

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0404	Issue Date:	CEBL: 224 AC13001
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Location of Construction: 304 Capisic St	Owner Name: Spike Benjamin J & Corina Burt	Owner Address: 304 Capisic St	Phone:
Business Name:	Contractor Name: New England Build and Design	City of Portland	Phone: 2078650988
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R3

Past Use: Single family	Proposed Use: Single family attached garage w/ second story living space	Permit Fee: \$561.00	Cost of Work: \$60,000.00	CEO District: 3
<i>Foundation permit # 05-0317</i>		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: 5B IRC-2003 <i>JMB 4/20/05</i>	
Proposed Project Description: Attached garage w/ second story living space		Signature:		
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: dmartin	Date Applied For: 04/12/2005	Zoning Approval		
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Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>JMB 4/20/05</i>	Zoning Appeal <input type="checkbox"/> Variance <input checked="" type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>JMB</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Please Read
Application And
Notes, if Any,
Attached

PERMIT ISSUED
Permit Number: 050404
APR 21 2005
CITY OF PORTLAND

This is to certify _____ New Electrical and Des _____
has permission to Attached garage w/ second story living space _____
AT 304 Capisic St _____ 224 A013001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permit is procured before this building or part thereof is started or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REWIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
DepartmentName

Debbie Burke 4/20/05
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0404	Date Applied For: 0411212005	CBL: 224 A013001
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Location of Construction: 304 Capisic St	Owner Name: Spike Benjamin J & Corina Burt	Owner Address: 304 Capisic St	Phone:
Business Name:	Contractor Name: New England Build and Design	Contractor Address: 5 Forest St Freeport	Phone (207) 865-0988
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single family attached garage w/ second story living space	Proposed Project Description: Attached garage w/ second story living space
--	--

3) Separate permits are required for any electrical, plumbing, or heating.

APR 12 2005

RECEIVED

All Purpose Building Permit Application

As the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Total Square Footage of Proposed Structure	Square Footage of Lot
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Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 224 A 013	Owner: Spike	Telephone:
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Lessee/Buyer's Name (if Applicable) N/A	Applicant name, address & telephone: Murlenz Inc	Cost Of Work: \$ 60,000 Fee: \$
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Current use: garage - detached

If the location is currently vacant, what was prior use: _____

Approximately how long has it been vacant: _____

Proposed use: attached garage w/ second story
 Project description: living space

Contractor's name, address & telephone: _____

Who should we contact when the permit is ready: Rebecca Green 865-0988
522-5823

Mailing address: New England Build + Design Inc
5 Forest St
Portland, Me 04032

We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: _____

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the Proposed work and that I have been authorized by the owner to make this application as his/her authorized agent, I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Green</u>	Date: <u>4/1/05</u>
--------------------------------------	---------------------

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



New England Build & Design, Inc.
5 Forest Street
Freeport, Maine 04082

Office 207-865-0988

Fax 207-865-9119

DATE: 4/19/2004

TO: Jeanie Bourke

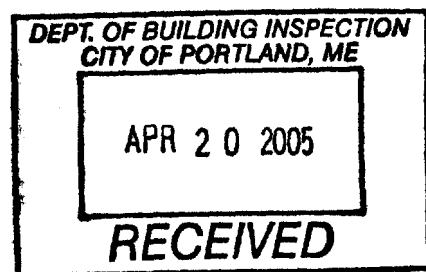
FAX: 207-874-8716

RE: New England Build & Design, Inc.
304 Capisic Permit

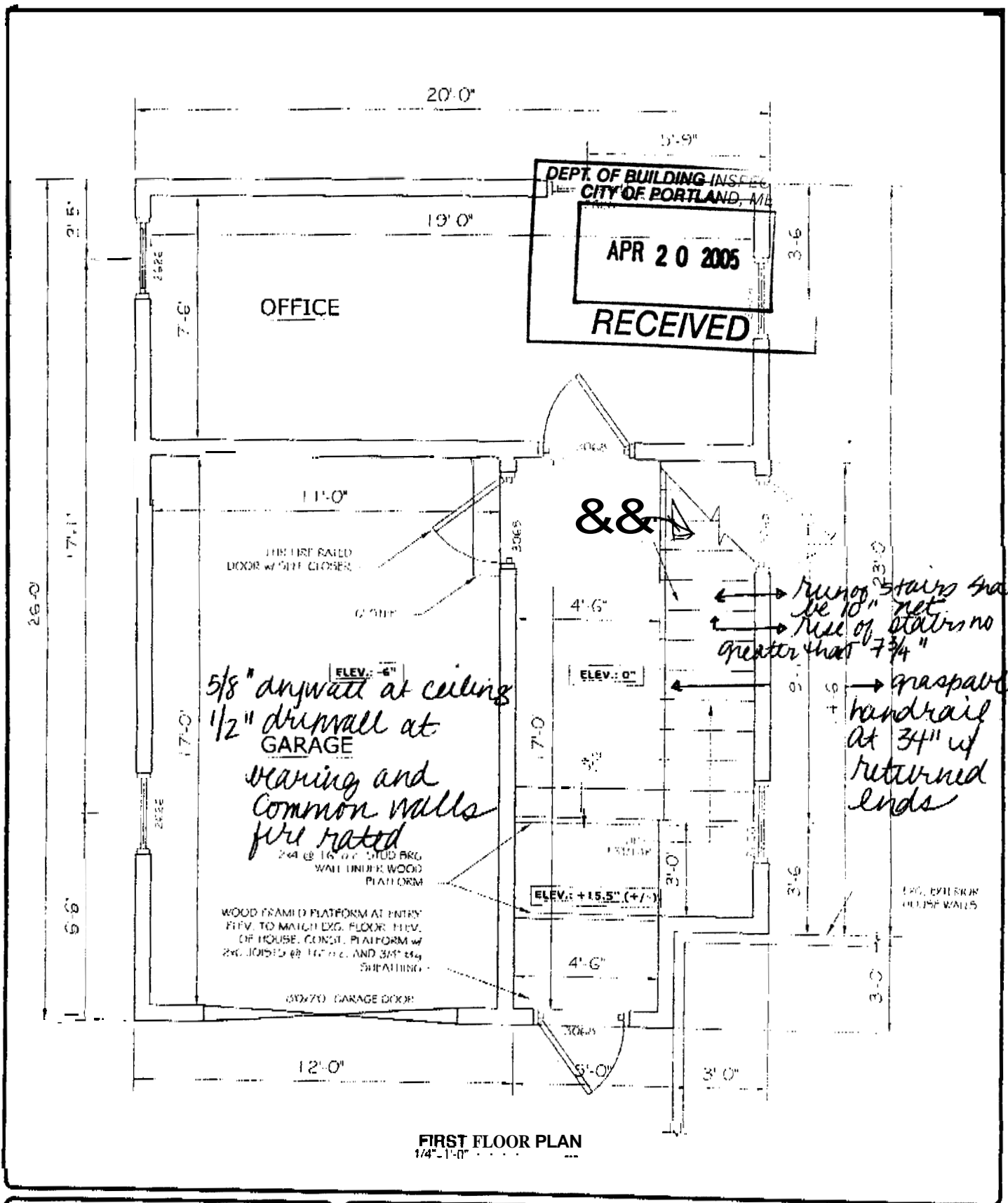
MESSAGE:

Information requested for permit. This should cover everything that we talked about yesterday. Please give me a call to let me know that the permit has been issued. Thank you again for all of your help.

Rebecca Green



5 pages including cover



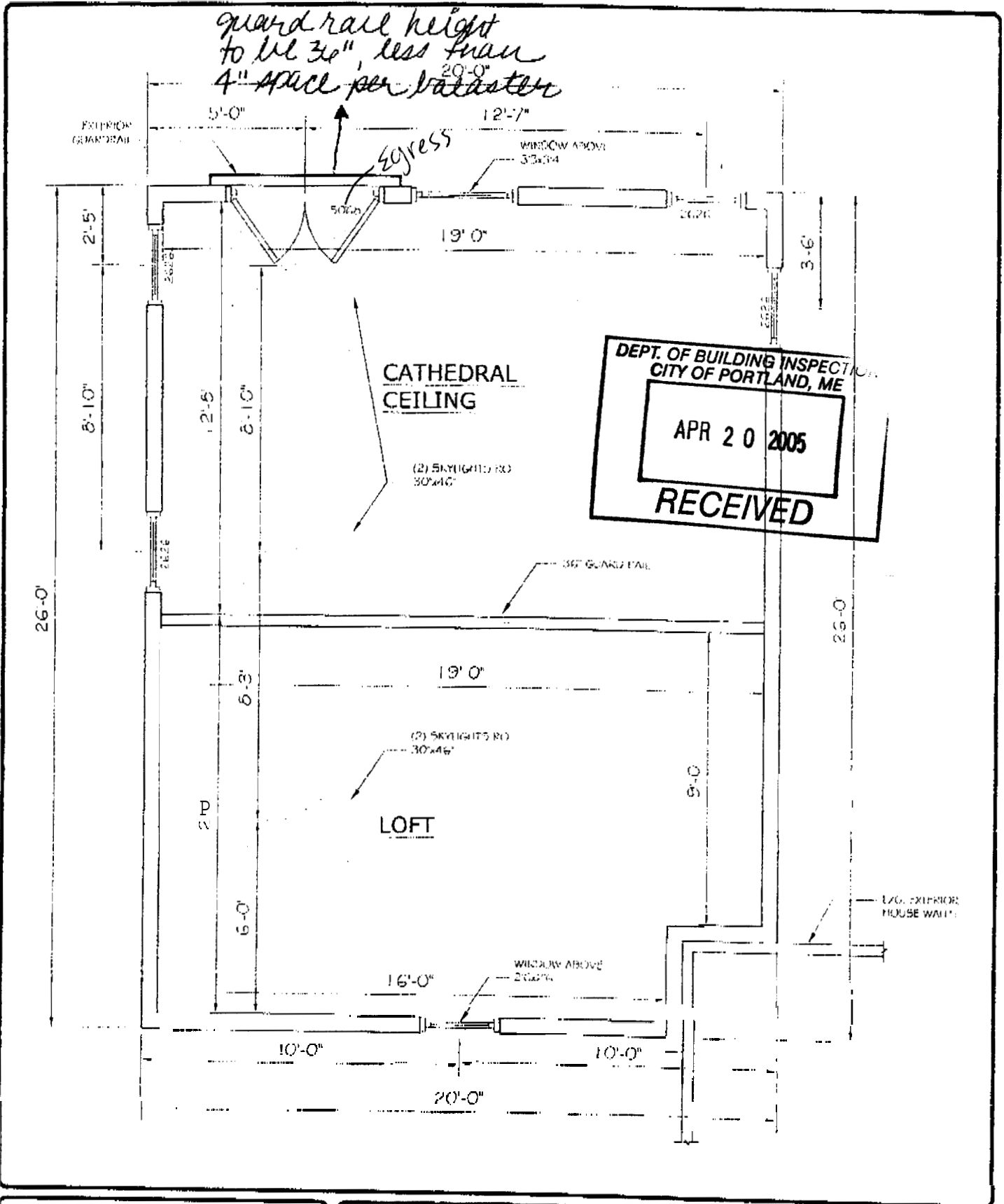
ASSOCIATED DESIGN PARTNERS INC.
 80 Leighton Road, Falmouth, Maine 04105
 Office: (207) 878-1751
 Fax: (207) 878-1788
 E-Mail: adp@adpengineering.com

PROJECT: **SPIKE RESIDENCE GARAGE**
 304 CAPSIC ST
 FOR BEN AND CORINA SPIKE

SHEET TITLE:
FIRST FLOOR PLAN
 ISSUED FOR CONSTRUCTION

REVISIONS			
NO	BY	DESCRIPTION	DATE

DATE: 03-25-05
 SCALE: 1/4" = 1'-0"
 DESIGN BY: UTHENS
 DRAWN BY: AL
 P/E #: 05057-DWG-A101.DWG
05057
 SHEET NO:



ASSOCIATED DESIGN PARTNERS INC.

80 Leighton Road
Falmouth, Maine 04105

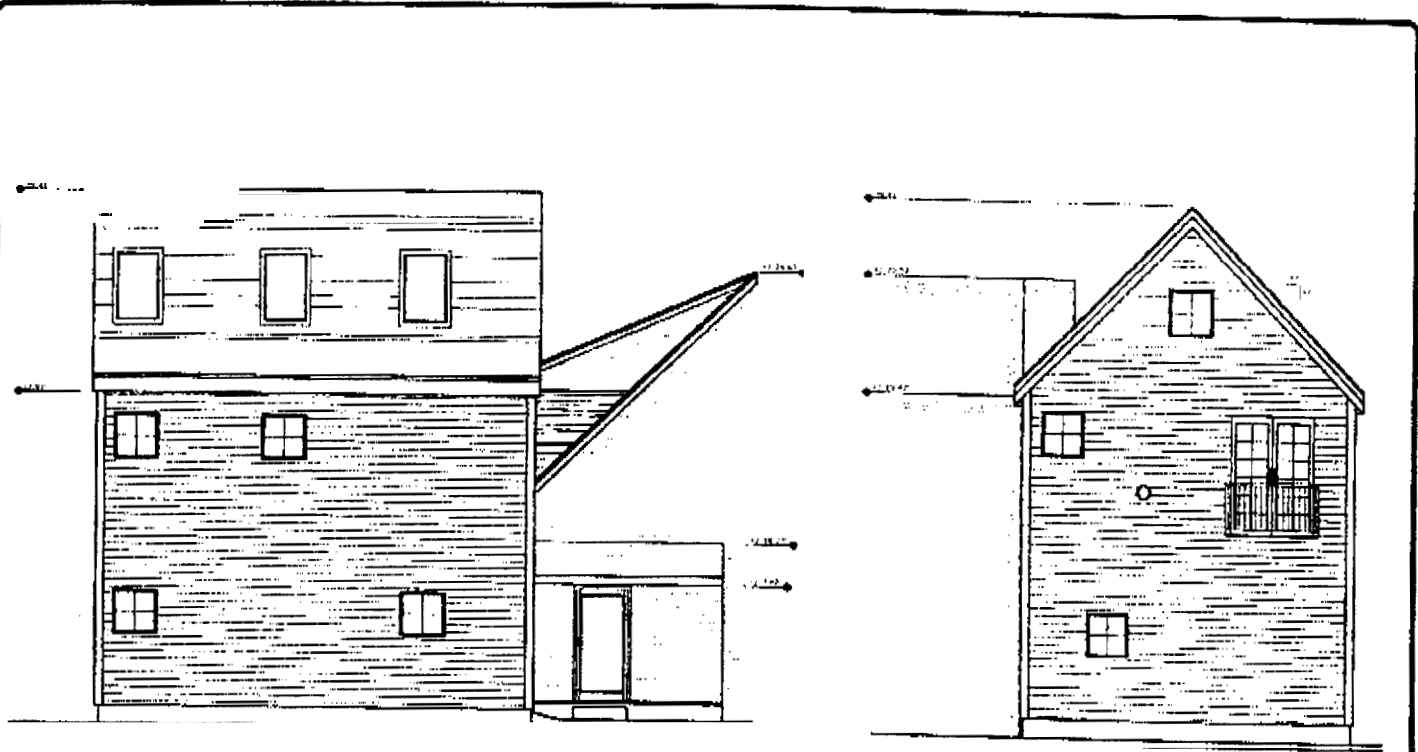
Office: (207) 878-1751
Fax: (207) 878-1788
E-Mail: wdp@adpengineering.com

PROJECT: **SPIKE RESIDENCE GARAGE**
304 CAPSIC ST
FOR BEN AND CORINA SPIKE

SHEET TITLE:
LOFT
ISSUED FOR CONSTRUCTION

REVISIONS			
No.	BY	DESCRIPTION	DATE
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DATE: 03-20-05
SCALE: 1/4" = 1'-0"
DESIGN BY: OTHERS
DRAWN BY: A
FILE # 05057-09A-A102.DWG
PROJECT NUMBER
05057
SHEET NO.



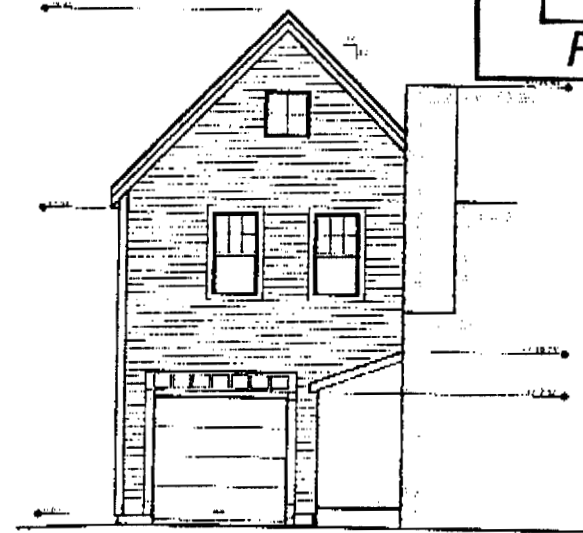
LEFT ELEVATION
3/32" = 1'-0"

BACK ELEVATION
3/32" = 1'-0"

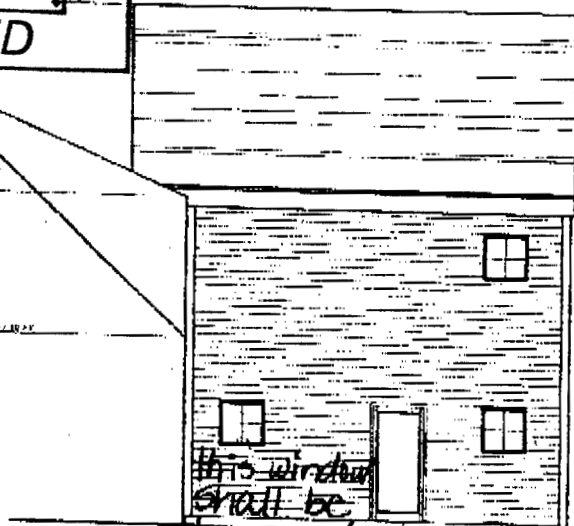
DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

APR 20 2005

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FRONT ELEVATION
3/32" = 1'-0"



*this window
shall be
tempered glass to meet
code*

RIGHT ELEVATION
3/32" = 1'-0"

ASSOCIATED DESIGN PARTNERS INC.

30 Leighton Road
Ormouth, Maine 04105

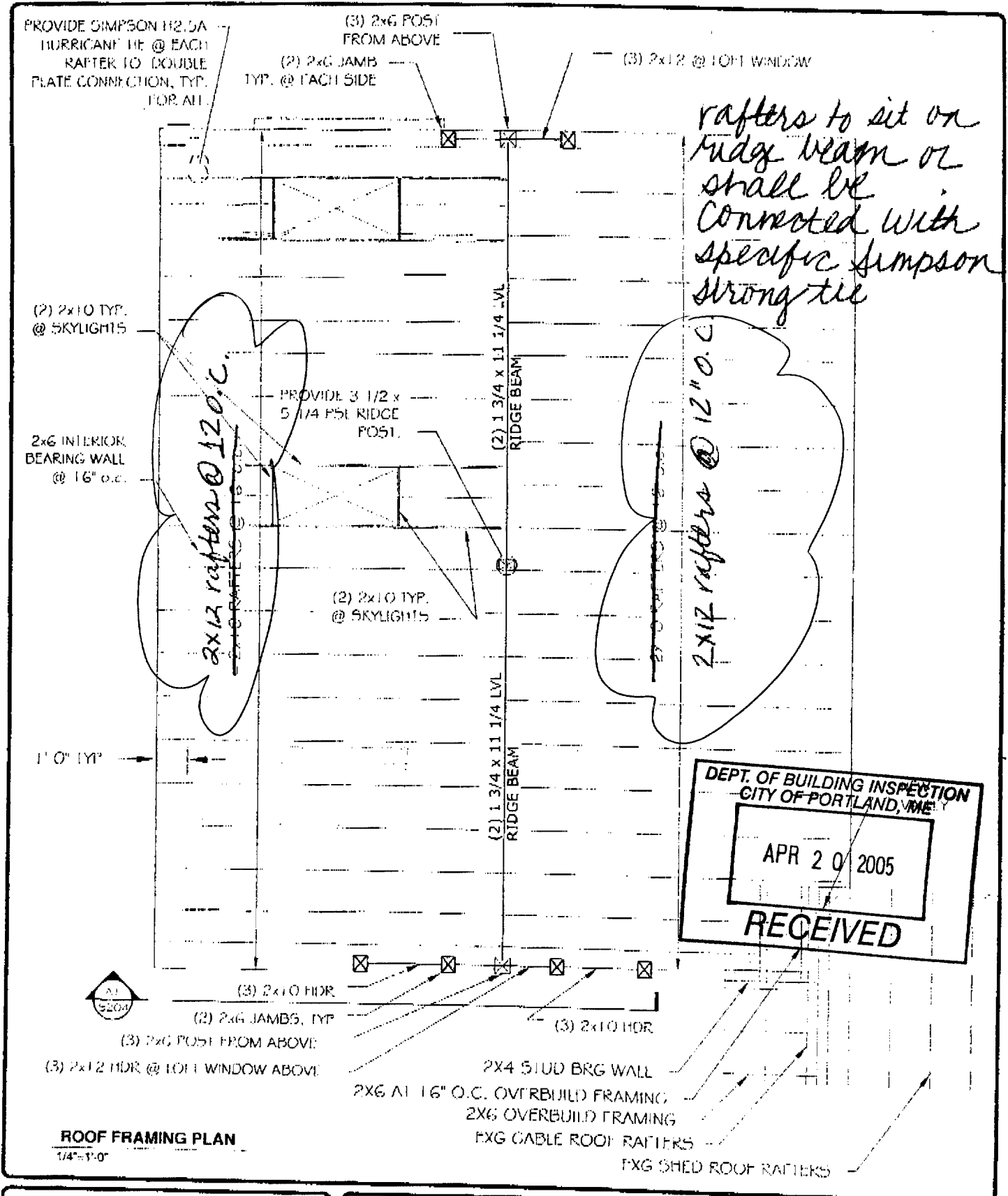
Office: (207) 878-1751
Fax: (207) 878-1788
E-Mail: odp@odpengineering.com

PROJECT: **SPIKE RESIDENCE GARAGE**
304 CAPIBIC ST
FOR: BEN AND CORINA SPIKE

SHEET TITLE:
**ELEVATIONS
ISSUED FOR CONSTRUCTION**

REVISIONS			
No.	BY	DESCRIPTION	DATE
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3			

DATE: 03-25-05
SCALE: 3/32" = 1'-0"
DESIGN BY: OTHERS
DRAWN BY: AL
FILE # 15057-001-ASH.DWG
PROJECT NUMBER:
05057
SHEET NO:



ASSOCIATED DESIGN PARTNERS INC.

80 Leighton Road
Falmouth, Maine 04105

Office: (207) 878-1751
Fax: (207) 878-1788
E-Mail: adp@adpengineering.com

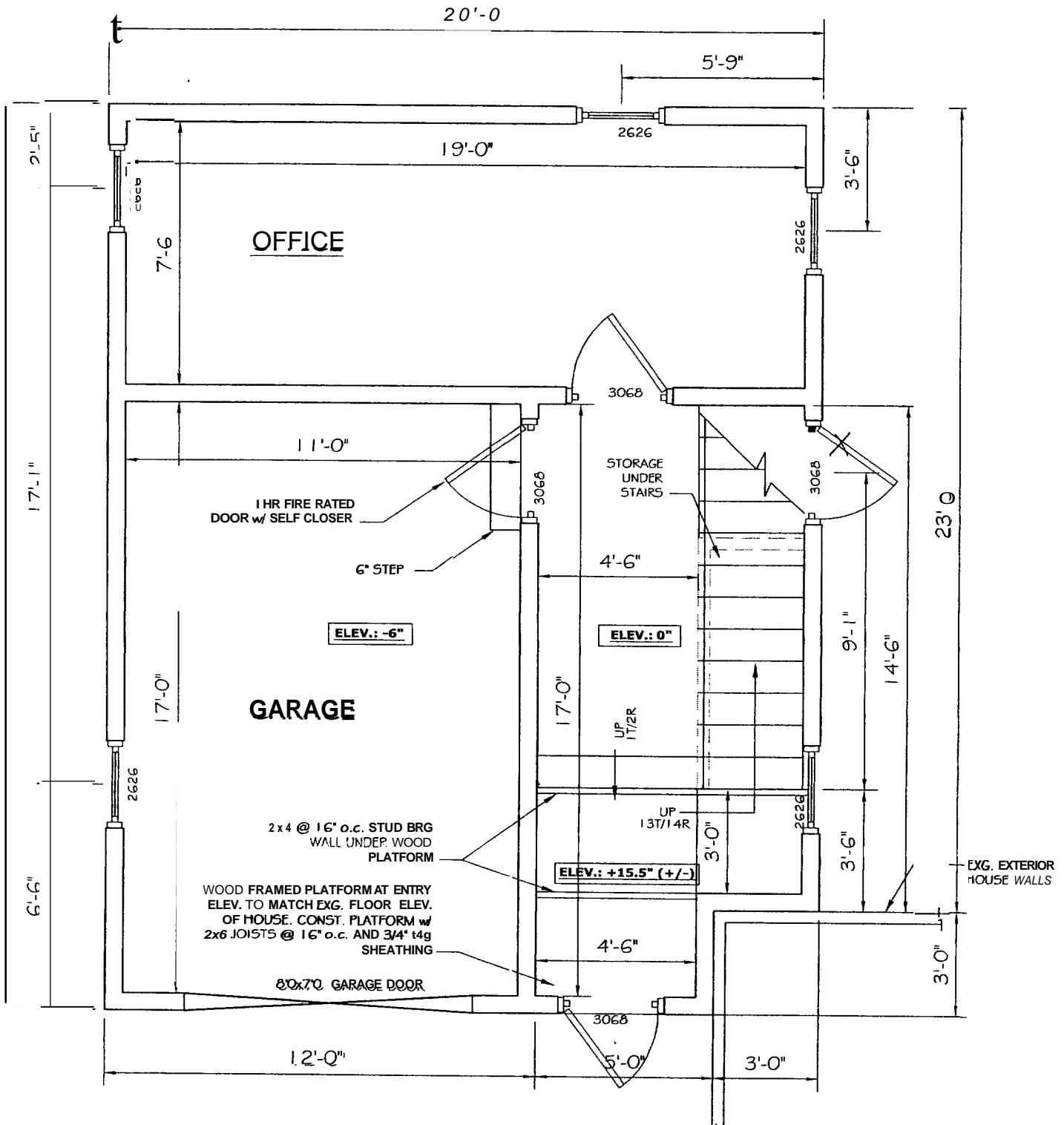
PROJECT: **SPIKE RESIDENCE**
304 CAPISIC ST
FOR DEN AND CORINA SPIKE

SHEET TITLE:
**NEW GARAGE
ROOF FRAMING PLAN**

REVISIONS			
No.	BY	DESCRIPTION	DATE
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DATE: 03-01-05
SCALE: 1/4"=1'-0"
DRAWN BY: DIVERS
FILE # 05057 DWG-5201.DWG
PROJECT NUMBER:
05057
SHEET NO.

NEED COPY



FIRST FLOOR PLAN
1/4" = 1'-0"

ASSOCIATED DESIGN PARTNERS INC.
80 Leighton Road Falmouth, Maine 04105
Office: (207) 878-1751 Fax: (207) 878-1788 E-Mail: adp@adpengineering.com

PROJECT: **SPIKE RESIDENCE GARAGE**
304 CAPISIC ST
FOR: BEN AND CORINA SPIKE
SHEET TITLE: **FIRST FLOOR PLAN**
ISSUED FOR CONSTRUCTION

REVISIONS			
No.	BY	DESCRIPTION	DATE

DATE : 03-25-05
SCALE : 1/4" = 1'-0"
DESIGN BY: OTHERS
DRAWN BY: AL
FILE #: 05057-DRW-A1D1.DWG
PROJECT NUMBER:
05057
SHEET NO:

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(3) 2x6 POST FROM ABOVE
 (2) 2x6 JAMB TYP. @ EACH SIDE
 (3) 2x12 @ LOFT WINDOW

1'-0" TYP

(2) 2x10 TYP. @ SKYLIGHTS

2x6 INTERIOR BEARING WALL @ 16" o.c.

2x10 RAFTERS @ 16" o.c.

PROVIDE 3 1/2 x 5 1/4 PSL RIDGE POST.

(2) 2x10 TYP. @ SKYLIGHTS

(2) 1 3/4 x 11 1/4 LVL RIDGE BEAM

(2) 1 3/4 x 11 1/4 LVL RIDGE BEAM

2x10 RAFTERS @ 16" o.c.

PROVIDE SIMPSON H2 5A HURRICANE TIE @ EACH RAFTER TO DOUBLE PLATE CONNECTION, TYP FOR ALL

(3) 2x10 HDR

(3) 2x6 POST FROM ABOVE

(2) 2x6 JAMBS, TYP

(3) 2x10 HDR

(3) 2x12 HDR @ LOFT WINDOW ABOVE



ROOF FRAMING PLAN

1/4"=1'-0"

ASSOCIATED DESIGN PARTNERS INC.

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 Falmouth, Maine 04105
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SPIKE RESIDENCE
 304 CAPISSIC ST
 FOR BEN AND CORINA SPIKE

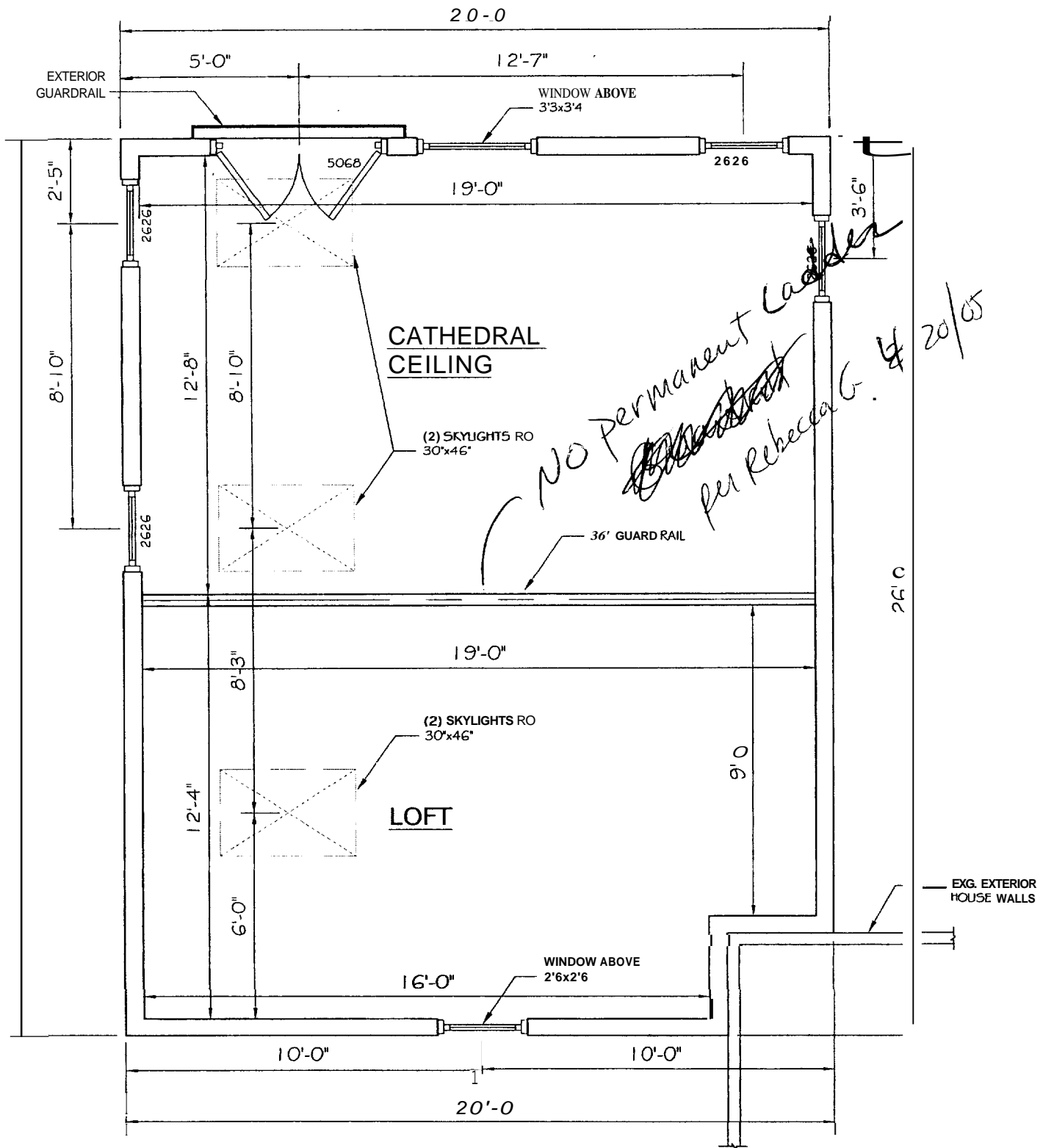
SHEET TITLE:

**NEW GARAGE
 ROOF FRAMING PLAN**

REVISIONS

No.	BY	DESCRIPTION	DATE
1			
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DATE : 03-01-05
 SCALE : 1/4"=1'-0"
 DESIGN BY: OTHERS
 DRAWN BY: AL
 FILE #: 05057-DWG-S201.DWG
 PROJECT NUMBER
05057
 SHEET NO
S201



ASSOCIATED DESIGN PARTNERS INC.

80 Leighton Road
Falmouth, Maine 04105

Office: (207) 878-1751
Fax: (207) 878-1788
E-Mail: odpfndengineering.com

PROJECT: **SPIKE RESIDENCE GARAGE**
304 CAPISIC ST
FOR BEN AND CORINA SPIKE

SHEET TITLE: **LOFT**

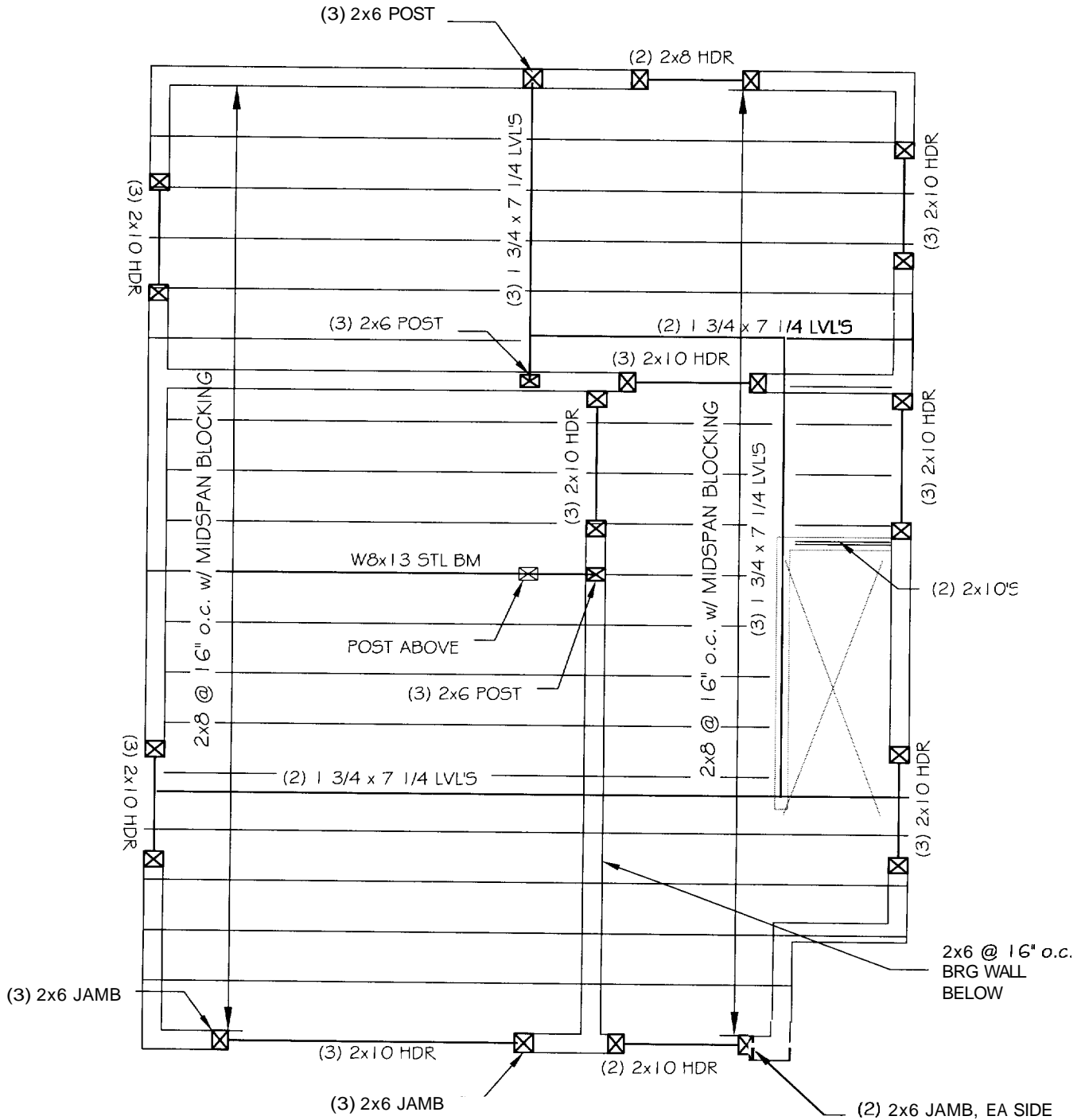
ISSUED FOR CONSTRUCTION

REVISIONS			
No.	BY	DESCRIPTION	DATE
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DATE: 03-25-05
SCALE: 1/4" = 1'-0"

DESIGN BY: OTHERS
DRAWN BY: AL
FILE #: 05057-DRW-A102.DWG
PROJECT NUMBER:
05057
SHEET NO:
A102

***NOTE:**
 -ALL WINDOWS/DOORS JAMBS TO
 BE (2) 2x6'S U.N.O
 -CONTRACTOR TO PROVIDE (1) 2X6
 (MIN) KING STUD @ EACH
 WINDOW/DOOR OPENING, TYP.



SECOND FLOOR FRAMING PLAN

1/4"=1'-0"

ASSOCIATED DESIGN PARTNERS INC.

80 Leighton Road Office: (207) 878-1751
 Falmouth, Maine 04105 Fax: (207) 878-1788
 E-Mail: adp@adpengineering.com

PROJECT: **SPIKE RESIDENCE GARAGE**
304 CAPISIC ST
 FOR: BEN AND CORINA SPIKE

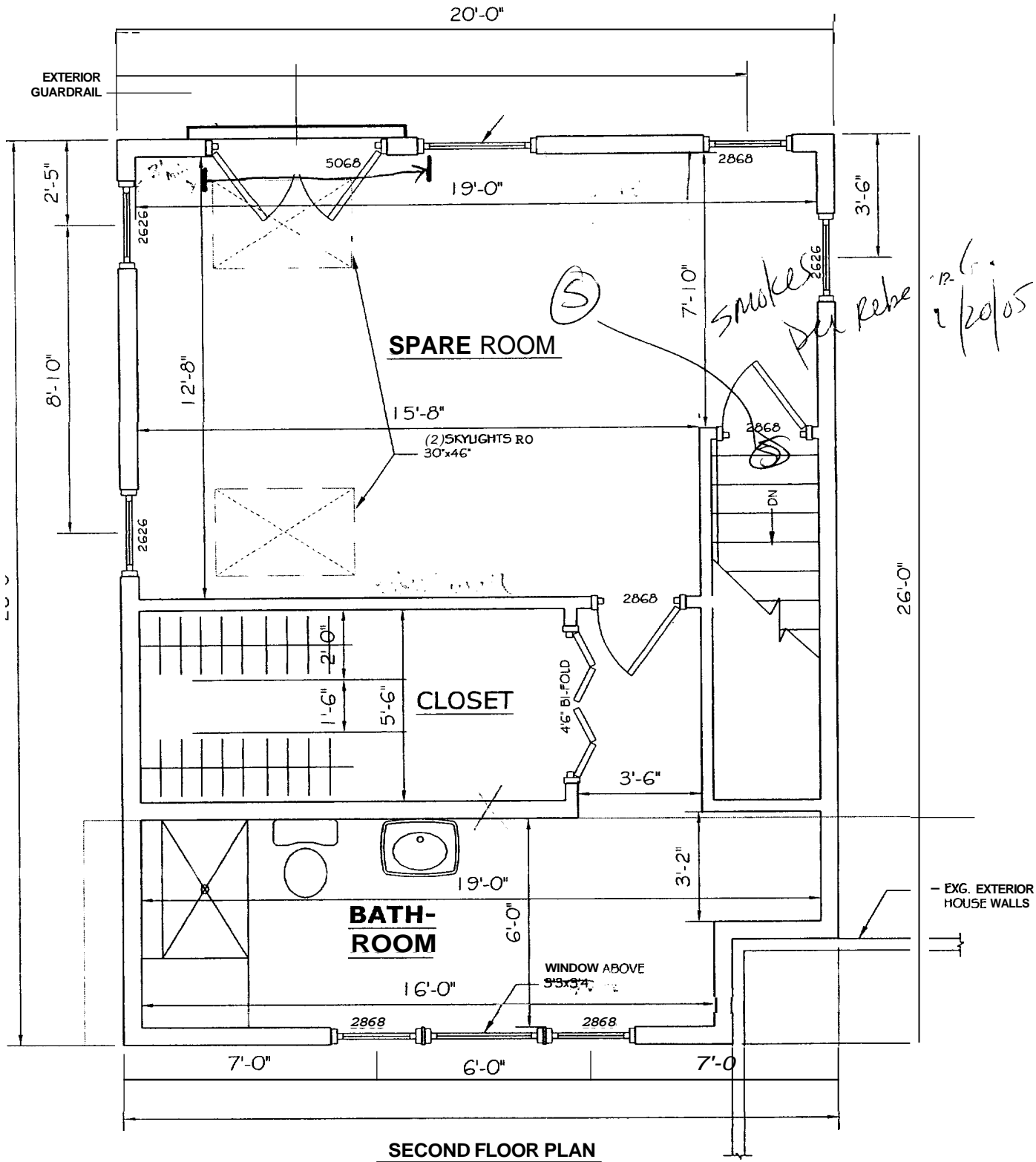
SHEET TITLE:
SECOND FLOOR FRAMING PLAN
ISSUED FOR CONSTRUCTION

REVISIONS			
No.	BY	DESCRIPTION	DATE
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DATE : 03-25-05
 SCALE : 1/4"=1'-0"
 DESIGN BY: OTHERS
 DRAWN BY: AL
 FILE #: 05057-DWG-S202.DWG
 PROJECT NUMBER:
05057
 SHEET NO:
S202

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6' door



12-6
2/20/05

SECOND FLOOR PLAN

1/4"=1'-0"

- EXG. EXTERIOR HOUSE WALLS

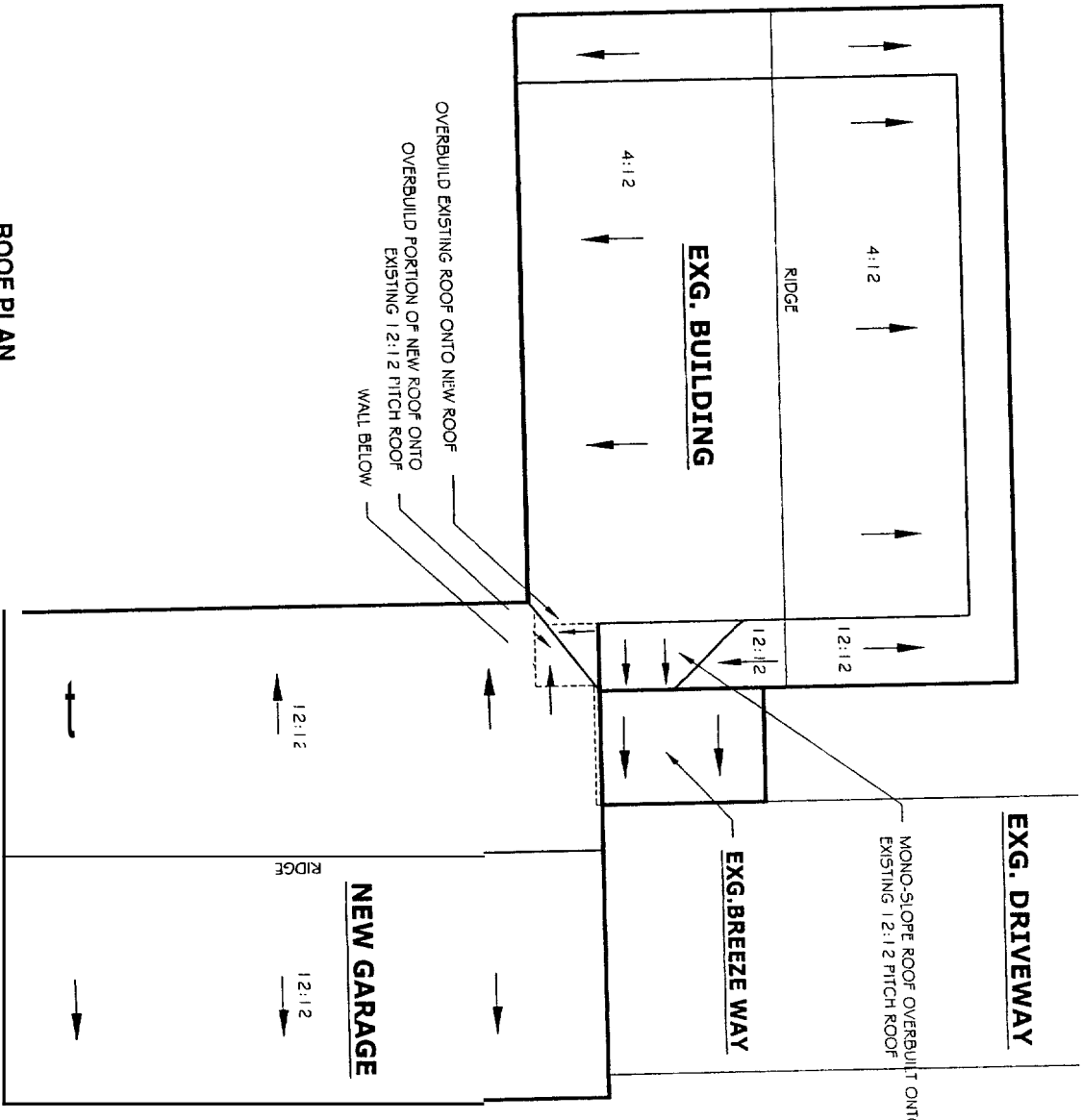
ASSOCIATED DESIGN PARTNERS INC.
 80 Leighton Road Office (207) 878-1751
 Falmouth, Maine 04105 Fax: (207) 878-1788
 E-Mail: adp@adpengineering.com

PROJECT **SPIKE RESIDENCE GARAGE**
 304 CAPSIC ST
 FOR BEN AND CORINA SPIKE

SHEET TITLE
SECOND FLOOR
ISSUED FOR CONSTRUCTION

REVISIONS			
No.	BY	DESCRIPTION	DATE
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DATE : 03-25-05
 SCALE : 1/4"=1'-0"
 DESIGN BY: OTHERS
 DRAWN BY: AL
 FILE #: 05057-DRW-A102.DWG
PROJECT NUMBER:
05057
 SHEET NO:
 A102



ROOF PLAN
1/8" = 1'-0"

ASSOCIATED DESIGN PARTNERS INC.
80 Leighton Road
Falmouth, Maine 04105
Office: (207) 878-1751
Fax: (207) 878-1785
E-Mail: adp@adpengineering.com

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PROJECT: **SPIKE RESIDENCE GARAGE**
304 CAPSIC ST
FOR BEN AND CORINA SPIKE

SHEET TITLE:
ROOF PLAN
ISSUED FOR CONSTRUCTION

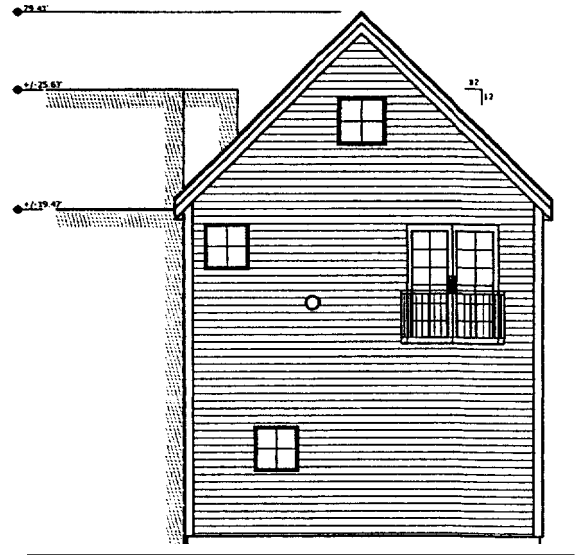
REVISIONS

No.	BY	DESCRIPTION	DATE

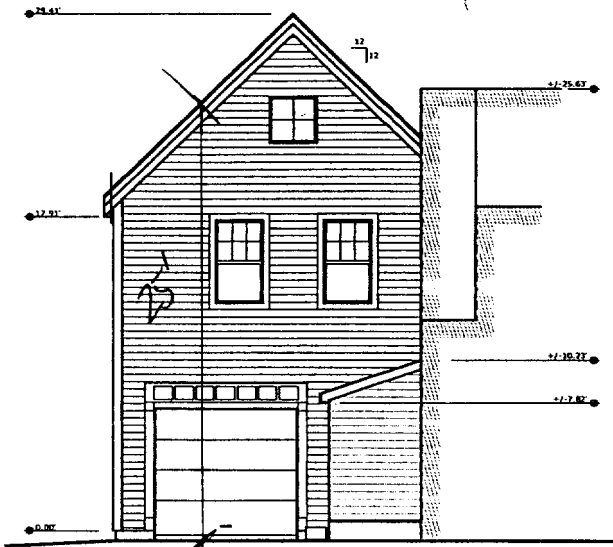
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SCALE : AS NOTED
DESIGN BY: ASW
DRAWN BY: AL
FILE # 05057-DWG-4201.DWG
PROJECT NUMBER:
05057
SHEET NO.:
A201



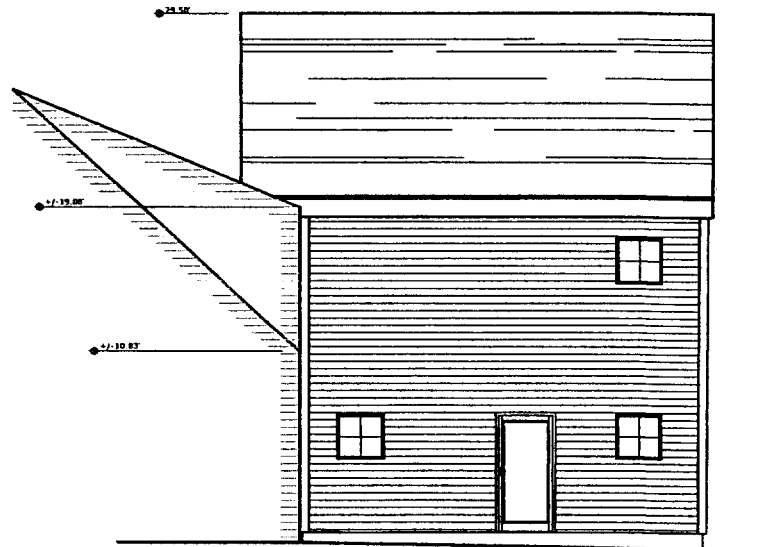
LEFT ELEVATION
3/32"=1'-0"



BACK ELEVATION
3/32"=1'-0"



FRONT ELEVATION
3/32"=1'-0"



RIGHT ELEVATION
3/32"=1'-0"

Handwritten note: The window locations here are correct

ASSOCIATED DESIGN PARTNERS INC.
 80 Leighton Road Office: (207) 878-1751
 Falmouth, Maine 04105 Fax: (207) 878-1788
 E-Mail: adp@adpengineering.com

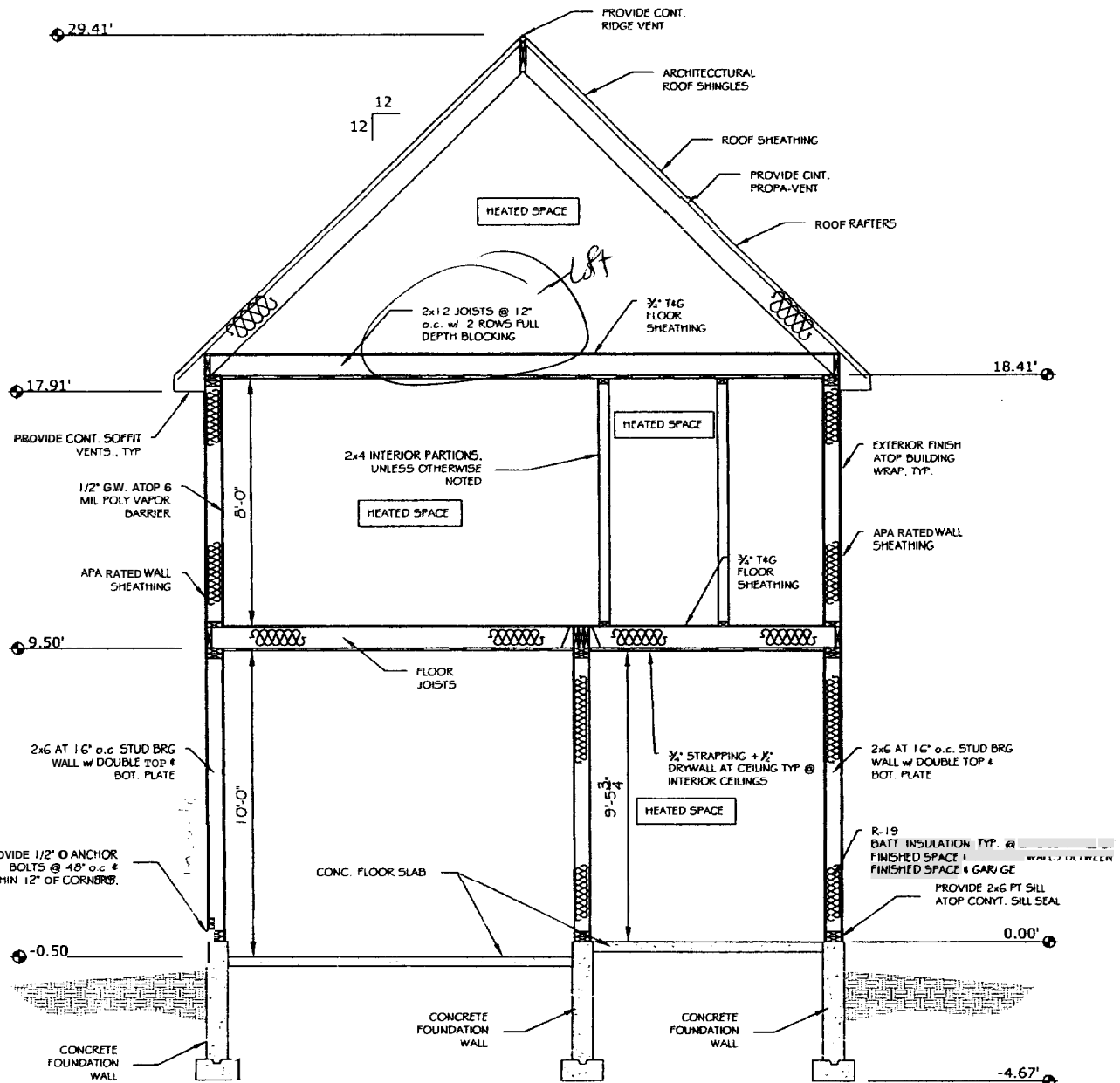
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PROJECT: **SPIKE RESIDENCE GARAGE**
 304 CAPISC ST
 FOR: BEN AND CORINA SPIKE

SHEET TITLE:
ELEVATIONS
ISSUED FOR CONSTRUCTION

REVISIONS			
No.	BY	DESCRIPTION	DATE
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DATE : 03-25-05
 SCALE : 3/32"=1'-0"
 DESIGN BY: OTHERS
 DRAWN BY: AL
 FILE #: 05057-DRW-A301.DWG
PROJECT NUMBER:
05057
 SHEET NO:
A301



A1 SECTION THROUGH GARAGE
 SCALE: 3/16"=1'-0"

ASSOCIATED DESIGN PARTNERS INC.
 80 Leighton Road
 Falmouth, Maine 04105
 Office: (207) 878-1751
 Fax: (207) 878-1788
 E-Mail: adp@adpengineering.com

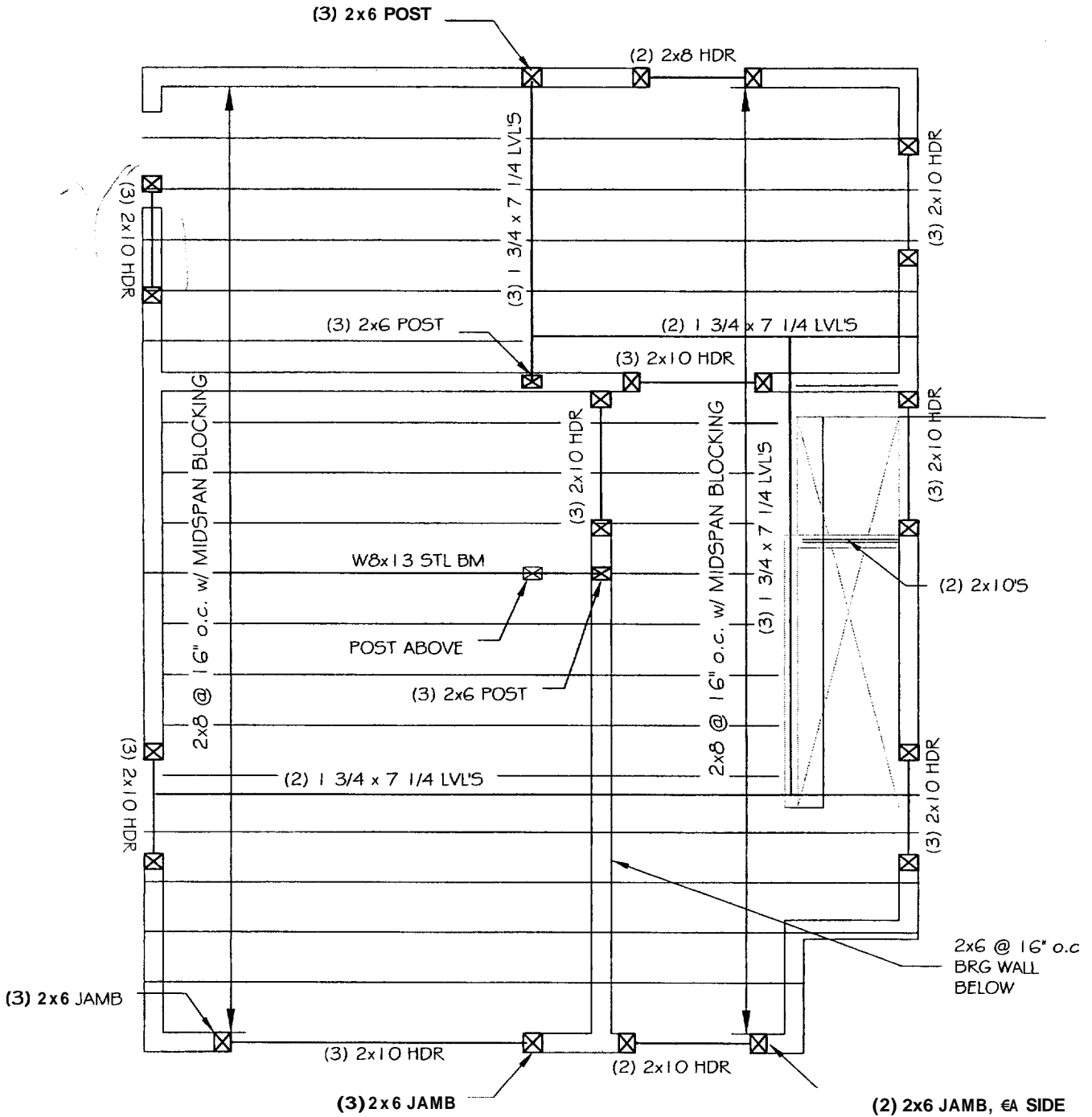
PROJECT: **SPIKE RESIDENCE GARAGE**
304 CAPISIC ST
 FOR: BEN AND CORINA SPIKE
 SHEET TITLE:
GARAGE SECTION
ISSUED FOR CONSTRUCTION

REVISIONS			
No.	BY	DESCRIPTION	DATE

DATE : 03-25-05
 SCALE : 3/16"=1'-0"
 DESIGN BY: JAT
 DRAWN BY: AL
 FILE #: 05057-DWG401.DWG
PROJECT NUMBER:
05057
 SHEET NO:
A 101

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***NOTE:**
 -ALL WINDOWS/DOORS JAMBS TO BE (2) 2x6'S U.N.O
 -CONTRACTOR TO PROVIDE (1) 2X6 (MIN) KING STUD @ EACH WINDOW/DOOR OPENING, TYP.



SECOND FLOOR FRAMING PLAN

1/4"=1'-0"

ASSOCIATED DESIGN PARTNERS INC.

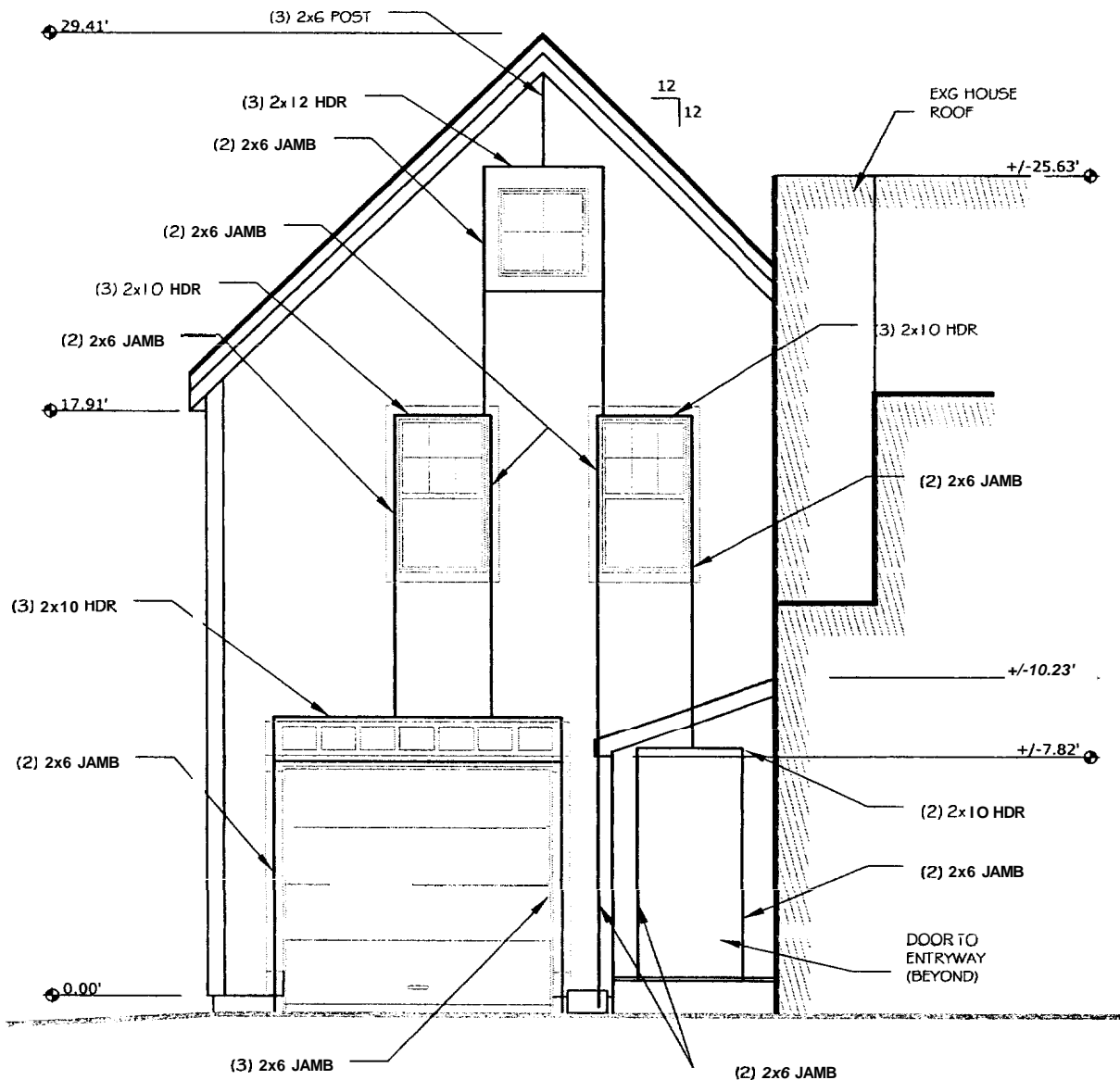
80 Leighton Road Office: (207) 878-1751
 Falmouth, Maine 04105 Fax: (207) 878-1788
 E-Mail: adp@adpengineering.com

PROJECT: **SPIKE RESIDENCE GARAGE**
304 CAPISC ST
 FOR: BEN AND CORINA SPIKE

SHEET TITLE:
SECOND FLOOR FRAMING PLAN
ISSUED FOR CONSTRUCTION

REVISIONS			
No.	BY	DESCRIPTION	DATE
1	AL		
2	AL		
3	AL		

DATE : 03-25-05
 SCALE : 1/4"=1'-0"
 DESIGN BY: OTHERS
 DRAWN BY: AL
 FILE #: 05057-DWG-S202.DWG
 PROJECT NUMBER:
05057
 SHEET NO:
S202



A GABLE END FRAMING ELEVATION
3/16"=1'-0"

ASSOCIATED DESIGN PARTNERS INC.

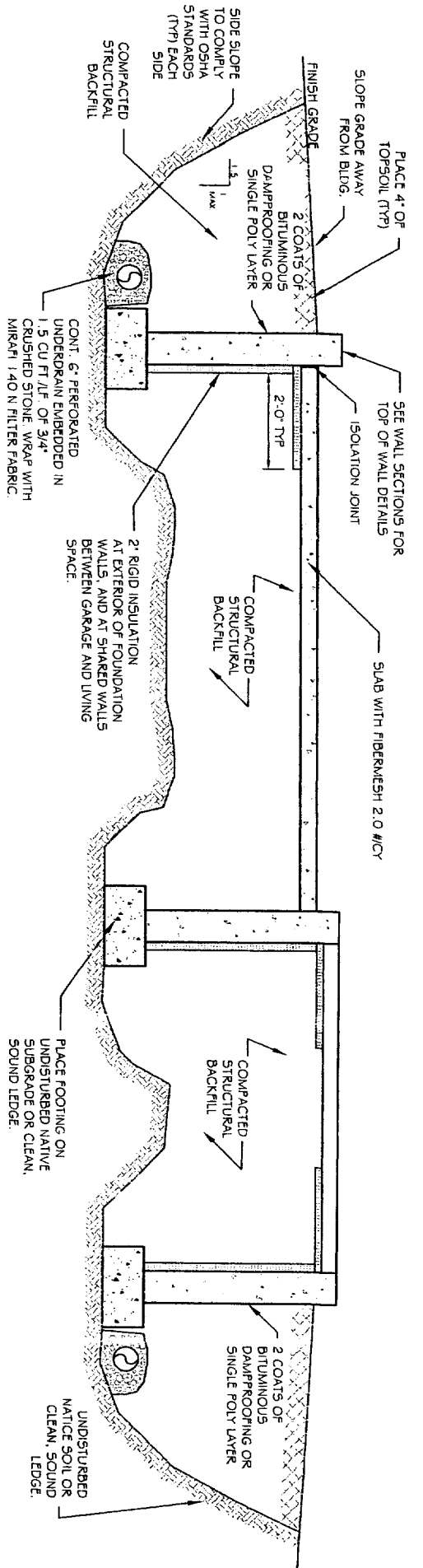
80 Leighton Road
Falmouth, Maine 04105
Office: (207) 878-1751
FBE: (207) 878-1788
E-Mail: adp@adpengineering.com

PROJECT: **SPIKE RESIDENCE GARAGE**
304 CAPSIC ST
FOR: BEN AND CORINA SPIKE

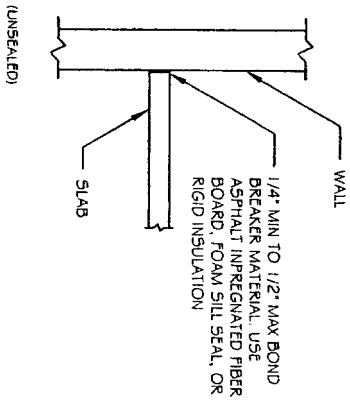
SHEET TITLE:
GABLE END FRAMING ELEVATIONS
ISSUED FOR CONSTRUCTION

REVISIONS			
No.	BY	DESCRIPTION	DATE
1			
2			
3			

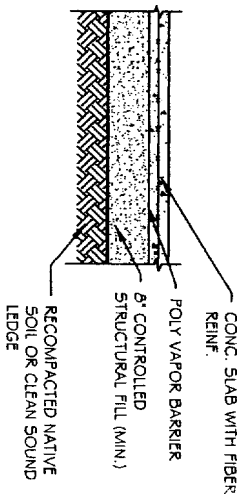
DATE: 03-25-05
SCALE: 3/32"=1'-0"
DESIGN BY: JAT
DRAWN BY: AL
FILE #: 05057-DWG-S2024.DWG
PROJECT NUMBER:
05057
SHEET NO:
8004



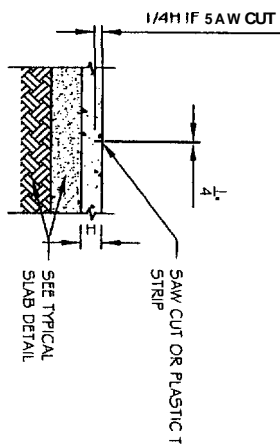
B2 FOUNDATION SECTION
SCALE: NO SCALE



A3 ISOLATION JOINT
SCALE: NO SCALE



A2 TYPICAL SLAB DETAIL
SCALE: 1/2" = 1'



A1 TYPICAL SLAB CONTROL JOINT DETAIL
SCALE: 1/2" = 1'

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PROJECT: **SPIKE RESIDENCE GARAGE**
304 CARBIC ST
FOR BEN AND CORINA SPIKE

SHEET TITLE:

FOUNDATION DETAILS
ISSUED FOR CONSTRUCTION

REVISIONS

No.	BY	DESCRIPTION	DATE

DATE: 03-25-08

SCALE: AS NOTED

DESIGN BY: ASW

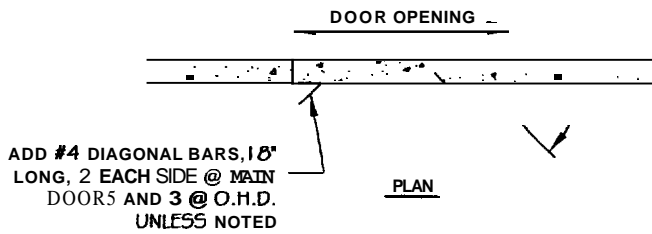
DRAWN BY: AL

PROJECT NUMBER: **05057**

FILE #: 05057-DWG-S301.DWG

SHEET NO:

S301

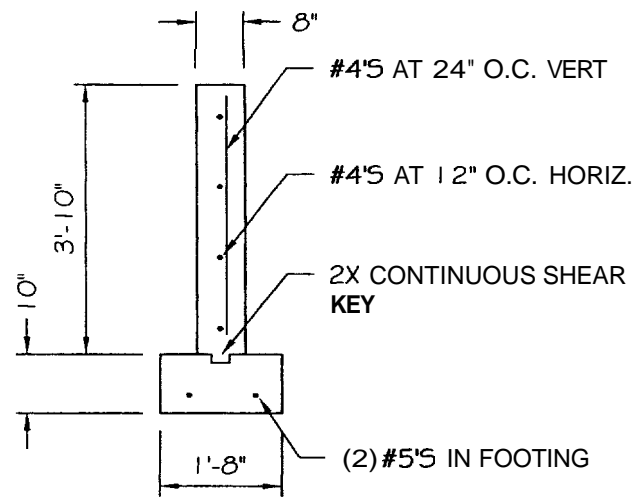


ADD #4 DIAGONAL BARS, 18"
LONG, 2 EACH SIDE @ MAIN
DOORS AND 3 @ O.H.D.
UNLESS NOTED

PLAN

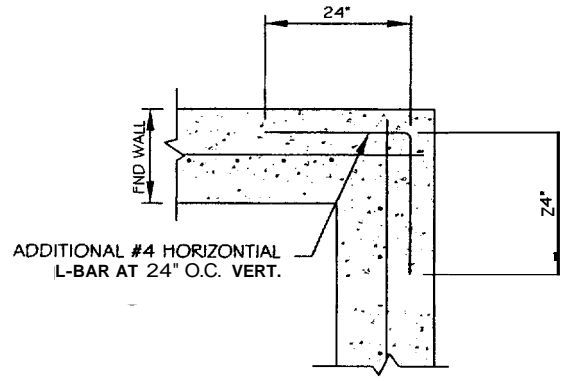
C1 TYPICAL SLAB DETAIL @ DOOR OPENINGS
SCALE: 3/8" = 1"

5101



B1 TYP. 8" CONC. FROST WALL
SCALE: 3/8" = 1"

5101



A1 CORNER REINFORCING IN FOUNDATION WALL
SCALE: 3/8" = 1"

5101

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PROJECT: **SPIKE RESIDENCE**
304 CAPSIC ST
FOR: BEN AND CORINA SPIKE

SHEET TITLE:
NEW GARAGE
FOUNDATION DETAILS

REVISIONS			
No.	BY	DESCRIPTION	DATE
△			
△			
△			

DATE : 03-01-05
SCALE : AS NOTED
DESIGN BY: OTHERS
DRAWN BY: AL
FILE #: 05057-DWG-S301.DWG
05057
PROJECT NUMBER:
SHEET NO:

PROVIDE SIMPSON H2.5A HURRICANE TIE @ EACH RAFTER TO DOUBLE PLATE CONNECTION, TYP. FOR ALL.

(3) 2x6 POST FROM ABOVE
(2) 2x6 JAMB TYP. @ EACH SIDE

(3) 2x12 @ LOFT WINDOW

(2) 2x10 TYP. @ SKYLIGHTS

PROVIDE 3 1/2 x 5 1/4 P5L RIDGE POST.

2x6 INTERIOR BEARING WALL @ 16" o.c.

2x10 RAFTERS @ 16" o.c.

(2) 2x10 TYP. @ SKYLIGHTS

2x10 RAFTERS @ 16" o.c.

1'-0" TYP

(2) 1 3/4 x 11 1/4 LVL RIDGE BEAM

(2) 1 3/4 x 11 1/4 LVL RIDGE BEAM

NEW VALLEY



(3) 2x10 HDR

(2) 2x6 JAMBS, TYP

(3) 2x10 HDR

(3) 2x6 POST FROM ABOVE

(3) 2x12 HDR @ LOFT WINDOW ABOVE

2X4 STUD BRG WALL

2X6 AT 16" O.C. OVERBUILD FRAMING

2X6 OVERBUILD FRAMING

EXG GABLE ROOF RAFTERS

EXG SHED ROOF RAFTERS

ROOF FRAMING PLAN

1/4"=1'-0"

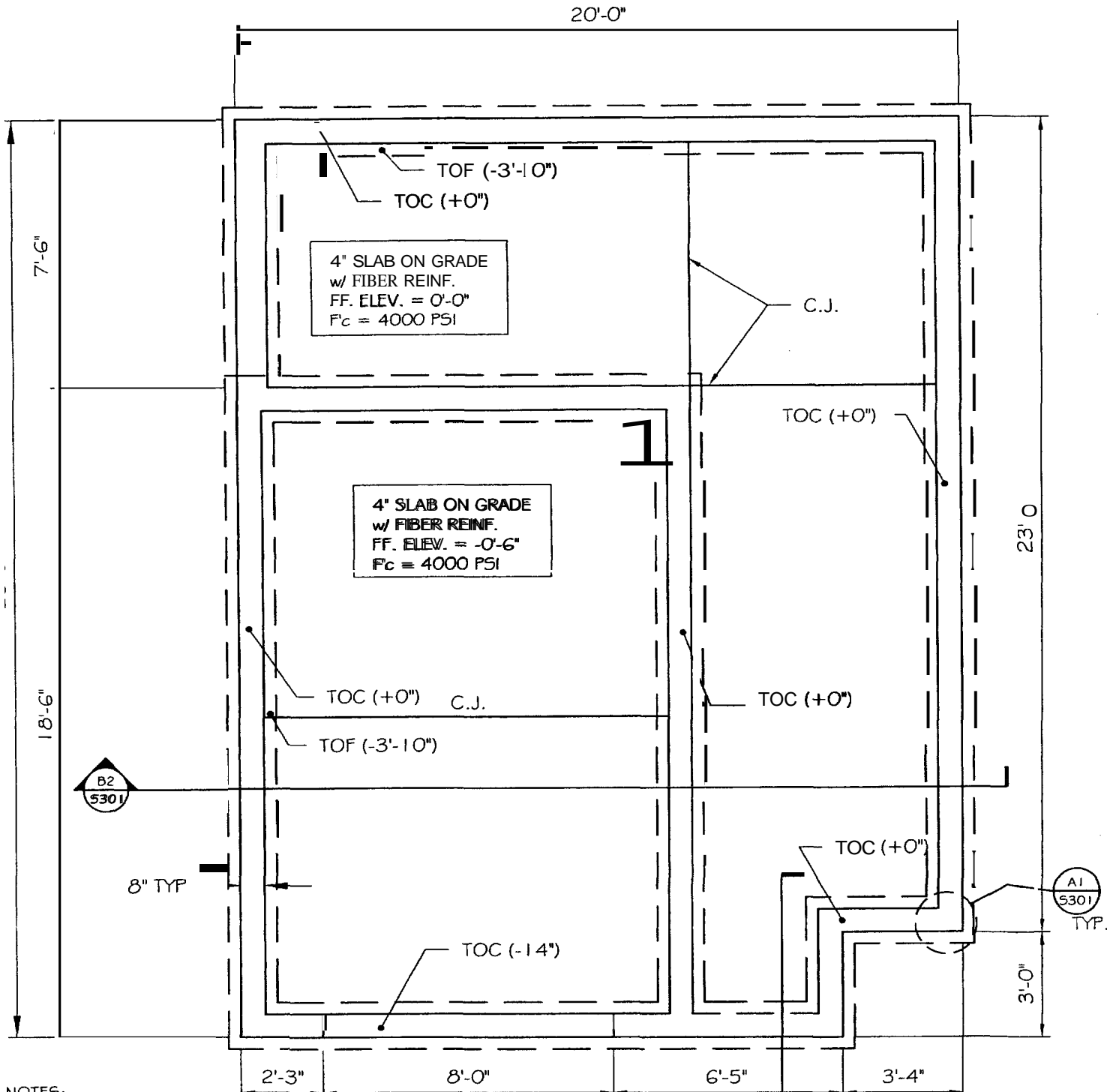
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SPIKE RESIDENCE
 304 CAPISIC ST
 FOR BEN AND CORINA SPIKE

SHEET TITLE:
NEW GARAGE ROOF FRAMING PLAN

REVISIONS			
No.	BY	DESCRIPTION	DATE

DATE : 03-01-05
 SCALE : 1/4"=1'-0"
 DESIGN BY: OTHERS
 DRAWN BY: AL
 FILE #: 05057-DWG-S201.DWG
 PROJECT NUMBER:
05057
 SHEET NO:
 0201



NOTES:

1. TOF INDICATES TOP OF FOOTING
2. TOC INDICATES TOP OF CONCRETE
3. C.J. INDICATES CONTROL JOINT

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PROJECT: **SPIKE RESIDENCE**
304 CAPISIC ST
FOR BEN AND CORINA SPIKE

SHEET TITLE: **FOUNDATION PLAN**
ISSUED FOR CONSTRUCTION

REVISIONS			
No.	BY	DESCRIPTION	DATE
▲			
▲			
▲			

DATE: 03-25-05
SCALE: 1/4"=1'-0"

DESIGN BY: JAT
DRAWN BY: AL
FILE # 05057-DWG-S101.DWG

PROJECT NUMBER:
05057

SHEET NO:
0101

CONCRETE NOTES

1. CODES:
COMPLY WITH THE FOLLOWING LATEST EDITIONS AND CURRENT AMENDMENTS:

- 1.1 ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"
- 1.2 ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE"
- 1.3 CSI "CONCRETE REINFORCING STEEL INSTITUTE, MANUAL OF STANDARD PRACTICE"
4. MATERIALS:
 - 4.1 REINFORCING STEEL: GRADE 60, ASTM 615, NEW DEFORMED BARS.
 - 4.2 REINFORCING FOR SLABS: EQUAL TO FIBERMESH, 20 LB/ACQ CONCRETE.
 - 4.3 MIXING WATER SHALL BE POTABLE, FREE OF ANY SUBSTANCES THAT MAY BE DETRIMENTAL TO THE CONCRETE OR REINFORCING STEEL.
5. CONCRETE:
 - 5.1 SLABS:
 - CEMENT SHALL BE ASTM 150, TYPE II PORTLAND CEMENT
 - 28 DAY COMPRESSIVE STRENGTH: 4000 PSI
 - MAX. AGG. SIZE: 3/4"
 - AIR CONTENT: 6% + 1% BY VOLUME
 - MAX WATER-CEMENT RATIO: 0.45
 - AGGREGATE SHALL CONFORM TO ASTM C33
 - 5.2 WALLS AND FOOTINGS:
 - CEMENT SHALL BE ASTM 150, TYPE II PORTLAND CEMENT
 - 28 DAY COMPRESSIVE STRENGTH: 3000 PSI
 - MAX. AGG. SIZE: 1 1/2"
 - AIR CONTENT: 5% + 1% BY VOLUME
 - MAX WATER-CEMENT RATIO: 0.50
 - AGGREGATE SHALL CONFORM TO ASTM C33
 - 5.3 PERFORMED EXPANSION JOINT FILLER:
 - 5.3.1 A NON-EXTENDING AND RESILIENT BITUMINOUS B TYPE JOINT FILLER, 1/2" THICK
 - 5.11 VAPOR BARRIER:
 - 5.11.1 UNDERSLAB MOISTURE VAPOR BARRIER SHALL BE MADE OF A LAYER OF 6 MIL. POLYETHYLENE PLASTIC, PLACE VAPOR BARRIER AS SHOWN IN DETAIL ON 5301.
6. CONSTRUCTION PRACTICES:
 - 6.1 REINFORCEMENT:
 - 6.1.1 MINIMUM CONCRETE COVER: 3" FOR CONCRETE CASE AGAINST SOIL; 2" FOR OTHER CONCRETE, UNLESS OTHERWISE SHOWN.
 - 6.2 ANCHOR BOLTS: USE TYPE, SIZE, AND LENGTH AS INDICATED ON PLANS.

STRUCTURAL STEEL NOTES

PART 1 - GENERAL
1.00 STANDARD SPECIFICATIONS

- A. FABRICATION, ERECTION, AND WELDING: IN ACCORDANCE WITH THE SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS, ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN ADOPTED JUNE 1989, INCLUDING ALL PUBLISHED SUPPLEMENTS, A1.5.C.
- PART 2 - PRODUCTS
- 2.01 MATERIALS
 - A. STRUCTURAL STEEL BEAMS, CHANNELS, AND T-SHAPES, ASTM A572 GR. 50 OR A992.
 - B. STEEL ANGLES, BARS, AND PLATES - ASTM A-36
 - C. STRUCTURAL TUBES AND COLUMNS - ASTM A500, GRADE B.
 - D. STRUCTURAL PIPE - ASTM A53, TYPE E, GRADE B, SCHEDULE 40.
 - E. HIGH STRENGTH BOLTS - ASTM A-325, TYPE 1 OR 2.
 - F. ANCHOR BOLTS - ASTM A-307, GRADE A.
 - G. WELDING TO BE PERFORMED WITH E70XX 70 ELECTRODES.

WOOD FRAMING NOTES

1. STRUCTURAL LUMBER: NO. 2 SPRUCE-PINE-FIR OR BETTER LAMINATED VENEER LUMBER (LVL): EQUIVALENT TO 1.9E 5.1" MICRO-LAM BY TRUSS JOIST MANUFACTURER, PARALLEL STRAND LUMBER (PSL): EQUIVALENT TO 2.0E PARALAM PSL BY TRUSS JOIST MANUFACTURER, OR EQUAL
2. DESIGN CODES:
 - A. NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION BY THE AMERICAN FOREST AND PAPER ASSOCIATION
 - B. DESIGN SPECIFICATION FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES (TPI-85).
3. FASTENERS: COMPLY WITH RECOMMENDED FASTENING SCHEDULE OF THE INTERNATIONAL BUILDING CODE/2003, UNLESS SHOWN OTHERWISE ON THE DRAWINGS.
4. NAILING REQUIREMENTS FOR PLYWOOD FLOOR DECKS, ROOF DECK, AND SHEATHING. PROVIDE ROSIN COATED 8D RING SHANK NAILS FOR FLOORS, AS FOLLOWS, UNLESS SHOWN OTHERWISE:

PANEL EDGES	INTERIOR SUPPORT
ROOFS / WALLS: 6" O.C.	12" O.C.

WOOD FRAMING NOTES

5. SPIKE TOGETHER AND CONTINUOUS GLUE ALL FRAMING MEMBERS WHICH ARE BUILT-UP USING 2 ROWS OF 16d NAILS AT 10" O.C. STAGGERED.
6. PROVIDE GALVANIZED METAL JOIST HANGERS AT FLUSH FRAMED CONNECTIONS. IF SIZES ARE NOT SHOWN ON PLANS, PROVIDE HANGERS EQUAL TO SIMPSON U210 OR LU210.
7. PROVIDE GALVANIZED METAL RAFTERS TIES EQUAL TO SIMPSON H10 BETWEEN RAFTERS OR ROOF TRUSSES AND SUPPORTING WALLS OR MEMBERS, UNLESS SHOWN OTHERWISE.
8. PROVIDE PRESSURE TREATED LUMBER FOR ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE.
9. NAIL MULTIPLE LVLS TOGETHER USING 2 ROWS OF 16d NAILS 12" O.C. STAGGERED AS RECOMMENDED BY THE MANUFACTURER.
10. ROOF SHEATHING: 5/8" APA STRUCTURAL I RATED SHEATHING 40% SPAN RATING.
11. WALL SHEATHING: 7/8" APA RATED SHEATHING, 2 1/2" SPAN RATING



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PROJECT: **SPIKE RESIDENCE GARAGE**
304 CAPIBIC ST
FOR: BEN AND CORINA SPIKE

SHEET TITLE:
GENERAL NOTES
ISSUED FOR CONSTRUCTION

REVISIONS		
No.	BY DESCRIPTION	DATE

DATE : 03-25-05
SCALE : AS NOTED
DESIGN BY: ASH
DRAWN BY: AL
FILE #: 05057-046-5301.DWG
PROJECT NUMBER:
05057
SHEET NO:
5303

EARTHWORK NOTES

1. SITE WORK AND CONCRETE CONTRACTORS ARE REQUIRED TO REVIEW THE ON-SITE SUBSURFACE SOIL CONDITIONS WITH THE OWNER AT THE START OF INITIAL CONSTRUCTION. THE CONTRACTOR WILL NOTIFY SEER AFTER EXCAVATION HAS STARTED AND PRIOR TO THE PLACEMENT OF ANY STRUCTURAL FOUNDATION OR OTHER AND UNCONTROLLED FILL FOR THE AREAS RECEIVING BUILDING FOUNDATIONS.
2. BACKFILL TO THE NECESSARY SUBGRADES REQUIRED ON THE STRUCTURAL FOUNDATION PLANS WITH CONTROLLED STRUCTURAL FILL MATERIAL MEETING THE FOLLOWING GRADATION:

PERCENT PASSING	SCREEN OR SEVE SIZE
5	90-100
NO. 4	35-70
NO. 10	5-35
NO. 200	0-5
3. PROVIDE SITE GRADING AROUND THE PERIMETER OF THE BUILDING FOUNDATION DRAINAGE AWAY FROM THE FOUNDATION DURING AND AFTER CONSTRUCTION.
4. PLACE CONTROLLED STRUCTURAL FILL IN UNIFORM LIFTS AND IN ACCORDANCE WITH A MINIMUM OF 95% OF THE MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D1557 - MODIFIED PROCTOR METHOD.
5. MAINTAIN THE INTEGRITY OF NATURAL SOILS AND CONTROLLED STRUCTURAL FILL DURING CONSTRUCTION. PROTECT FOOTING AND STRUCTURE SUBGRADES AGAINST FREEZING AND EXCESSIVE WETTING. REMOVE AND RE-FILL FROZEN SUBGRADES. MOISTURE CONDITION OR REPLACE EXCESSIVELY WET SUBGRADE MATERIALS.
6. COMPACT CONTROLLED STRUCTURAL FILL IN ACCORDANCE WITH THE FOLLOWING SCHEDULED EQUIPMENT AND ASTM D1557. USE OF TILL BOTH SIDES OF WALLS TO FOUR ELEVATIONS BEFORE COMPACTING.

DEGREE OF COMPACTION: COMPACT TO THE FOLLOWING MINIMUM DENSITIES:

FILL AND BACKFILL LOCATION	DENSITY
UNDER STRUCTURE FOUNDATIONS	95% OF TYP.
TOP 2 FEET UNDER PAVED SURF	95%
BELOW TOP 2 FEET UNDER PAVED SURF	92%
UNDER PAVED AREAS	90%
UNDER UNPAVED AREAS	90%
UNDER DRIVEWAYS	92%
UNDER SIDEWALKS	92%
UNDER DRIVEWAYS	90%
UNDER DRIVEWAYS	90%
UNDER DRIVEWAYS	92%

MAXIMUM DENSITY: ASTM D 1557, MODIFIED.

FIELD DENSITY TESTS, ASTM D 1556, SAND CONE, SAND PENE, RUBBER BALLOON, OR ASTM D 2922 (NUCLEAR METHOD).

CONTRACTOR IS REQUIRED TO CONFORM TO OSHA (29 CFR) 1926.501-522 SUBPART F CONSTRUCTION STANDARD FOR EXCAVATIONS.

GENERAL STRUCTURAL NOTES

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL APPLICABLE STATE AND LOCAL CODES, INCLUDING BUT NOT LIMITED TO:
 - INTERNATIONAL RESIDENTIAL CODE - 2003 ED
 - INTERNATIONAL BUILDING CODE
 - ACI 301 - SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS
 - AISC STEEL CONSTRUCTION MANUAL
 - ANSI A588-1997
 - ANSI A588-1997
2. ROOF DESIGN LOADS: SHOW LOAD

DEAD LOAD	45 PSF
LIVE LOAD	15 PSF
TOTAL ROOF LOAD	60 PSF UNBALANCED
3. FLOOR DESIGN LOADS: SHOW LOAD

DEAD LOAD	10 PSF
LIVE LOAD	40 PSF
TOTAL FLOOR LOAD	50 PSF BALANCED
4. CONTRACTOR SHALL BRING TO THE ATTENTION OF THE ENGINEER ANY CONDITIONS DIFFER FROM THOSE SHOWN ON THE DRAWINGS AND CONDITIONS THAT PREVENT THE COMPLETION OF THE WORK AS SHOWN ON THE CONSTRUCTION DRAWINGS.
5. ALL WORK SHALL BE PERFORMED BY PERSONS QUALIFIED IN THE TRADE IN WHICH THE PROJECT IS LOCATED.
6. ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS SHALL BE VERIFIED AND APPROVED BY GENERAL CONTRACTOR (G.C.) AND ARCHITECT BEFORE PROCEEDING.
7. UNLESS OTHERWISE NOTED, DETAILS, SECTIONS, AND NOTES SHOWN ON ANY DRAWING SHALL BE CONSIDERED TYPICAL FOR ALL SIMILAR DETAILS.
8. THESE DRAWINGS DO NOT SHOW SIZE, LOCATION OR TYPE OF PUMPING IN THE FOUNDATION SYSTEM FOR ELECTRICAL, PLUMBING OR MECHANICAL EQUIPMENT. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING THESE ITEMS.
9. USE PERIMETER DRAINS WHERE SHOWN. DRAIN TO APPROPRIATE OUTLET.



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PROJECT: **SPIKE RESIDENCE GARAGE**
 304 CAPIBIC BT
 FOR BEN AND CORINA SPIKE

SHEET TITLE:
GENERAL NOTES
 ISSUED FOR CONSTRUCTION

REVISIONS

No.	BY	DESCRIPTION	DATE

DATE: 03-25-05
 SCALE: AS NOTED
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 PROJECT NUMBER:
05057
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