

~~mm~~
3 of 3 Copy's
09/18/05

Form # P 04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION
PERMIT

Permit Number: 040395

PAID
MAY 14 2004
CITY OF PORTLAND

This is to certify that Brown Development Corp / Terry Brown Builders, Inc.
has permission to PRUD 12 Unit Condominium Building # (3 units)
162-106
AT Starbird Rd CBL 224 A025001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lashed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS
[Signature]

Department Name

[Signature]
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0395	Issue Date: MAY 14 2004	CBL: 224 A025001
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Location of Construction: 102-106 87 Starbird Rd	Owner Name: Brown Development Corp	Owner Address: Po Box 7022	Phone: 207-767-4473
Business Name: n/a	Contractor Name: Terry Brown Builders, Inc.	Contractor Address: CITY OF PORTLAND PO Box 7022 Scarborough	Phone: 2077674473
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Multi Family	Zone: C24

Past Use: Vacant	Proposed Use: PRUD 12 Unit Condominium / Building # 2 (3 units)	Permit Fee: \$2,946.00	Cost of Work: \$300,000.00	CEO District: 3	R-3 PRUD
Proposed Project Description: PRUD 12 Unit Condominium / Building #2 (3 units).		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: SB BOLA 1999		
		Signature: <i>Wm</i>		Signature: <i>[Signature]</i>	

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Signature:	Date:

Permit Taken By: gg	Date Applied For: 04/09/2004	Zoning Approval	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>NA</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>panel 12 zone X</i> <input checked="" type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2001-0295</i> Maj <input checked="" type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>ok with conditions</i> Date: <i>4/23/04</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

6/16/04. Checked Footings RT side only
for BLDG #2 (left side - no forms in yet) - checked Siller
Clear + Front OK. Between Bldgs OK - OK to
proceed. Tom M

6/23/2004 - Checked Foundation walls & re many
footings for BLDG #2. no problems seen
OK to Backfill. Tom M

10/20/04 - Final on Building #1 unit 2 -
OK for CO. M

3/10/05 - Close-in w/ Mike Collins on BLD #2 unit #5 -
all Framing OK - egress OK - electrical/plumbing
OK - Fire stopping OK - no problems seen OK
to close-in. Jan M.

4/6/05 - Close in w/ Mike Collins on unit #6. all Framing
egress OK - electric/plumbing OK - Fire stopping OK - no
problems seen OK to close in all walls. Jan M

09/17/05 #104 okay
For 90

~~MM~~

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

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Business Name: n/a	Contractor Name: Terry Brown Builders, Inc.	Contractor Address: PO Box 7022 Scarborough	Phone: (207) 767-4473
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Multi Family	

Proposed Use: PRUD 12 Unit Condominium / Building # 2 (3 units)	Proposed Project Description: PRUD 12 Unit Condominium / Building #2 (3 units).
--	--

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 04/23/2004
Note: 12 units total on property - this building is bldg # 2 - 3 D.U. Condos **Ok to Issue:**

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 2) This building #2 shall remain a three family dwelling condominium. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Pending **Reviewer:** ~~Mike Nugent~~ *T. Wilson* **Approval Date:** _____
Note: _____ **Ok to Issue:**

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Lt. MacDougal **Approval Date:** 04/26/2004
Note: _____ **Ok to Issue:**

- 1) THE SPRINKLER SYSTEM SHALL BE TESTED IN ACCORDANCE WITH NFPA 13 R AND THE RESULTS SUBMITTED TO THE PORTLAND FIRE DEPARTMENT
- 2) THE SPRINKLER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 13 R

Comments:
4/30/04-tmm: Need stair details, attic access info(third floor areas), hvac equip in third floor (weight calculations showing floor system is adequate to carry), smoke det locations, clearance in chase, fire blocking in rated walls, structural support of tenant seperating wall

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0395	Date Applied For: 04/09/2004	CBL: 224 A025001
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Dept: Building	Status: Pending	Reviewer:	Approval Date:
Note:			Ok to Issue: <input type="checkbox"/>

04 0395

BLDG. 2.


All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

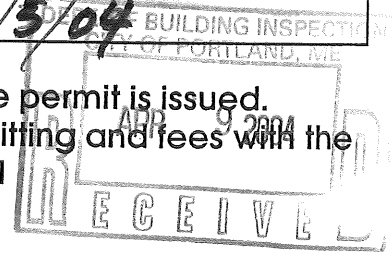
Location/Address of Construction: <u>STARBIRD RD. EXT. PORTLAND, ME.</u>		
Total Square Footage of Proposed Structure <u>7200 SF LIVING SPACE</u>	Square Footage of Lot <u>1.2 ACRES ±</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>004</u> Block# <u>A</u> Lot# <u>005</u>	Owner: <u>BROWN DEVELOPMENT CORP.</u>	Telephone: <u>767-4473</u>
Lessee/Buyer's Name (If Applicable) <u>N/A.</u>	Applicant name, address & telephone: <u>TERRY BROWN P.O. BOX 7022 SCARBOROUGH, ME.</u>	Cost Of Work: \$ <u>300,000.00</u> Fee: \$
Current use: <u>VACANT LOT</u> <u>04070</u>		
If the location is currently vacant, what was prior use: <u>NONE</u>		
Approximately how long has it been vacant: <u>UNKNOWN</u>		
Proposed use: <u>P.R.U.D. RESIDENTIAL CONDOMINIUMS (BLDG #2)</u> Project description: <u>3 UNIT</u>		
Contractor's name, address & telephone: <u>TERRY BROWN BUILDERS INC. P.O. BOX 7022 SCARBOROUGH, ME. 04070</u>		
Who should we contact when the permit is ready: <u>TERRY BROWN 767-4473</u>		
Mailing address: <u>will p/u.</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>767-4473</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>4/5/04</u>
---	---------------------

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



Applicant: Brown Development

Date: 4/23/04

Address: #102-1065 Starbuck Rd

C-B-L: 224-A-025

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New Development

04-0395

Zone Location - C-24 Contract Zone - ^{using} R-3PRUD

Interior or corner lot -

Proposed Use/Work - construct Bldg #2 (3 D.U.)
→ condos

Sewage Disposal - City

Lot Street Frontage - 50' min 400' total approx shown

Front Yard - allowed up to property line (Contract Zone)

Rear Yard - 25' min - 25' shown to edge of Patios

Side Yard - 20' between Bldgs shown

Projections - ~~25' shown to side projection and bldg~~
rear patios - attached 2 car garages

Width of Lot - 75' min ~ 400' shown

Height - 35' MAX - 24' scaled

Lot Area -

Lot Coverage/Impervious Surface - ok under contract zone

Area per Family -

Off-street Parking - ok under contract zone - ^{attached 2 car garages} 3 spaces allowed
across the street -

Loading Bays - N/A

Site Plan - Major # 2001-0295

Shoreland Zoning/Stream Protection - outside of shoreland

Flood Plains - Panel 12 - Zone X

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2001-0295

Application I. D. Number

10/24/01

Application Date

Starbird Road Condominiums

Project Name/Description

Brown Development Corporation

Applicant

PO Box 7022, Scarborough, ME 04070

Applicant's Mailing Address

Sebago Technics Inc.

Consultant/Agent

Agent Ph: (207)856-0277

Agent Fax: (207) 856-2206

Applicant or Agent Daytime Telephone, Fax

Starbird Road, Portland, Maine

Address of Proposed Site

224 A025001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

12 Condominiums

1.40

contract zone

Proposed Building square Feet or # of Units

Acres of Site

Zoning

Check Review Required:

- | | | | |
|---|--|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan **\$500.00** Subdivision _____ Engineer Review **\$5,466.00** Date: **3/14/02**

Zoning Approval Status:

Reviewer _____

- Approved Approved w/Conditions See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	3/14/02 date	\$273,300.00 amount	11/15/03 expiration date
<input type="checkbox"/> Inspection Fee Paid	_____ date	_____ amount	
<input type="checkbox"/> Building Permit Issued	_____ date		
<input checked="" type="checkbox"/> Performance Guarantee Reduced	10/31/02 date	\$42,396.00 remaining balance	see comments signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date
<input type="checkbox"/> Final Inspection	_____ date	_____ signature	
<input type="checkbox"/> Certificate Of Occupancy	_____ date		
<input type="checkbox"/> Performance Guarantee Released	_____ date	_____ signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date	_____ amount	_____ expiration date

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Planning Copy**

2001-0295
Application I. D. Number

10/24/2001
Application Date

Brown Development Corporation
Applicant
PO Box 7022, Scarborough, ME 04070
Applicant's Mailing Address
Sebago Technics Inc.
Consultant/Agent
Agent Ph: (207)856-0277 Agent Fax: (207) 856-2206
Applicant or Agent Daytime Telephone, Fax

Starbird Road Condominiums
Project Name/Description
Starbird Road, Portland, Maine
Address of Proposed Site
224 A025001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

12 Condominiums **1.40** **contract zone**
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
- Flood Hazard Shoreland Historic Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Pla **\$500.00** Subdivision _____ Engineer Review **\$5,466.00** Date **3/14/2002**

Planning Approval Status:

Reviewer **Kandi Talbot**

Approved **Approved w/Conditions** Denied
See Attached

Approval Date **1/8/2002** Approval Expiration **1/8/2003** Extension to _____

OK to Issue Building Permit **Kandi Talbot** **3/15/2002** Additional Sheets Attached
signature date

Performance Guarantee **Required*** Not Required

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<input checked="" type="checkbox"/> Performance Guarantee Accepted	<u>3/14/2002</u> date	<u>\$273,300.00</u> amount	<u>11/15/2003</u> expiration date
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CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM

2001-0295

Application I. D. Number

10/24/2001

Application Date

Starbird Road Condominiums

Project Name/Description

Brown Development Corporation

Applicant

PO Box 7022, Scarborough, ME 04070

Applicant's Mailing Address

Sebago Technics Inc.

Consultant/Agent

Agent Ph: (207) 856-0277

Agent Fax: 2078562206

Applicant or Agent Daytime Telephone, Fax

Starbird Road, Portland, Maine

Address of Proposed Site

224 A025001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of Planning

1 Subdivision

i. that a note be added to the subdivision plat which states that "parking will be allowed on the westerly side of Starbird Road Extension only" and that the applicant shall install "no parking" signs on the easterly side of Starbird Road Extension.

2 ii. that the applicant provide a pedestrian path/footbridge, plans of which must be reviewed and approved by the Planning Department, to allow the public to get from the public parking area to the existing trail, which runs through the property being conveyed to the City.

3 iii. that the condominium documents be revised to include a covenant which will prohibit garage parking spaces to be converted to living space or otherwise eliminated and that Corporation Counsel review and approved the condominium documents prior to issuance of a building permit.

4 iv. that the applicant submit a stormwater maintenance agreement for review and approval by staff prior to issuance of a building permit.

5 v. that the applicant provide to the City an executed easement for public access on, over and across its property and for public parking as designated on the approved site plan.

Approval Conditions of DRC

1 i. See Planning's conditions

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2001-0295
Application I. D. Number

10/24/2001
Application Date

Starbird Road Condominiums
Project Name/Description

Brown Development Corporation
Applicant

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Applicant's Mailing Address

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Consultant/Agent

Agent Ph: (207)856-0277 Agent Fax: (207) 856-2206
Applicant or Agent Daytime Telephone, Fax

Starbird Road, Portland, Maine
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12 Condominiums 1.40 contract zone
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Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Pla \$500.00 Subdivision _____ Engineer Review \$5,466.00 Date 3/14/2002

DRC Approval Status:

Reviewer Chris Earle/Steve Bushey

- | | | |
|--|---|---|
| <input type="checkbox"/> Approved | <input checked="" type="checkbox"/> Approved w/Conditions
See Attached | <input type="checkbox"/> Denied |
| Approval Date <u>1/8/2002</u> | Approval Expiration <u>1/8/2003</u> | Extension to _____ |
| <input checked="" type="checkbox"/> Condition Compliance | <u>Kandi Talbot</u>
signature | <u>3/15/2002</u>
date |
| | | <input checked="" type="checkbox"/> Additional Sheets
Attached |

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CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM

2001-0295

Application I. D. Number

10/24/2001

Application Date

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Brown Development Corporation

Applicant

PO Box 7022, Scarborough, ME 04070

Applicant's Mailing Address

Sebago Technics Inc.

Consultant/Agent

Agent Ph: (207) 856-0277

Agent Fax: 2078562206

Applicant or Agent Daytime Telephone, Fax

Starbird Road, Portland, Maine

Address of Proposed Site

224 A025001

Assessor's Reference: Chart-Block-Lot

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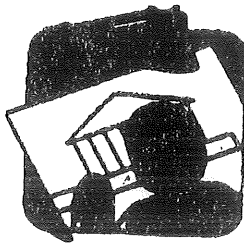
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Approval Conditions of DRC

1 i. See Planning's conditions



CITY OF PORTLAND MAINE

389 Congress St., Rm 315

Portland, ME 04101

Tel - 207-874-8700

Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine
Planning & Urban Development
Division of Housing & Community Services

FROM DESIGNER: Gawron Architects
29 Black Point Road, Scarborough, Maine 04074

DATE: March 18, 2002

Job Name: Starbird Condominiums

Address of Construction: Starbird Road, Portland, Maine

THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION

Construction project was designed according to the building code criteria listed below:

Building Code and Year 1999 BOCA Use Group Classification(s) R-3

Type of Construction 5B Bldg. Height 29' - 2" Bldg. Sq. Footage 8,340

Seismic Zone AV=0.110 Group Class 1

Roof Snow Load Per Sq. Ft. sloped 42 Dead Load Per Sq. Ft. 15psf

Basic Wind Speed (mph) 85 psf Effective Velocity Pressure Per Sq. Ft. 18.5 psf

Floor Live Load Per Sq. Ft. structure assembly 50 psf

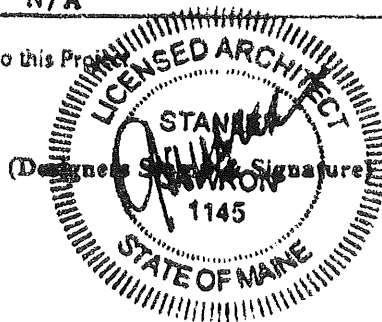
Structure has full sprinkler system? Yes X No Alarm System? Yes No X
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

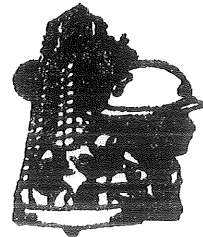
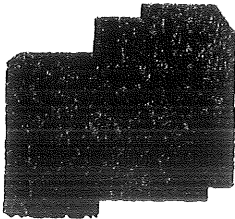
Is structure being considered unlimited area building: Yes No X

If mixed use, what subsection of 315 is being considered N/A

List Occupant loading for each room or space, designed into this Project

PSH 6/07/2K





**CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Rm 315
Portland, ME 04101**

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: Gawron Architects

RE: Certificate of Design

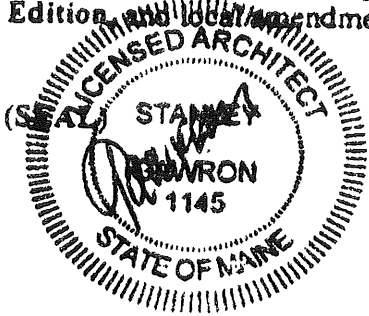
DATE: March 19, 2002

These plans and/or specifications covering construction work on:

Starbird Condominiums

Starbird Road, Portland, Maine

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition and local amendments.



Signature Stan Gawron

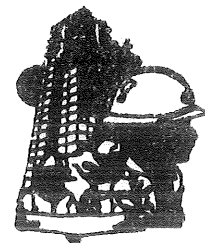
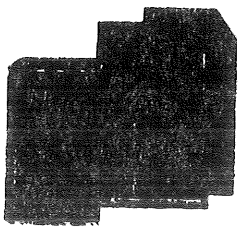
Title Principal

Firm Gawron Architects

Address 29 Black Point Road, Scarborough, Maine

As per Maine State Law:

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.



**CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Rm 315
Portland, ME 04101**

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: Gawron Architects

RE: Certificate of Design

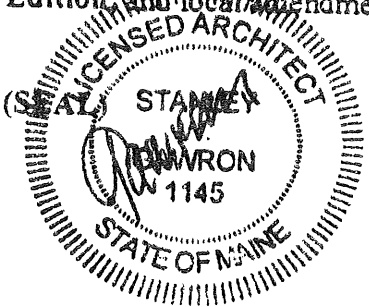
DATE: March 19, 2002

These plans and/or specifications covering construction work on:

Starbird Condominiums

Starbird Road, Portland, Maine

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the **BOCA National Building Code/1999 Fourteenth Edition** and local amendments.



Signature Stan Gawron

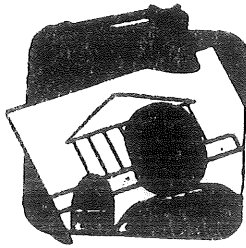
Title Principal

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Address 29 Black Point Road, Scarborough, Maine

As per Maine State Law:

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.



CITY OF PORTLAND MAINE

389 Congress St., Rm 315

Portland, ME 04101

Tel. - 207-874-8700

Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine
Planning & Urban Development
Division of Housing & Community Services

FROM DESIGNER: Gawron Architects

29 Black Point Road, Scarborough, Maine 04074

DATE: March 18, 2002

Job Name: Starbird Condominiums

Address of Construction: Starbird Road, Portland, Maine

THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION

Construction project was designed according to the building code criteria listed below:

Building Code and Year 1999 BOCA Use Group Classification(s) R-3

Type of Construction 5B Bldg. Height 29'-2" Bldg. Sq. Footage 8,340

Seismic Zone AV=0.110 Group Class 1

Roof Snow Load Per Sq. Ft. sloped 42 Dead Load Per Sq. Ft. 15psf

Basic Wind Speed (mph) 85 psf Effective Velocity Pressure Per Sq. Ft. 18.5 psf

Floor Live Load Per Sq. Ft. structure assembly 50 psf

Structure has full sprinkler system? Yes X No _____ Alarm System? Yes _____ No X

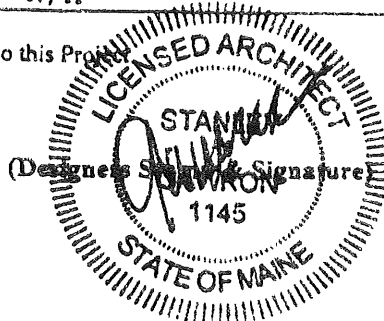
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

Is structure being considered unlimited area building: Yes ___ No X

If mixed use, what subsection of 313 is being considered N/A

List Occupant loading for each room or space, designed into this Project

PSH 6/07/2K





Fax

To: Terry Brown **From:** Tammy Munson

Fax: (207)767-1306 **Pages:** 1

Phone: (207)831-1776 **Date:** 04/30/04

Re: Starbird Road **CC:**

Urgent **For Review** **Please Comment** **Please Reply** **Please Recycle**

The following is a list of the items we need addressed on the submitted permits for Starbird Road:

1. ✓ **Stair details (tread, rise, headroom, etc.)**
2. ✓ **Attic access (two areas of the third floor) -please show size and location.**
3. **Weight calculations showing the third floor framing is adequate to support the HVAC equipment.**
4. **Smoke detector locations. - Check drawing -**
5. **Clearance in chase and use. -**
6. **Fire blocking in tenant separation wall and structural support.**
- 7.

Not installing -

*A 300 -
Double Rim -*

**Need smoke on third floor*

From: <drichards@gawronturgeon.com>
To: Portland.CityHall(TMM)
Date: Wed, May 12, 2004 12:30 PM
Subject: Starbird Condominiums

Good Morning Terry,

Per our conversation this morning we are e-mailing you 6 PDF files which address the concerns posed by your review of the building permit application of the subject project.

If you have any questions or if we can be of further assistance please do not hesitate to contact me at our office.

Thank you.

Best regards,

David M. Richards

Gawron Turgeon Architects

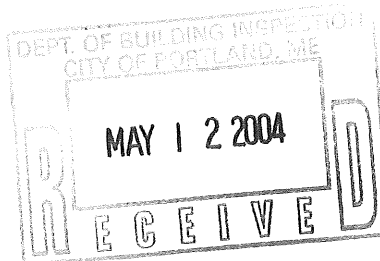
29 Black Point Road

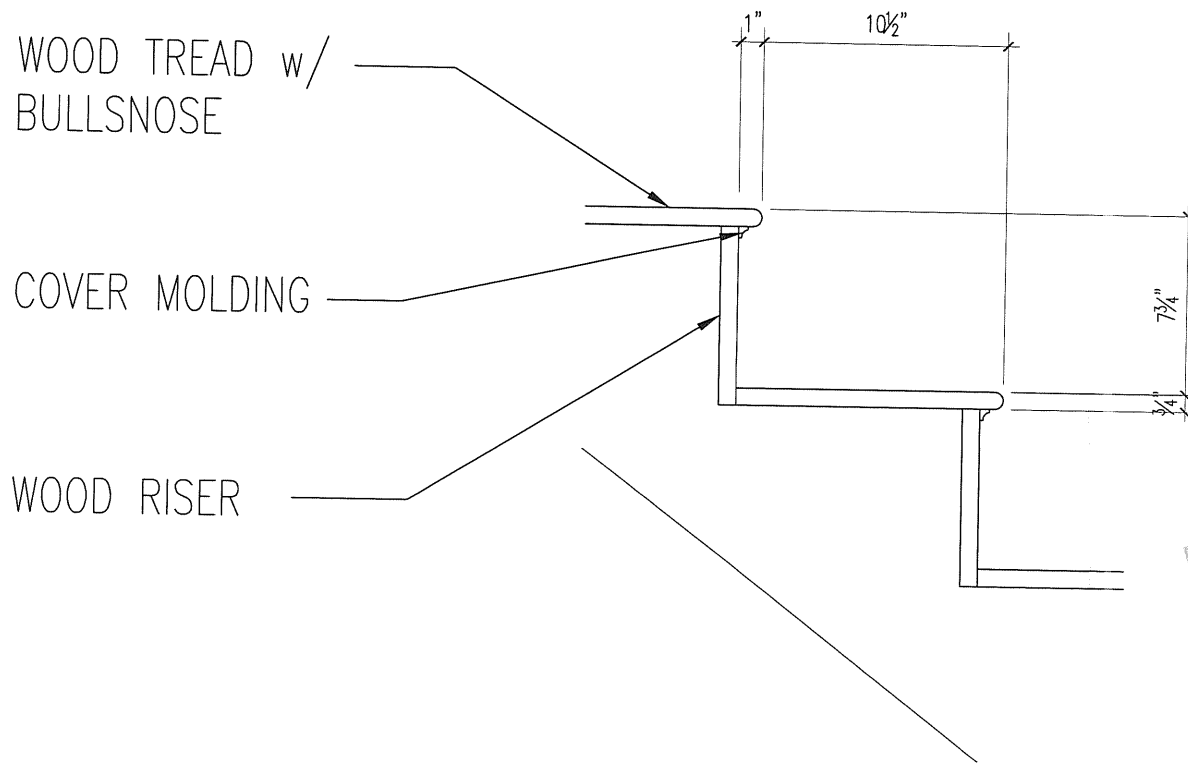
Scarborough, ME 04074

p 207-883-6307

Starbird Condominiums
 Permit review comments

Concern	Response
1. Stair details	Refer to the PDFs included with this submission in Stair Detail & Stair Clearance
2. Attic Access	Refer to the PDF included with this submission in 3 ^d Floor
3. Weight calculations showing the third floor framing is adequate to support the HVAC equipment.	No air central conditioning is scheduled for this building at this time. If at another date a central air conditioning unit is added to the third floor, structural data shall be provided to confirm design requirements.
4. Smoke detectors	Refer to the PDFs included with this submission in 1 st Floor Plan, 2nd Floor Plan, and 3 rd Floor Plan
5. Clearance in chase and use	Within the chase will be the flue for the boiler. A zero clearance flue shall be used
6. Fire Blocking	The contractor shall provide fire blocking at each floor level as required by the building code.

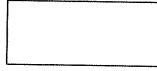




STAIR DETAIL

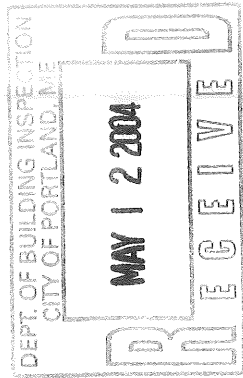
NOT TO SCALE

STAIR



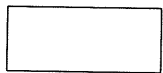
W2

*Rec'd
5/12/04*



C3

STAIR

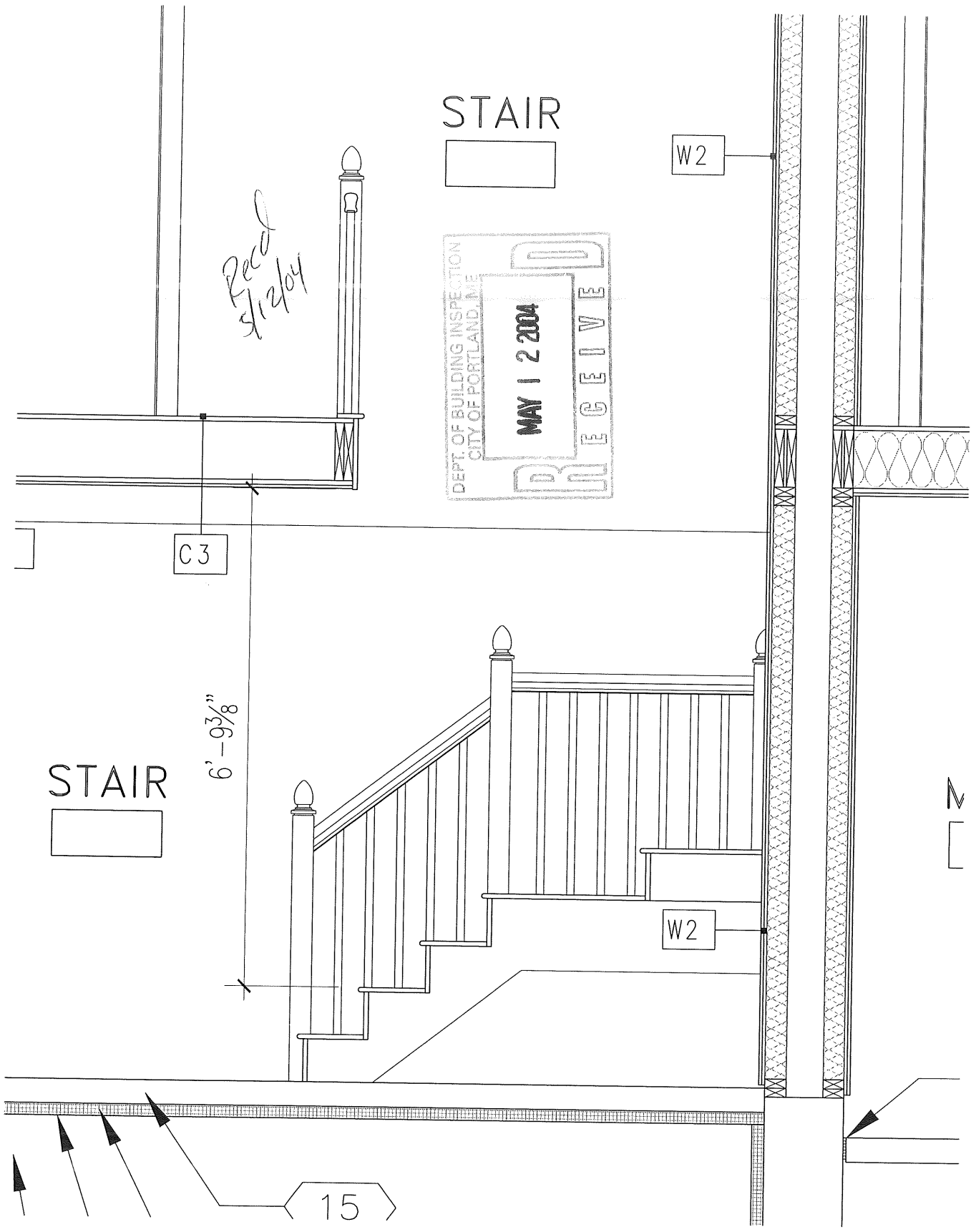


6'-9 3/8"

W2

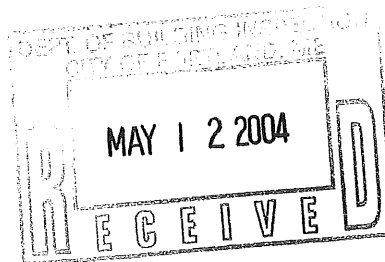


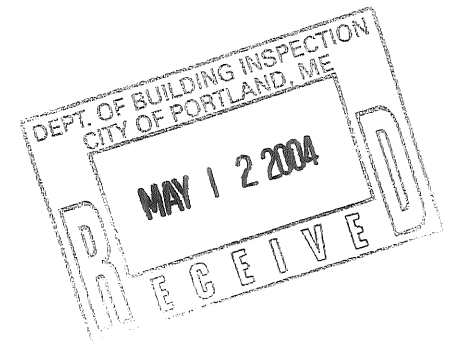
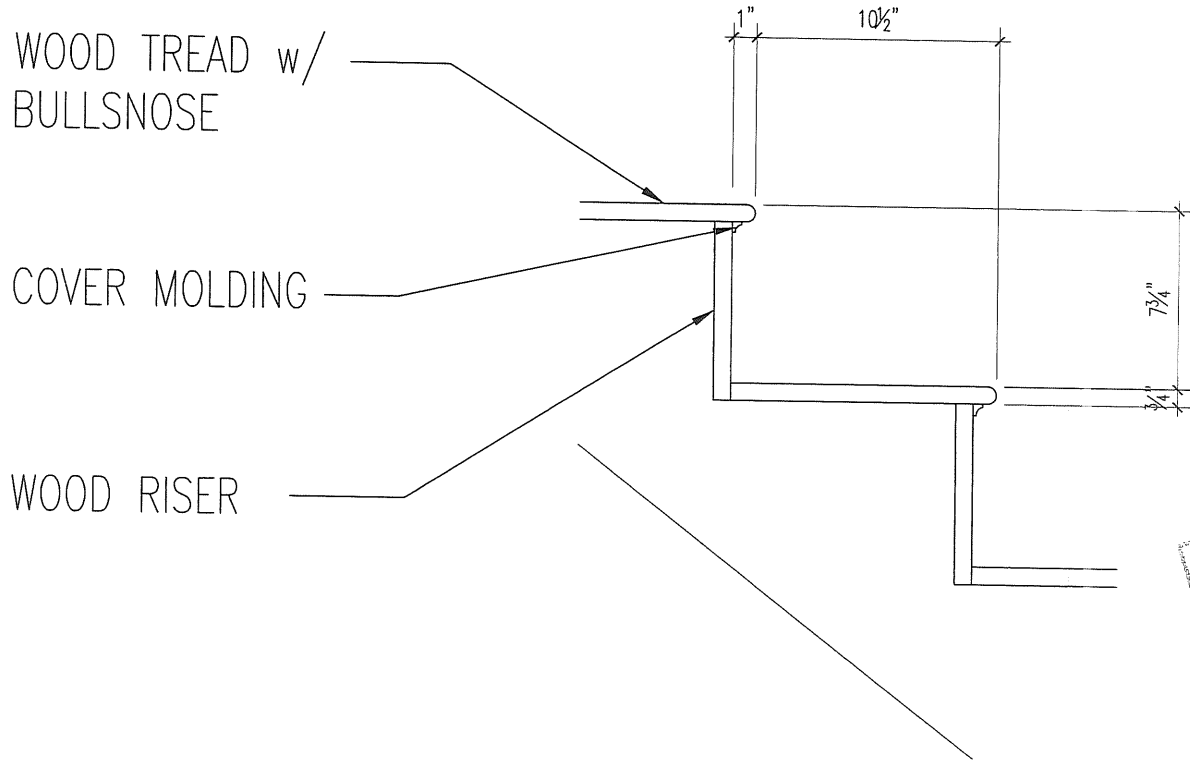
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Starbird Condominiums
 Permit review comments

Concern	Response
1. Stair details	Refer to the PDFs included with this submission on Stair Detail & Stair Clearance
2. Attic Access	Refer to the PDF included with this submission on 3 ^d Floor
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STAIR DETAIL

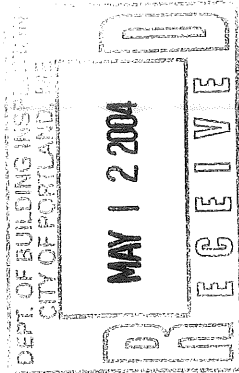
NOT TO SCALE

STAIR



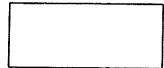
W2

*Rec'd
5/12/04*



C3

STAIR

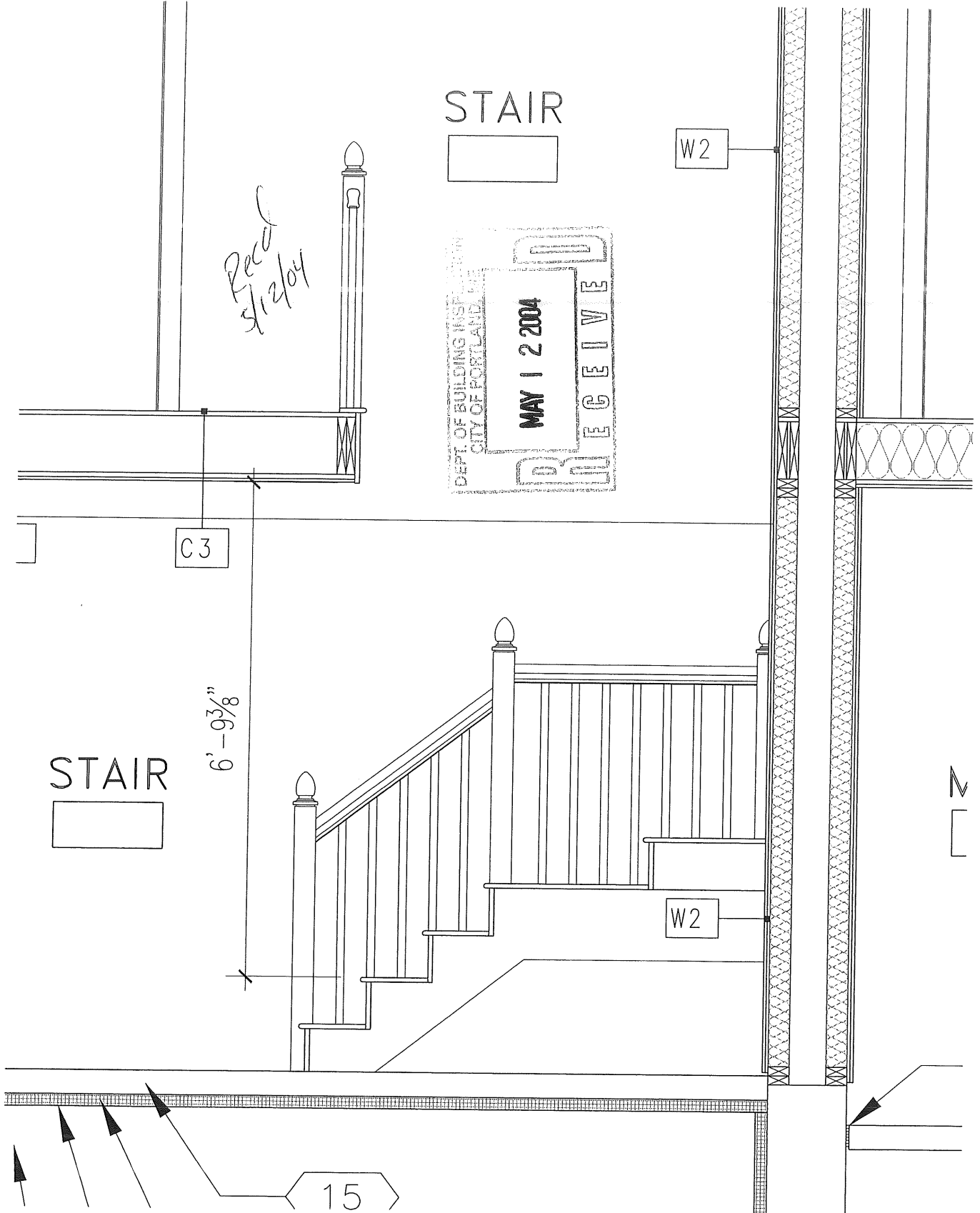


6' - 9 3/8"

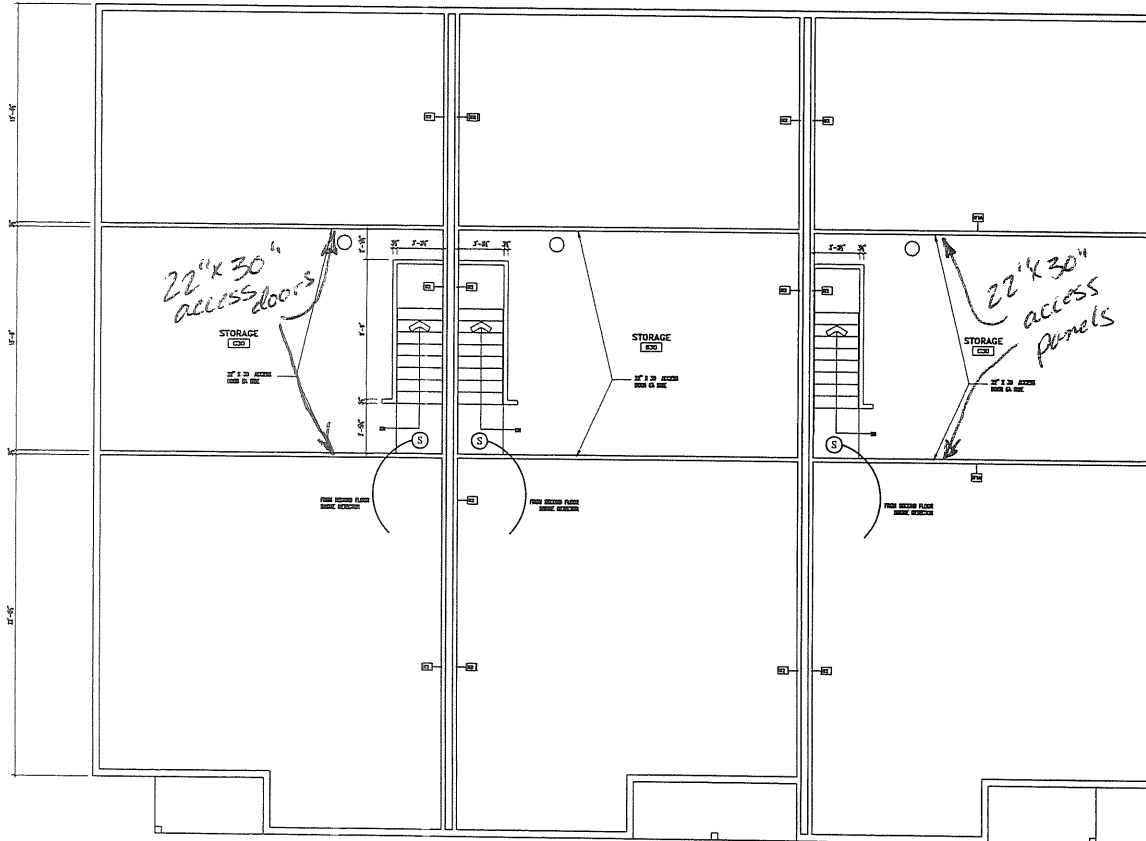
W2



15



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DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

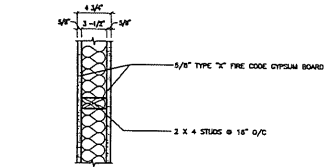


1 THIRD FLOOR PLAN
A-102 SCALE: 1/4" = 1'-0"

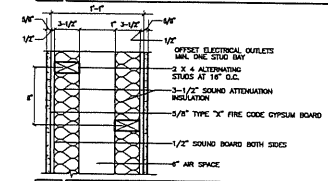
FLOOR PLAN
LEGEND

- (1) STEEL BALLARD - 6" CONCRETE FILL STEEL COLUMN, CONCRETE DOME TOP @ 3'-0" A.F.F. BOTTOM @ 2'-6" A.F.F. SET IN 18" DIAMETER CONCRETE FOOTING @
- (2) STEEL FUEL OIL TANK - FILL PIPE IN WALL BETWEEN UNITS - PAINTED
- (3) 1/2" x 1/2" WOOD PARTED SHELVES w/ 1" WOOD NOSING w/ 4 ADJUSTABLE SHELF SUPPORTS - (3) SHELVES PER CLOSET
- (4) CLOTHES ROD AND SHELF
- (5) WOOD KIST - PROVIDE SOLID CONTINUOUS BEARING DOWN THROUGH TO TOP OF FOUNDATION - REFER TO STRUCTURAL DRAWINGS
- (6) KITCHEN CABINETS - LAYOUT BY KITCHEN CABINET SUPPLIER - CONTRACTOR SHALL INSTALL AND COORDINATE WITH ALL TRADES AND SERVICES
- (7) BOILER - FUEL OIL FIRED
- (8) ALL BATHROOM CABINERY AND LAYOUT BY CABINET SUPPLIER - CONTRACTOR SHALL INSTALL AND COORDINATE WITH ALL TRADES AND SERVICE
- (9) ROOF WINDOW (ABOVE)
- (10) PRE-FABRICATED GAS FIREPLACE DETAILS PER SHOP DRAWINGS
- (11) PATIO - CMU, PATIO BRICK w/ 4" COMPACTED SAND w/ 8" COMPACTED GRANULAR FILL w/ UNDISTURBED PATHOR ENGINEERED FILL w/ STEEL EDGING - SLOPE AWAY FROM BUILDING 1/4" PER FOOT
- (12) SOFFIT - 6" DEEP GWB w/ 3 1/2" WOOD FRAMING - ACROSS STAIR & TV DEN
- (13) STEEL FLUE SYSTEM - COORDINATE SIZE, LOCATION, AND CLEARANCES AS DESCRIBED BY CODE WITH ALL TRADES
- (H) FIRE ALARM - HEAT ALARM - 120V w/ BATTERY BACK-UP
- (S) FIRE ALARM - SMOKE ALARM - 120V w/ BATTERY BACK-UP

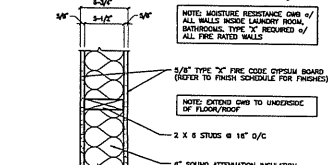
WALL TYPES & CEILING ASSEMBLIES



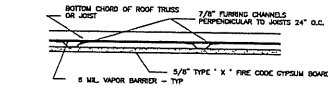
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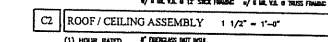
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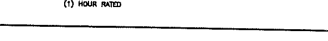
W3	WALLTYPE (1) HR. RATED	1 1/2" - 1'-0"
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C1	ROOF / CEILING ASSEMBLY	1 1/2" - 1'-0"
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C2	ROOF / CEILING ASSEMBLY	1 1/2" - 1'-0"
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C3	ROOF / CEILING ASSEMBLY	1 1/2" - 1'-0"
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GAWRON ARCHITECTS
29 Black Point Road
Scarborough, ME 04074
www.gawron.com
Tel. 207. 883. 6307
Fax. 207. 883. 0361

STARBIRD ROAD CONDOMINIUMS
BROWN DEVELOPMENT CORPORATION
PORTLAND, MAINE

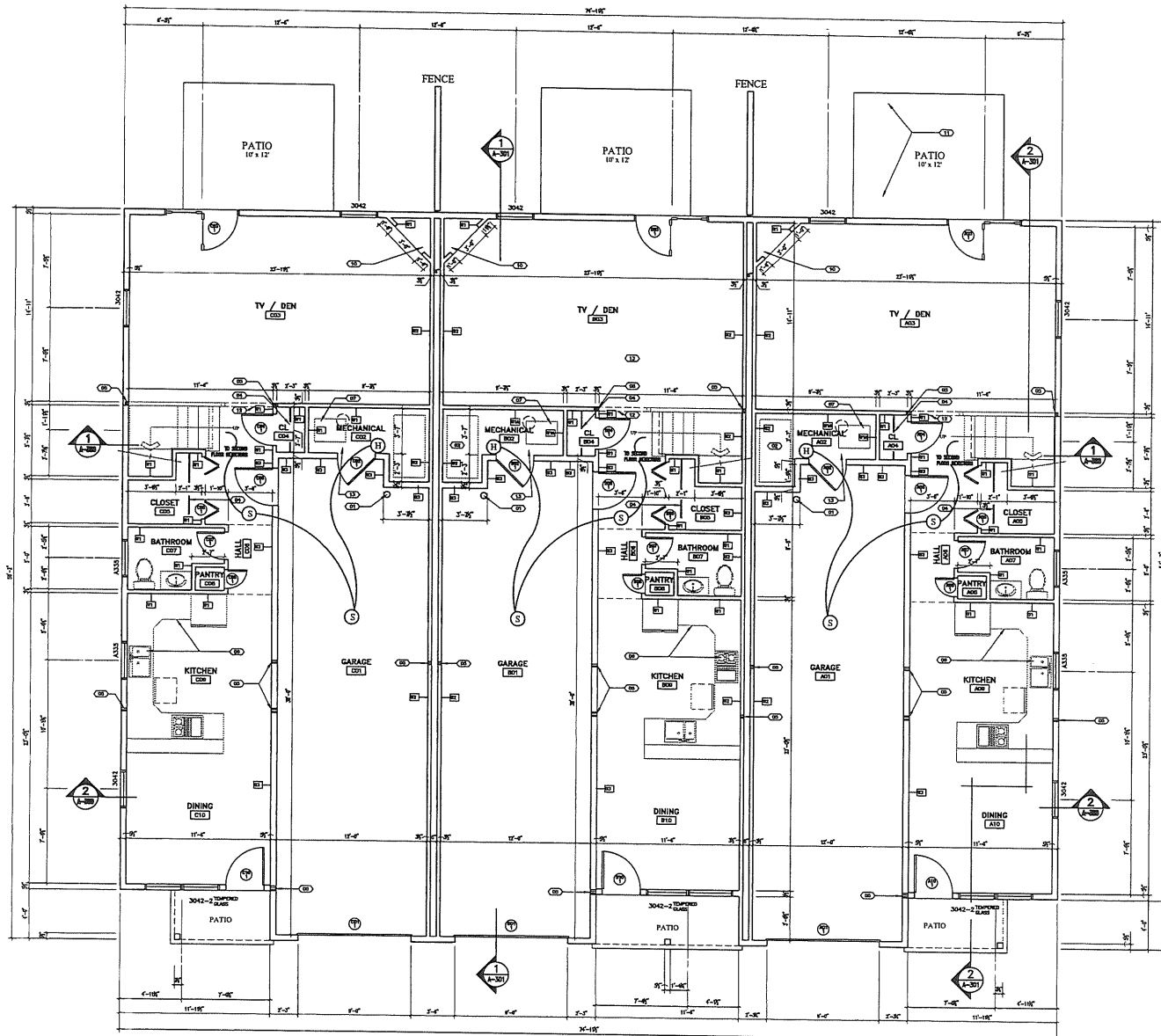
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NO.	DESCRIPTION
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	ISSUED BY: DML
	CHECKED BY: BO
	DATE: 05/04/04

DATE:	05/04/04
PRODUCT #:	03151
DRAWN BY:	DML
CHECKED BY:	BO
DRAWING SCALE:	AS NOTED

SHEET TITLE
THIRD FLOOR PLAN

A-102

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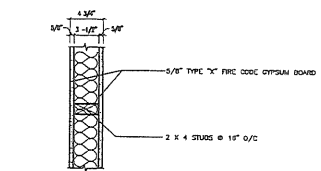


1 FIRST FLOOR PLAN
A-100 SCALE: 1/4" = 1'-0"

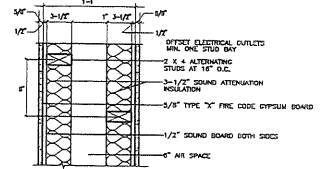
FLOOR PLAN LEGEND

- (A) STEEL BALLAST - 4" CONCRETE FILL STEEL COLUMN; CONCRETE DOME TOP @ 3/4" A.F.F. BOTTOM @ -2'-0" A.F.F. SET IN 18" DIAMETER CONCRETE FOOTING
- (B) STEEL FUEL OIL TANK - FILL PIPE IN WALL BETWEEN UNITS - PAINTED
- (C) 1/2" PLYWOOD PAINTED SHELVES w/ 1" WOOD NOSING w/ 4 ADJUSTABLE SHELF SUPPORTS - (3) SHELVES PER CLOSET
- (D) CLOTHES ROD AND SHELF
- (E) WOOD POST - PROVIDE SOLID CONTINUOUS BEARING DOWN THROUGH TO TOP OF FOUNDATION - REFER TO STRUCTURAL DRAWINGS
- (F) KITCHEN CABINETS - LAYOUT BY KITCHEN CABINET SUPPLIER - CONTRACTOR SHALL INSTALL AND COORDINATE WITH ALL TRADES AND SERVICES
- (G) BOILER - FUEL OIL FIRED
- (H) ALL BATHROOM CABINETRY AND LAYOUT BY CABINET SUPPLIER - CONTRACTOR SHALL INSTALL AND COORDINATE WITH ALL TRADES AND SERVICE
- (I) ROOF WINDOW (ABOVE)
- (J) PRE-FABRICATED GAS FIREPLACE DETAILS PER SHOP DRAWINGS
- (K) PATIO - C.M.U. PATIO BRICK w/ 4" COMPACTED SAND w/ 8" COMPACTED GRANULAR FILL w/ UNDERDRAIN EARTHQUAKE ENGINEERED FILL w/ STEEL EDGING - SLOPE AWAY FROM BUILDING 1/4" PER FOOT
- (L) SOFFIT - 6" DEEP GWB w/ 3/4" WOOD FRAMING - ACROSS STAIR & TV / DEN
- (M) STEEL FLOOR SYSTEM - COORDINATE SIZE, LOCATION, AND CLEARANCES AS REQUIRED BY CODE WITH ALL TRADES
- (N) FIRE ALARM - HEAT ALARM - 120V w/ BATTERY BACK-UP
- (S) FIRE ALARM - SMOKE ALARM - 120V w/ BATTERY BACK-UP

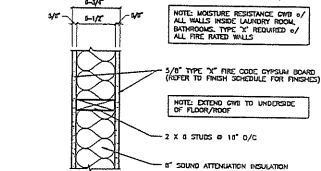
WALL TYPES & CEILING ASSEMBLIES



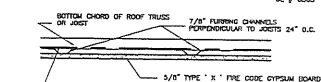
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W1A	WALL TYPE (1) HR. RATED	1 1/2" - 1'-0"



W2	WALL TYPE (1) HR. RATED	1 1/2" - 1'-0" UL # U300 SMI
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W3	WALL TYPE (1) HR. RATED	1 1/2" - 1'-0" UL # U300 SMI
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C1	ROOF / CEILING ASSEMBLY	1 1/2" - 1'-0" (1) HOUR RATED
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C2	ROOF / CEILING ASSEMBLY	1 1/2" - 1'-0" (1) HOUR RATED
----	-------------------------	----------------------------------

C3	ROOF / CEILING ASSEMBLY	1 1/2" - 1'-0" (1) HOUR RATED
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GAWRON ARCHITECTS
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Scarborough, ME 04074
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Tel. 207. 883. 6307
Fax. 207. 883. 0361

STARBIRD ROAD CONDOMINIUMS
BROWN DEVELOPMENT CORPORATION
PORTLAND, MAINE

REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR CONSTRUCTION
2	02/24/02
3	07/24/02
4	07/24/02

DATE:	07/24/02
PROJECT #:	031191
DRAWN BY:	DMZ
CHECKED BY:	SG
DRAWING SCALE:	AS NOTED

SHEET TITLE
FIRST FLOOR PLAN

A-100

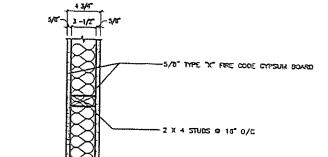
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UNIVERSITY OF MAINE
SCHOOL OF ARCHITECTURE & PLANNING

MAY 12 2004

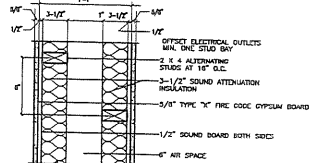
**FLOOR PLAN
LEGEND**

- (C1) STEEL BALLARD - 6" CONCRETE FILL STEEL COLLUMS, CONCRETE DOME TOP @ 3'-0" A.F.F. BOTTOM @ 2'-6" A.F.F. SET IN 12" DIAMETER CONCRETE FOOTING
- (C2) STEEL FUEL OIL TANK - FILL PIPE IN WALL BETWEEN UNITS - PAINTED
- (C3) 1/2" PLYWOOD PAINTED SHELVES w/ 1" WOOD NOSING @ 4" ADJUSTABLE SHELF SUPPORTS - (5) SHELVES PER CLOSET
- (C4) CLOTHES ROD AND SHELF
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- (C9) ROOF WINDOW (ABOVE)
- (C10) PRE-FABRICATED GAS FIREPLACE DETAILS PER SHOP DRAWINGS
- (C11) PATIO - CALL PATIO BRICK @ 4" COMPACTED SAND @ 4" UNCOMPACTED GRANULAR FILL @ UNDISTURBED EARTH ENGINEERED FILL @ STEEL EDGEO - SLOPE AWAY FROM BUILDING 1/4" PER FOOT
- (C12) SOFFIT - 6" DEEP GWB @ 3/4" WOOD FRAMING - ACROSS STAIR & TV DEN
- (C13) STEEL FLUE SYSTEM - COORDINATE SIZE, LOCATION, AND CLEARANCES AS REQUIRED BY CODE WITH ALL TRADES
- (H) FIRE ALARM - HEAT ALARM - 120V w/ BATTERY BACK-UP
- (S) FIRE ALARM - SMOKE ALARM - 120V w/ BATTERY BACK-UP

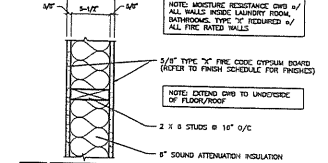
WALL TYPES & CEILING ASSEMBLIES



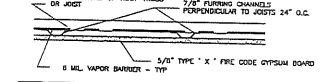
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W1A	WALL TYPE (1) HR. RATE	1 1/2" - 1'-0"



W2	WALL TYPE (1) HR. RATED	1 1/2" - 1'-0"
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W3	WALLTYPE (1) HR. RATED	1 1/2" - 1'-0"
----	------------------------	----------------



- (C1) ROOF / CEILING ASSEMBLY 1 1/2" - 1'-0"
(1) HOUR RATED IF INSULATED W/ CELL 1/2" MIN. W/ 1/2" STEEL FRAMING IF INSULATED W/ CELL 1/2" MIN. W/ 1/2" STEEL FRAMING
- (C2) ROOF / CEILING ASSEMBLY 1 1/2" - 1'-0"
(1) HOUR RATED IF INSULATED W/ CELL 1/2" MIN. W/ 1/2" STEEL FRAMING
- (C3) ROOF / CEILING ASSEMBLY 1 1/2" - 1'-0"
(1) HOUR RATED



STARBUCK ROAD CONDOMINIUMS
 BROWN DEVELOPMENT CORPORATION
 PORTLAND, MAINE

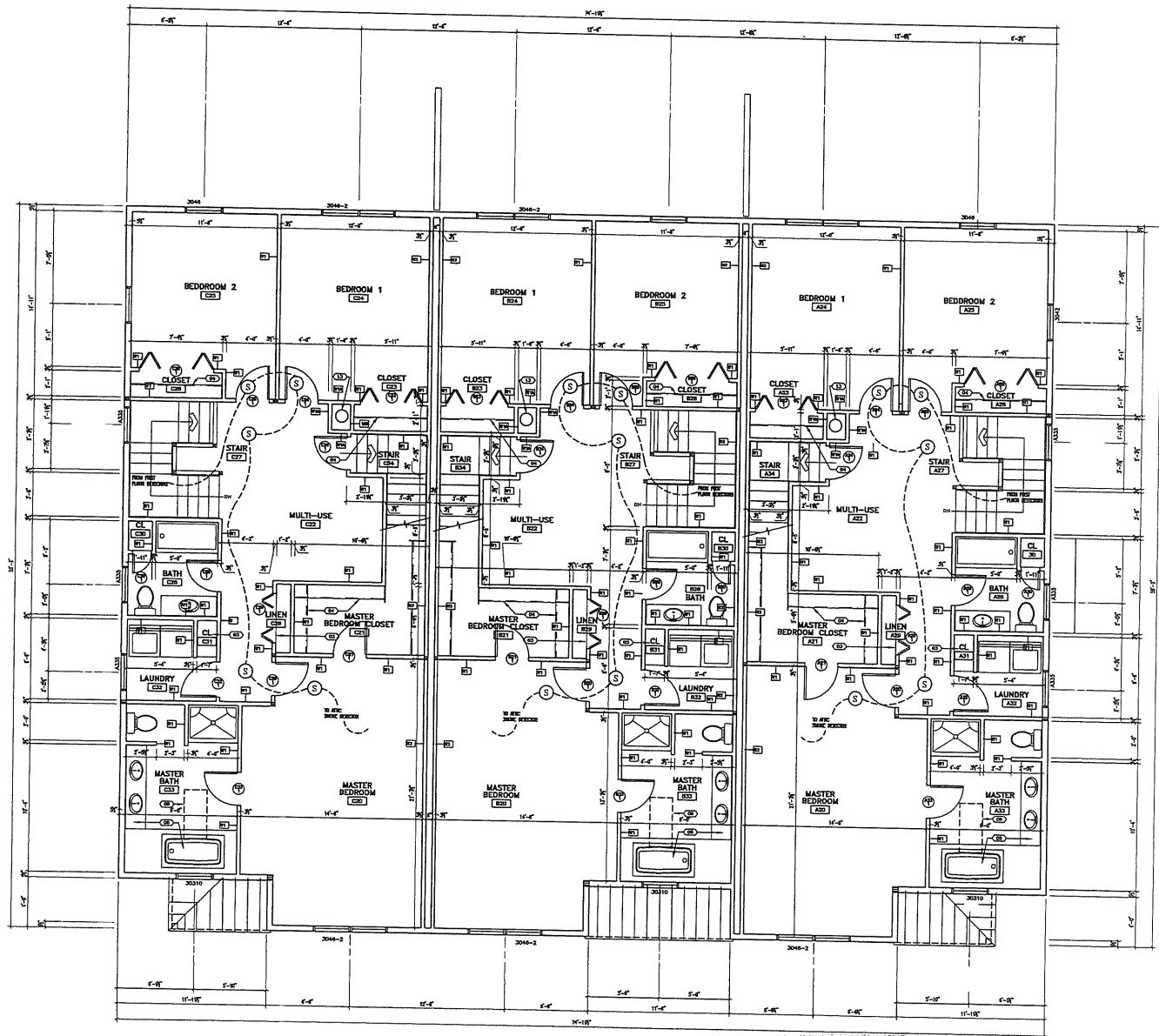
REVISIONS	
DATE	DESCRIPTION
02/05/02	ISSUED FOR CONSTRUCTION
02/26/02	
02/27/02	
02/28/02	
03/15/02	

DATE:	02/05/02
PROJECT #:	021103
DRAWN BY:	DMK
CHECKED BY:	SD
DRAWING SCALE:	AS NOTED

SHEET TITLE
SECOND FLOOR PLAN

A-101

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OR BY ANY MEANS
WITHOUT THE WRITTEN
CONSENT OF THE ARCHITECT



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

MAY 12 2004

RECEIVED



Fax

To: Terry Brown **From:** Tammy Munson
Fax: (207)767-1306 **Pages:** 1
Phone: (207)831-1776 **Date:** 04/30/04
Re: Starbird Road **CC:**

Urgent **For Review** **Please Comment** **Please Reply** **Please Recycle**

The following is a list of the items we need addressed on the submitted permits for Starbird Road:

- 1. Stair details (tread, rise, headroom, etc.)**
- 2. Attic access (two areas of the third floor) –please show size and location.**
- 3. Weight calculations showing the third floor framing is adequate to support the HVAC equipment.**
- 4. Smoke detector locations.**
- 5. Clearance in chase and use.**
- 6. Fire blocking in tenant separation wall and structural support.**
- 7.**

TO: Inspections

FROM: Jay Reynolds, Development Review Coordinator

DATE: September 19, 2005

RE: C. of O. for 104 Starbird Road Extension, Starbird Road Condominiums
Lead CBL (224-A-025); Id# (2001-0295)

After visiting #104 Starbird Road Extension, I have the following comments:

Incomplete site work to be finished as part of the PRUD site development.

At this time, **I recommend issuing a Permanent Certificate of Occupancy.**

Please contact me if you have any questions or comments.
Thank You.

Cc: Sarah Hopkins, Development Review Services Manager
Mike Nugent, Inspection Services Manager
file

File: O:\plan\drc\starbirdext106.doc



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 104 Starbird Rd

CBL 224 A025001

Issued to Brown Development Corp /Terry Brown Builders, Inc.

Date of Issue 09/19/2005

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 04-0395, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

Use Group R-3, Type5b, Boca 1999
Single Family Condominium

Limiting Conditions:

None

This certificate supersedes
certificate issued

Approved:

[Signature]

(Date)

Inspector

[Signature] 9/19/05

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 106 Starbird Rd

CBL 224 A025001

Issued to Brown Development Corp /Terry Brown Builders, Inc.

Date of Issue 06/23/2005

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 04-0395, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Use Group R-3, Type5b, Boca 1999
Single Family Condominium

Limiting Conditions:

**This certificate supersedes
certificate issued**

Approved:

6/23/05
6/23/05
6/24/05

(Date)

Thomas M. Malley

Inspector

Ch. K. ...

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 102 Starbird Rd

CBL 224 A025001

Issued to Brown Development Corp /Terry Brown Builders, Inc.

Date of Issue 06/23/2005

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 04-0395, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

Use Group R-3, Type5b, Boca 1999
Single Family Condominium

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

6/23/05 *Morgan Mally*
.....
(Date) Inspector

[Signature]
.....
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 87 Starbird Rd

CBL 224 A025001

Issued to Stj Inc /Terry Brown Builders, Inc.

Date of Issue 05/27/2004

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 02-0258 , has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Building 1 Unit #3
Right End Unit

APPROVED OCCUPANCY

Condominium Unit
Use Group R-3 Type 5B
BOCA 1999

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

5/27/04
.....
(Date)

.....
Inspector

.....
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

Terry Brown Builders, Inc.

PO Box 7022, Scarborough, ME 04070 • Phone 767-4473 • Fax 767-1306

Fax

To: <u>DONNA</u>	From: <u>Terry</u>
Fax: <u>874-8716</u>	Pages: <u>3</u> (Including Cover Page)
Phone:	Date:
Re: <u>104 STABLE</u>	CC:
<u>Unit #5</u>	
<input type="checkbox"/> Urgent <input type="checkbox"/> For Review <input type="checkbox"/> Please Comment <input type="checkbox"/> Please Reply <input type="checkbox"/> Please Recycle	

7900-411
NIPA 31

INSTALLATION STANDARDS

Please check the type of unit(s) that will be installed:

Factory-Built Chimney and Chimney Units

Factory-built chimney and chimney units shall be listed and shall be installed in accordance with the temperature conditions of the listing and the manufacturer's instructions and all requirements of NFPA 211 for chimneys, fireplaces, vents and solid fuel appliances.

Masonry Chimney

Masonry chimneys shall be designed, anchored, supported and re-anchored as required by NFPA 211 for chimneys, fireplaces, vents and solid fuel appliances.

Metal Chimney

Metal chimneys shall be constructed in accordance with NFPA 211, and shall apply good engineering practices as necessary for:

1. Strength to resist stress
2. Adequate anchoring and bracing
3. Durability
4. Security against leakage
5. Allowances for thermal expansion

Factory Built Fireplace

Factory built fireplaces shall be listed and shall be installed in accordance with the terms of its listing and all applicable sections of NFPA 211.

Masonry Fireplace

Masonry fireplaces shall meet the requirements of NFPA 211, Chapter 7 and all other pertinent sections.

Other

Please list on separate sheet of paper if making repairs of pre-existing chimneys, such as repair or replacement of chimney liners, etc.

CONSUMER CHECKLIST

1. Have you asked for references to be provided by the installer?
2. Is the installer familiar with the NFPA 211 codes and does the installer carry a code book?
3. If the installation is a pre-fabricated or fireplace, is its manufacturer registered with the Maine Oil & Solid Fuel Bd.
4. Does the installer provide any type of written guarantee for the product installation being proposed?
5. Has the installer provided you with a written contract? 10 M.R.S.A. Chapter 210-A requires written contracts for any home remodeling or construction with an estimated cost in excess of \$1,400.
6. Have you asked the local fire department or code enforcement officials to inspect the installation during and after completion?

g:\mated\chimney\chcklist.rwp

Revised 3/97

STATE OF MAINE CHIMNEY OR FIREPLACE CONSTRUCTION/INSTALLATION DISCLOSURE

Dear Consumer: State law, specifically 32 M.R.S.A., Chapter 33, §2313-A, requires that chimney or fireplace installers, as of January 1, 1992, provide you with this "Disclosure" prior to the installation or construction of your chimney or fireplace. The purpose of this Disclosure is to inform you that the National Fire Protection Standard #211 (NFPA #211) is the current standard which applies to all new construction of chimneys and fireplaces. Please to note that the State of Maine does not require registration or licensure of chimney or fireplace installers. It is important to realize that many fires are caused each year from improperly constructed fireplaces and chimneys. This disclosure form should help you in making an informed decision as to the abilities of the installer and under what requirements the installation must comply.

INSTALLER INFORMATION

Name of Installer _____
D.B.A. _____

Name of Installer (if incorporated) _____
D.B.A. _____

Legal Address _____
(Street and No.) _____ (City or Town) _____
(State) _____ (County) _____ (Zip Code) _____

Home Telephone _____ / _____ / _____ Business Telephone _____ / _____ / _____

Years of experience doing fireplace or chimney installations _____

CONSUMER IDENTIFICATION

Consumer's Name _____

Mailing Address _____
(Street and No.) _____ (City or Town) _____
(State) _____ (County) _____ (Zip Code) _____

Home Telephone _____ / _____ / _____ Business Telephone _____ / _____ / _____

Installer, please give a brief description of installation being offered.

I, _____, the installer, hereby attest that the preceding information provided is true to the best of my knowledge. I also understand that if I fail to conform with the standards as outlined in NFPA #211 that I shall be subject to penalties as outlined under Title 32, Chapter 33, and the Oil and Solid Fuel Board Rules.

Signature _____ Date _____

INSTALLATION STANDARDS

The 1996 Edition of NFPA #211 contains provisions for chimney, fireplaces, venting systems, and solid fuel burning appliances including their installations. The standards applies to residential as well as commercial and industrial installations.

PLEASE CHECK THE TYPE OF CONSTRUCTION TO BE BUILT:

Factory-Built Chimney and Chimney Units.

Factory-built chimney and chimney units shall be listed and installed in accordance with the temperature conditions of the listing, the manufacturer's instructions and all applicable sections of NFPA #211.

Factory-Built Fireplaces.

Factory-built fireplaces shall be listed and shall be installed in accordance with the terms of the listing. Hearth extensions shall be provided in accordance with the manufacturer's instructions or shall be of masonry on non combustible construction in accordance with applicable sections of NFPA #211.

Unlisted Metal Chimney (smokestacks) for Non Residential Applications.

Single wall metal chimneys or unlisted metal chimneys shall not be used inside or outside of one and two family dwellings. Metal chimneys shall be constructed and installed in accordance with the appropriate sections of NFPA #211

Masonry Chimney.

Masonry chimneys shall be constructed by appropriate sections of NFPA #211 for proper design, support, re-enforced, and installation..

Masonry Fireplace.

Masonry fireplaces shall comply with all requirements of NFPA #211 and all other pertinent sections.

CONSUMER CHECKLIST

1. Has the installer provided you with a written contract? 10 M.R.S.A., Chapter 219-A requires written contracts for any home remodeling or construction with an estimated cost in excess of \$1,400.
2. Have you asked the local fire department or code enforcement officials to inspect the installation during and after construction?
3. Is the installer familiar with current NFPA #211 standards and does he have a copy of same?
4. Have you asked for references to be provided by the installer?

883-0676
874-8716

StarLine

Plumbing + Heating
units 4, 5, 6, 7, 8, 9, 10, 11, 12
StarLine Co.

STATE OF MAINE CHIMNEY OR FIREPLACE DISCLOSURE

Dear Consumer: State law, specifically 33 M.R.S.A., Chapter 33, requires chimney or fireplace installers, as of January 1, 1992, to provide you with this Disclosure prior to the installation work being done on your chimney or fireplace. The purpose of this Disclosure is to help you, as a consumer, make an informed decision as to the abilities of the installer and under what requirements the installation must comply. It is important to note that the State of Maine does not require registration or licensure of chimney or fireplace installers; however, it is just as important to realize that many fires are caused each year by improperly constructed fireplaces and chimneys. For further information about this law, call the Division of Licensing & Registration at 624-5629 or write to the Division at #35 State House Station, Augusta, Maine 04333.

INSTALLER INFORMATION

Name of Installer: Robert S. Doer
D.B.A. RSD Plumbing & Heating
Name of Installer (if incorporated) RSD Plumbing & Heating Inc.
D.B.A. _____
Legal Address 294 Holmes Rd. Scarborough, Me. 04074
(Street and No.) (City or Town)
Cumberland 04074
(County) (Zip Code)
Home Telephone 207 1883 10891 Business Telephone 207 1883 10676
Years of experience doing fireplace or chimney installations 12 yrs.

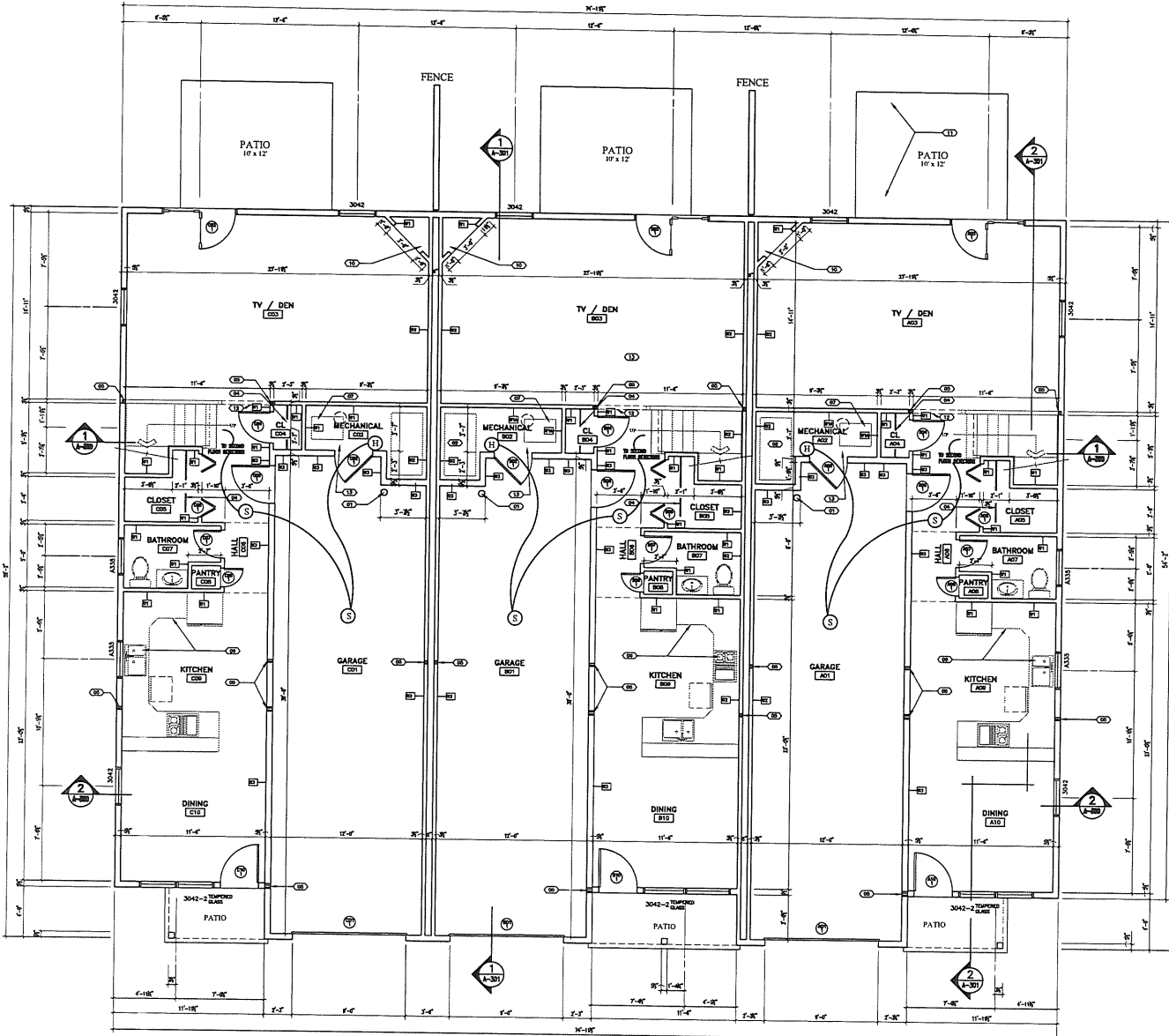
CONSUMER IDENTIFICATION

Consumer's Name TERRY BROWN BUILDERS INC.
Mailing Address P.O. Box 7022 Scarborough, ME. 04070
(Street and No.) (City or Town)
ME. CUMBERLAND 04070
(State) (County) (Zip Code)
Home Telephone 207 747 14473 Business Telephone SAME

Installer, please give a brief description of installation being offered.
• Installing Metal-Bestos Chimneys total
Vertical Length of 21' from Roof to Mechanical Room
Chimneys are supported at Roof and 2 supports one at
9' and one at 18'

I, _____ the installer, hereby attest that the preceding information provided is true to the best of my knowledge. I also understand that if I fail to conform with the standards as outlined in NFPA 211 that I shall be subject to penalties as outlined under Title 32, Chapter 33, Oil and Solid Fuel Board.

Signature Robert S. Doer Date 6-22-05

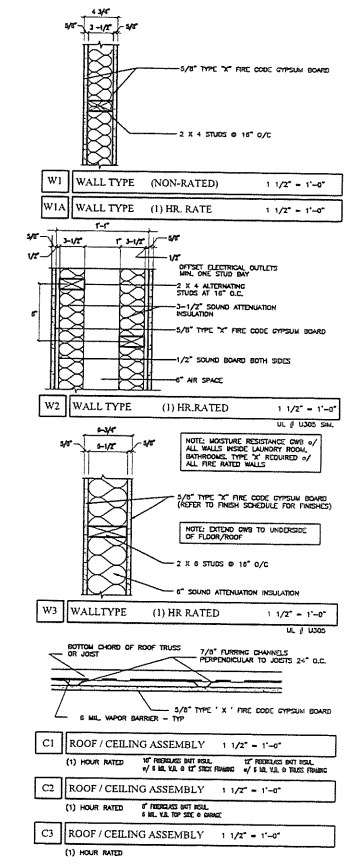


1 FIRST FLOOR PLAN
A-100 SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- (1) STEEL BALLARD - 6" CONCRETE FILL STEEL COLUMN, CONCRETE DOME TOP @ 3/4" A.F.F. BOTTOM @ 2'-0" A.F.F. SET IN 10 DIAMETER CONCRETE FOOTING
- (2) STEEL FUEL OIL TANK - FILL PIPE IN WALL BETWEEN UNITS - PAINTED
- (3) 1/2" PLYWOOD PAINTED SHELVES w/ 1 1/2" WOOD NOSING @ 4 ADJUSTABLE SHELF SUPPORTS - (3) SHELVES PER CLOSET
- (4) CLOTHES ROD AND SHELF
- (5) WOOD POST - PROVIDE SOLID CONTINUOUS BEARING DOWN THROUGH TO TOP OF FOUNDATION - REFER TO STRUCTURAL DRAWINGS
- (6) KITCHEN CABINETS - LAYOUT BY KITCHEN CABINET SUPPLIER - CONTRACTOR SHALL INSTALL AND COORDINATE WITH ALL TRADES AND SERVICES
- (7) BOILER - FUEL OIL FIRED
- (8) ALL BATHROOM CABINETRY AND LAYOUT BY CABINET SUPPLIER - CONTRACTOR SHALL INSTALL AND COORDINATE WITH ALL TRADES AND SERVICE
- (9) ROOF WINDOW (ABOVE)
- (10) PRE-FABRICATED GAS FIREPLACE DETAILS PER SHOP DRAWINGS
- (11) PATIO - C.M.U. PATIO BRICK @ 4" COMPACTED SAND @ 4" COMPACTED GRANULAR FILL w/ UNDISTURBED EARTH ON ENGINEERED FILL w/ STEEL EDGING - SLOPE AWAY FROM BUILDING 1/4" PER FOOT
- (12) SOFFIT - 6" DEEP GWB @ 3 1/2" WOOD FRAMING - ACROSS STAIR & TV / DEN
- (13) STEEL FLUE SYSTEM - COORDINATE SIZE, LOCATION, AND CLEARANCES AS REQUIRED BY CODE WITH ALL TRADES
- (H) FIRE ALARM - HEAT ALARM - 120V w/ BATTERY BACK-UP
- (S) FIRE ALARM - SMOKE ALARM - 120V w/ BATTERY BACK-UP

WALL TYPES & CEILING ASSEMBLIES



STARBIRD ROAD CONDOMINIUMS
BROWN DEVELOPMENT CORPORATION
PORTLAND, MAINE

REVISIONS

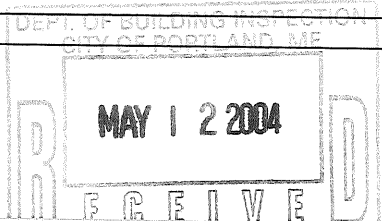
NO.	DATE	DESCRIPTION
1		ISSUED FOR CONSTRUCTION
2		REVISIONS
3		REVISIONS

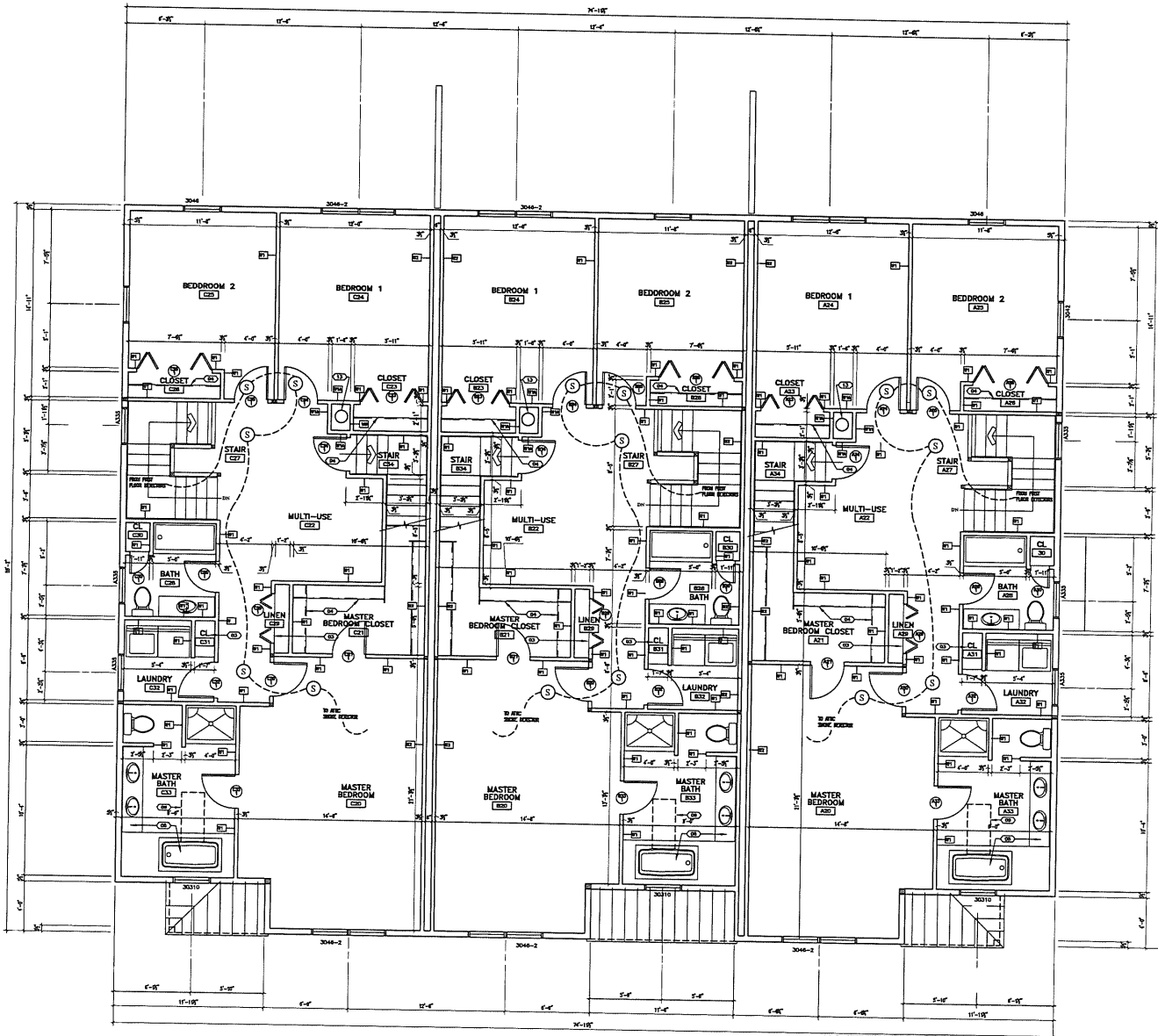
DATE: 07/20/04
PROJECT # 031101
DRAWN BY: DMK
CHECKED BY: SO
DRAWING SCALE: AS NOTED

SHEET TITLE
FIRST FLOOR PLAN

A-100

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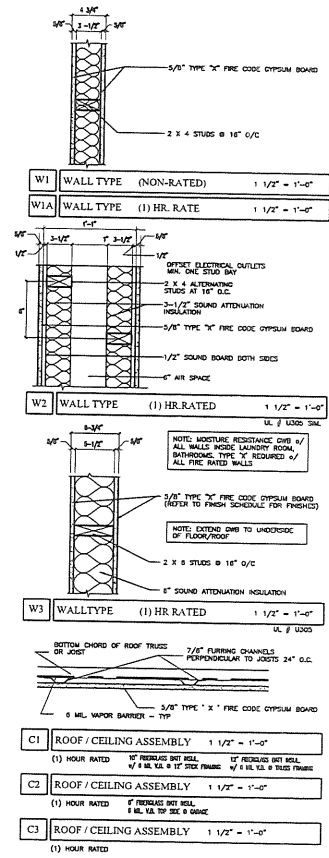


1 SECOND FLOOR PLAN
 A-101 SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- (1) STEEL BALLARD - 6" CONCRETE FILL STEEL COLUMN, CONCRETE DOME TOP @ 3'-0" A.F.F. BOTTOM @ 2'-0" A.F.F. SET ON 12" DIAMETER CONCRETE FOOTING
- (2) STEEL FUEL OIL TANK - FILL PIPE IN WALL BETWEEN UNITS - PAINTED
- (3) 1/2" PLYWOOD PAINTED SHELVES w/ 1 1/2" WOOD NOSING @ 4' ADJUSTABLE SHELF SUPPORTS - 15 SHELVES PER CLOSET
- (4) CLOTHES ROD AND SHELF
- (5) WOOD POST - PROVIDE SOLID CONTINUOUS BEARING DOWN THROUGH TO TOP OF FOUNDATION - REFER TO STRUCTURAL DRAWINGS
- (6) KITCHEN CABINETS - LAYOUT BY KITCHEN CABINET SUPPLIER - CONTRACTOR SHALL INSTALL AND COORDINATE WITH ALL TRADES AND SERVICES
- (7) BOILER - FUEL OIL FIRED
- (8) ALL BATHROOM CABINETRY AND LAYOUT BY CABINET SUPPLIER - CONTRACTOR SHALL INSTALL AND COORDINATE WITH ALL TRADES AND SERVICE
- (9) ROOF WINDOW (ABOVE)
- (10) PRE-FABRICATED GAS FIREPLACE DETAILS PER SHOP DRAWINGS
- (11) PATIO - C.M.U. PATIO BRICK @ 4" COMPACTED SAND w/ 1" GRANULATED GRANULAR FILL @ UNDISTURBED EARTH/ENGINEERED FILL w/ STEEL EDG. - SLOPE AWAY FROM BUILDING 1/4" PER FOOT
- (12) SOFFIT - 6" DEEP GWB @ 3" 1/2" WOOD FRAMING - ACROSS STAIR & TV DEN
- (13) STEEL FLUE SYSTEM - COORDINATE SIZE, LOCATION AND CLEARANCES AS REQUIRED BY CODE WITH ALL TRADES
- (H) FIRE ALARM - HEAT ALARM - 120V w/ BATTERY BACK-UP
- (S) FIRE ALARM - SMOKE ALARM - 120V w/ BATTERY BACK-UP

WALL TYPES & CEILING ASSEMBLIES



GAWRON ARCHITECTS
 20 Black Point Road
 Scarborough, ME 04074
 www.gawron.com
 Tel. 207. 853. 6307
 Fax. 207. 853. 0361

STARBIRD ROAD CONDOMINIUMS
 BROWN DEVELOPMENT CORPORATION
 PORTLAND, MAINE

REVISIONS	
#	DESCRIPTION
1	ISSUED FOR CONSTRUCTION
2	02/10/02
3	02/24/02
4	07/02/02

DATE	REVISED
PROJECT #	031101
DRAWN BY:	SG
CHECKED BY:	DM
DRAWING SCALE	AS NOTED

SHEET TITLE
 SECOND FLOOR PLAN

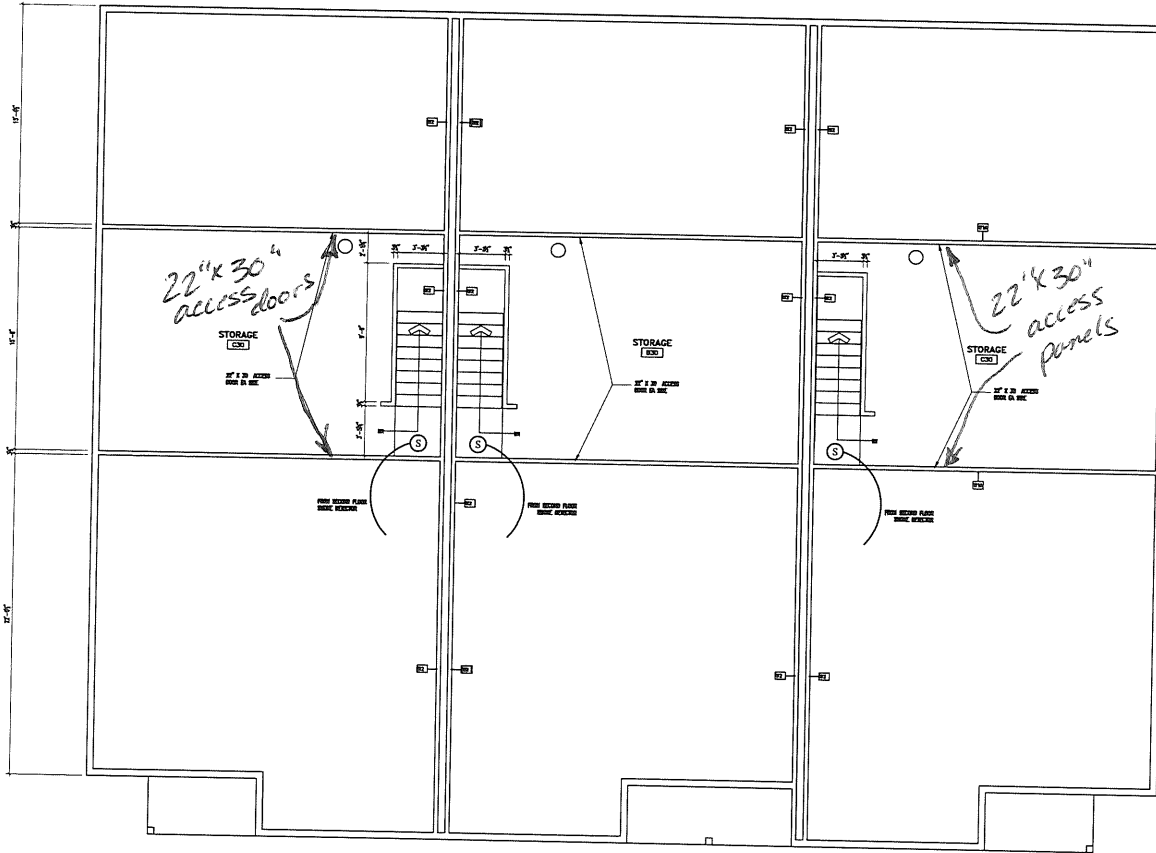
A-101

© COPYRIGHT 1995-2001
 THE ARCHITECTS
 BROWN, HENNING & HENNING

DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME

MAY 12 2004
 RECEIVED

RECEIVED
 MAY 12 2004
 DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME

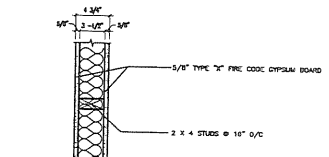


1 THIRD FLOOR PLAN
 A-102 SCALE: 1/4" = 1'-0"

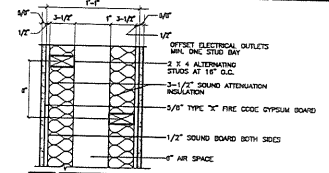
FLOOR PLAN LEGEND

- (C1) STEEL BALLARD - 6" CONCRETE FILL STEEL COLUMN, CONCRETE DOME TOP @ 3'-0" A.F.F. BOTTOM @ 2'-6" A.F.F. SET IN 14" DIAMETER CONCRETE FOOTING
- (C2) STEEL FUEL OIL TANK - FILL PIPE IN WALL BETWEEN UNITS - PAINTED
- (C3) 1/2" PLYWOOD PAINTED SHELVES w/ 1" WOOD NOSING @ 4 ADJUSTABLE SHELF SUPPORTS - (5) SHELVES PER CLOSET
- (C4) CLOTHES ROD AND SHELF
- (C5) WOOD POST - PROVIDE SOLID CONTINUOUS BEARING DOWN THROUGH TO TOP OF FOUNDATION - REFER TO STRUCTURAL DRAWINGS
- (C6) KITCHEN CABINETS - LAYOUT BY KITCHEN CABINET SUPPLIER - CONTRACTOR SHALL INSTALL AND COORDINATE WITH ALL TRADES AND SERVICES
- (C7) BOILER - FUEL OIL FIRED
- (C8) ALL BATHROOM CABINETRY AND LAYOUT BY CABINET SUPPLIER - CONTRACTOR SHALL INSTALL AND COORDINATE WITH ALL TRADES AND SERVICE
- (R) ROOF WINDOW (ABOVE)
- (P) PRE-FABRICATED GAS FIREPLACE DETAILS PER SHOP DRAWINGS
- (F) FATIO - CM U.P. PATIO BRICK @ 4" COMPACTED SAND w/ 1" COMPACTED GRANULAR FILL - UNDISTURBED EARTH OR ENGINEERED FILL w/ STELL EDGING - SLOPE AWAY FROM BUILDING 1/4" PER FOOT
- (S) SOFFIT - 4" DEEP ONW @ 3 1/2" WOOD FRAMING - ACROSS STAIR & TV DEN
- (S) STEEL FLUE SYSTEM - COORDINATE SIZE, LOCATION, AND CLEARANCES AS REQUIRED BY CODE WITH ALL TRADES
- (H) FIRE ALARM - HEAT ALARM - 120V w/ BATTERY BACK-UP
- (S) FIRE ALARM - SMOKE ALARM - 120V w/ BATTERY BACK-UP

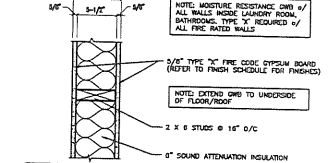
WALL TYPES & CEILING ASSEMBLIES



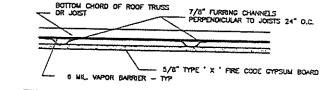
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W1A	WALL TYPE (1) HR. RATE	1 1/2" - 1'-0"



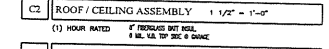
W2	WALL TYPE (1) HR. RATED	1 1/2" - 1'-0"
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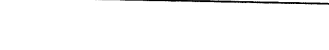
W3	WALLTYPE (1) HR. RATED	1 1/2" - 1'-0"
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C1	ROOF / CEILING ASSEMBLY	1 1/2" - 1'-0"
----	-------------------------	----------------



C2	ROOF / CEILING ASSEMBLY	1 1/2" - 1'-0"
----	-------------------------	----------------



C3	ROOF / CEILING ASSEMBLY	1 1/2" - 1'-0"
----	-------------------------	----------------



GAWRON ARCHITECTS
 29 Black Point Road
 Scarborough, ME 04074
 www.gawron.com
 Tel. 207.883.6397
 Fax. 207.883.0361

STARBIRD ROAD CONDOMINIUMS
 BROWN DEVELOPMENT CORPORATION
 PORTLAND, MAINE

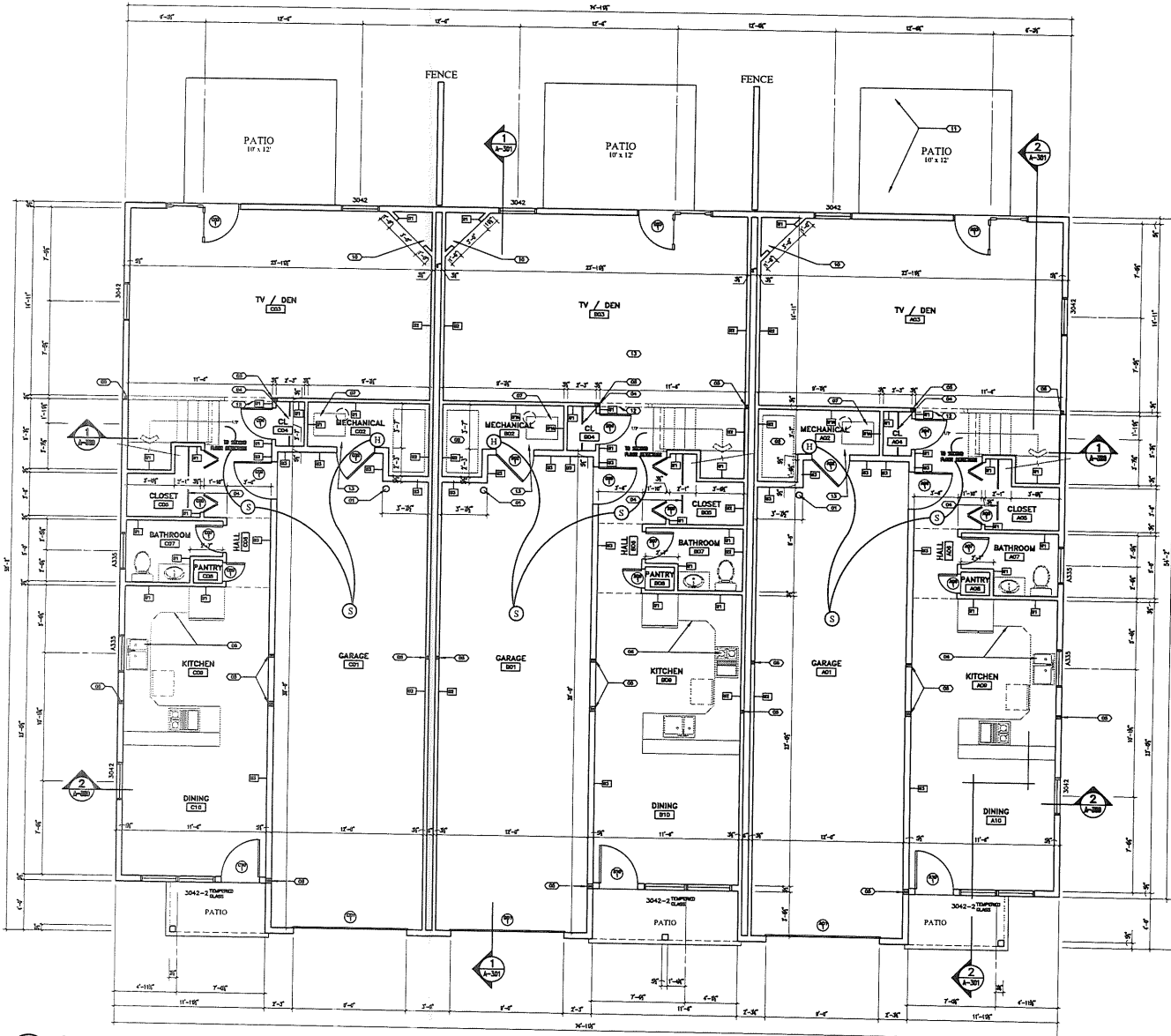
REVISIONS	
#	DESCRIPTION
1	ISSUED FOR CONSTRUCTION (22.05.04) (22.05.04) (22.05.04) (22.05.04)

DATE:	06/06/02
PROJECT #:	031101
DRAWN BY:	DMR
CHECKED BY:	SO
DRAWING SCALE:	AS NOTED

SHEET TITLE
 THIRD FLOOR PLAN

A-102

© COPYRIGHT 1993-2001
 Starbird Road Condominiums
 Brown Development Corporation
 Brown Architects & Planners

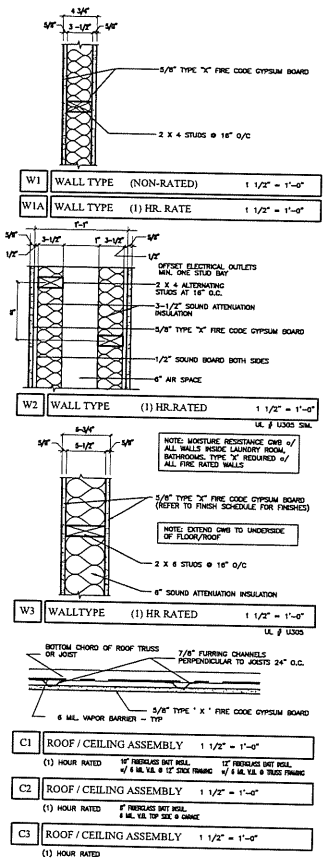


1 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

- (1) STEEL BALLARD - 4" CONCRETE FILL STEEL COLUMN, CONCRETE DOME TOP @ 2" P.A.P. SET FROM @ 2" P.A.P. SET IN 1/4" DIAMETER CONCRETE FOOTING
- (2) STEEL FUEL OIL TANK - FILL PIPE IN WALL BETWEEN UNITS - PAINTED
- (3) 1/2" PLYWOOD PAINTED SHELVES w/ 1" WOOD NOSING w/ 4 ADJUSTABLE SHELF SUPPORTS - (3) SHELVES PER CLOSET
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- (9) ROOF WINDOW (ABOVE)
- (10) PRE-FABRICATED GAS FIREPLACE DETAILS PER SHOP DRAWINGS
- (11) PATIO - C.M.U. PATIO BRICK w/ 4" COMPACTED SAND w/ 4" COMPACTED GRANULAR FILL w/ UNDISTURBED EARTH OR ENGINEERED FILL w/ STEEL EDG. SLOPE AWAY FROM BUILDING 1" PER FOOT
- (12) SOFFIT - 6" DEEP GWB w/ 3 1/2" WOOD FRAMING - ACROSS STAIR & TV / DEN
- (13) STEEL FLEE SYSTEM - COORDINATE SIZE, LOCATION, AND CLEARANCES AS REQUIRED BY CODE WITH ALL TRADES
- (14) FIRE ALARM - HEAT ALARM - 120V w/ BATTERY BACK-UP
- (15) FIRE ALARM - SMOKE ALARM - 120V w/ BATTERY BACK-UP

WALL TYPES & CEILING ASSEMBLIES



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 Fax. 207. 883. 6361

STARBIRD ROAD CONDOMINIUMS
 BROWN DEVELOPMENT CORPORATION
 PORTLAND, MAINE

REVISIONS		
#	DATE	DESCRIPTION
1		ISSUED FOR CONSTRUCTION
2	03/10/12	
3	03/26/12	
4	07/12/12	
5	07/12/12	

DATE:	03/26/12
PROJECT #:	031101
DRAWN BY:	DMR
CHECKED BY:	SG
DRAWING SCALE:	AS NOTED

SHEET TITLE
 FIRST FLOOR PLAN

A-100

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AREA FOR FUTURE
HAMMERHEAD TURN
AROUND

40' PUBLIC
ACCESS EASEMENT
TO CITY OF PORTLAND

STARBIK

N\F
Susan G. Shorey &
Arthur R. Dingley
Bk 11985 Pg 252

PROPOSED SIGN
"DEAD END STARBIK ROAD
EXT. PRIVATE DRIVE"

STABILIZED CONSTRUCTION
ENTRANCE (SEE DETAIL SHEET)

N\F
Stanley B

RETAINING WALL

PRESSURE TREATED
WOODEN GUARD RAIL
(SEE DETAIL SHEET)

N\F
Francis M. Coyne
Bk 7549 Pg 298

10'x10' PATIO, TYF

25' BUILDING
SETBACK

POOL
Micha
Davi

INSTALL (2) SIGNS
"PUBLIC PARKING ONLY"

5' BIT.
SIDEWALK

3-9'x18'
PARKING
SPACES

STARBIK ROAD EXTENSION

PRESSURE TREATED
WOODEN GUARD RAIL
(SEE DETAIL SHEET)

INSTALL
"NO PARKING"
SIGNS THIS
SIDE OF ROAD

REATED
RD RAIL
(SHEET)

N\F
Rita A. LeBarbera
Bk 11715 Pg 257

4" AXLE
5" AB GND

N\F
Benjamin J. Spike &
Corina Burt
Bk 10758 Pg 247

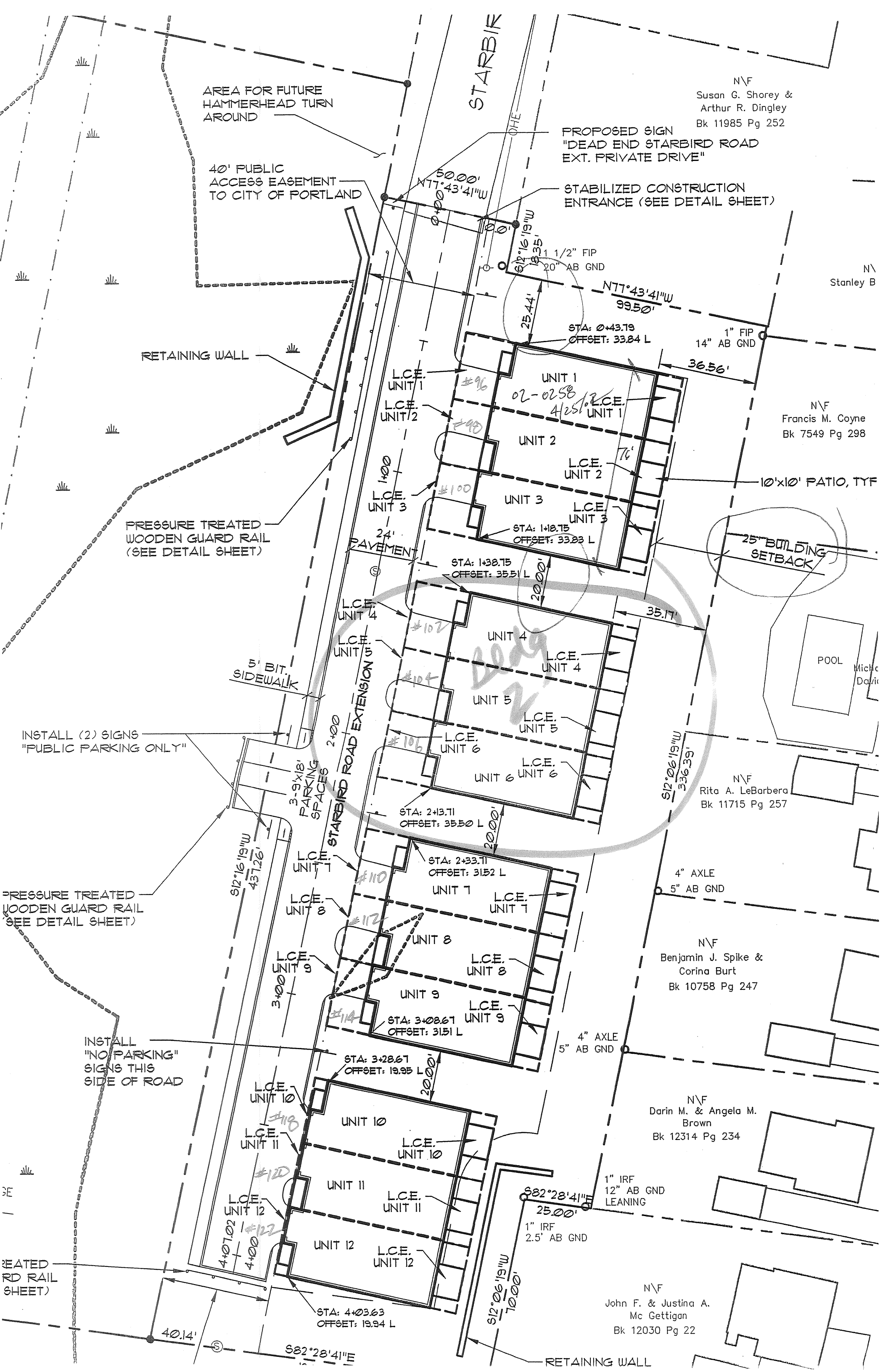
N\F
Darin M. & Angela M.
Brown
Bk 12314 Pg 234

1" IRF
12" AB GND
LEANING

1" IRF
2.5' AB GND

N\F
John F. & Justina A.
Mc Gettigan
Bk 12030 Pg 22

RETAINING WALL



PROPOSED SIGN
"DEAD END STARBIRD ROAD
EXT. PRIVATE DRIVE"

STABILIZED CONSTRUCTION
ENTRANCE (SEE DETAIL SHEET)

40' PUBLIC
ACCESS EASEMENT
TO CITY OF PORTLAND

RETAINING WALL

PRESSURE TREATED
WOODEN GUARD RAIL
(SEE DETAIL SHEET)

5' BIT.
SIDEWALK

INSTALL (2) SIGNS
"PUBLIC PARKING ONLY"

PRESSURE TREATED
WOODEN GUARD RAIL
(SEE DETAIL SHEET)

INSTALL
"NO PARKING"
SIGNS THIS
SIDE OF ROAD

AINAGE
MENT

RETREATED
GUARD RAIL
TAIL SHEET)

40' SEWER
EASEMENT TO CITY OF PORTLAND

1" IRF
12" AB GND
LEANING

1" IRF
2.5' AB GND

1" IRF
12" AB GND
LEANING

1" IRF
2.5' AB GND

N/F
John F. & Justina A.
Mc Gettigan
Bk 12030 Pg 22

N/F
Benjamin J. Spike &
Corina Burt
Bk 10758 Pg 247

N/F
Rita A. LeBarbera
Bk 11715 Pg 257

N/F
Francis M.
Bk 7549 I

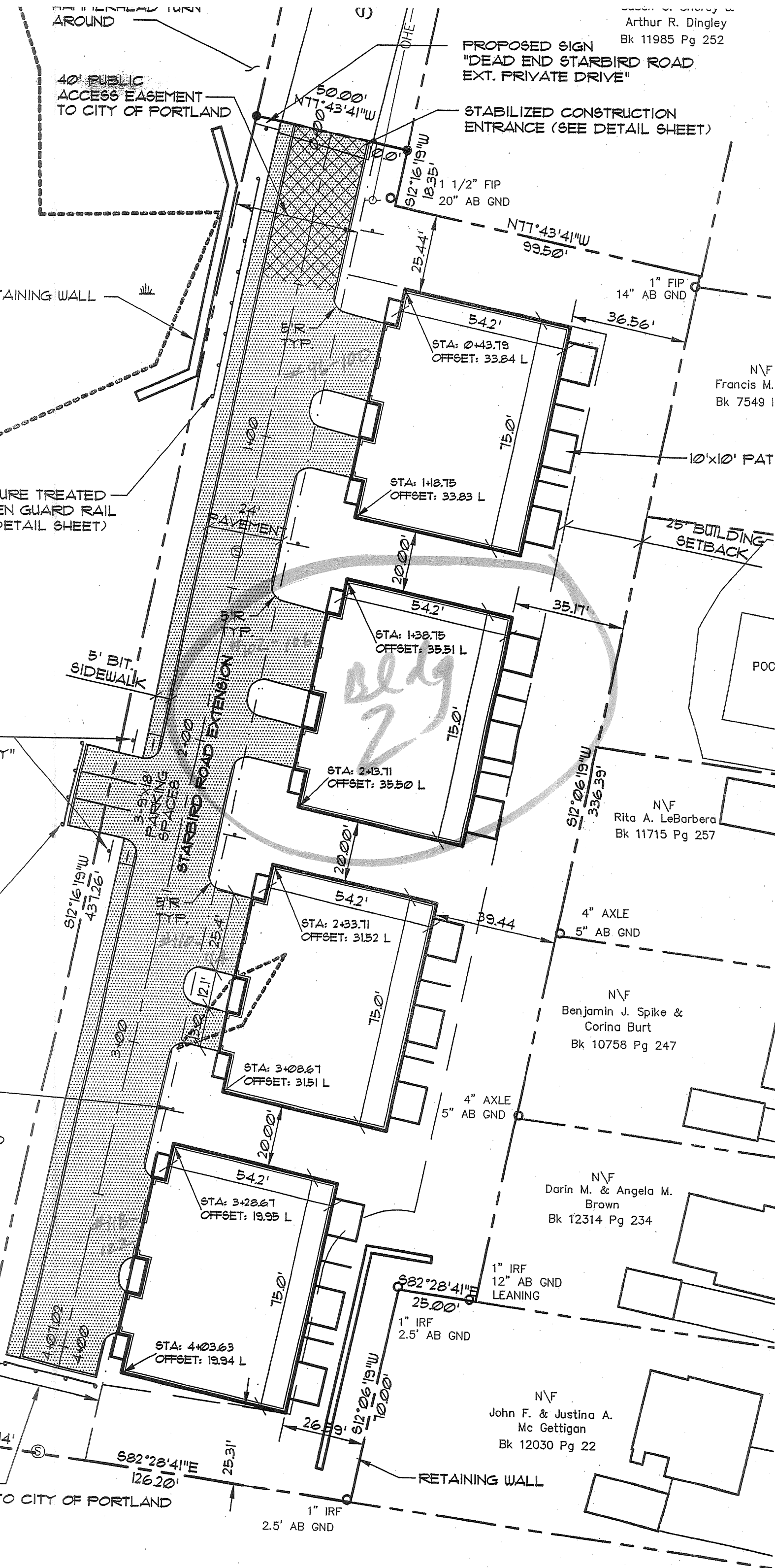
10'x10' PAT

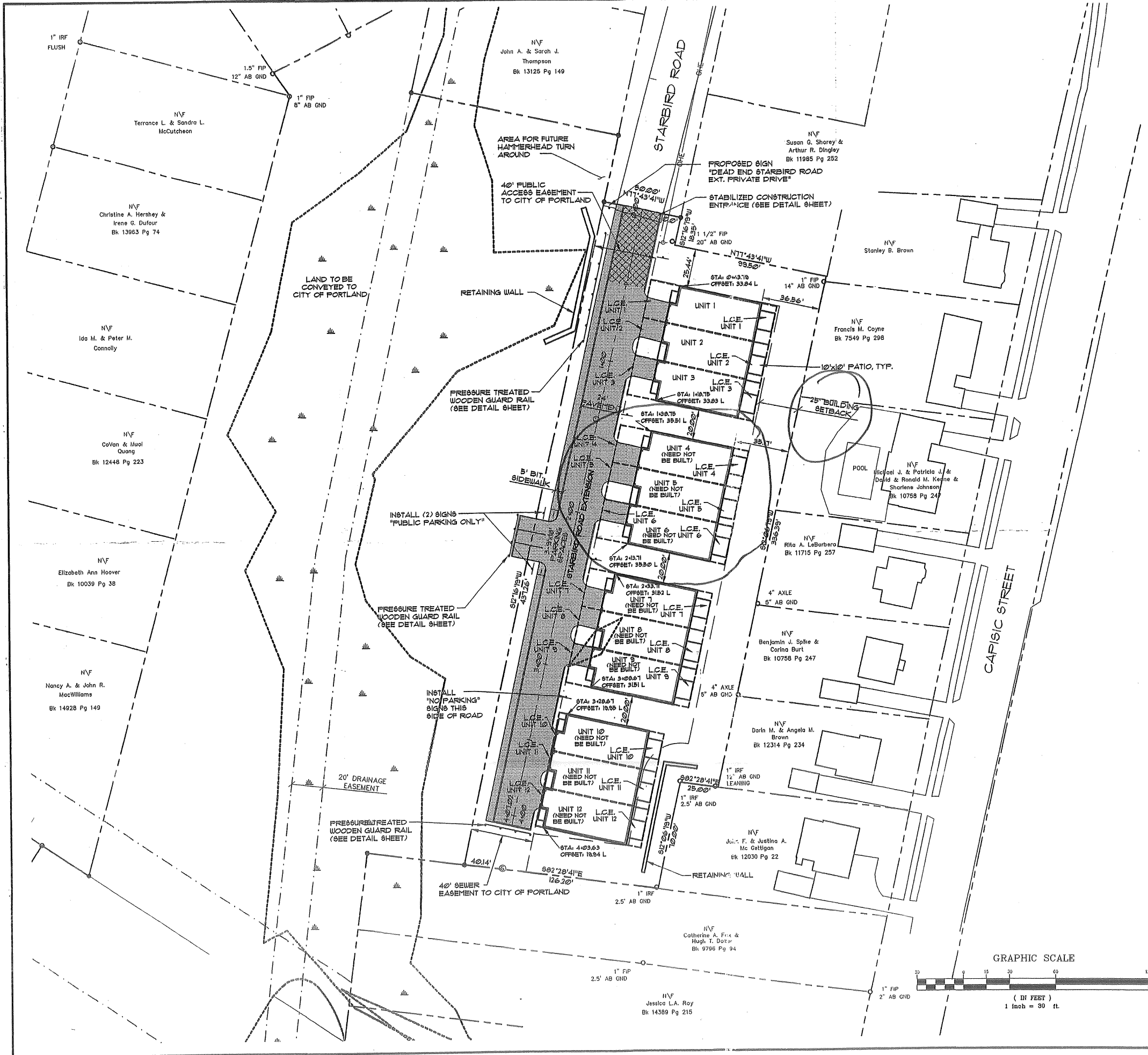
25' BUILDING
SETBACK

POC

RETAINING WALL

1" IRF
2.5' AB GND



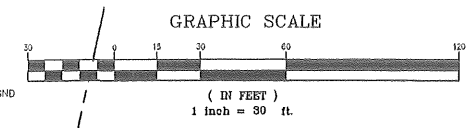


EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
---	EASEMENT	---
---	CENTERLINE	---
---	MONUMENT	---
---	IRON PIPE/ROD	---
---	DRILLHOLE	---
---	BUILDING	---
---	WETLANDS	---
---	EDGE WETLAND	---
---	SIGN	---
---	STREAM	---
---	EDGE PAVEMENT	---
---	CURLINE	---

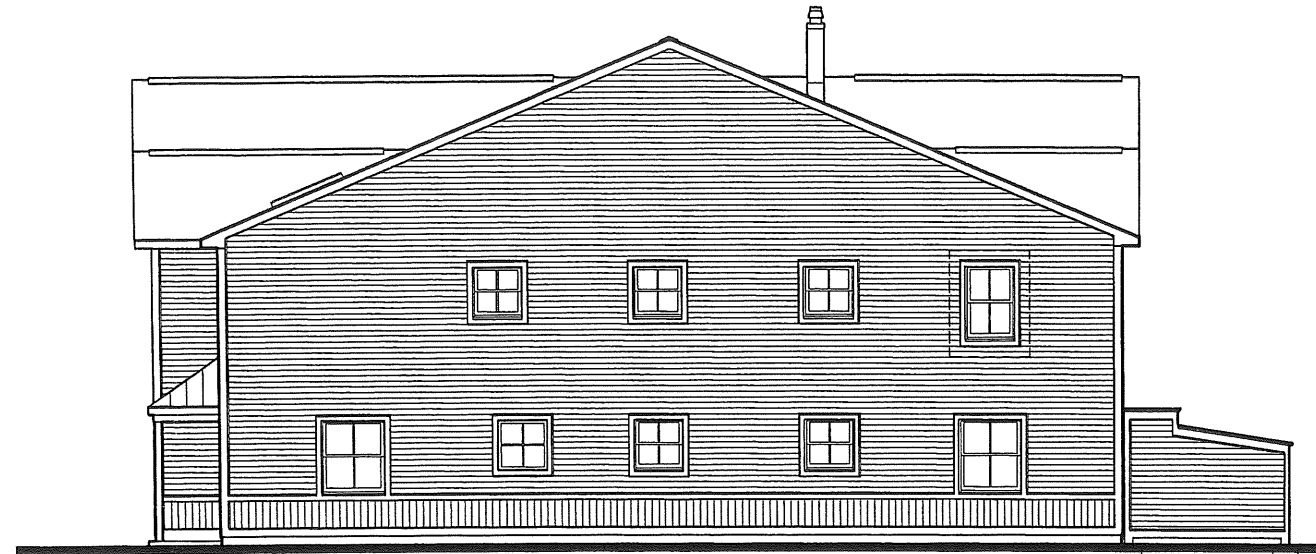
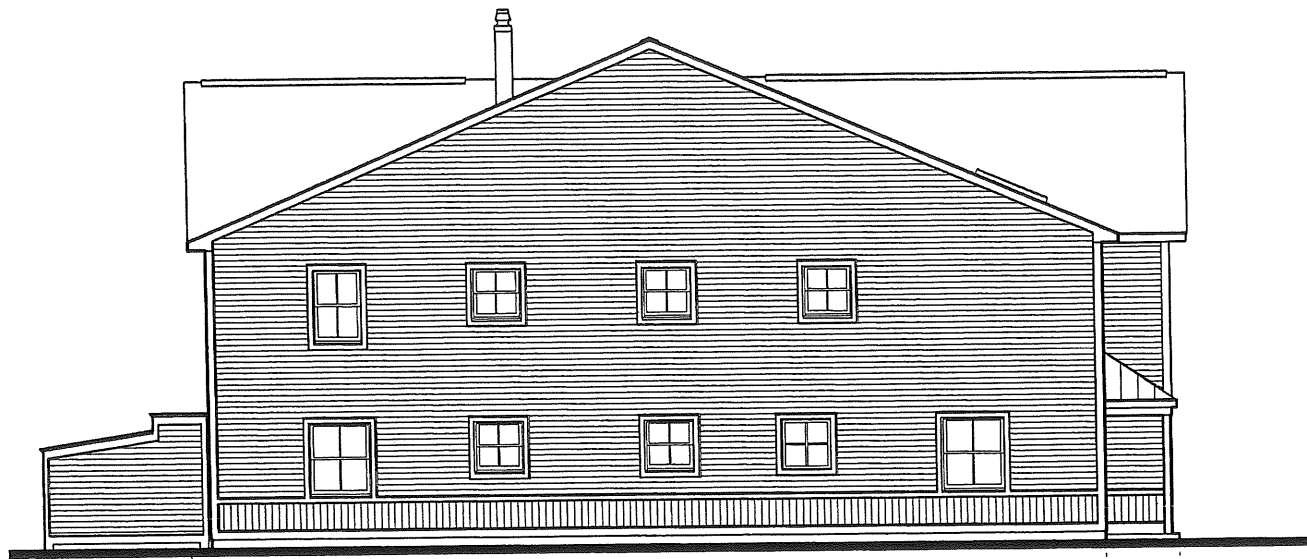
GENERAL NOTES:

- RECORD OWNER OF PROPERTY IS STJ, INC. BY A DEED RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (CCRD), IN BOOK 15954, PAGE 15.
- THE PROPERTY IS LOCATED ON THE FOLLOWING PORTLAND CITY TAX MAPS: MAP 222 LOT 6, MAP 224 LOT 1 AND MAP 225 LOT 10.
- PLAN REFERENCES:
 - LOT PLAN OF RIVER VIEW POINT OWNED BY THE MINAT CORPORATION, (SUBDIVISION PLAN), DATED APRIL 1956, DRAWN BY CARL E. EMERY, RECORDED IN THE CCRD, IN PLAN BOOK 45, PAGE 38.
 - PORTLAND CITY ENGINEERING TRAVERSE BOOK PLANS AS LISTED: LITTLE ROAD RIGHT OF WAY AS SHOWN IN TRAVERSE BOOK 95, PAGE 164. CAPISIC STREET RIGHT OF WAY AS SHOWN IN TRAVERSE BOOK 92, PAGES 156 TO 158.
 - CENTRAL MAINE POWER PROFILE PLAN, MOSHERS TO SEWALL STREET SECTION 181, MILE 1.
- THE BEARINGS SHOWN HEREON ARE BASED ON MAGNETIC NORTH OF 2000.
- THIS PLAN IS BASED UPON A SURVEY PERFORMED IN ACCORDANCE WITH THE MINIMUM STANDARDS ADOPTED BY THE STATE BOARD OF LICENSURE FOR LAND SURVEYORS, CATEGORY 1, CONDITION 2, WITH THE FOLLOWING EXCEPTIONS:
 - THE WRITTEN REPORT IS LIMITED TO THE NOTES ON THIS PLAN.
 - NO DESCRIPTIONS WERE PREPARED PRIOR TO THE ISSUANCE OF THIS PLAN.
 - THE PROPOSED MONUMENTATION WAS NOT SET AT THE ISSUANCE OF THIS PLAN.
- THE TOTAL AREA OF PROPOSED DEVELOPMENT IS 140 ACRES.
 THE AREA OF PAVEMENT IS 0.34 AC.
 THE AREA OF THE BUILDINGS IS 0.36 AC.
 THE TOTAL BUILDABLE COVERAGE IS 0.70 AC. OR 50%.
- IN ACCORDANCE WITH A UNANIMOUS VOTE OF THE PORTLAND CITY COUNCIL AT THEIR MEETING OF SEPTEMBER 5, 2001 THE AREA TO BE CONVEYED TO THE CITY OF PORTLAND IS LOCATED WITHIN THE RESOURCE PROTECTION ZONE (RPZ) AND THE AREA OF PROPOSED DEVELOPMENT IS LOCATED WITHIN A CONTRACT ZONE.
- MUD SHALL NOT BE TRACKED ONTO THE CITY STREET SYSTEM. IN THE CASE THAT MUD IS TRACKED ONTO THE MUNICIPAL STREETS THE APPLICANT WILL BE RESPONSIBLE FOR THE CLEAN UP OF THE STREETS AT THE REQUEST OF EITHER THE DRC OR PUBLIC WORKS.
- NO TEMPORARY STOCK PILES WILL BE PLACED WITHIN 100' OF THE WETLAND OR ON STEEP SLOPES.
- PARKING WILL BE ALLOWED ON THE WESTERLY SIDE OF STARBIRD ROAD EXTENSION ONLY. THE APPLICANT SHALL INSTALL "NO PARKING" SIGNS ON THE EASTERLY SIDE OF STARBIRD ROAD EXTENSION.
- FINISHED FLOOR ELEVATIONS:

UNITS 1-3 =	71.0
UNITS 4-6 =	71.0
UNITS 7-9 =	71.0
UNITS 10-12 =	71.75



REV:	BY:	DATE:	STATUS:
A	SMF	9-17-02	ADDED "NEED NOT BE BUILT" NOTE TO UNITS 4-12
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.			
CONDOMINIUM PLAT OF: STARBIRD ROAD CONDOMINIUMS STARBIRD ROAD PORTLAND, MAINE FOR: BROWN WITHIN CORPORATION P.O. BOX 7022 SCARBOROUGH, MAINE 04070-7022			
DESIGN BY:	SMF		
DRAWN BY:	PLS		
CHECKED BY:	SMF		
DATE:	2-7-00		
SCALE:	1"=30'		
FIELD BK:	657		
PROJ. NO.:	00256		
DRAWING:	00256CP		
 Sebago Technics Engineering & Planning for the Future One Chobot Street Westbrook, Me 04098-1339 Tel (207) 856-0277			
SHEET 1 OF 1			



4 NORTH EXTERIOR ELEVATION
SCH-1 SCALE: NTS

3 SOUTH EXTERIOR ELEVATION
SCH-1 SCALE: NTS



2 EAST EXTERIOR ELEVATION
SCH-1 SCALE: NTS

1 WEST EXTERIOR ELEVATION
SCH-1 SCALE: NTS

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STARBIRD ROAD CONDOMINIUMS
BROWN DEVELOPMENT CORPORATION
PORTLAND, MAINE

REVISIONS

#	DATE	DESCRIPTION

DATE:	01/22/02
PROJECT #	031101
DRAWN BY:	DMR
CHECKED BY:	
DRAWING SCALE	AS NOTED

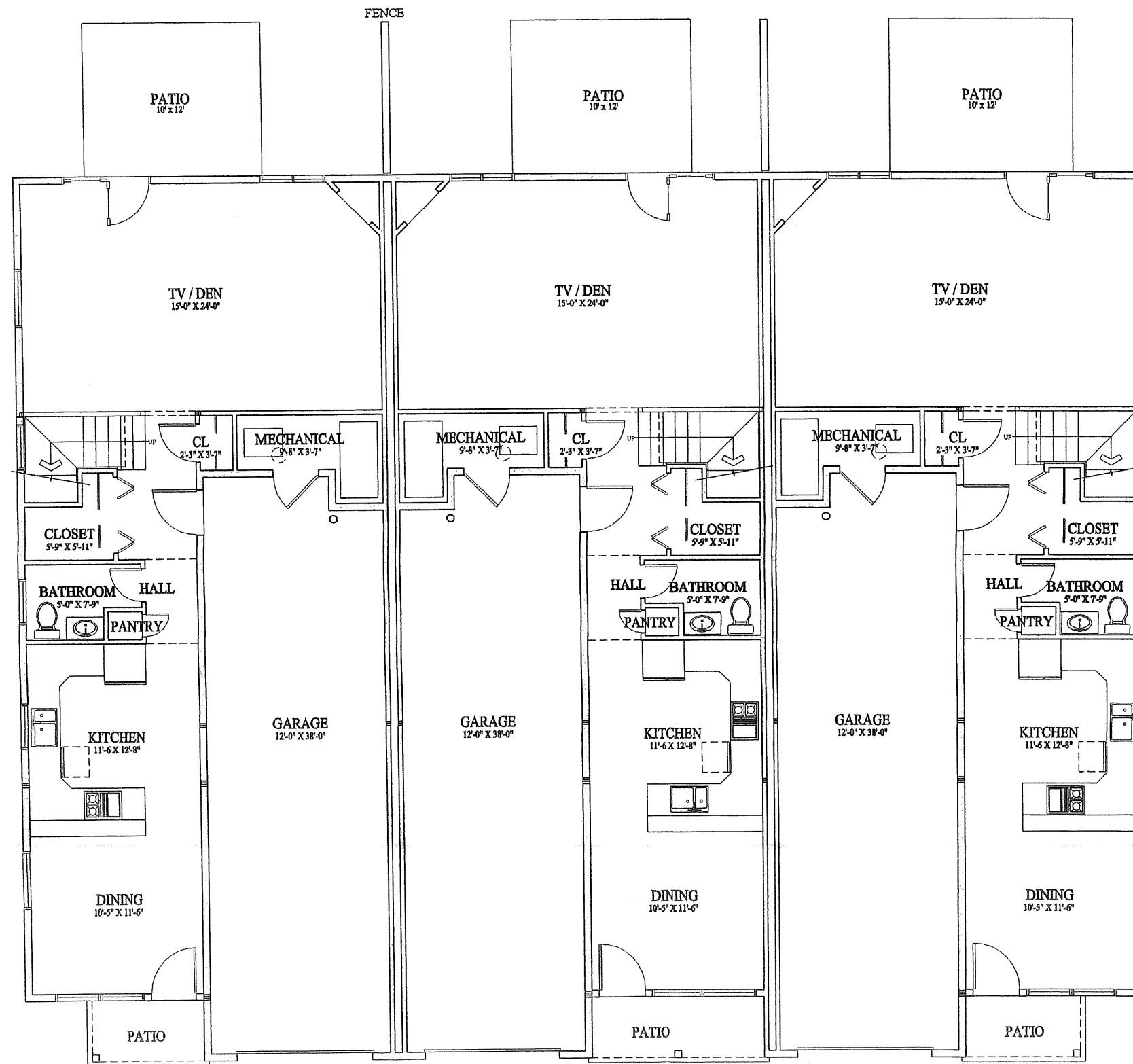
SHEET TITLE
EXTERIOR ELEVATIONS

SCH-4

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jritano



1 FIRST FLOOR PLAN
SCH-1 SCALE: NTS



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DRAWING SCALE	AS NOTED

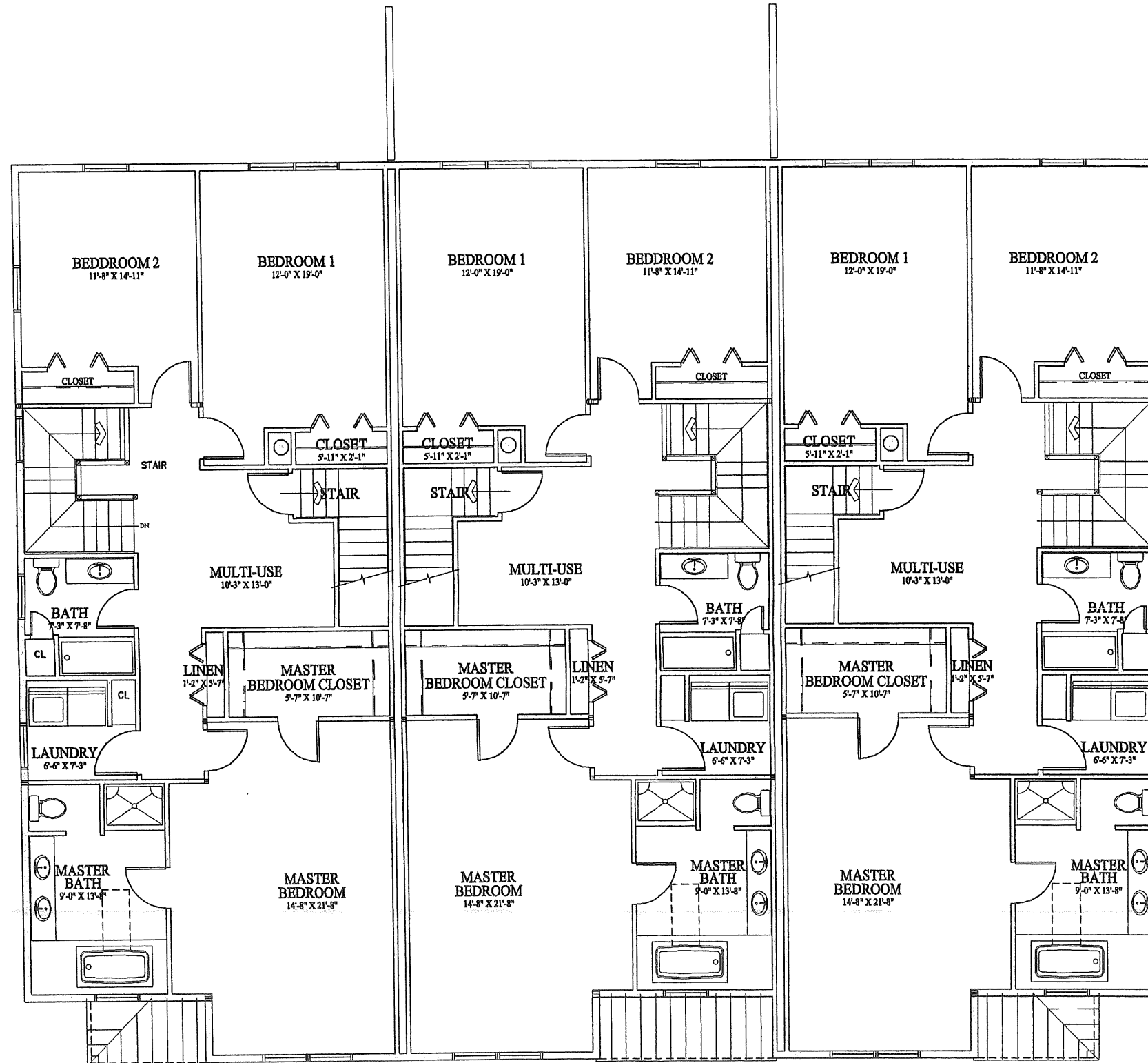
SHEET TITLE

FIRST FLOOR PLAN

SCH-1

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2 SECOND FLOOR PLAN
SCH-1 SCALE: NTS

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REVISIONS	
#	DESCRIPTION

DATE:	01/22/02
PROJECT #:	031101
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CHECKED BY:	
DRAWING SCALE:	AS NOTED

SHEET TITLE
SECOND FLOOR PLAN

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jmitano

1 THIRD FLOOR PLAN
SCH-3 SCALE: NTS



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PORTLAND, MAINE

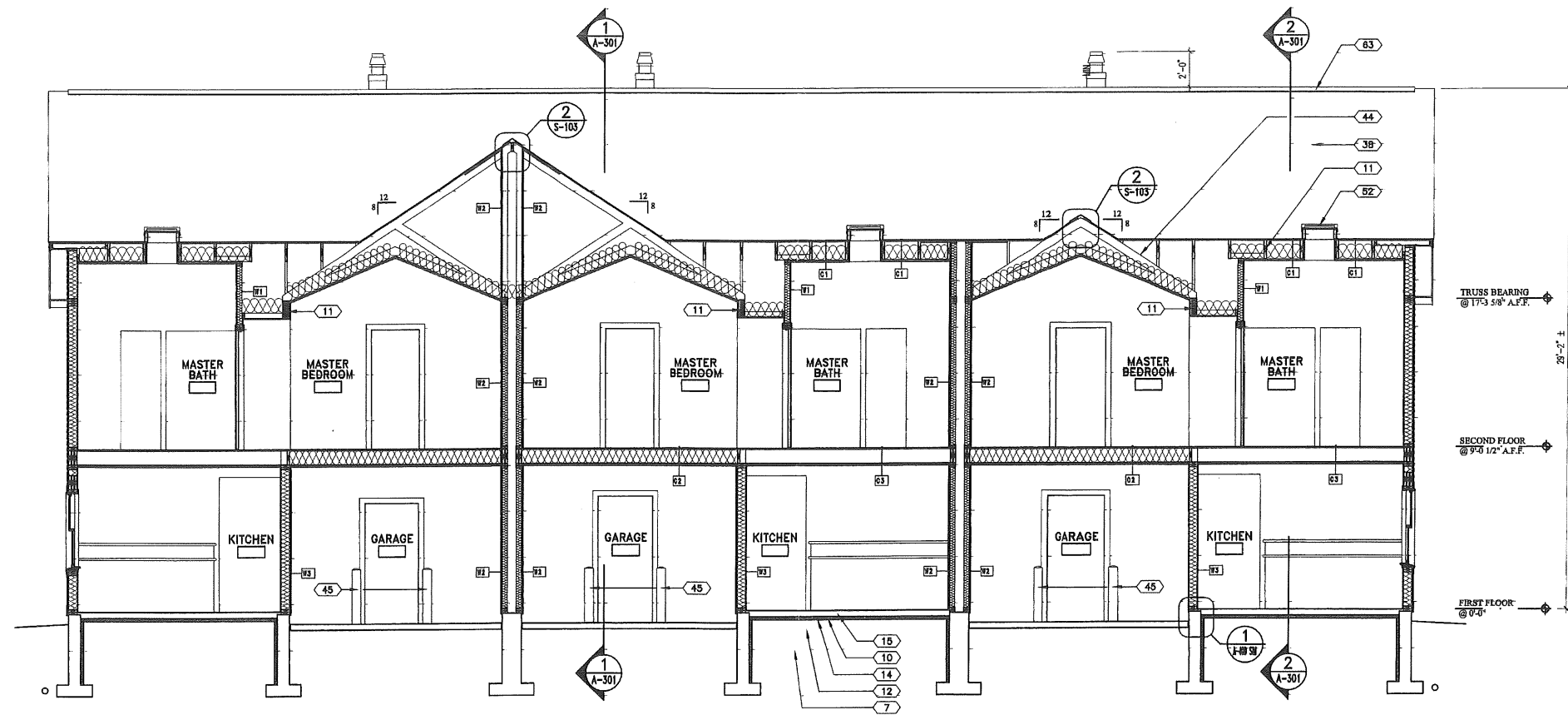
REVISIONS	
#	DESCRIPTION

DATE:	02/05/02
PROJECT #	031101
DRAWN BY:	DMR
CHECKED BY:	SG
DRAWING SCALE	AS NOTED

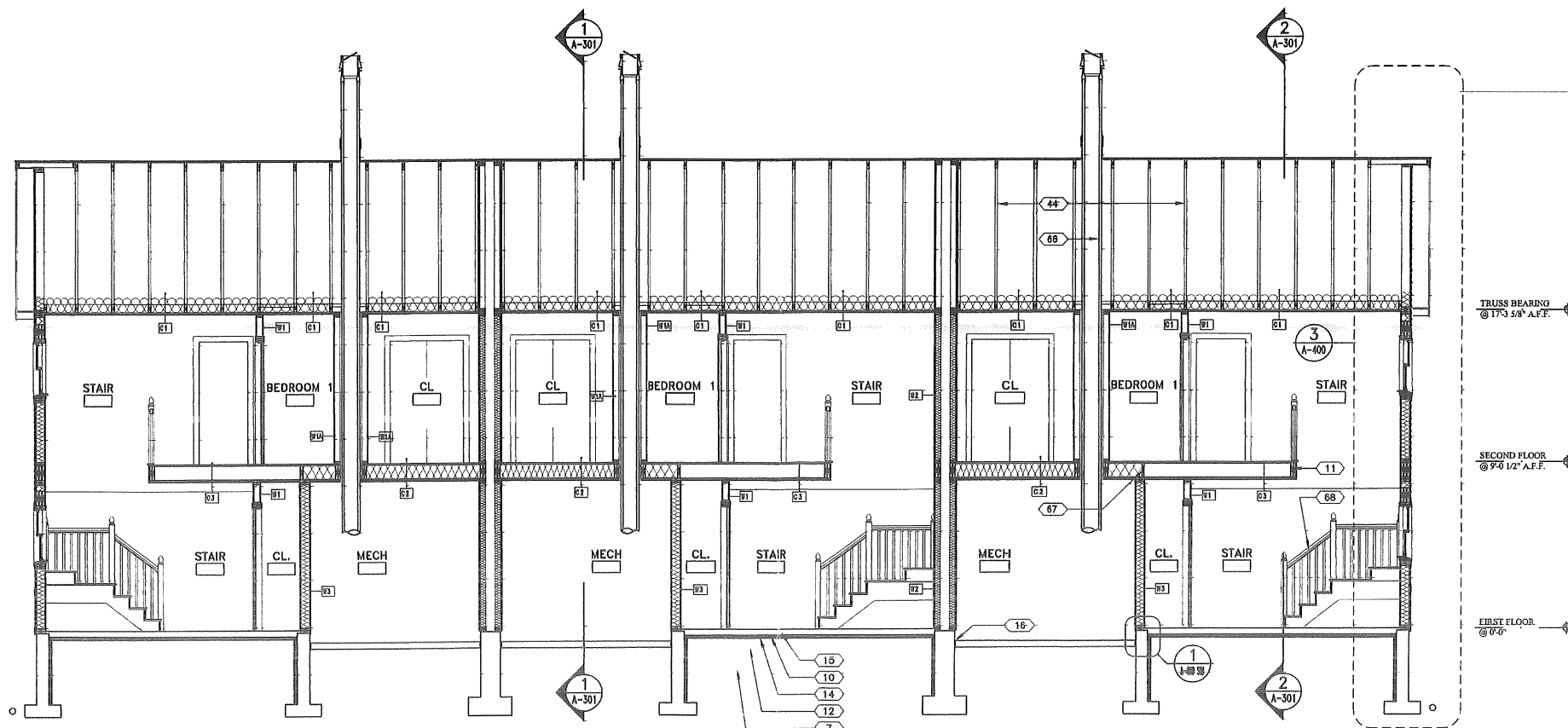
SHEET TITLE
THIRD FLOOR PLAN

SCH-3

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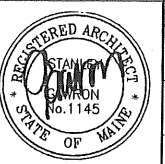
2 BUILDING SECTION
A-300 SCALE: 1/4" = 1'-0"



1 BUILDING SECTION
A-300 SCALE: 1/4" = 1'-0"

SECTION LEGEND

- 01 FOOTING - POURED-IN-PLACE CONCRETE
- 02 STEEL REINFORCING BARS - (2) #5 HORIZONTAL
- 03 4" DRAIN TILE IN WASHED AGGREGATE w/ GEOTECHNICAL FABRIC WRAP - EXIST @ GRADE
- 04 JOINT JOINT - ROUGHEN CONCRETE SURFACE
- 05 STEEL REINFORCING BARS - (2) #4 TOP & BOTTOM HORIZONTAL
- 06 STEEL REINFORCING BARS - (1) #4 VERTICAL w/ 6" HOOK 16" o.c.
- 07 ENGINEERED BACKFILL COMPACTED TO 98% - REFER TO GEOTECHNICAL REPORT
- 08 STEEL REINFORCING BARS - (1) #4 MID HEIGHT WALL HORIZONTAL
- 09 6" LOAM TOPSOIL FILL @ ALL AREAS BACKFILLED OR DISTURBED BY GRADING
- 10 2" RIGID INSULATION
- 11 REFER TO STRUCTURAL DRAWINGS
- 12 COMPACTED AGGREGATE FILL - REFER TO GEOTECHNICAL REPORT
- 13 1/2" FLYWOOD SUB-FLOOR - GLUE & SCREW TO JOIST PER MANUFACTURERS REQUIREMENTS
- 14 6 MIL VAPOR RETARDER
- 15 4" THICK POURED-IN-PLACE CONCRETE FLOOR SLAB w/ 1.4 x 1.4 @ 6" W.W.P. OR FIBERMESH
- 16 1/2" EXPANSION MATERIAL
- 17 WOOD BASE
- 18 5/8" TYPE 'X' GWB
- 19 VAPOR RETARDER
- 20 6" FIBERGLASS BATT INSULATION
- 21 2"x6" WOOD STUDS @ 16" o.c.
- 22 15 LBS BUILDING PAPER
- 23 5/8" FLYWOOD SHEATHING
- 24 VINYL SIDING - 4" EXPOSURE
- 25 VINYL SIDING WAIST BOARD - COLOR TO MATCH TRIM
- 26 VINYL SIDING - 5" RIB VERTICAL
- 27 HOOK ANCHORS - 16" LONG @ 8'-0" o.c. w/ (2) MIN. PER WALL
- 28 VINYL TRIM / TERMINATION STRIP
- 29 TREATED WOOD PLATE
- 30 WATER TABLE - COIL STOCK w/ WOOD - COLOR TO MATCH TRIM
- 31 DOUBLE TOP PLATE
- 32 1/2" x 1 1/2" WOOD FURRING @ 24" o.c. TYPICAL @ UNDERSIDE OF ALL ROOF TRUSSES, CEILING RAFTERS & JOISTS
- 33 VINYL VENTED SOFFIT SYSTEM - COLOR TO MATCH TRIM
- 34 COIL STOCK w/ WOOD - COLOR TO MATCH TRIM
- 35 WOOD BLOCKING
- 36 5/8" FLYWOOD ROOF SHEATHING
- 37 VENT BAFFLE
- 38 FIBERGLASS / ASPHALT SHINGLE - ARCHITECTURAL 3 TAB
- 39 10" FIBERGLASS BATT INSULATION
- 40 FOUNDATION WALL - PARGE w/ TROWEL
- 41 RIM JOIST PER MANUFACTURERS REQUIREMENTS
- 42 BITUMINUS WATERPROOFING UNDERLAYMENT - FROM ROOF EDGE TO 6'-0" ABOVE & 3'-0" TO EACH SIDE OF VALLEYS, RIDGES AND VERTICAL TRANSITIONS
- 43 TIED DOWNS PER PRE-ENGINEERED TRUSS SUPPLIERS REQUIREMENTS
- 44 PRE-ENGINEERED ROOF TRUSS SYSTEM - PRE-ENGINEERED BY ROOF TRUSS SUPPLIER - PROVIDE BRACING PER SUPPLIERS REQUIREMENTS
- 45 STEEL BALLARD - REFER TO FLOOR PLANS
- 46 WOOD TRIM
- 47 WOOD WINDOW STOOL
- 48 SEALANT @ PERIMETER
- 49 VINYL CLAD WOOD WINDOW SYSTEM - COLOR TO MATCH TRIM
- 50 GALV. TIE-DOWN (1) PER JOIST
- 51 COUNTER FLASHING - AS REQUIRED BY ROOF WINDOW SUPPLIER
- 52 VINYL CLAD ROOF WINDOW SYSTEM - COLOR TO MATCH TRIM
- 53 WINDOW TRIM - COIL STOCK w/ WOOD - COLOR TO MATCH TRIM
- 54 SEALANT & BACKER ROD AS REQUIRED @ PERIMETER
- 55 2"x6" WOOD RAFTERS @ 16" o.c.
- 56 METAL STANDING SEAM ROOFING SYSTEM
- 57 6"x6" TREAT WOOD POST
- 58 GALV. WOOD POST BASE PLATE - ANCHOR TO CONCRETE w/ 1/2" D EXPANSION BOLT
- 59 PRE-FINISHED ALUMINUM DRIP EDGE
- 60 2"x4" FLYING RAFTERS @ 24" o.c.
- 61 PRE-FINISHED INSULATED OVERHEAD DOOR w/ AUTOMATIC REMOTE CONTROLLED OPENER
- 62 1/2" POURED-IN-PLACE CONCRETE WEATHER STOP RECESS
- 63 CONTINUOUS RIDGE VENT SYSTEM
- 64 STEEL PRE-MANUFACTURED CHIMNEY SYSTEM
- 65 CHIMNEY FLASHING - LEAD COATED COPPER
- 66 NOT USED
- 67 CONTINUOUS WOOD FIRE BLOCKING
- 68 STAIR - DESIGN PER SHOF DRAWINGS
- 69 CHIMNEY CAP



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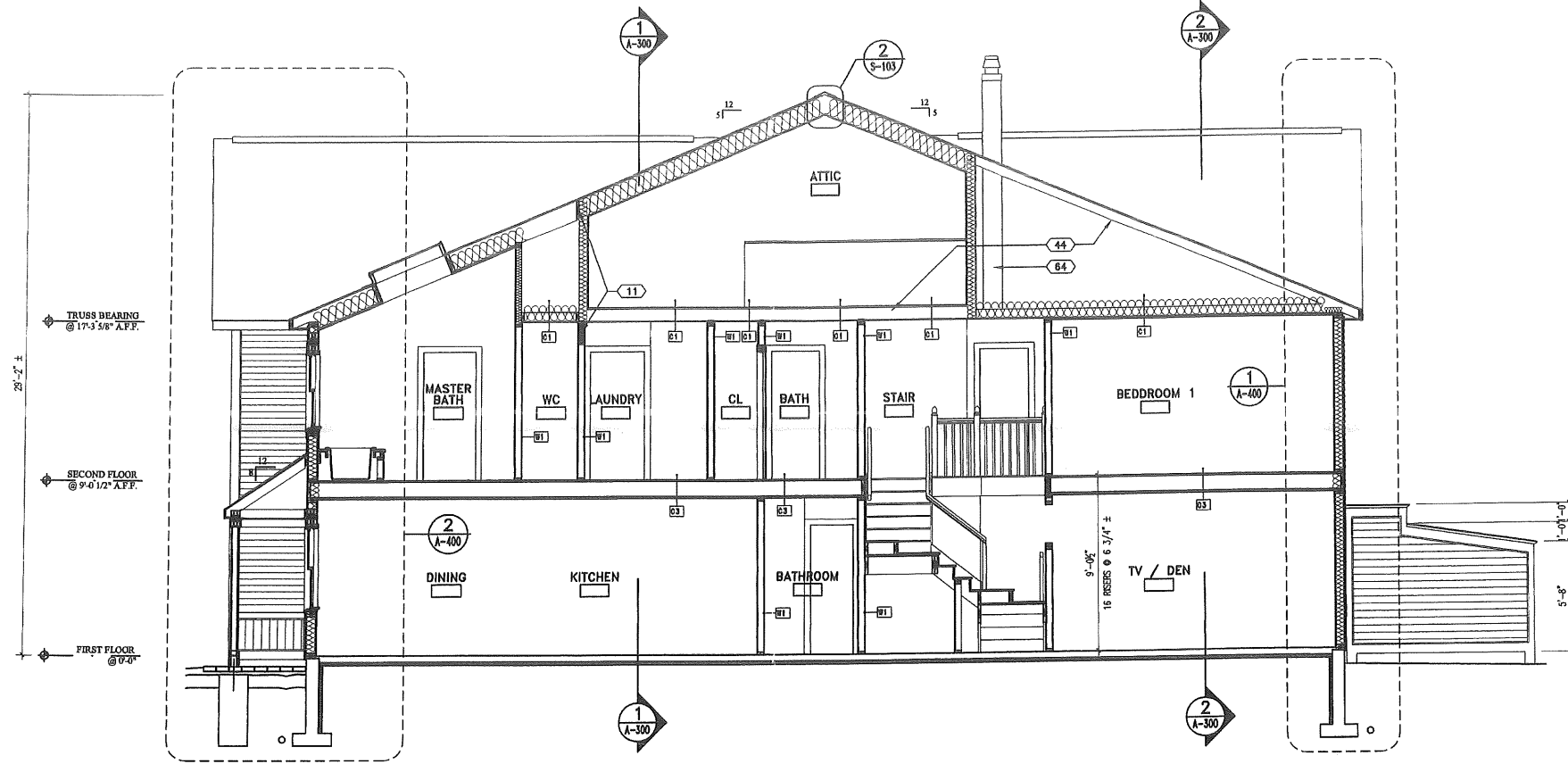
STARBIRD ROAD CONDOMINIUMS
BROWN DEVELOPMENT CORPORATION
PORTLAND, MAINE

REVISIONS		
#	DATE	DESCRIPTION
1	02/05/02	ISSUED FOR CONSTRUCTION
2	02/05/02	02/28/02

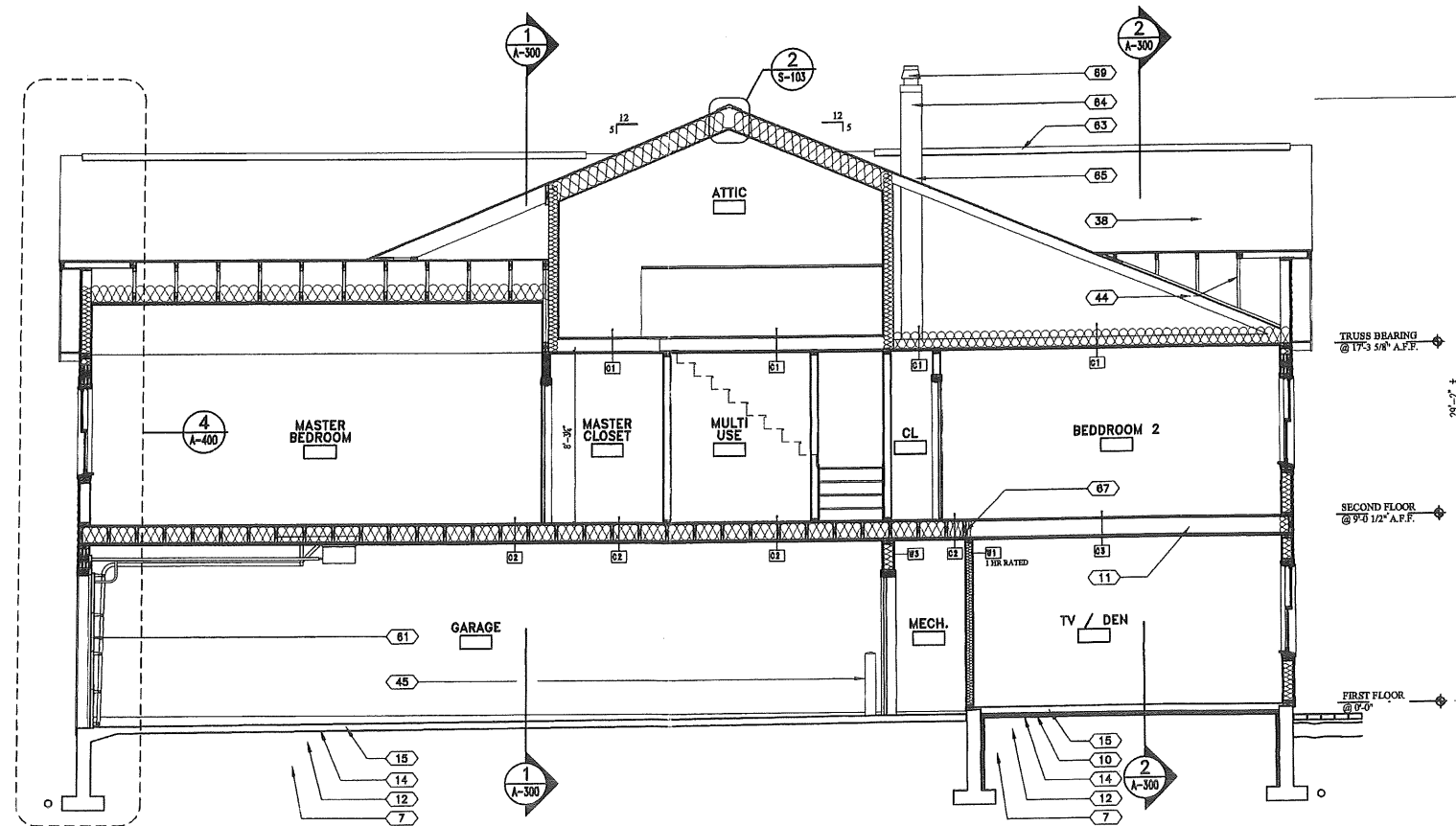
DATE:	02/05/02
PROJECT #:	031101
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CHECKED BY:	SG
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SHEET TITLE
BUILDING SECTIONS

A-300



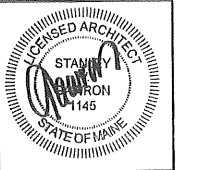
2 BUILDING SECTION
A-301 SCALE: 1/4" = 1'-0"



1 BUILDING SECTION
A-301 SCALE: 1/4" = 1'-0"

SECTION LEGEND

- 01 FOOTING - POURED-IN-PLACE CONCRETE
- 02 STEEL REINFORCING BARS - (3) #5 HORIZONTAL
- 03 4" DRAIN TILE IN W/ASBEST AGGREGATE w/ GEOTECHNICAL FABRIC WRAP - EXIST @ GRADE
- 04 POUR JOINT - ROUGHEN CONCRETE SURFACE
- 05 STEEL REINFORCING BARS - (2) #4 TOP & BOTTOM HORIZONTAL
- 06 STEEL REINFORCING BARS - (1) #4 VERTICAL w/ 6" HOOK 16" o.c.
- 07 ENGINEERED BACKFILL COMPACTED TO 95% - REFER TO GEOTECHNICAL REPORT
- 08 STEEL REINFORCING BARS - (1) #4 MID HEIGHT WALL HORIZONTAL
- 09 6" LOAM TOPSOIL FILL @ ALL AREAS BACKFILLED OR DISTURBED BY GRADING
- 10 2" RIGID INSULATION
- 11 REFER TO STRUCTURAL DRAWINGS
- 12 COMPACTED AGGREGATE FILL - REFER TO GEOTECHNICAL REPORT
- 13 1/2" PLYWOOD SUB-FLOOR - GLUE & SCREW TO JOIST PER MANUFACTURERS REQUIREMENTS
- 14 6 MIL VAPOR RETARDER
- 15 4" THK POURED-IN-PLACE CONCRETE FLOOR SLAB w/ 1.4 x 1.4 6"x6" W.W.F. OR FIBERMESH
- 16 1/2" EXPANSION MATERIAL
- 17 WOOD BASE
- 18 3/8" TYPE 'X' GWB
- 19 VAPOR RETARDER
- 20 6" FIBERGLASS BATT INSULATION
- 21 2"x6" WOOD STUDS @ 16" o.c.
- 22 15 LBS BUILDING PAPER
- 23 1/2" PLYWOOD SHEATHING
- 24 VINYL SIDING - 4" EXPOSURE
- 25 VINYL SIDING WAIST BOARD - COLOR TO MATCH TRIM
- 26 VINYL SIDING - 5" RIB VERTICAL
- 27 HOOK ANCHORS - 16" LONG @ 8" o.c. w/ (2) MIN. PER WALL
- 28 VINYL TRIM / TERMINATION STRIP
- 29 TREATED WOOD PLATE
- 30 WATER TABLE - COIL STOCK of WOOD - COLOR TO MATCH TRIM
- 31 DOUBLE TOP PLATE
- 32 1/2 x 1 1/2" WOOD FURRING @ 24" o.c. - TYPICAL @ UNDERSIDE OF ALL ROOF TRUSSES, CEILING RAFTERS & POSTS
- 33 VINYL VENTED SOFFIT SYSTEM - COLOR TO MATCH TRIM
- 34 COIL STOCK of WOOD - COLOR TO MATCH TRIM
- 35 WOOD BLOCKING
- 36 5/8" PLYWOOD ROOF SHEATHING
- 37 VENT BAFFLE
- 38 FIBERGLASS / ASPHALT SHINGLE - ARCHITECTURAL 3 TAB
- 39 10" FIBERGLASS BATT INSULATION
- 40 FOUNDATION WALL - PARGE w/ THOROSEAL
- 41 RIM JOIST PER MANUFACTURERS REQUIREMENTS
- 42 BITUMENIS WATERPROOFING UNDERLAMENT - FROM ROOF EDGE TO 6" o.c. ABOVE & 3'-0" TO EACH SIDE OF VALLEYS, RIDGES AND VERTICAL TRANSITIONS
- 43 TIE-DOWNS PER PRE-ENGINEERED TRUSS SUPPLIER'S REQUIREMENTS
- 44 PRE-ENGINEERED ROOF TRUSS SYSTEM - PRE-ENGINEERED BY ROOF TRUSS SUPPLIER - PROVIDE BRACING PER SUPPLIER'S REQUIREMENTS
- 45 STEEL BALLARD - REFER TO FLOOR PLANS
- 46 WOOD TRIM
- 47 WOOD WINDOW STOOL
- 48 SEALANT @ PERIMETER
- 49 VINYL CLAD WOOD WINDOW SYSTEM - COLOR TO MATCH TRIM
- 50 GALV. TIE-DOWN (1) PER JOIST
- 51 COUNTER FLASHING - AS REQUIRED BY ROOF WINDOW SUPPLIER
- 52 VINYL CLAD ROOF WINDOW SYSTEM
- 53 WINDOW TRIM - COIL STOCK of WOOD - COLOR TO MATCH TRIM
- 54 SEALANT & BACKER ROD AS REQUIRED @ PERIMETER
- 55 2"x6" WOOD RAFTERS @ 16" o.c.
- 56 METAL STANDING SEAM ROOFING SYSTEM
- 57 6"x6" TREAT WOOD POST
- 58 GALV. WOOD POST BASE PLATE - ANCHOR TO CONCRETE w/ 1/2" D EXPANSION BOLT
- 59 PRE-FINISHED ALUMINUM DRIP EDGE
- 60 2"x4" FLYING RAFTERS @ 24" o.c.
- 61 PRE-FINISHED INSULATED OVERHEAD DOOR w/ AUTOMATIC REMOTE CONTROLLED OPENER
- 62 1/2" POURED-IN-PLACE CONCRETE WEATHER STOP RECES
- 63 CONTINUOUS RIDGE VENT SYSTEM
- 64 STEEL PRE-MANUFACTURED CHIMNEY SYSTEM
- 65 CHIMNEY FLASHING - LEAD COATED COPPER
- 66 NOT USED
- 67 CONTINUOUS WOOD FIRE BLOCKING
- 68 STAIR - DESIGN PER SHOP DRAWINGS
- 69 CHIMNEY CAP



GAWRON ARCHITECTS
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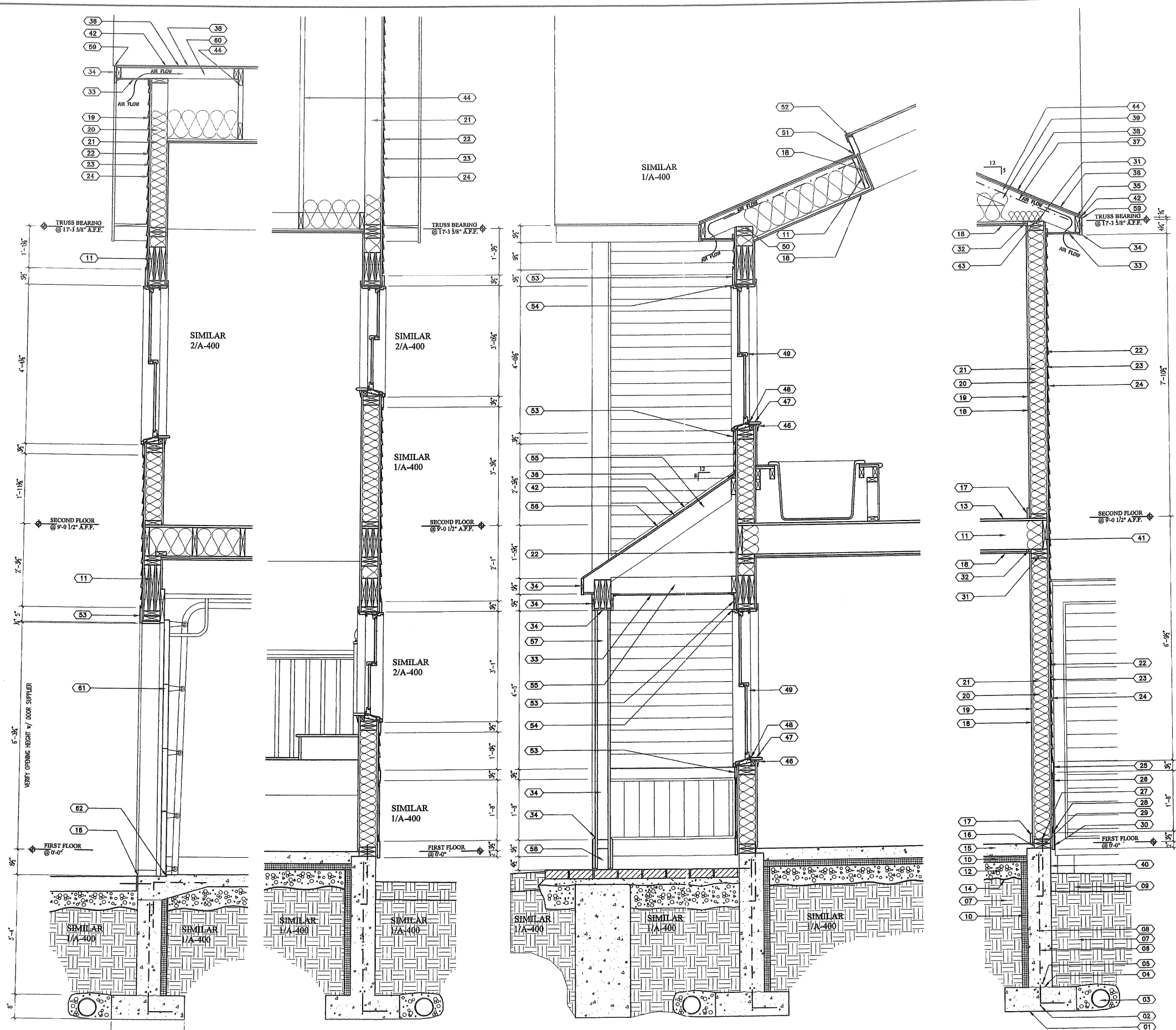
STARBIRD ROAD CONDOMINIUMS
BROWN DEVELOPMENT CORPORATION
PORTLAND, MAINE

REVISIONS		
#	DATE	DESCRIPTION
		ISSUED FOR CONSTRUCTION
	02/05/02	
	02/28/02	

DATE:	05/09/02
PROJECT #:	031101
DRAWN BY:	DMR
CHECKED BY:	SG
DRAWING SCALE:	AS NOTED

SHEET TITLE
BUILDING SECTIONS

A-301



SECTION LEGEND

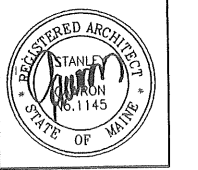
- 01 FOOTING - POURED-IN-PLACE CONCRETE
- 02 STEEL REINFORCING BARS - (2) #5 HORIZONTAL
- 03 4" DRAIN TILE IN WASHED AGGREGATE w/ GEOTECHNICAL FABRIC WRAP - EXIST @ GRADE
- 04 POUR JOINT - ROUGHEN CONCRETE SURFACE
- 05 STEEL REINFORCING BARS - (2) #4 TOP & BOTTOM HORIZONTAL
- 06 STEEL REINFORCING BARS - (1) #4 VERTICAL @ 9" BOOK 16" o.c.
- 07 ENGINEERED BACKFILL COMPACTED TO 92% - REFER TO GEOTECHNICAL REPORT
- 08 STEEL REINFORCING BARS - (1) #4 MID HEIGHT WALL HORIZONTAL
- 09 6" LOAM TOPSOIL FILL @ ALL AREAS BACKFILLED OR DISTRIBUTED BY GRADING
- 10 2" RIGID INSULATION
- 11 REFER TO STRUCTURAL DRAWINGS
- 12 COMPACTED AGGREGATE FILL - REFER TO GEOTECHNICAL REPORT
- 13 1/2" PLYWOOD SUB-FLOOR - GLOB & SCREW TO JOIST PER MANUFACTURERS REQUIREMENTS
- 14 6 MIL VAPOR RETARDER
- 15 4" THK POURED-IN-PLACE CONCRETE FLOOR SLAB w/ 1.4 x 1.4 @ 12" W.W.P. OR FIBERMESH
- 16 1/2" EXPANSION MATERIAL
- 17 WOOD BASE
- 18 5/8" TYPE 'X' GWB
- 19 VAPOR RETARDER
- 20 6" FIBERGLASS BATT INSULATION
- 21 2"x6" WOOD STUDS @ 16" o.c.
- 22 15 LBS BUILDING PAPER
- 23 5/8" PLYWOOD SHEATHING
- 24 VINYL SIDING - 4" EXPOSURE
- 25 VINYL SIDING WAIST BOARD - COLOR TO MATCH TRIM
- 26 VINYL SIDING - 5" RUB VERTICAL
- 27 HOOK ANCHORS - 16" LONG @ 8'-0" o.c. w/ (2) MIN. PER WALL
- 28 VINYL TRIM / TERMINATION STRIP
- 29 TREATED WOOD PLATE
- 30 WATER TABLE - COIL STOCK of WOOD - COLOR TO MATCH TRIM
- 31 DOUBLE TOP PLATE
- 32 1/2" x 1/2" WOOD FURRING @ 24" o.c. - TYPICAL @ UNDERSIDE OF ALL ROOF TRUSSES, CHILING RAFTERS & JOISTS
- 33 VINYL VENTED SOFFIT SYSTEM - COLOR TO MATCH TRIM
- 34 COIL STOCK of WOOD - COLOR TO MATCH TRIM
- 35 WOOD BLOCKING
- 36 5/8" PLYWOOD ROOF SHEATHING
- 37 VENT BAFFLE
- 38 FIBERGLASS / ASPHALT SHINGLE - ARCHITECTURAL TAB
- 39 10" FIBERGLASS BATT INSULATION
- 40 FOUNDATION WALL - PARGE w/ THORSOL
- 41 RIM JOIST PER MANUFACTURERS REQUIREMENTS
- 42 BITUMINOUS WATERPROOFING UNDERLAYMENT - FROM ROOF EDGE TO 6" ABOVE & 3'-0" TO EACH SIDE OF VALLEYS, RIDGES AND VERTICAL TRANSITIONS
- 43 TIED DOWNS PER PRE-ENGINEERED TRUSS SUPPLIERS REQUIREMENTS
- 44 PRE-ENGINEERED ROOF TRUSS SYSTEM - PRE-ENGINEERED BY ROOF TRUSS SUPPLIER - PROVIDE BRACING PER SUPPLIERS REQUIREMENTS
- 45 STEEL BALLARD - REFER TO FLOOR PLANS
- 46 WOOD TRIM
- 47 WOOD WINDOW STOOL
- 48 SEALANT @ PERIMETER
- 49 VINYL CLAD WOOD WINDOW SYSTEM - COLOR TO MATCH TRIM
- 50 GALV. TIE-DOWN (1) PER JOIST
- 51 COUNTER FLASHING - AS REQUIRED BY ROOF WINDOW SUPPLIER
- 52 VINYL CLAD ROOF WINDOW SYSTEM
- 53 WINDOW TRIM - COIL STOCK of WOOD - COLOR TO MATCH TRIM
- 54 SEALANT & BACKER ROD AS REQUIRED @ PERIMETER
- 55 2"x6" WOOD RAFTERS @ 16" o.c.
- 56 METAL STANDING SEAM ROOFING SYSTEM
- 57 2"x6" TREAT WOOD POST
- 58 GALV. WOOD POST BASE PLATE - ANCHOR TO CONCRETE w/ 1/2" D EXPANSION BOLT
- 59 PRE-FINISHED ALUMINUM DRIP EDGE
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4 WALL SECTION
A-400 SCALE: 3/4" = 1'-0"

3 WALL SECTION
A-400 SCALE: 3/4" = 1'-0"

2 WALL SECTION
A-400 SCALE: 3/4" = 1'-0"

1 WALL SECTION
A-400 SCALE: 3/4" = 1'-0"



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DATE:	02/05/02
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SHEET TITLE
WALL SECTIONS

A-400

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AREA FOR FUTURE HAMMERHEAD TURN AROUND

40' PUBLIC ACCESS EASEMENT TO CITY OF PORTLAND

STARBIK

N\F Susan G. Shorey & Arthur R. Dingley Bk 11985 Pg 252

PROPOSED SIGN "DEAD END STARBIRD ROAD EXT. PRIVATE DRIVE"

STABILIZED CONSTRUCTION ENTRANCE (SEE DETAIL SHEET)

N\F Stanley B

RETAINING WALL

PRESSURE TREATED WOODEN GUARD RAIL (SEE DETAIL SHEET)

N\F Francis M. Coyne Bk 7549 Pg 298

10'x10' PATIO, TYF

25' BUILDING SETBACK

POOL

INSTALL (2) SIGNS "PUBLIC PARKING ONLY"

5' BIT. SIDEWALK

STARBIRD ROAD EXTENSION

3-9'x18' PARKING SPACES

PRESSURE TREATED WOODEN GUARD RAIL (SEE DETAIL SHEET)

INSTALL "NO PARKING" SIGNS THIS SIDE OF ROAD

RETAINED RD RAIL (SEE SHEET)

RETAIN

N\F Rita A. LeBarbera Bk 11715 Pg 257

4" AXLE 5" AB GND

N\F Benjamin J. Spike & Corina Burt Bk 10758 Pg 247

N\F Darin M. & Angela M. Brown Bk 12314 Pg 234

1" IRF 12" AB GND LEANING

1" IRF 2.5' AB GND

N\F John F. & Justina A. Mc Gettigan 12030 Pg 22

