

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK  
**CITY OF PORTLAND**

Please Read  
Application And  
Notes, If Any,  
Attached

**BUILDING INSPECTION**

**PERMIT**

Permit Number: 020258

This is to certify that Brown Development Corp./Tony Brown Inc.  
has permission to PRUD 12 unit Condominium Building (3 units) of 4.  
96-98 & 100  
AT Starbird Road 224 A001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is laid or closed-in. **48 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. *[Signature]*  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name \_\_\_\_\_

*[Signature]* 5/17/02  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

204-A-025

Permit No: 02-0258	Issue Date:	CBL: 224 A00001
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Location of Construction: 96-484100 Starbird Road	Owner Name: Brown Development Corp.	Owner Address: PO Box 7022	Phone: 207-767-4473
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Business Name: n/a	Contractor Name: Terry Brown Builders, Inc.	Contractor Address: PO Box 7022 Scarborough	Phone: 2077674473
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Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Multi Family	Zone: C-24
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Past Use: Vacant	Proposed Use: PRUD 12 unit Condominiums / Building # 1 (3 units) of 4. <i>bdgs</i>	Permit Fee: \$2,123.00	Cost of Work: \$300,000.00	CEO District: 3	Contract Zone
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Proposed Project Description: PRUD 12 unit Condominiums / Building # (3 units) of 4.	FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: <i>industrial</i> 5/17/02
	Signature: <i>H. H. H.</i>	Signature: <i>Ch. [unclear]</i>

Permit Taken By: gg	Date Applied For: 03/26/2002	<b>Zoning Approval</b>
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <i>outside of sil</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>panel 12 zone X</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>with org sketch</i> Maj <input checked="" type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>5/17/02</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date: <i>5/17/02</i>		Date:

*Needs to be scanned!*

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

\_\_\_\_\_  
SIGNATURE OF APPLICANT ADDRESS DATE PHONE

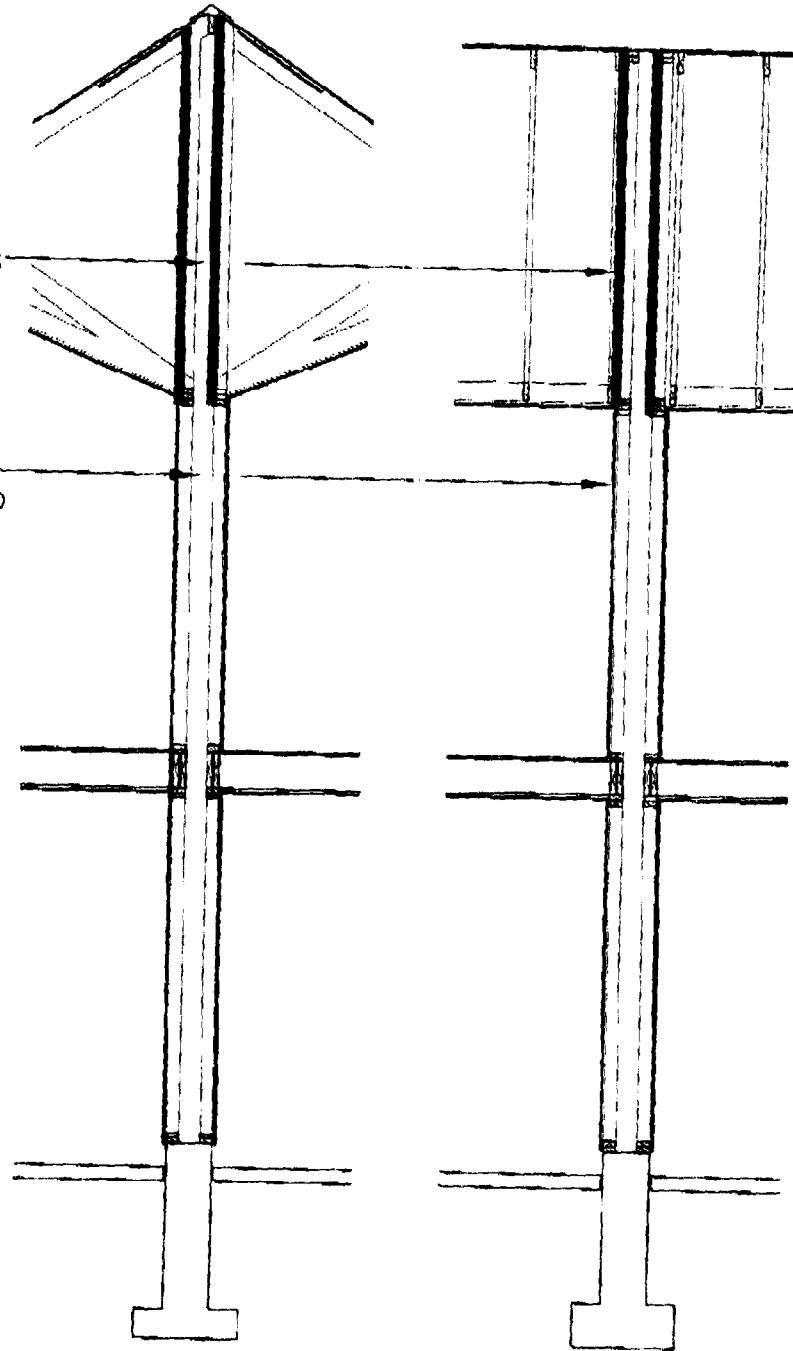
\_\_\_\_\_  
RESPONSIBLE PERSON IN CHARGE OF WORK. TITLE DATE PHONE

11/13/03 Needs fireplace permit, furnace  
permit, and ~~chimney~~<sup>OK</sup> disclosure form. Framing,  
Plumbing, and electric rough in ok for units #1, and  
~~#2~~ #3, AR

11/25/03 - Fire sep. between units - OK TM

1/2" TYPE 'X' GYPSUM BOARD RELOCATED TO INSIDE FACE OF TRUSSES TO FACILITATE PRESENT CONSTRUCTION

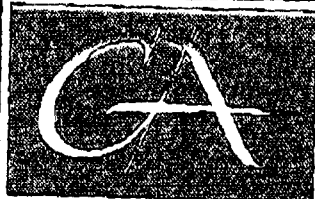
CONSTRUCTION PER CONSTRUCTION DOCUMENTS ISSUED 02-05-02 FOR CONSTRUCTION & REVISED 02-28-02, 07-02-02, & 07-19-02



1  
CSK-1

**SECTION DETAIL**

SCALE: 1/4" = 1'-0"



**GAWRON ARCHITECTS**  
 29 Black Point Road  
 Scarborough, ME 04074  
 www.gawron.com  
 Tel. 207. 883. 6307  
 Fax 207. 883. 0361

**Starbird Road Condominiums**

**Section Detail**

DATE: 4/03/03  
 PROJECT # 031101

SCALE: AS NOTED  
 DRAWN BY: DMR

CONSTRUCTION 1105-2003  
 REPRESENTATION AS SHOWN OF THE BUILDING IS THE PROPERTY OF GAWRON ARCHITECTS & ASSOCIATES

**CSK**  
1



**GAWRON  
TURGEON  
ARCHITECTS**

29 Black Point Road, Scarborough, Maine 04074-9358

Architecture  
Interior Design  
Master Planning  
Landscape Architecture

PRINCIPALS  
Stan Gawron, Architect  
Mary Turgeon, MCTP 1 401.2130

**April 3, 2003**

**Terry Brown  
Brown Construction Corp.  
P.O. Box 7022  
Scarborough, Maine 04074**

Dear Terry,

Per your request Gawron Turgeon Architects made a visit to the Starbird Road Condominium site on Starbird Road, Portland, Maine on March 31, 2003 to review construction between each unit. From observable construction it was determined that each room adjacent to each unit is constructed to meet a fire rating of 1 hour as required by the code. The space in the attics between each unit requires a 1 hour fire separation. One layer of type 'x' on each side of the wall is required. Gawron Turgeon Architects has attached to this a letter CSK-1 to delineate an alternate design. The presented design can be substituted to obtain the required 1 hour fire rating between the Units. Please note that this construction should be continuous in all the attic spaces adjacent to each unit.

Terry, please do not hesitate to contact our office if we can be of further assistance.

Best regards,

David M. Richards

Attachment



# PLUMBING APPLICATION

Department of Human Sciences  
Division of Health Engineering

Town or Parishion: Portland, Me.  
 Street: Bussing St. Standing Rd.  
 Subdivision Lot #:  
 Applicant Name: Brown Terry  
 Robert S. Dore  
 Address of Owner/Applicant (if different):  
PO Box 4522  
Scarboro, Me. 04076

PORTLAND PERMIT # 8110 APPLICANTS COPY  
 Date Permit Issued: 6/14/07 110101010  Double Fee Charge  
 Local Plumbing Inspector Signature: Jamie Bowler License # 0171312  
 THE WORK SPECIFIED IN THIS APPLICATION IS HEREBY AUTHORIZED TO BE INSTALLED IN ACCORDANCE WITH THE RULES. THIS PERMIT EXPIRES AFTER TWO YEARS FROM DATE ISSUED UNLESS WORK HAS COMMENCED.

**Owner/Applicant Statement**  
 I certify that the information submitted is correct to the best of my knowledge and understand that any false or false is reason for the Local Plumbing Inspectors to deny a permit.  
 Signature of Owner/Applicant: Robert S. Dore Date: 6/14/07

**Caution: Inspection Required**  
 I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.  
 Local Plumbing Inspector Signature: \_\_\_\_\_ Date Approved: \_\_\_\_\_

**This Application is for:**  
 1.  NEW PLUMBING  
 2.  RELOCATED PLUMBING

**Type of Structure To Be Served:**  
 1.  SINGLE FAMILY DWELLING  
 2.  MODULAR OR MOBILE HOME  
 3.  MULTIPLE FAMILY DWELLING  
 4.  OTHER - SPECIFY \_\_\_\_\_

**Plumbing To Be Installed By:**  
 1.  MASTER PLUMBER  
 2.  OIL SUPPLERMAN  
 3.  MFG'S HOUSING DEALER/MECHANIC  
 4.  PUBLIC UTILITY EMPLOYEE  
 5.  PROPERTY OWNER  
 LICENSE # 028566

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Number	Column 1	Number	Column 2
		Type of Fixture		Type of Fixture
HOOK-UP to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.	2	Hosabibb / Slicked	1	Bathub (and Shower)
		Floor Drain	1	Shower (Separate)
OR		Urinal	1	Sink
		Drinking Fountain	4	Wash Basin
HOOK-UP to an existing subsurface wastewater disposal system.		Indirect Waste	3	Water Closet (Toilet)
		Water Treatment Softener, Filter, etc.	1	Clothes Washer
PIPING RELOCATION of sanitary lines, drains, and piping without new fixtures.		Grease / Oil Separator	1	Dish Washer
		Dental Cuspidor	1	Garbage Disposal
OR		Bidet	1	Laundry Tub
		Other <u>Whirlpool</u>	1	Water Heater
TRANSFER FEE (\$6.00)		Fixtures (Subtotal) Column 2	13	
SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE				Total Fixtures
				Permit Fee

# PLUMBING APPLICATION

Department of Human Sciences

PORTLAND

PERMIT - BILL APPLICANTS COPY

Date Permit Issued: 6 14 02 1012010 FEE  Double Fee Charge

Jeanie Love  
Local Plumbing Inspector Signature L.P.I. # 017312

THE WORK SPECIFIED IN THIS APPLICATION IS HEREBY AUTHORIZED TO BE INSTALLED IN ACCORDANCE WITH THE RULES. THIS PERMIT EXPIRES AFTER TWO YEARS FROM DATE ISSUED UNLESS WORK HAS COMMENCED.

Town or Precinct: Portland, Me  
 Street: Building 2  
 Subdivision Lot #: Unit # 2 Starboard Rd  
 Applicant Name: Robert S. Poek  
 Mailing Address of Owner/Applicant: 10 601 88th Seabrook, Me 04070

**Owner/Applicant Statement**

**Caution: Inspection Required**

I certify that the information submitted is correct to the best of my knowledge and understand that my designation as Inspecter for the Local Plumbing Inspector is hereby being:

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Robert S. Poek 6/14/02  
Signature of Owner/Applicant Date

Jeanie Love  
Local Plumbing Inspector Signature

Date Approved

<b>This Application is for:</b> 1. <input checked="" type="checkbox"/> NEW PLUMBING 2. <input type="checkbox"/> RELOCATED PLUMBING	<b>Type of Structure To Be Served:</b> 1. <input checked="" type="checkbox"/> SINGLE FAMILY DWELLING 2. <input type="checkbox"/> MODULAR OR MOBILE HOME 3. <input type="checkbox"/> MULTIPLE FAMILY DWELLING 4. <input type="checkbox"/> OTHER - SPECIFY	<b>Plumbing To Be Installed By:</b> 1. <input checked="" type="checkbox"/> MASTER PLUMBER 2. <input type="checkbox"/> OIL BURNERMAN 3. <input type="checkbox"/> MFG'D HOUSING DEALER/MECHANIC 4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE 5. <input type="checkbox"/> PROPERTY OWNER LICENSE # <u>08566</u>
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Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2		Column 1	
	Number	Type of Fixture	Number	Type of Fixture
HOOK-UP to public sewer in those cases where this connection is not regulated and inspected by the local Sanitary District	2	Hosebibb / Sillcock	1	Bathtub (and Shower)
		Floor Drain	1	Shower (Separate)
OR		Urinal	1	Sink
		Drinking Fountain	4	Wash Basin
HOOK-UP to an existing subsurface wastewater disposal system		Indirect Waste	3	Water Closet (Toilet)
		Water Treatment Softener, Filter, etc.	1	Clothes Washer
OR		Grease / Oil Separator	1	Dish Washer
		Dental Cuspidor	1	Garbage Disposal
PIPING RELOCATION of sanitary base, drains, and piping without new fixtures.		Bidet	1	Laundry Tub
	1	Other: <u>Whirlpool</u>	1	Water Heater
TRANSFER FEE (\$0.00)	Fixtures (Subtotal) Column 2		Total Fixtures	
SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE				
Point Fee				

# PLUMBING APPLICATION

Department of Human Services

PORTLAND

PE. \$ B112 APPLICANTS COPY

Date Permit Issued: 1/5/14 102 10900  State Fee Charge

Daniel Brown L.P.I. # 217314  
Local Plumbing Inspector Signature

THE WORK SPECIFIED ON THIS APPLICATION IS HEREBY AUTHORIZED TO BE INSTALLED IN ACCORDANCE WITH THE RULES. THIS PERMIT EXPIRES AFTER TWO YEARS FROM DATE ISSUED UNLESS WORK HAS COMMENCED.

Town of: Portland, ME  
 Street: Building 2nd  
 Supervisor Lot #: 54330000  
 Applicant Name: Robert S. Brown  
 Mailing Address of Owner/Applicant (if Different): PO Box 6522  
Southport, ME 04170

**Owner/Applicant Statement**  
 I certify that the information supplied is correct to the best of my knowledge and understanding and my obligations to report for the Local Health Department to start plumbing.

Robert S. Brown 1/5/14  
 Signature of Owner/Applicant Date

**Caution: Inspection Required**  
 I have inspected the installation and hereby certify that it to be in compliance with the Maine Plumbing Rules.

Daniel Brown 1/5/14  
 Local Plumbing Inspector Signature Date Approved

**This Application is for:**

NEW PLUMBING  
 RELOCATED PLUMBING

**Type of Structure To Be Served:**

SINGLE FAMILY DWELLING  
 MODULAR OR MOBILE HOME  
 MULTIPLE FAMILY DWELLING  
 OTHER - SPECIFY \_\_\_\_\_

**Plumbing To Be Installed By:**

MASTER PLUMBER  
 OIL BURNERMAN  
 MEQD, LICENSED DEALER/MECHANIC  
 PUBLIC UTILITY EMPLOYEE  
 PROPERTY OWNER  
 LICENSE # 08546

Hook-Up & Piping Relocation Maximum of 1 Year Up	Number	Column 2 Type of Fixture	Number	Column 1 Type of Fixture
HOOK-UP to public sewer (in those cases where the connection is not regulated and inspected by the local Sanitary District)	2	Hosebib / Siphock	1	Bathroom (Shower)
		Floor Drain	1	Shower (Separate)
<b>OR</b>		Urinal	1	Sink
		Drinking Fountain	1	Wash Basin
HOOK-UP to an existing subsurface wastewater disposal system		Indirect Waste	3	Water Closet (Toilet)
		Water Treatment/Separator/Filter etc.	1	Clothes Washer
PIPING RELOCATION of sanitary lines, drains, and piping without new fixtures		Grease / Oil Separator	1	Dish Washer
		Dental Cupboard	1	Garbage Disposal
<b>OR</b>		Other		Laundry Tub
	1	Other <u>Whirlpool</u>		Water Heater
TRANSFER FEE (\$8.00)		Fixtures (Subtotal) Column 2		
SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE				
				Total Fixtures
				Permit Fee (\$60)



STARBUCK RD.  
CONDOMINIUMS

BLDG. 1  
UNITS 1-3

### STATE OF MAINE CHIMNEY OR FIREPLACE DISCLOSURE

Dear Consumer: State law, specifically 32 M.R.S.A., Chapter 33, requires chimney or fireplace installers, as of January 1, 1992, to provide you with this Disclosure prior to the installation work being done on your chimney or fireplace. The purpose of this Disclosure is to help you, as a consumer, make an informed decision as to the abilities of the installer and under what requirements the installation must comply. It is important to note that the State of Maine does not require registration or licensure of chimney or fireplace installers; however, it is just as important to realize that many fires are caused each year by improperly constructed fireplaces and chimneys. For further information about this law, call the Division of Licensing & Registration at 624-8629 or write to the Division at #35 State House Station, Augusta, Maine 04333.

#### INSTALLER INFORMATION

Name of Installer \_\_\_\_\_  
D.B.A. \_\_\_\_\_  
Name of Installer (if incorporated) AVERY SERVICES, INC.  
D.B.A. \_\_\_\_\_  
Legal Address 7 THOMAS DRIVE WESTBROOK  
(Street and No.) (City or Town)  
ME CUMBERLAND 04092  
(State) (County) (Zip Code)  
Home Telephone 1 1 Business Telephone 207 1 772 18687  
Years of experience doing fireplace or chimney installations 22

#### CONSUMER IDENTIFICATION

Consumer's Name TERRY BROWN BUILDERS  
Mailing Address P.O. Box 7022 SCARBOROUGH  
(Street and No.) (City or Town)  
ME CUMBERLAND 04070-7022  
(State) (County) (Zip Code)  
Home Telephone 1 1 Business Telephone 207 1 767 14473

Installer, please give a brief description of installation being offered.

WE ARE INSTALLING A SELKIRK METALBEST'S (STAINLESS STEEL)  
CHIMNEY FOR THE BOILER (OIL) BEING INSTALLED IN EACH OF THE FIVE  
THREE CONDOS

I, AVERY SERVICES, INC., the installer, hereby attest that the preceding information provided is true to the best of my knowledge. I also understand that if I fail to conform with the standards as outlined in NFPA 211 that I shall be subject to penalties as outlined under Title 32, Chapter 33, Oil and Solid Fuel Board.

Signature [Signature] PRESENET Date 10-30-02

7750 - 011  
NFPA 31

### INSTALLATION STANDARDS

Please check the type of unit(s) that will be installed:

**Factory-Built Chimney and Chimney Units.**

Factory-built chimney and chimney units shall be listed and shall be installed in accordance with the temperature conditions of the listing and the manufacturer's instructions and all requirements of NFPA 211 for chimneys, fireplaces, vents and solid fuel appliances.

**Masonry Chimney.**

Masonry chimneys shall be designed, anchored, supported and re-enforced as required by NFPA 211 for chimneys, fireplaces, vents and solid fuel appliances.

**Metal Chimney.**

Metal chimneys shall be constructed in accordance with NFPA 211, and shall apply good engineering practices as necessary for:

1. Strength to resist stress
2. Adequate anchoring and bracing
3. Durability
4. Security against leakage
5. Allowances for thermal expansion

**Factory Built Fireplace.**

Factory built fireplaces shall be listed and shall be installed in accordance with the terms of its listing and all applicable sections of NFPA 211.

**Masonry Fireplace.**

Masonry fireplaces shall meet the requirements of NFPA 211, Chapter 7 and all other pertinent sections.

**Other**

Please list on separate sheet of paper if making repairs of pre-existing chimneys, such as repair or replacement of chimney liners, etc.

### CONSUMER CHECKLIST

1. Have you asked for references to be provided by the installer?
2. Is the installer familiar with the NFPA 211 codes and does the installer carry a code book?
3. If the installation is a pre-fabricated or fireplace, is its manufacturer registered with the Maine Oil & Solid Fuel Bd.
4. Does the installer provide any type of written guarantee for the product installation being proposed?
5. Has the installer provided you with a written contract? 10 M.R.S.A. Chapter 219-A requires written contracts for any home remodeling or construction with an estimated cost in excess of \$1,400.
6. Have you asked the local fire department or code enforcement officials to inspect the installation during and after completion?

Project: Girben Job No: 2 Date: 10/10/10

Client: ... Location: ... Drawn by: ...

Scale: 1/8" = 1'-0" Date: 10/10/10

Notes: ...

Notes: ...

Notes: ...

Notes: ...

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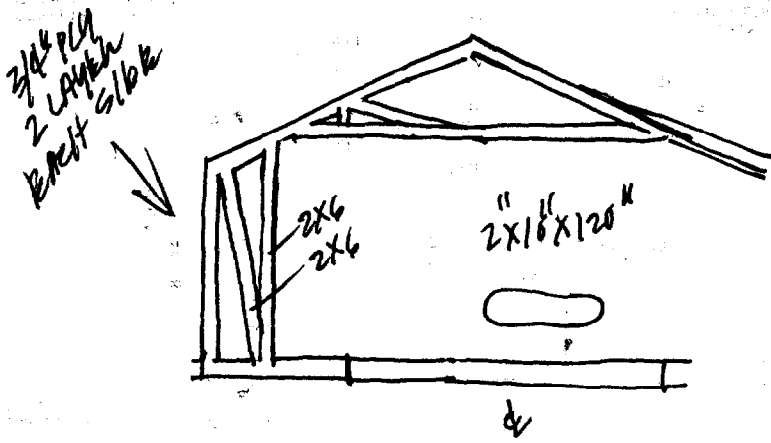
Notes: ...

Notes: ...

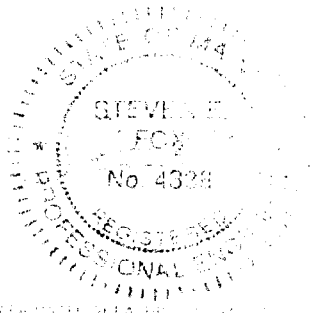
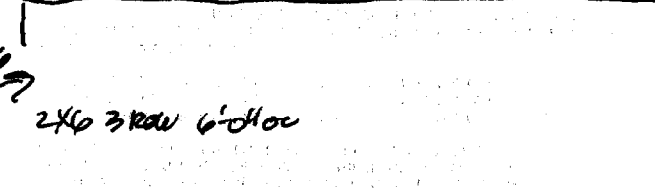
Notes: ...

Notes: ...

Notes: ...



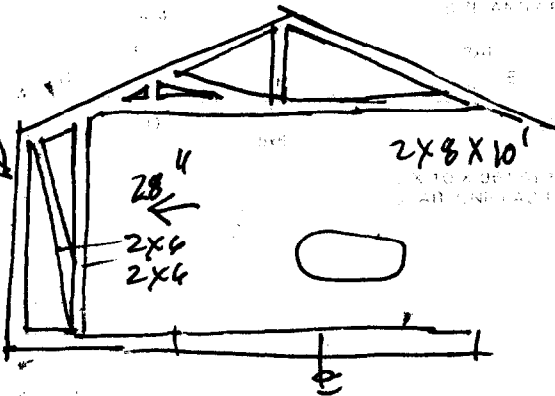
LOADING	SPACING	DEFL.	PLATES	GRIP
COLL.			5/16"	15/16"
ROOF				
WALL				
FLOOR				



Job: [blacked out] Date: [blacked out] Location: [blacked out]  
 Drawn: [blacked out] Title: [blacked out]  
 Material Issues: [blacked out] 4211 Lakeview Rd. 28386 M. Tek Industries, Inc. Tue Oct 15 10:33:26 1991

**STANDARD**

2/4 ply  
1 layer  
each globe



APPROXIMATE WEIGHT OF ROOFING MATERIALS PER SQUARE FOOT OF AREA:  
 1.5 LB/SQ FT FOR 1/2" GYPSUM BOARD  
 1.5 LB/SQ FT FOR 1/2" GYPSUM BOARD  
 1.5 LB/SQ FT FOR 1/2" GYPSUM BOARD

Plate Offset: [blacked out]

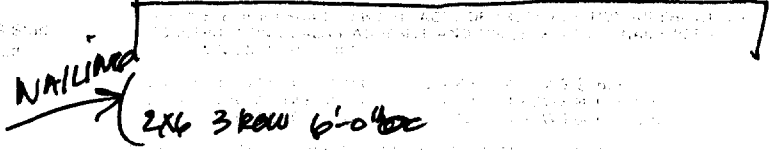
LOADING (lb)	LOADING	UNIT
WELL	100	lb/ft
WALL	100	lb/ft
ROOF	100	lb/ft
WIND	100	lb/ft

DEF.	UNIT	DEF.	UNIT
Vertical	lb/ft	PLATES	1/2" x 4"
Horizontal	lb/ft	GRIP	1/2" x 4"

**LUMBER**  
 TOP CHORD: 2x8x10  
 BOTTOM CHORD: 2x8x10  
 RAFTERS: 2x4  
 STUDS: 2x4  
 JOISTS: 2x4

**BRACING**  
 TOP CHORD: 2x4  
 BOTTOM CHORD: 2x4  
 RAFTERS: 2x4  
 STUDS: 2x4  
 JOISTS: 2x4

**REACTIONS**  
 WALL: 100 lb/ft  
 ROOF: 100 lb/ft  
 WIND: 100 lb/ft



**FORCES**  
 DEAD: 100 lb/ft  
 LIVE: 100 lb/ft  
 WIND: 100 lb/ft

- NOTES**
- This truss has been designed for a dead load of 100 lb/ft and a live load of 100 lb/ft. It is designed for a wind speed of 100 mph. The truss is designed for a dead load of 100 lb/ft and a live load of 100 lb/ft. It is designed for a wind speed of 100 mph. The truss is designed for a dead load of 100 lb/ft and a live load of 100 lb/ft. It is designed for a wind speed of 100 mph.
  - Design load is based on 100 lb/ft.
  - Unbalanced snow loads have been considered for this design.
  - Ceiling dead load is 100 lb/ft.
  - Bottom chord live load is 100 lb/ft.
  - Refer to general notes for details.
  - Provide proper bracing for all members.



October 15, 2001

STEVEN E. FOX, REGISTERED PROFESSIONAL ENGINEER, STATE OF MAINE, LICENSE NO. 4315

**Warning - Verify design details and loads before construction. This drawing is not to be used for any other purpose without the express written consent of M. Tek Industries, Inc.**



# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or ~~874-8693~~ to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

Footing/Building Location Inspection: Prior to pouring concrete

Re-Bar Schedule Inspection: Prior to pouring concrete

Foundation Inspection: Prior to placing ANY backfill

Framing/Rough Plumbing/Electrical: <sup>3 or 4 Days Notice</sup> Prior to any insulating or drywalling

Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

[Signature]  
Signature of applicant/designee

5/20/02  
Date

[Signature]  
Signature of Inspections Official

5/20/02  
Date

CBL: 166-A00 Building Permit #: 06-0510

Site # 2001 0295

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>STARBIRD RD. EXT. PORTLAND, ME.</u>		
Total Square Footage of Proposed Structure <u>7200 SP.</u>	Square Footage of Lot <u>1.2 ± ACRE</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>224</u> Block# <u>1</u> Lot# <u>001</u>	Owner: <u>BROWN DEVELOPMENT CORP.</u>	Telephone: <u>767-4473</u>
Lessee/Buyer's Name (If Applicable) <u>N/A.</u>	Applicant name, address & telephone: <u>TERRY BROWN P.O. BOX 7022 SCARBOROUGH, ME.</u>	Cost Of Work: \$ <u>300,000.00</u> Fee: \$ <u>2,123.00</u>
Current use: <u>VACANT LOT</u> <u>04070</u>		
If the location is currently vacant, what was prior use: <u>NONE</u>		
Approximately how long has it been vacant: <u>UNKNOWN</u>		
Proposed use: <u>P.U.D. RESIDENTIAL CONDOMINIUMS</u> Project description: <u>BUILDING #1 (3 UNITS) OF 4</u>		
Contractor's name, address & telephone: <u>TERRY BROWN BUILDERS INC. P.O. BOX 7022 SCARBOROUGH, ME. 04070</u>		
Who should we contact when the permit is ready: Mailing address: <u>will p/u.</u> <u>TERRY BROWN 767-4473</u> <u>SAME AS ABOVE</u> <u>Call</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>767-4473</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Terry Brown</u>	Date: <u>3/26/02</u>
--	----------------------

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4<sup>th</sup> floor of City Hall

Applicant:

Brown Dev,

Date:

4/25/02

Address:

Starbird Rd. Condos

C-B-L:

224-A-001

CHECK-LIST AGAINST ZONING ORDINANCE

Date - N/A

Zone Location - Contract Zone # 24 (R-3 PRUD underlying)

Interior or corner lot -

Proposed Use/Work - Construct 1 bldg with 3 D.U

Sevage Disposal - City

Lot Street Frontage -

Front Yard - ① min setback to external property lines (30' req in Bldg)  
25' req 25' shown

Rear Yard -

Side Yard - ② min Distance between Detached bldgs:

Projections - 16ft req 20' shown

Width of Lot - ③ MAX length of Detached Bldg - 140' max

Height - 35' max - 31ft shown to ridge - 76' shown

Lot Area -

Lot Coverage/ Impervious Surface -

Area per Family -

Off-street Parking - 2 req EA + 1 for every six units - ok  
2 CAR garage for every unit

Loading Bays - N/A

Site Plan - → under original site plan & subdivision plan

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - panel 12  
Zone X

Application ID Number: 2-0258

Department: Zoning

Status: Approved with Conditions

Reviewer: Marge Schmuckal

Comments: BUILDING #1 (3 DWELLING UNITS)  
called #96 - 98 - & 100

Approval Date: 04/25/2002

Given On Date: 03/27/2002

OK to Issue Permit Name: Marge Schmuckal Date: 04/25/2002 Date 2:

Conditions Section:

This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Separate permits shall be required for future decks, sheds, pools, and/or garages.

ONLY PATIOS ARE SHOWN ON THE REAR, NOT DECKS OR ANY OTHER STRUCTURES. IF THERE IS A CHANGE IN THE PLANS FOR A BUILT STRUCTURE, SUCH AS A DECK, A SEPARATE PERMIT IS REQUIRED WITH PLANS AND APPPROVALS PRIOR TO THE BUILDING OF SUCH.

Create Date: 03/27/2002 By: gg Update Date: 04/26/2002 By: mes



Application ID Number: 2-0258

Delete Save Close

Department: Building

Status: Approved with Conditions

Reviewer: Mike Nugent

Comments:

[Empty comment box]

Approval Date: 05/17/2200

Given On Date: 04/29/2002

OK to Issue Permit Name: Mike Nugent Date: 05/17/2002 Date 2: [Empty]

Conditions Section: Add New Condition From Add New Condition Delete Condition

Separate plans and permits are required for the furnaces, fireplaces, chimneys and vents, plumbing & electrical.

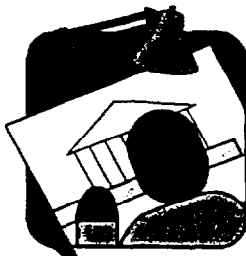
Clothes Dryer Vent design must be approved prior to installation.

Attic access for enclosed spaces with 3 feet or greater headroom shall be provided

Sprinkler system must be approved prior to installation

Create Date: 03/27/2002 By gg

Update Date: 05/17/2002 By mjn



**CITY OF PORTLAND MAINE**

**389 Congress St., Rm 315**

**Portland, ME 04101**

**Tel. - 207-874-8704**

**Fax - 207-874-8716**

**TO:** Inspector of Buildings City of Portland, Maine  
Planning & Urban Development  
Division of Housing & Community Services

**FROM DESIGNER:** Gawron Architects

29 Black Point Road, Scarborough, Maine 04074

**DATE:** March 18, 2002

Job Name: Starbird Condominiums

Address of Construction: Starbird Road, Portland, Maine

**THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION**

Construction project was designed according to the building code criteria listed below:

Building Code and Year 1999 BOCA Use Group Classification(s) R-3

Type of Construction 5B Bldg. Height 29'-2" Bldg. Sq. Footage 8,340

Seismic Zone AV=0.110 Group Class 1

Roof Snow Load Per Sq. Ft. sloped 42 Dead Load Per Sq. Ft. 15psf

Basic Wind Speed (mph) 85 psf Effective Velocity Pressure Per Sq. Ft. 18.5 psf

Floor Live Load Per Sq. Ft. structure assembly 50 psf

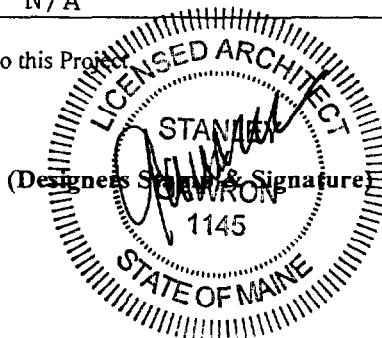
Structure has full sprinkler system? Yes  No  Alarm System? Yes  No   
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

Is structure being considered unlimited area building: Yes  No

If mixed use, what subsection of 313 is being considered N/A

List Occupant loading for each room or space, designed into this Project

PSH 6/07/2K





GAWRON  
ARCHITECTS

29 Black Point Road, Scarborough, Maine 04074-9338

Master Planning  
Architecture  
Interior Design  
Landscape Architecture

PRINCIPALS  
Stan Gawron, Architect  
Mary Turgeon, NCIDQ

May 13, 2002

City of Portland  
Mike Nugent  
Code Enforcement Department  
389 Congress Street  
Portland, Maine 04104

Re: Building Plan Review Comments  
- Per Telephone Conversation on 05/13/02  
Starbird Condominiums  
GA # 031101

Dear Mr. Nugent,

Gawron Architects has addressed the City's review comments of the Starbird Condominiums. Please find verbal remedies as requested listed below.

Comments:

1. Describe structural components of 2<sup>nd</sup> floor structural system over Den TV. Drawing 1 on sheet S-102 indicates "Douglas fir Larch - No. 1 - 2" x 10" @ 12" O.C. shall be changed to TJI 9 1/2" SP @ 12" o.c. - Note bearing plate is required to be 1/4" lower than areas using conventional framing.
2. Describe stair construction to Attic Storage Area - The stairway is an access stair and shall be constructed as follows. The stairway shall be 3'-2" wide with 14 rises at 7-11/16" with a floor to floor height of 8'-11 1/2". The tread shall be 11" deep with 10" exposed and a 1" overhang. The clear headroom height shall be 6'-8" or greater.

If further clarification is required, please call me at 883-6307 at your earliest convenience. Thank you for your assistance.

Sincerely,

David M. Richards, RA

Cc: Terry Brown, Brown Development Corporation  
Stan Gawron, Principle Gawron Architects



# City of Portland, Maine

389 Congress St., Rm 315  
Portland, ME 04101

## ACCESSIBILITY CERTIFICATE

**TO:** Inspector of Buildings City of Portland, Maine  
Department of Planning & Urban Development  
Division of Housing & Community Services

**FROM:** Gawron Architects

**RE:** Certificate of Design, HANDICAP ACCESSIBILITY

**DATE:** March 26, 2002

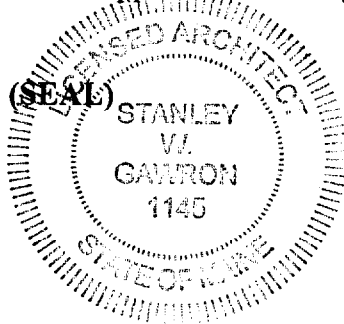
These plans and/or specifications covering construction work on:

Starbird Condominiums

Starbird Road

Portland, Maine 04101

Have been designed and drawn up by the undersigned, a Maine registered engineer/architect according to State Regulations as adopted by the State of Maine on Handicapped Accessibility.



Signature

Stanley V. Gawron

Title

Architect

Firm

Gawron Architects

Address

29 Black Point Rd  
Scarborough, ME

NOTES: N.R. — Not required  
N.A. — Not applicable

## ADMINISTRATION (Chapter 1)

\_\_\_\_\_ Complete construction documents  
(107.5, 107.6, 107.7)

✓  
\_\_\_\_\_ Signed/sealed construction documents  
(107.7, 114.1)

## BUILDING PLANNING (Chapters 3, 4, 5, 6)

### USE OR OCCUPANCY CLASSIFICATION (302.0-313.0)

R-2 Single Use Group \_\_\_\_\_ Specific occupancy areas (302.1.1)  
\_\_\_\_\_ Mixed Use Groups \_\_\_\_\_ Accessory areas (302.1.2)

### GENERAL BUILDING LIMITATIONS (Chapters 5 & 6)

Apply Case 1 to determine the allowable height and area and permitted types of construction for a building containing a single use group or nonseparated mixed use groups. Apply Case 2 to determine the allowable height and area and permitted types of construction for a building containing separated mixed use groups.

#### AREA MODIFICATIONS TO TABLE 503

% of Allowable tabular area (Table 503)	<u>100%</u>
% Reduction for height (Table 506.4)	<u>- 0%</u>
% Increase for open perimeter (506.2)	<u>+ 0%</u>
% Increase for automatic sprinklers (506.3)	<u>+ 200%</u>
Total percentage factor	<u>= 300%</u>
Conversion factor	<u><math>\frac{300}{100} = 3</math></u>
	<small>(Total percentage factor/100%)</small>

Open perimeter (506.2)	_____ North _____	_____ East _____	_____ South _____	_____ West _____
Open perim. _____ ft.	Perimeter _____ ft.			
% Open perimeter =		$\frac{\text{Open perim.}}{\text{perim.}} \times 100\%$		
% Tab. area increase = (506.2)		$2 \times (\% \text{ Open perim.} - 25\%)$		

#### CASE 1 — SINGLE USE OR NONSEPARATED MIXED USE GROUPS (313.1.1, 503.0)

Using Table 503, identify the allowable height and area of the single use group or the most restrictive of the nonseparated mixed use groups. Construction types that provide an allowable tabular area equal to or greater than the adjusted floor area and allowable heights (as modified by Section 504.0) equal to or greater than the actual building height are permitted.

Actual floor area <u>4170</u> ft. <sup>2</sup>	Actual building height <u>25</u> feet <u>2</u> stories
Adjusted floor area* <u><math>4800 \times 3 = 1440</math></u> ft. <sup>2</sup>	Allowable building height <u>55</u> feet <u>3</u> stories

\*Adjusted floor area = actual floor area/conversion factor

Permitted types of construction All Type of construction assumed for review (602.3) 5B

**STANDPIPE SYSTEMS**

- \_\_\_\_\_ Building height (915.2.1)
- \_\_\_\_\_ Building area (915.2.2)
- \_\_\_\_\_ Malls (915.2.3)
- N/A* \_\_\_\_\_ Stages (915.2.4)
- N/A* \_\_\_\_\_ Approved system (915.3, 915.3.1)
- \_\_\_\_\_ Piping design (915.4)
- \_\_\_\_\_ Water supply (915.5)
- \_\_\_\_\_ Control valves (915.6)
- \_\_\_\_\_ Hose connection (915.7)

**FIRE DEPARTMENT CONNECTIONS**

- \_\_\_\_\_ Required (916.1)
- \_\_\_\_\_ Connections (916.2)

**YARD HYDRANTS**

- \_\_\_\_\_ Fire hydrants (917.1)

**FIRE ALARM SYSTEMS**

- \_\_\_\_\_ Approval (918.3)
- \_\_\_\_\_ Assembly (A-4), Educational (E) (918.4.1)
- \_\_\_\_\_ Business (B)(918.4.2)
- N/A* \_\_\_\_\_ High-hazard (H) (918.4.3)
- N/A* \_\_\_\_\_ Institutional (I) (918.4.4)
- N/A* \_\_\_\_\_ Residential (R-1) (918.4.5)
- N/A* \_\_\_\_\_ Residential (R-2) (918.4.6)
- \_\_\_\_\_ Location/details (918.5)
- \_\_\_\_\_ Power supply/wiring (918.6, 918.7)
- \_\_\_\_\_ Alarm-notification appliances (918.8)
- \_\_\_\_\_ Voice/alarm signaling system (918.9)

**AUTOMATIC FIRE DETECTION SYSTEMS**

- \_\_\_\_\_ Approval (919.3)
- \_\_\_\_\_ Institutional (I) (919.4.1, 919.4.2, 919.4.3)
- \_\_\_\_\_ Residential (R-1) (919.4.4)
- \_\_\_\_\_ Sprinklered buildings exception (919.5)
- \_\_\_\_\_ Zones (919.6)

**SINGLE- AND MULTIPLE-STATION SMOKE DETECTORS**

- N/A* \_\_\_\_\_ Residential (R-1) (920.3.1)
- N/A* \_\_\_\_\_ Residential (R-2, R-3) (920.3.2)
- \_\_\_\_\_ Institutional (I-1) (920.3.3)
- \_\_\_\_\_ Interconnection (920.4)
- \_\_\_\_\_ Battery backup (920.5)

**FIRE EXTINGUISHERS**

- N/A* \_\_\_\_\_ Approval (921.1)
- N/A* \_\_\_\_\_ Required (921.2)

**SMOKE CONTROL SYSTEMS**

- N/A* \_\_\_\_\_ Passive system (922.2.1)
- N/A* \_\_\_\_\_ Mechanical system (922.2.2)
- \_\_\_\_\_ Smoke removal (922.3)
- \_\_\_\_\_ Activation (922.4)
- \_\_\_\_\_ Standby power (922.5)

**SMOKE AND HEAT VENTS**

- N/A* \_\_\_\_\_ Size and spacing (923.2)

**SUPERVISION**

- N/A* \_\_\_\_\_ Fire suppression systems (924.1)
- N/A* \_\_\_\_\_ Fire alarm systems (924.2)

## STEEL (Chapter 22)

<u>None</u>	Structural steel design/construction standard specified (2203.1, 2203.2)	Formed steel design/construction standard specified (2206.1)
	Shop drawing preparation specified (2203.4)	Formed steel member identification (2206.6)
	Open-web steel joist design/construction standard specified (2205.1)	

## WOOD (Chapter 23)

<u>Will occur</u>	Installation inspections (2301.2)	Seismic bracing (2305.8)
<u>YES</u>	Design/construction standard specified (2303.1)	Foundation anchorage (2305.17)
<u>#2 SPF</u>	Grade mark specified (2303.1.1)	Wood structural panels (2307.0)
<b>HEAVY TIMBER CONSTRUCTION</b>		
<u>None</u>	Minimum dimensions (605.1, 2304.0)	Particleboard (2308.0)
	Design/construction standard specified (2304.1)	Fiberboard (2309.0)
<b>WOOD FRAME CONSTRUCTION</b>		
	Fastening and construction details (2305.0, Table 2305.2)	Fireretardant-treated wood (2310.0)
	Wind bracing design required (2305.7)	Decay and termite protection (2311.0)
		Joist hangers (2312.0)
		Prefabricated components (2313.1, 2313.3.1, 2313.3.2)

## NONSTRUCTURAL MATERIALS (Chapters 24, 25, 26)

### GLASS AND GLAZING (Chapter 24)

<u>None</u>	Skylights (2404.0)	Safety glazing (2405.0, 2406.0, 2407.0)
-------------	--------------------	---

### GYPSUM BOARD AND PLASTER (Chapter 25)

	Gypsum board materials (2503.0, Table 2503.2, Table 2503.3)	Plaster (2504.0, 2505.0, 2506.0)
--	---	----------------------------------

### PLASTIC (Chapter 26)

	Approved materials (2601.2)	FOAM PLASTIC (2603.0)
	Identification (2601.4)	Labeling (2603.2)
	Interior trim (2603.7)	Surface-burning characteristics (2603.3)
	Alternative approval (2603.8)	Thermal barrier (2603.4)
		Exterior walls (2603.5, 2603.6)







**CITY OF PORTLAND  
BUILDING CODE CERTIFICATE  
389 Congress St., Rm 315  
Portland, ME 04101**

**TO:** Inspector of Buildings City of Portland, Maine  
Department of Planning & Urban Development  
Division of Housing & Community Service

**FROM:** Gawron Architects

**RE:** Certificate of Design

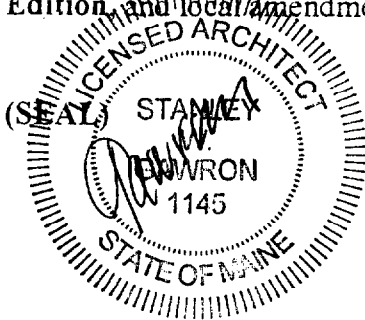
**DATE:** March 19, 2002

These plans and/or specifications covering construction work on:

Starbird Condominiums

Starbird Road, Portland, Maine

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the **BOCA National Building Code/1999 Fourteenth Edition**, and local amendments.



Signature Stan Gawron

Title Principal

Firm Gawron Architects

Address 29 Black Point Road, Scarborough, Maine

**As per Maine State Law:**

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

PSH 6/20/2k

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Planning Copy**

2001-0295

Application I. D. Number

10/24/2001

Application Date

Starbird Road Condominiums

Project Name/Description

**Brown Development Corporation**

Applicant

**PO Box 7022, Scarborough, ME 04070**

Applicant's Mailing Address

**Sebago Technics Inc.**

Consultant/Agent

**Agent Ph: (207)856-0277**

**Agent Fax: (207) 856-2206**

Applicant or Agent Daytime Telephone, Fax

**Starbird Road, Portland, Maine**

Address of Proposed Site

**224 A001001**

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify)

**12 Condominiums**

**1.40**

**contract zone**

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

**Check Review Required:**

Site Plan (major/minor)  Subdivision # of lots  PAD Review  14-403 Streets Review  
 Flood Hazard  Shoreland  Historic Preservation  DEP Local Certification  
 Zoning Conditional Use (ZBA/PB)  Zoning Variance  Other

Fees Paid: Site Plan **\$500.00** Subdivision Engineer Review **\$5,466.00** Date **03/14/2002**

**Planning Approval Status:**

Reviewer **Kandi Talbot**

Approved  Approved w/Conditions See Attached  Denied

Approval Date **01/08/2002** Approval Expiration **01/08/2003** Extension to  Additional Sheets Attached

OK to Issue Building Permit **Kandi Talbot** signature **03/15/2002** date

**Performance Guarantee**  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	<b>03/14/2002</b> date	<b>\$273,300.00</b> amount	<b>11/15/2003</b> expiration date
<input type="checkbox"/> Inspection Fee Paid	date	amount	
<input type="checkbox"/> Building Permit Issue	date		
<input type="checkbox"/> Performance Guarantee Reduced	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	date	Conditions (See Attached)	expiration date
<input type="checkbox"/> Final Inspection	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	date		
<input type="checkbox"/> Performance Guarantee Released	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	date	signature	

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

2001-0295

Application I. D. Number

10/24/2001

Application Date

Starbird Road Condominiums

Project Name/Description

Brown Development Corporation

Applicant

PO Box 7022, Scarborough, ME 04070

Applicant's Mailing Address

Sebago Technics Inc.

Consultant/Agent

Agent Ph: (207) 856-0277

Agent Fax: 2078562206

Applicant or Agent Daytime Telephone, Fax

Starbird Road, Portland, Maine

Address of Proposed Site

224 A001001

Assessor's Reference: Chart-Block-Lot

**Approval Conditions of Planning**

1 Subdivision

- i. that a note be added to the subdivision plat which states that "parking will be allowed on the westerly side of Starbird Road Extension only" and that the applicant shall install "no parking" signs on the easterly side of Starbird Road Extension.
- 2 ii. that the applicant provide a pedestrian path/footbridge, plans of which must be reviewed and approved by the Planning Department, to allow the public to get from the public parking area to the existing trail, which runs through the property being conveyed to the City.
- 3 iii. that the condominium documents be revised to include a covenant which will prohibit garage parking spaces to be converted to living space or otherwise eliminated and that Corporation Counsel review and approved the condominium documents prior to issuance of a building permit.
- 4 iv. that the applicant submit a stormwater maintenance agreement for review and approval by staff prior to issuance of a building permit.
- 5 v. that the applicant provide to the City an executed easement for public access on, over and across its property and for public parking as designated on the approved site plan.

**Approval Conditions of DRC**

- 1 i. See Planning's conditions

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
DRC Copy**

2001-0295  
Application I. D. Number  
  
10/24/2001  
Application Date  
  
Starbird Road Condominiums  
Project Name/Description

**Brown Development Corporation**  
Applicant  
**PO Box 7022, Scarborough, ME 04070**  
Applicant's Mailing Address  
**Sebago Technics Inc.**  
Consultant/Agent  
**Agent Ph: (207)856-0277      Agent Fax: (207) 856-2206**  
Applicant or Agent Daytime Telephone, Fax

**Starbird Road, Portland, Maine**  
Address of Proposed Site  
**224 A001001**  
Assessor's Reference: Chart-Block-Lot

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**12 Condominiums**      **1.40**      **contract zone**  
Proposed Building square Feet or # of Units      Acreage of Site      Zoning

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 Flood Hazard     Shoreland     Historic Preservation     DEP Local Certification  
 Zoning Conditional Use (ZBA/PB)     Zoning Variance     Other

Fees Paid:    Site Plan    **\$500.00**    Subdivision    Engineer Review    **\$5,466.00**    Date    **03/14/2002**

**DRC Approval Status:**

Reviewer **Chris Earle/Steve Bushey**

Approved     **Approved w/Conditions**     Denied  
See Attached

Approval Date **01/08/2002**    Approval Expiration **01/08/2003**    Extension to \_\_\_\_\_     Additional Sheets Attached  
 Condition Compliance    **Kandi Talbot**    **03/15/2002**  
signature    date

**Performance Guarantee**     **Required\***     **Not Required**

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	<b>03/14/2002</b> date	<b>\$273,300.00</b> amount	<b>11/15/2003</b> expiration date
<input type="checkbox"/> Inspection Fee Paid	date	amount	
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<input type="checkbox"/> Defect Guarantee Released	date	signature	

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

2001-0295

Application I. D. Number

10/24/2001

Application Date

**Brown Development Corporation**

Applicant

**PO Box 7022, Scarborough, ME 04070**

Applicant's Mailing Address

**Sebago Technics Inc.**

Consultant/Agent

**Agent Ph: (207) 856-0277**

**Agent Fax: 2078562206**

Applicant or Agent Daytime Telephone, Fax

**Starbird Road Condominiums**

Project Name/Description

**Starbird Road, Portland, Maine**

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**224 A001001**

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---

**Approval Conditions of DRC**

- 1 i. See Planning's conditions

CITY OF PORTLAND, MAINE  
PLANNING BOARD

Jaimy Caron, Chair  
Deborah Krichels, Vice Chair  
Kenneth M. Cole III  
Cyrus Y. Hagg  
Erin Rodriguez  
Mark Malone  
Orlando E. DeLogu

January 9, 2002

Mr. Shawn M. Frank, P.E.  
Project Manager  
Sebago Technics, Inc.  
One Chabot Street  
P.O. Box 1339  
Westbrook, ME 04098-1339

RF: Starbird Road Condominiums  
ID #2001-0295, CBL #224-A-001

Dear Mr. Frank:

On January 8, 2002, the Portland Planning Board voted 5-0 (Cole abstained) to approve your application for a 12-unit PRUD located at Starbird Road. The Board found that the application met the standards of the Subdivision and Site Plan ordinance of the Land Use Code.

The approval was granted for the project with the following conditions:

Subdivision

- i. that a note be added to the subdivision plat which states that "parking will be allowed on the westerly side of Starbird Road Extension only" and that the applicant shall install "no parking" signs on the easterly side of Starbird Road Extension.
- ii. that the applicant provide a pedestrian path/footbridge, plans of which must be reviewed and approved by the Planning Department, to allow the public to get from the public parking area to the existing trail, which runs through the property being conveyed to the City.
- iii. that the condominium documents be revised to include a covenant which will prohibit garage parking spaces to be converted to living space or otherwise eliminated and that Corporation Counsel review and approved the condominium documents prior to issuance of a building permit.
- iv. that the applicant submit a stormwater maintenance agreement for review and approval by staff prior to issuance of a building permit.

- v. that the applicant provide to the City an executed easement for public access on, over and across its property and for public parking as designated on the approved site plan.

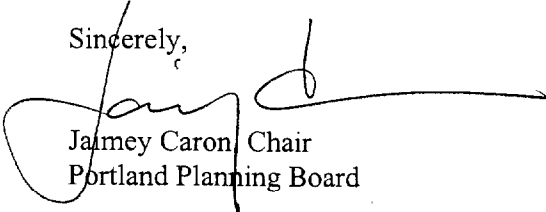
The approval is based on the submitted site plan and the findings related to subdivision and site plan review standards as contained in Planning Report #1-02, which is attached.

Please note the following provisions and requirements for all site plan approvals:

1. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and 7 final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.
2. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
3. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
4. Prior to construction, a preconstruction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the preconstruction meeting.
5. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)
6. The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact the Planning Staff.

Sincerely,



Jaimey Caron, Chair  
Portland Planning Board