 94. 1/2" GYP. BOARD WITH 1/2" GYP. BOARD
- 95. 1/2" GYP. BOARD WITH 1/2" GYP. BOARD
- 96. 1/2" GYP. BOARD WITH 1/2" GYP. BOARD
- 97. 1/2" GYP. BOARD WITH 1/2" GYP. BOARD
- 98. 1/2" GYP. BOARD WITH 1/2" GYP. BOARD
- 99. 1/2" GYP. BOARD WITH 1/2" GYP. BOARD
- 100. 1/2" GYP. BOARD WITH 1/2" GYP. BOARD

WALL TYPES & CEILING ASSEMBLIES



STARBIRD ROAD CONDOMINIUMS  
BROWN DEVELOPMENT CORPORATION  
PORTLAND, MAINE



REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| 1   |      |             |
| 2   |      |             |
| 3   |      |             |
| 4   |      |             |
| 5   |      |             |
| 6   |      |             |
| 7   |      |             |
| 8   |      |             |
| 9   |      |             |
| 10  |      |             |

DATE: \_\_\_\_\_ DRAWING: \_\_\_\_\_  
PROJECT: \_\_\_\_\_ DESIGN: \_\_\_\_\_  
REVISIONS: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_  
DRAWING SCALE: AS NOTED

THIRD FLOOR PLAN  
A-102

| REVISIONS |      |
|-----------|------|
| NO. 1     | DATE |
|           |      |
|           |      |
|           |      |
|           |      |

|               |          |
|---------------|----------|
| DATE          |          |
| PROJECT       |          |
| DESIGNER      |          |
| CHECKED BY    |          |
| DRAWING SCALE | AS NOTED |

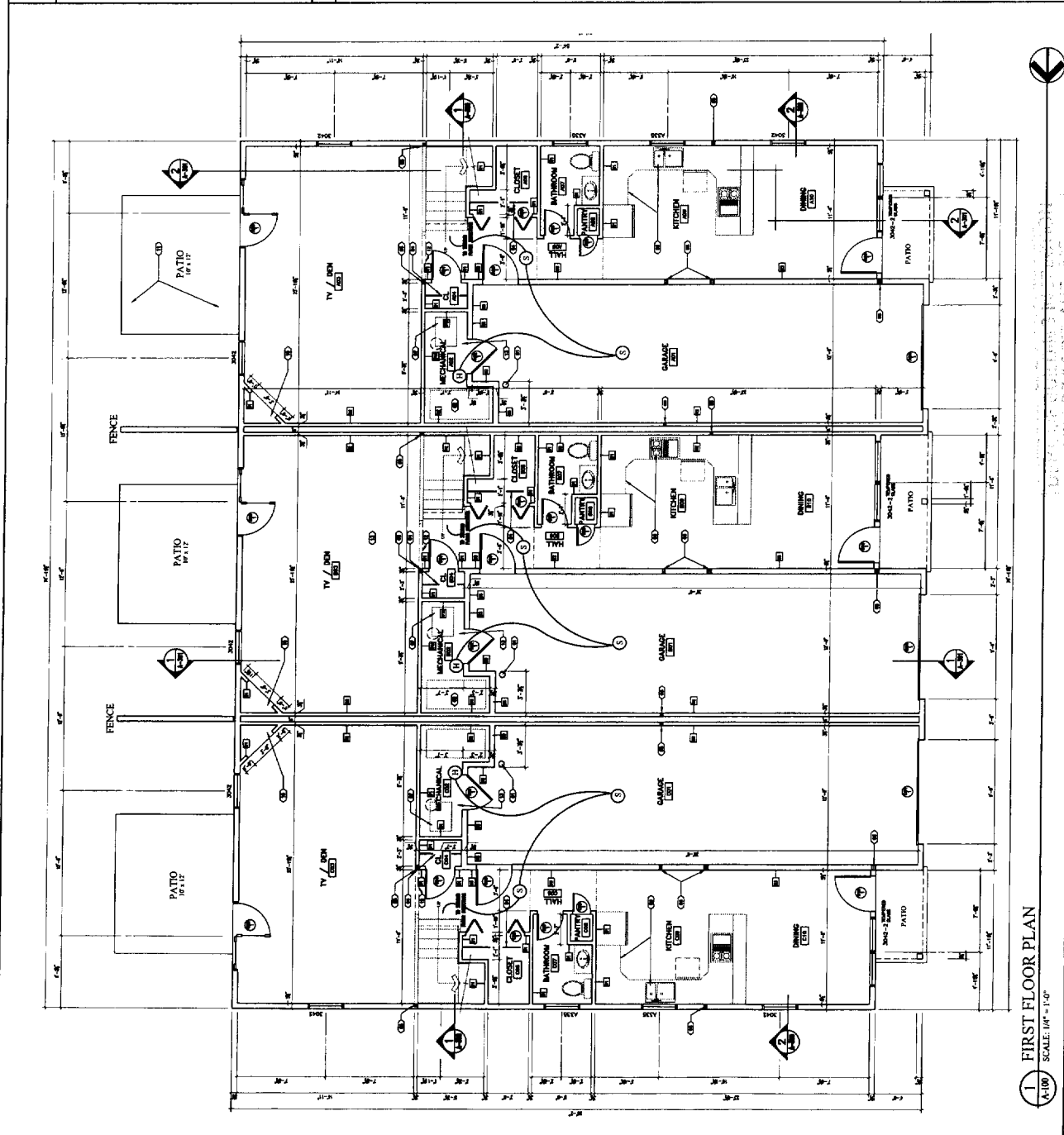
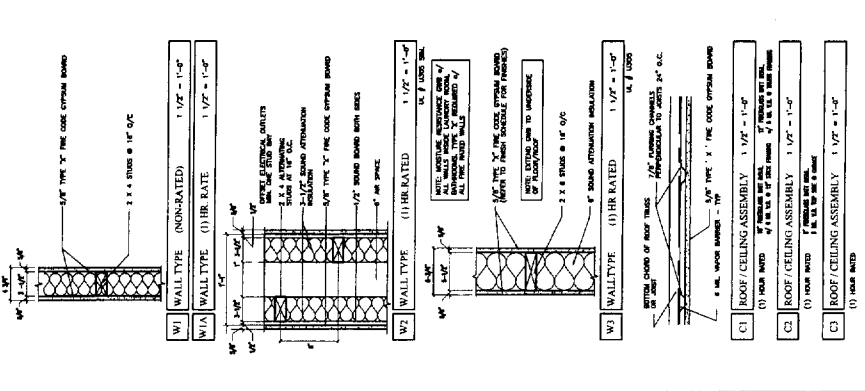
| SECRET TITLES |  |
|---------------|--|
|               |  |
|               |  |

| FIRST FLOOR PLAN |  |
|------------------|--|
|                  |  |

**FLOOR PLAN LEGEND**

- 1. SUPPLY WALLS WITH 2" MIN. THICK CONCRETE BOUND TOP & BOTTOM. FILL IN WALL BETWEEN UNITS. PAINTED.
- 2. FILL FIRE OIL TANK. FILL PIPE IN WALL BETWEEN UNITS. PAINTED.
- 3. FILL WOOD PARTITION WALLS WITH 1" WOOD MOULDING & ADJUSTABLE SHELF CLOSET.
- 4. CLOTHES ROD AND SHELF.
- 5. WOOD POST - PROVIDE FLOOR CONTINUOUS BEARING DOWN THROUGH TO TOP OF CONCRETE FOUNDATION. PROVIDE TOP END TO TOP OF WALL BEARING.
- 6. SHALLOW WALK-IN CLOSET WITH FULL WIDTH DOOR AND HANGERS.
- 7. WALKER - FREE OIL TANK.
- 8. FLOOR COVERING - INSTALL AND COVER WITH 1/2" WOOD PLANKS AND 1/4" WOOD WINDOW (ADOPT).
- 9. PRE-FABRICATED PREFACE DETAILS FOR DRIP TRAYS.
- 10. PATIO - CALL TO PROVIDE DETAILS FOR COMPACTED SAND & GRAVEL. PROVIDE 1/2" SLOPE AWAY FROM BUILDING FOR DRAINAGE.
- 11. SLOTTED - 2" DEEP DOWN 1/2" WOOD FRAMING - ACROSS STAIR & TV / DEN.
- 12. SUPPLY WALLS WITH 2" MIN. THICK CONCRETE BOUND TOP & BOTTOM. FILL IN WALL BETWEEN UNITS. PAINTED.
- 13. THE ALARM - HEAT ALARM - 120V - BATTERY BACKUP.
- 14. THE ALARM - SMOKE ALARM - 120V - BATTERY BACKUP.

**WALL TYPES & CEILING ASSEMBLIES**



**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

MAY 1 2 2004



# Fax

To: Terry Brown From: Tammy Munson  
Fax: (207)767-1306 Pages: 1  
Phone: (207)831-1776 Date: 04/30/04  
Re: Starbird Road CC:

Urgent  For Review  Please Comment  Please Reply  Please Recycle

The following is a list of the items we need addressed on the submitted permits for Starbird Road:

1. Stair details (tread, rise, headroom, etc.)
2. Attic access (two areas of the third floor) -please show size and location.
3. Weight calculations showing the third floor framing is adequate to support the HVAC equipment.
4. Smoke detector locations.
5. Clearance in chase and use.
6. Fire blocking in tenant separation wall and structural support.
- 7.

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

|                       |                                 |                     |
|-----------------------|---------------------------------|---------------------|
| Permit No:<br>04-0395 | Date Applied For:<br>04/09/2004 | CBL:<br>224 A025001 |
|-----------------------|---------------------------------|---------------------|

|  |  |  |                          |
|--|--|--|--------------------------|
| Location of Construction:<br>102-106 Starbird Rd | Owner Name:<br>Brown Development Corp          | Owner Address:<br>Po Box 7022                  | Phone:<br>207-767-4473   |
| Business Name:<br>n/a                            | Contractor Name:<br>Terry Brown Builders, Inc. | Contractor Address:<br>PO Box 7022 Scarborough | Phone:<br>(207) 767-4473 |
| Tenant/Lessee/Buyer's Name<br>n/a                | Phone:<br>n/a                                  | Permit Type:<br>Multi Family                   |                          |

|  |  |
|--|--|
| Proposed Use:<br>PRUD 12 Unit Condominium / Building # 2 (3 units) | Proposed Project Description:<br>PRUD 12 Unit Condominium / Building #2 (3 units). |
|--|--|

**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 04/23/2004  
**Note:** 12 units total on property - this building is bldg # 2 - 3 D.U. Condos      **Ok to Issue:**

1) Separate permits shall be required for future decks, sheds, pools, and/or garages.  
2) This building #2 shall remain a three family dwelling condominium. Any change of use shall require a separate permit application for review and approval.  
3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Pending      **Reviewer:** ~~Mike Nugent~~ *T. Munson*      **Approval Date:** \_\_\_\_\_  
**Note:** \_\_\_\_\_      **Ok to Issue:**

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Lt. MacDougal      **Approval Date:** 04/26/2004  
**Note:** \_\_\_\_\_      **Ok to Issue:**

1) THE SPRINKLER SYSTEM SHALL BE TESTED IN ACCORDANCE WITH NFPA 13R AND THE RESULTS SUBMITTED TO THE PORTLAND FIRE DEPARTMENT  
2) THE SPRINKLER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 13 R

**Comments:**  
4/30/04-tmm: Need stair details, attic access info(third floor areas), hvac equip in third floor (weight calculations showing floor system adequate to carry), smoke det locations, clearance in chase, fire blocking in rated walls, structural support of tenant seperating wall

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

|                       |                                 |                    |
|-----------------------|---------------------------------|--------------------|
| Permit No:<br>04-0395 | Date Applied For:<br>04/09/2004 | CBL<br>224 A025001 |
|-----------------------|---------------------------------|--------------------|

|  |  |  |                          |
|--|--|--|--------------------------|
| Location of Construction:<br>102-106 Starbird Rd | Owner Name:<br>Brown Development Corp          | Owner Address:<br>Po Box 7022                  | Phone:<br>207-767-4473   |
| Business Name:<br>n/a                            | Contractor Name:<br>Terry Brown Builders, Inc. | Contractor Address:<br>PO Box 7022 Scarborough | Phone:<br>(207) 767-4473 |
| Lessee/Buyer's Name<br>n/a                       | Phone:<br>n/a                                  | Permit Type:<br>Multi Family                   |                          |

|  |  |
|--|--|
| Proposed Use:<br>PRUD 12 Unit Condominium / Building # 2 (3 units) | Proposed Project Description:<br>PRUD 12 Unit Condominium / Building #2 (3 units). |
|--|--|

**Dept:** Building      **Status:** Pending      **Reviewer:**      **Approval Date:**  
**Note:**      **Ok to Issue:**



Applicant: Brown Development  
Address: #102-106 Starbuck Rd

Date: 4/23/04  
C-B-L: 224-A-025

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New Development # 04-0395  
Zone Location - C-24 Contract Zone - R-3PRD <sup>use</sup>

Interior of corner lot -

Proposed Use/Work - construct Bldg #2 (3 D.U.) → condos

Sewage Disposal - City

Lot Street Frontage - 50' min 400' total approx shown

Front Yard - allowed up to property line (Contract Zone)

Rear Yard - 25' min - 25' shown to edge of Patios

Side Yard - 20' between Bldgs shown

Projections - ~~25' shown to side of property and bldg~~  
rear patios - attached 2 car garages

Width of Lot - 75' min ≈ 400' shown

Height - 35' MAX - 24' scaled

Lot Area -

Lot Coverage/ Impervious Surface - ok under contract zone

Area per Family -

Off-street Parking - ok under contract zone - 3 spaces allowed  
attached 2 car garages  
across the street -

Loading Bays - N/A

Site Plan - Major # 2001-0295

Shoreland Zoning/ Stream Protection - outside of shoreland

Flood Plains - panel 12 - Zone X

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Zoning Copy**

111  
Application I. D. Number  
10/24/01  
Application Date  
Starbird Road Condominiums  
Project Name/Description

Brown Development Corporation  
Applicant  
PO Box 7022, Scarborough, ME 04070  
Applicant's Mailing Address  
Sebago Technics Inc.  
Consultant/Agent  
Agent Ph: (207)856-0277 Agent Fax: (207) 856-2206  
Applicant or Agent Daytime Telephone, Fax

Starbird Road, Portland, Maine  
Address of Proposed Site  
224 A025001  
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_  
12 Condominiums 1.40 contract zone  
Proposed Building square Feet or # of Units Acreeage of Site Zoning

**Check Review Required:**

- Site Plan (major/minor)  Subdivision # of lots  PAD Review  14-403 Streets Review  
 Flood Hazard  Shoreland  Historic Preservation  DEP Local Certification  
 Zoning Conditional Use (ZBA/PB)  Zoning Variance  Other \_\_\_\_\_

Fees Paid: Site Plan \$500.00 Subdivision \_\_\_\_\_ Engineer Review \$5,466.00 Date: 3/14/02

**Zoning Approval Status:**

Reviewer \_\_\_\_\_

- Approved  Approved w/Conditions See Attached  Denied

Approval Date \_\_\_\_\_ Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets Attached  
 Condition Compliance \_\_\_\_\_ signature \_\_\_\_\_ date \_\_\_\_\_

Performance Guarantee  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

|  |                         |  |                                    |
|--|-------------------------|--|------------------------------------|
| <input checked="" type="checkbox"/> Performance Guarantee Accepted | <u>3/14/02</u><br>date  | <u>\$273,300.00</u><br>amount                      | <u>11/15/03</u><br>expiration date |
| <input type="checkbox"/> Inspection Fee Paid                       | _____<br>date           | _____<br>amount                                    |                                    |
| <input type="checkbox"/> Building Permit Issued                    | _____<br>date           |  |                                    |
| <input checked="" type="checkbox"/> Performance Guarantee Reduced  | <u>10131102</u><br>date | <u>\$42,396.00</u><br>remaining balance            | <u>see comments</u><br>signature   |
| <input type="checkbox"/> Temporary Certificate of Occupancy        | _____<br>date           | <input type="checkbox"/> Conditions (See Attached) | _____<br>expiration date           |
| <input type="checkbox"/> Final Inspection                          | _____<br>date           | _____<br>signature                                 |                                    |
| <input type="checkbox"/> Certificate Of Occupancy                  | _____<br>date           |  |                                    |
| <input type="checkbox"/> Performance Guarantee Released            | _____<br>date           | _____<br>signature                                 |                                    |
| <input type="checkbox"/> Defect Guarantee Submitted                | _____<br>submitted date | _____<br>amount                                    | _____<br>expiration date           |

04 0395

BLDG. 2.


# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

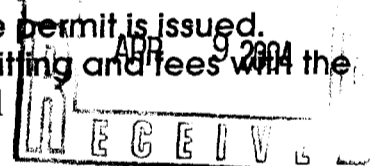
|  |   |   |
|--|---|---|
| Location/Address of Construction: <u>STARBIRD RD. EXT. PORTLAND, ME.</u>   |   |   |
| Total Square Footage of Proposed Structure<br><u>7200 SF LIVING SPACE</u>  | Square Footage of Lot<br><u>1.2 ACRES ±</u>   |   |
| Chart#<br><u>222</u>   | Block#<br><u>A</u>  | Lot#<br><u>025</u>                            |
| BROWN DEVELOPMENT CORP.  |   | 767-4473                                      |
| Lessee/Buyer's Name (If Applicable)<br><u>N/A.</u>   | Applicant name, address & telephone:<br><u>TERRY BROWN<br/>P.O. BOX 7022<br/>SCARBOROUGH, ME.</u> | cost Of Work: \$ <u>300,000.00</u><br>Fee: \$ |
| Current use: <u>VACANT LOT</u> <u>04070</u>  |   |   |
| If the location is currently vacant, what was prior use: <u>NONE</u>   |   |   |
| Approximately how long has it been vacant: <u>UNKNOWN</u>  |   |   |
| Proposed use: <u>P.R.U.D. RESIDENTIAL CONDOMINIUMS (BLDG #2)</u><br>Project description: <u>3 UNIT</u>   |   |   |
| Contractor's name, address & telephone: <u>TERRY BROWN BUILDERS INC.<br/>P.O. BOX 7022 SCARBOROUGH, ME. 04070</u>  |   |   |
| Who should we contact when the permit is ready: <u>TERRY BROWN 767-4473</u>  |   |   |
| Mailing address: <u>will p/u.</u>  |   |   |
| We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>767-4473</u> |   |   |

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

|  |                     |
|--|---------------------|
| Signature of applicant:  | Date: <u>4/9/04</u> |
|--|---------------------|

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4<sup>th</sup> floor of City Hall





**CITY OF PORTLAND MAINE**

**389 Congress St., Rm 315**

**Portland, ME 04101**

**Tel - 207-874-8709**

**Fax - 207-874-8716**

**TO: Inspector of Buildings City of Portland, Maine  
Planning & Urban Development  
Division of Housing & Community Services**

**FROM DESIGNER: ~~Gawron Architects~~ \_\_\_\_\_  
29 Black Point Road, Scarborough, Maine 04074**

**DATE: March 18, 2002**

**Job Name: Starbird Condominiums**

**Address of Construction: Starbird Road, Portland, Maine**

**THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION**

Construction project was designed according to the building code criteria listed below

**Building Code and Year 1999 BOCA Use Group Classification(s) R-3**

**Type of Construction 5B Bldg. Height 79'-7" Bldg. Sq. Footage 8,340**

**Seismic Zone AV=0.110 Group Class 1**

**Roof Snow Load Per Sq. Ft. sloped 42 Dead Load Per Sq. Ft. 15psf**

**Basic Wind Speed (mph) 85 psf Effective Velocity Pressure Per Sq. Ft. 18.5 psf**

**Floor Live Load Per Sq. Ft. structure assembly 50 psf**

**Structure has full sprinkler system? Yes X No \_\_\_\_\_ Alarm System? Yes \_\_\_\_\_ No X**

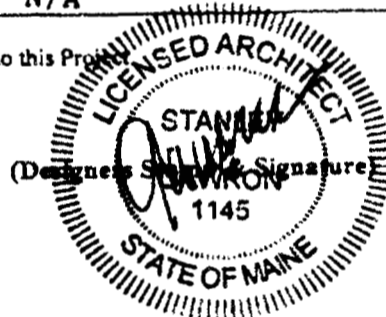
**Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.**

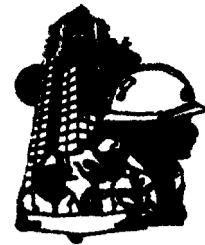
**Is structure king considered unlimited area building: Yes \_\_\_\_\_ No X**

**If mixed use, what subsection of 313 is being considered N/A**

**List Occupant loading for each room or space, designed into this Project**

**PSH 6/07/2K**





CITY OF PORTLAND  
 BUILDING CODE CERTIFICATE  
 389 Congress St., Rm 315  
 Portland, ME 04101

TO: Inspector of Buildings City of Portland, Maine  
 Department of Planning & Urban Development  
 Division of Housing & Community Service

FROM: Gawron Architects

RE: Certificate of Design

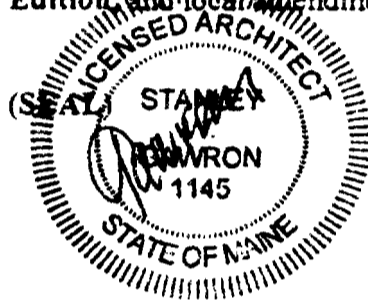
DATE: March 19, 2002

These plans and/or specifications covering construction work on:

Starbird Condominiums

Starbird Road, Portland, Maine

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition, and local amendments.



Signature Stan Gawron

Title Principal

Firm Gawron Architects

Address 29 Black Point Road, Scarborough, Maine

As per Maine State Law:

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.