

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

## BUILDING INSPECTION

### PERMIT

Permit Number: 030179

Please Read Application And Notes, If Any, Attached

This is to certify that Aaronson Stephen E & /Fort Scott  
has permission to Construct New 1,827 sq ft Single Family Dwelling, 1,000 sq ft Attached Garage and 309 sq ft Attached Studio  
AT 198 Capisic St Portland, OR 97232 223 B004001

provided that the person or persons who apply for or accept this permit shall comply with all of the provisions of the Statutes of the State of Oregon and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procedure before this building or part thereof is started or otherwise closed-in. 4 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. **PERMIT ISSUED**  
Health Dept.  
Appeal Board **APR 16 2003**  
Other \_\_\_\_\_  
Department Name

*[Signature]*  
Director - Building & Inspection Services

**CITY OF PORTLAND**

**PENALTY FOR REMOVING THIS CARD**

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application  
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0179	Issue Date: <b>APR 16 2003</b>	CBL: 223 B004001
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Location of Construction: 198 Capisic St	Owner Name: Aaronson Stephen E &	Owner Address: 198 Capisic St <b>CITY OF PORTLAND</b>	Phone: 772-2230
Business Name:	Contractor Name: Forbes, Scott	Contractor Address: 34 Cushman Street Portland	Phone: 2078317720
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: <b>R-3u Shoreland Overlaid</b>

Past Use: Vacant Lot	Proposed Use: Single Family with Attached Garage and Studio	Permit Fee: \$1,238.00	Cost of Work: \$120,000.00	CEO District: 3
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FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: <b>R-3</b> Type: <b>5B</b> <b>BOCA 99</b> Signature: <i>[Signature]</i>
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Proposed Project Description:  
Construct New 1,827 sq ft Single Family with 624 sq ft Attached Garage and 309 sq ft Attached Studio  
*- not retail  
- no classes  
- for personal owner hobby only  
- NOT A separate living apt.*

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)  
Action:  Approved  Approved w/Conditions  Denied  
Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Permit Taken By: gad	Date Applied For: 03/06/2003	<b>Zoning Approval</b>
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input checked="" type="checkbox"/> Shoreland <i>property within 250' - but Belongs well over 75' from HWY</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 12 zone X</i> <input type="checkbox"/> Subdivision <i>revised plans to show only A 2 lot split</i> <input checked="" type="checkbox"/> Site Plan <i># 2003-0044</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>ok with conditions</i> Date: <i>MS 3/27/03</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>[Signature]</i> Date: _____
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**PERMIT ISSUED**  
**APR 16 2003**  
**CITY OF PORTLAND**

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 03-0179	<b>Date Applied For:</b> 03/06/2003	<b>CBL:</b> 223 B004001
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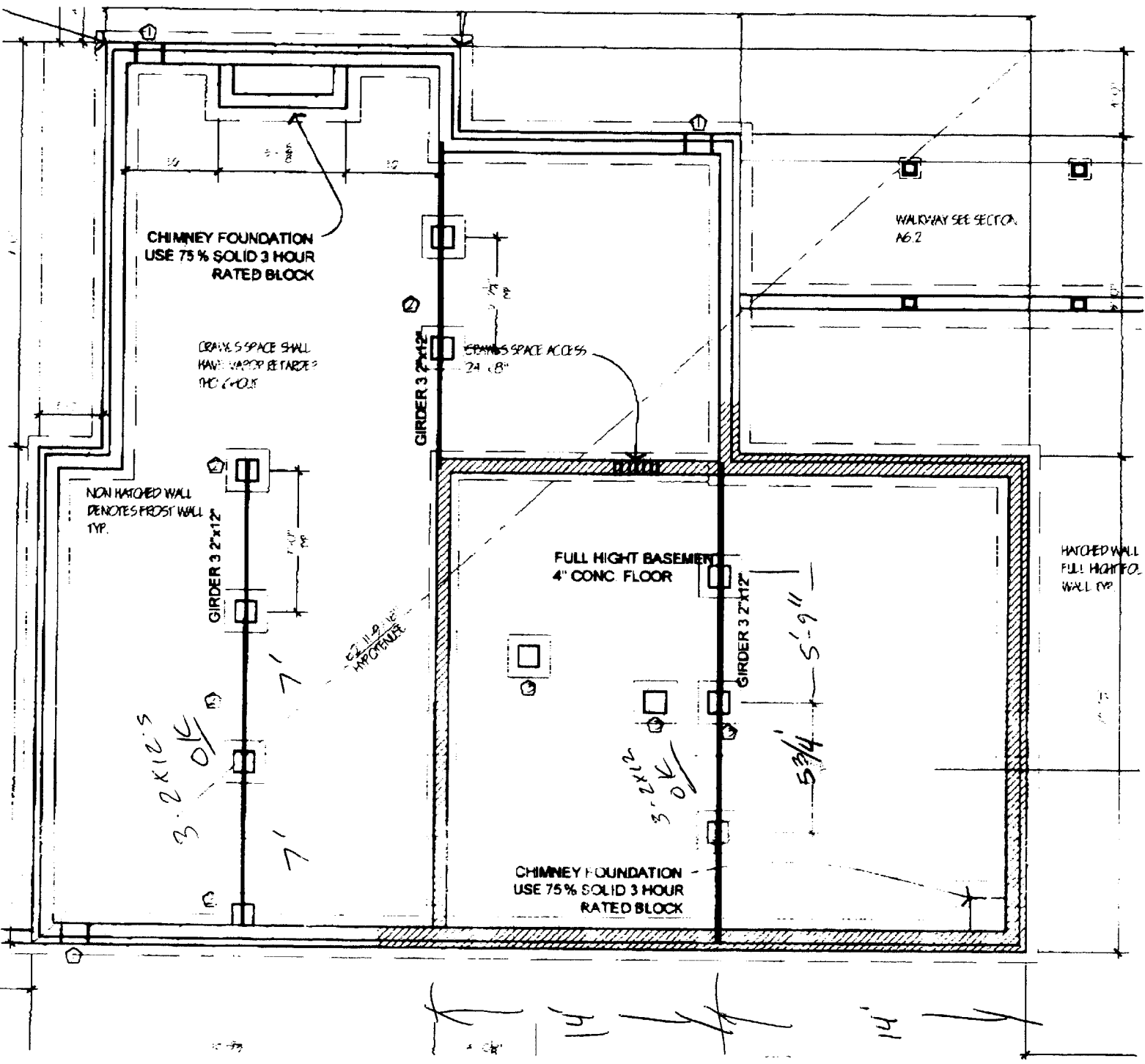
<b>Location of Construction:</b> 198 Capisic St	<b>Owner Name:</b> Aaronson Stephen E &	<b>Owner Address:</b> 198 Capisic St	<b>Phone:</b> ( ) 772-2230
<b>Business Name:</b>	<b>Contractor Name:</b> Forbes, Scott	<b>Contractor Address:</b> 34 Cushman Street Portland	<b>Phone:</b> (207) 831-7720
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Single Family	

<b>Proposed Use:</b> Single Family with Attached Garage and Studio	<b>Proposed Project Description:</b> Construct New 1,827 sq ft Single Family with 624 sq ft Attached Garage and 309 sq ft Attached Studio
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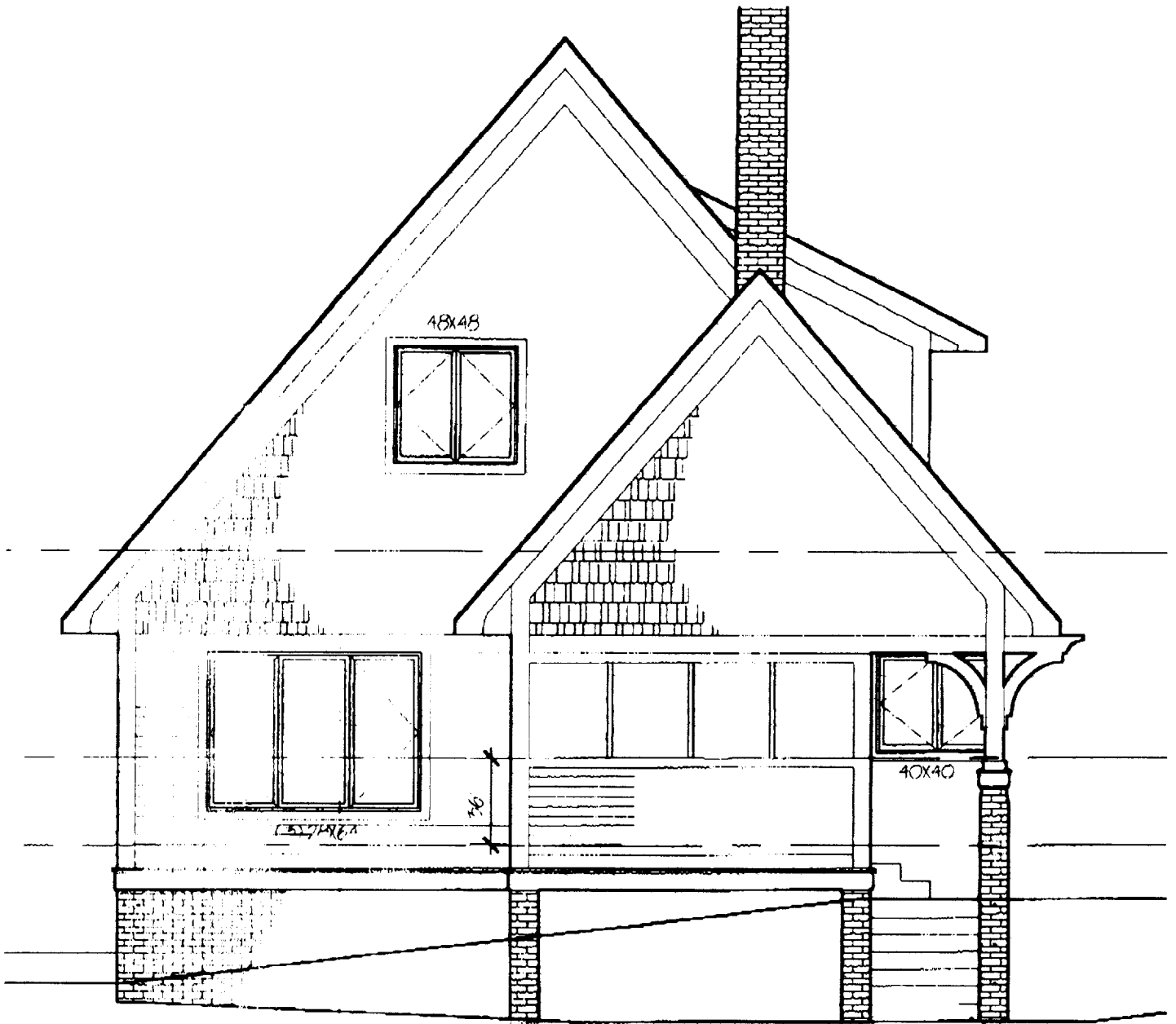
<b>Dept:</b> Zoning	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Marge Schmuckal	<b>Approval Date:</b> 03/27/2003
<b>Note:</b> 3/27/03 Talked with Scott Forbes at counter and later on phone to verify rear setbacks.			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
<p>1) It is understood thru a separate conversation on 3/27/03 that the rear setback SHALL be at least twenty-five (25) feet from the rear property line. This rear line (opposite of the front along Capisic Street) shall be strung so that the code enforcement office can confirm this required setback PRIOR to pouring concrete. It is the owner's responsibility to contact the code enforcement officer to set-up the appropriate time for this inspection.</p> <p>2) It is understood thru several conversations on 3/27/03 that your lot divisions shall be changed indicating only two lots created. The rear lot that was originally shown SHALL NOT be part of this final division because it would create an illegal nonconforming lot under zoning regulations. This office shall received revised plans confirming that change PRIOR to construction.</p> <p>3) Separate permits shall be required for future decks, sheds, pools, and/or garages.</p> <p>4) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals. This means no such items installed in the detached hobby area. The hobby/workshop shall not be a separate dwelling unit. It has been represented by the owner to be for a personal work area, not a retail sales, or classrooms, or a separate living space. It is considered to be an accessory use to the single family dwelling.</p> <p>5) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.</p> <p>6) This permit is being approved on the basis of plans submitted on 3/27/03 and later phone conversations. Any deviations shall require a separate approval before starting that work.</p>			

<b>Dept:</b> Building	<b>Status:</b> Approved	<b>Reviewer:</b> Tammy Munson	<b>Approval Date:</b> 04/16/2003
<b>Note:</b> ok to issue - rec'd info today			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>

<b>Comments:</b> 4/2/03-tm: Need more info on plans - left message w/designer. 4/3/03-tm: Faxed copy of plan review notes to Scott Forbes. 4/8/03-tmm: rec'd new plans - still missing a few items. Left message for Scott Forbes.
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DEPT. OF BUILDINGS  
 CITY OF BOSTON  
 APR 16 2003  
 RECEIVED



APR 16 2003  
RECEIVED

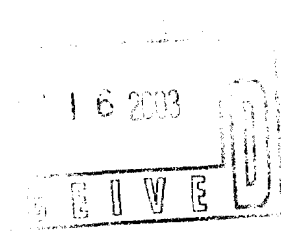
371-8116

4-16-03

TO TAMMY MONSON  
FROM SCOTT FORBES

RE 1988 CAPISUC ST

2 REVISION SHEETS



**Table 2305.2  
FASTENING SCHEDULE**


Building element	Nail or staple size and type	Number and location
<b>1. Floor construction</b>		
Built-up girders and beams	20d common	32" o.c. direct
Bridging to joists	8d common	2 each direct end
Floor joists to studs (No ceiling joists)	10d common	5 direct or
	10d common	3 direct
Floor joists to studs (With ceiling joists)	10d common	2 direct
Floor joists to sill or girder	8d common	3 toe nail
Ledger strip	16d common	3 each direct joist
1" subflooring (6" or less)	8d common	2 each direct joist
1" subflooring (8" or more)	8d common	3 each direct joist
2" subflooring	16d common	2 each direct joist
Particleboard underlayment ( $\frac{1}{4}$ " - $\frac{3}{4}$ ")	6d annular threaded	6" o.c. direct edges and 12" o.c. intermediate
* Wood structural panel subflooring ( $\frac{1}{2}$ " or less)	6d common or 6d annular or spiral thread	6" o.c. direct edges and 12" o.c. intermediate
( $\frac{19}{32}$ " - $\frac{3}{4}$ ")	8d common or 6d annular or spiral thread	6" o.c. direct edges and 12" o.c. intermediate
( $\frac{7}{8}$ " - $1\frac{1}{8}$ ")	10d common or 8d ring shank or 8d annular or spiral thread	6" o.c. direct edges and 6" o.c. intermediate
( $\frac{1}{2}$ " or less)	16 gage galvanized wire staples	4" o.c. edges and 7" o.c. intermediate
( $\frac{19}{32}$ " - $\frac{5}{8}$ ")	$\frac{3}{8}$ " minimum crown, $1\frac{5}{8}$ " length	2 $\frac{1}{2}$ " o.c. edges and 4" o.c. intermediate
<b>2. Wall construction</b>		
Stud to sole plate	8d common	4 toe nail or
	16d common	2 direct nail
Stud to cap plate	16d common	2 toe nail or 2 direct nail
Double studs	10d common	12" o.c. direct
Corner studs	16d common	24" o.c. direct
Sole plate to joist or blocking	16d common	16" o.c.
Interior-braced wall sole plate to parallel joist	16d common	12" o.c.
Double cap plate	10d common	16" o.c. direct nail
Cap plate laps	10d common	2 direct nail
Ribbon strip, 6" or less	10d common	2 each direct bearing
Ribbon strip, 6" or more	10d common	3 each direct bearing
Diagonal brace (to stud and plate)	8d common	2 each direct bearing
Interior-braced wall top plate to joist or blocking	10d common	12" o.c.
Tail beams to headers (where nailing is permitted)	20d common	1 each end 4 sq. ft. floor area
Header beams to trimmers (where nailing is permitted)	20d common	1 each end 8 sq. ft. floor area
Continuous header to stud	8d common	4 toe nail
Continuous header, two pieces	16d common	16" o.c. direct
<b>3. Roof and ceiling construction</b>		
Ceiling joists to plate	16d common	3 toe nail
Ceiling joists (laps over partition)	10d common	3 direct nail
Ceiling joists (parallel to rafter)	10d common	3 direct nail
Collar beam	10d common	3 direct
Roof rafter to plate	8d common	3 toe nail
Roof rafter to ridge	16d common	2 toe nail or direct nail
Jack rafter to hip	10d common	3 toe nail or
	16d common	2 direct nail
1" roof decking (6" or less in width)	8d common	2 each direct rafter
1" roof decking (over 6" in width)	8d common	3 each direct rafter
<b>4. Wall and roof sheathing</b>		
1" wall sheathing (8" or less in width)	8d common	2 each direct stud
1" wall sheathing (over 8" in width)	8d common	3 each direct stud
Diagonal wall sheathing (seismic bracing)	See Table 2306.4.5	
$\frac{1}{2}$ " fiberboard sheathing	$1\frac{1}{2}$ " galvanized roofing nail or 6d common nail or 16 gage staple, $1\frac{1}{8}$ " long with minimum crown of $\frac{1}{16}$ "	3" o.c. exterior edge, 6" o.c. intermediate
$\frac{25}{32}$ " fiberboard sheathing	$1\frac{3}{4}$ " galvanized roofing nail or 8d common nail or 16 gage staple, $1\frac{1}{2}$ " long with minimum crown of $\frac{7}{16}$ "	3" o.c. exterior edge, 6" o.c. intermediate
Gypsum sheathing	12 gage $1\frac{1}{4}$ " large head, corrosion resistant	4" o.c. on edge, 8" o.c. intermediate

Garage + Art Studio Plans + Covered Walkway  
Deck + screen porch

~~\_\_\_\_\_~~ \$ 6066 394

Soil type/Presumptive Load Value (Table 401.4.1)		
Component	Plan Reviewer	Inspection/Date/Findings
<b>STRUCTURAL</b> Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2)	Depth Not shown	Ag. 1 NOTE REV CLWD Ag. 3 NOTE REV CLWD.
Foundation Drainage Dampproofing (Section 406)	OK	
<del>_____</del> Gravel Space	Not shown	F.I. NOTE REV CLWD
Anchor Bolts/Straps (Section 403.1.4)	OK	
Lally Column Type, Spacing and footing sizes (Table 502.3.4(2))	Not shown	F.I. NOTE F.I. NOTE REV CLWD
<del>_____</del> (Table 502.3.4(2))	Spans - not shown	F.I. NOTES
Sill/Band Joist Type & Dimensions	OK	
First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))	2" x 12" - S 16" OC Max span - 17'-10" } 12" OC	S.I. 1 REV com go
Second Floor Joist Species Dimensions and Spacing Table (503.3.1(1) & Table 503.3.2(1))	Spans not shown	COMPLETE



Attic or additional Floor Joist Species Dimensions and Spacing (Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1) )	N/A	
Roof Rafter; Pitch, Span, Spacing & Dimension (Table 802.3.2(7) )	Spans not shown	COMPLETE ✓
Sheathing; Floor, Wall and roof (Table 503.2.1(1))	OK	
Fastener Schedule (Table 602.3(1) & (2) )	Not shown	COMPLETE ✓
<b>Private Garage</b> Section 309 and Section 407 1999 BOCA) Living Space ? (Above or beside)	2nd floor garage area - use ?	COMPLETE - Storage OK
Fire separation		
Fire rating of doors to living space Door Sill elevation (407.5 BOCA)	N/A	
Egress Windows (Section 310)	Not shown	COMPLETE
Roof Covering (Chapter 9)	Not shown	COMPLETE OK
Safety Glazing (Section 308)	<del>not shown</del> OK	COMPLETE OK
Attic Access (BOCA 1211.1)	Not shown	COMPLETE OK
	" "	COMPLETE

Header Schedule	not shown	COMPLETE ✓
Type of Heating System	" "	
Stairs		
Number of Stairways		
Interior 3		
Exterior 2		
Treads and Risers (Section 314)	9" Treads shown - 10" Min.	COMPLETE - OK corrected
Width	NOT shown	
Headroom	7' shown - OK	
Guardrails and Handrails (Section 315)	NOT shown	
Smoke Detectors Location and type/Interconnected	NOT shown	COMPLETE OK
Plan Reviewer Signature		

See Chimney Summary Checklist

2 5/8 MICOR



Prmt	Text193	29302	Constr Type	New	Num1	30179
Permit Nbr	03-0179	Location of Construction	198 Capisic St	Appl. Date	03/06/2003	
Status	Hold	Permit Type	Single Family	Issue Date		
CBL	223 B004001	Territory Nbr	3	Estimated Cost	\$120,000.00	
				Date Closed		

Comment Date	Comment				
04/02/2003	Need more info on plans - left message w/designer.				
	Name	tm	Follow Up Date		Completed <input type="checkbox"/>

CreatedBy	gad	CreateDate	03/11/2003	ModBy	tm	ModDate	04/02/2003
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*Scott Forbes  
Fax # 647-5221*

City of Portland  
**INSPECTION SERVICES**

Room 315  
389 Congress Street  
Portland, Maine 04101

Telephone: 207-874-8703 or 207-874-8693  
Facsimile: 207-874-8716

**FACSIMILE TRANSMISSION COVER SHEET**

TO: <u>Scott Forbes</u>	FROM: <u>Tammy Munson</u>
FAX NUMBER: <u>647-5221</u>	NUMBER OF PAGES, WITH COVER: <u>4</u>
TELEPHONE: <u>831-7720</u>	RE: <u>198 Capisic St.</u>
DATE: <u>4/3/03</u>	

Comments:

# Garage + Art Studio Plans + Covered Walkway Deck + Screen porch

Soil type/Presumptive Load Value (Table 401.4.1) _____		
Component	Plan Reviewer	Inspection/Date/Findings
<b>STRUCTURAL</b> Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2) <span style="font-size: 2em; vertical-align: middle;">} Not shown</span>	Depth Not shown <span style="font-size: 2em; vertical-align: middle;">}</span>	
Foundation Drainage Dampproofing (Section 406)	OK	
Ventilation (Section 409.1) Crawls Space ONLY	Not shown	
AnchorBolts/Straps (Section 403.1.4)	OK	
Lally Column Type, Spacing and footing sizes (Table 502.3.4(2))	Not shown	
Built-Up Wood Center Girder Dimension/Type (Table 502.3.4(2))	Spans-not shown	
Sill/Band Joist Type & Dimesions	OK	
First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))	2" x 12" - S 16" OC Max span - 17'-10" <span style="font-size: 2em; vertical-align: middle;">} can go 12" oc</span>	
Second Floor Joist Species Dimensions and Spacing Table(503.3.1(1) & Table 503.3.2(1))	Spans not shown	

Attic or additional Floor Joist Species Dimensions and Spacing (Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1) )	N/A	
Roof Rafter; Pitch, Span, Spacing & Dimension (Table 802.3.2(7) )	Spans not shown	
Sheathing; Floor, Wall and roof (Table 503.2.1(1))	OK	
Fastener Schedule (Table 602.3(1) & (2) )	NOT shown	
<b>Private Garage</b> Section 309 and Section 407 1999 BOCA) Living Space ? (Above or beside)	2nd floor garage area - use ?	
Fire separation		
Fire rating of doors to living space Door Sill elevation (407.5 BOCA)	N/A	
Egress Windows (Section 310)	Not shown	
Roof Covering (Chapter 9)	Not shown	
Safety Glazing (Section 308)	<del>Not shown</del> OK	
Attic Access (BOCA 1211.1)	Not shown	
Draft Stopping around chimney	" "	

<b>Header Schedule</b>	<i>Not shown</i>	
<b>Type of Heating System</b>	<i>" "</i>	
<b>Stairs</b> <b>Number of Stairways</b> <b>Interior</b> <i>3</i> <b>Exterior</b> <i>2</i> <b>Treads and Risers</b> (Section 314) <i>9" Treads shown - 10" Min.</i> <b>Width</b> <i>NOT shown</i> <b>Headroom</b> <i>7' shown - OK</i> <b>Guardrails and Handrails</b> (Section 315) <i>NOT shown</i>		
<b>Smoke Detectors</b> <b>Location and type/Interconnected</b>	<i>NOT shown</i>	
<b>Plan Reviewer Signature</b>		

See Chimney Summary Checklist

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 03-0179	<b>Date Applied For:</b> 03/06/2003	<b>CBL:</b> 223 B004001
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<b>Business Name:</b>	<b>Contractor Name:</b> Forbes, Scott	<b>Contractor Address:</b> 34 Cushman Street Portland	<b>Phone:</b> (207) 831-7720
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Single Family	

<b>Proposed Use:</b> Single Family with Attached Garage and Studio	<b>Proposed Project Description:</b> Construct New 1,827 sq ft Single Family with 624 sq ft Attached Garage and 309 sq ft Attached Studio
-----------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------

**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 03/27/2003

**Note:** 3/27/03 Talked with Scott Forbes at counter and later on phone to verify rear setbacks.      **Ok to Issue:**

- 1) It is understood thru a separate conversation on 3/27/03 that the rear setback SHALL be at least twenty-five (25) feet from the rear property line. This rear line (opposite of the front along Capisic Street) shall be strung so that the code enforcement office can confirm this required setback PRIOR to pouring concrete. It is the owner's responsibility to contact the code enforcement officer to set-up the appropriate time for this inspection.
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- 6) This permit is being approved on the basis of plans submitted on 3/27/03 and later phone conversations. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Pending      **Reviewer:**      **Approval Date:**      **Ok to Issue:**

**Note:**



Applicant: Scott Forbes

Date: 3/27/03

Address:

C-B-L: 223-B-004

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

# 03-0179

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - to erect new single family dwelling

with detached garage & detached private w/2 Accessory Pottery Art

Sewage Disposal - per 3/27/03 per owner City Sewer - removed leaching field

Lot Street Frontage - 50' min req - 55.47' shown

Front Yard - 25' min - 130' scaled to detached structure

per owner on 3/27/03 the boundary will be moved up toward front  
CEU shall check

Rear Yard - 25' min - 24' scaled per revised building plat 3-27-03

Side Yard - 2 story 14' req - 29' & 29' shown scaled

Projections - 2 detached buildings - one garage, one "Art Studio" for pottery hobby 16' x 24'

Width of Lot - 75' min - 270' shown

Height - 35' MAX - 26' scaled to 1/2 way between Ridge & side wall per

Lot Area - 500<sup>sq</sup> ft  $\approx$  2.46 Acres or 107157.6<sup>sq</sup> ft GRADE given by owner

Lot Coverage/ Impervious Surface - 25% MAX or 26,789.25<sup>sq</sup> ft MAX

Area per Family - 6,500<sup>sq</sup> ft

Off-street Parking - 2 req - 2 CAR GARAGE shown

Loading Bays - N/A

Site Plan - minor/minor # 2003-0044

Shoreland Zoning/ Stream Protection -

property within, but bldg well over 75' from HWM

Flood Plains - Panel 12 Zone X

23' x 46.5' =	1069.5
24' x 26' =	624
16' x 24' =	384
12' x 12' =	144
19' x 29' =	551
<u>2772.5<sup>sq</sup> ft</u>	

22

03-0179

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>198 CADISIC ST PORTLAND MAINE</u>		
Total Square Footage of Proposed Structure <u>2142</u>	Square Footage of Lot <u>107,157</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>223</u> Block# <u>B</u> Lot# <u>004</u>	Owner: <u>SUSAN DENT</u>	Telephone: <u>772-2230</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>SCOTT FORBES</u> <u>34 CUSHMAN ST</u> <u>PORTLAND, ME 04102</u> <u>831-7720</u>	Cost Of Work: \$ <u>120,000</u> Fee: \$ <u>Bldg. \$83.00</u>
Current use: <u>VACANT LOT</u>	Site <u>300.00</u> Cov <u>75.00</u> <u>TOTAL = 1238.00</u>	
If the location is currently vacant, what was prior use: <u>OPEN SPACE</u>		
Approximately how long has it been vacant: _____		
Proposed use: <u>SINGLE FAMILY HOME</u> Project description:		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>SCOTT FORBES</u>		
Mailing address: <u>34 CUSHMAN ST</u> <u>PORTLAND ME 04102</u> <u>831-7720</u> <u>cell</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>831-7720</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>3-5-3</u>
-------------------------------------------------------------------------------------------------------------	--------------------

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Building Copy**

2003-0044

Application I. D. Number

3/6/2003

Application Date

198 Capisic St.

Project Name/Description

Dent, Susan

Applicant

Applicant's Mailing Address

Consultant/Agent

Applicant Ph: (207) 772-2230

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

198 - 198 Capisic St, Portland, Maine

Address of Proposed Site

223 B004001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_

2142 sq. Ft.

107,157 sq. Ft.

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

**Check Review Required:**

- |                                                             |                                                      |                                                |                                                  |
|-------------------------------------------------------------|------------------------------------------------------|------------------------------------------------|--------------------------------------------------|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                       | <input type="checkbox"/> Shoreland                   | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance             |                                                | <input type="checkbox"/> Other _____             |

Fees Paid: Site Pla \$50.00 Subdivision \_\_\_\_\_ Engineer Review \$250.00 Date 3/6/2003

**Building Approval Status:**

Reviewer \_\_\_\_\_

- Approved  Approved w/Conditions See Attached  Denied

Approval Date \_\_\_\_\_ Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets Attached

Condition Compliance \_\_\_\_\_ signature \_\_\_\_\_ date \_\_\_\_\_

**Performance Guarantee**  Required\*  Not Required

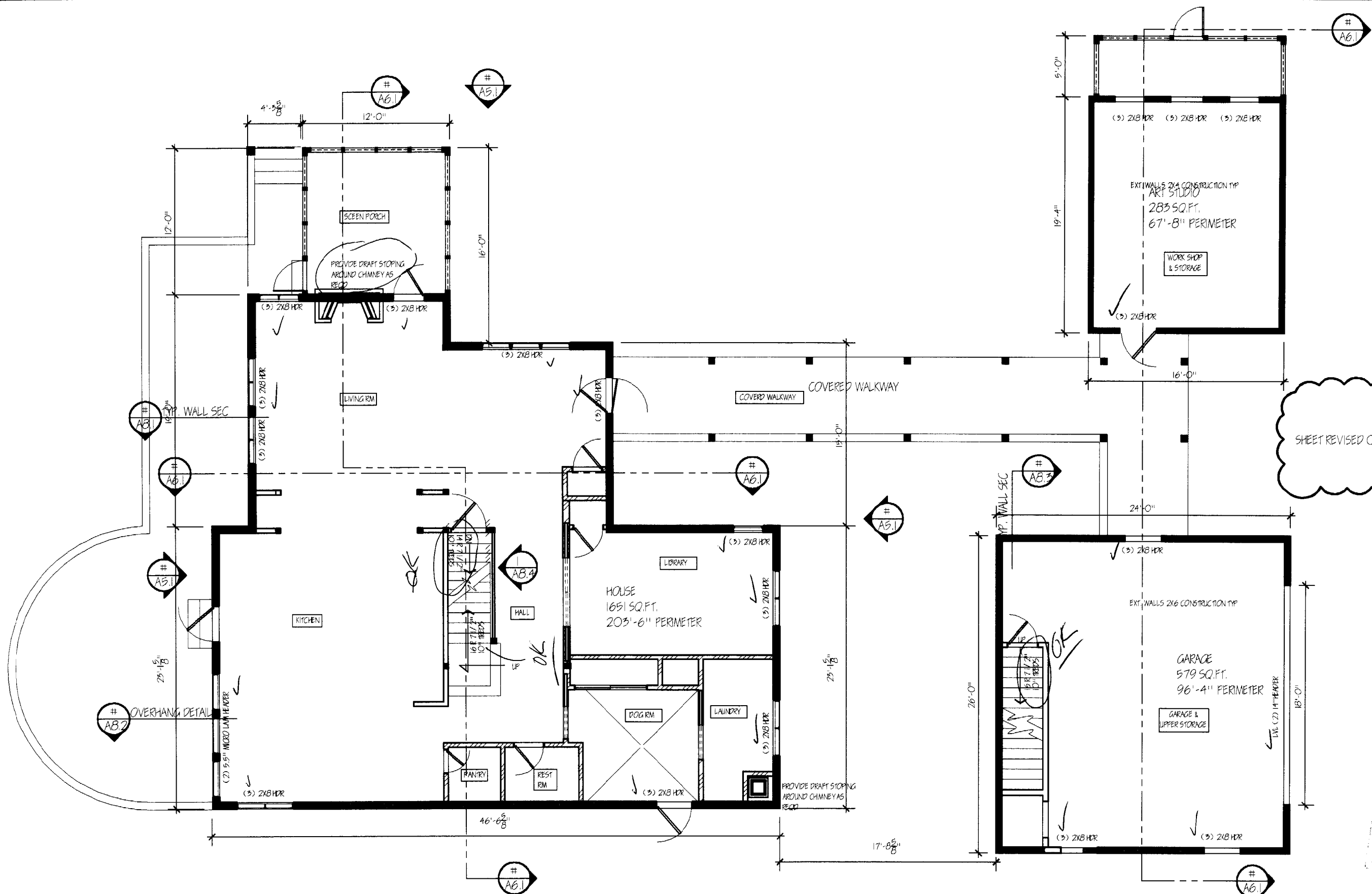
\* No building permit may be issued until a performance guarantee has been submitted as indicated below

- |                                                             |                |                                                    |                 |
|-------------------------------------------------------------|----------------|----------------------------------------------------|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted     | _____          | _____                                              | _____           |
|                                                             | date           | amount                                             | expiration date |
| <input type="checkbox"/> Inspection Fee Paid                | _____          | _____                                              |                 |
|                                                             | date           | amount                                             |                 |
| <input type="checkbox"/> Building Permit Issue              | _____          |                                                    |                 |
|                                                             | date           |                                                    |                 |
| <input type="checkbox"/> Performance Guarantee Reduced      | _____          | _____                                              | _____           |
|                                                             | date           | remaining balance                                  | signature       |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____          | <input type="checkbox"/> Conditions (See Attached) | _____           |
|                                                             | date           |                                                    | expiration date |
| <input type="checkbox"/> Final Inspection                   | _____          | _____                                              |                 |
|                                                             | date           | signature                                          |                 |
| <input type="checkbox"/> Certificate Of Occupancy           | _____          |                                                    |                 |
|                                                             | date           |                                                    |                 |
| <input type="checkbox"/> Performance Guarantee Released     | _____          | _____                                              |                 |
|                                                             | date           | signature                                          |                 |
| <input type="checkbox"/> Defect Guarantee Submitted         | _____          | _____                                              | _____           |
|                                                             | submitted date | amount                                             | expiration date |
| <input type="checkbox"/> Defect Guarantee Released          | _____          | _____                                              |                 |
|                                                             | date           | signature                                          |                 |



## THE MACGREGOR FORBES RESIDENCE

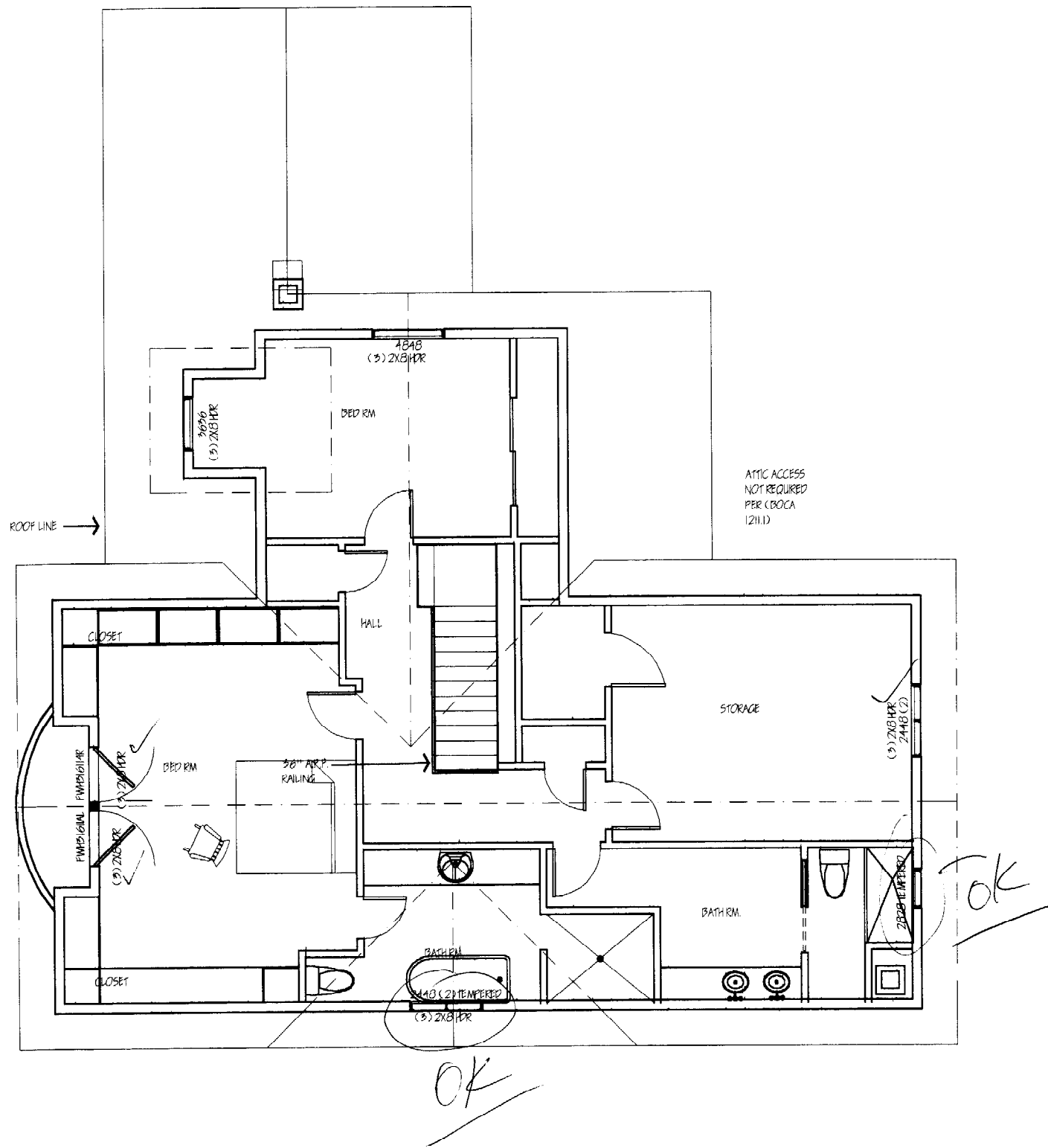
ADDRESS	BUILDER DESIGNER	SHEET INDEX	TEAM MEMBERS												
198 CAPISC STREET PORTLAND, MAINE 04102	CROWBAR DESIGN TANK 34 CUSHMAN STREET PORTLAND, MAINE 04102 207 831 7720	<table style="width: 100%; border: none;"> <tr> <td style="width: 50%;">               T1.1 TITLE SHEET                P1.1 SITE PLAN                P1.2 GRADING PLAN                A1.1 1ST FLOOR CONSTRUCTION PLAN                A1.2 2ND FLOOR CONSTRUCTION PLAN  <del>A3.1 1ST FLOOR REFLECTED CEILING PLAN</del>  <del>A3.2 2ND FLOOR REFLECTED CEILING PLAN</del>                S1.1 1ST FLOOR FRAMING PLAN                S1.2 2ND FLOOR FRAMING PLAN                S1.3 ROOF FRAMING PLAN                F1.1 FOUNDATION PLAN                A4.1 1ST FLOOR FURNISHING &amp; FINISH PLAN  <del>A4.2 2ND FLOOR FURNISHING &amp; FINISH PLAN</del>                A5.1 EXTERIOR ELEVATIONS                A5.2 EXTERIOR ELEVATION                A6.1 BUILDING SECTIONS                A6.2 BUILDING SECTIONS                A8.1 DETAILS                A8.2 DETAILS                A8.3 DETAILS                A8.4 DETAILS             </td> <td style="width: 50%;">               E1.1 1ST FLOOR POWER &amp; COMMUNICATION PLAN                E1.2 2ND FLOOR POWER &amp; COMMUNICATION PLAN                E1.3 BASEMENT POWER &amp; COMMUNICATION PLAN &amp; LIGHTING SCHEDULE  <del>M1.1 1ST FLOOR MECHANICAL PLAN</del>  <del>M1.2 2ND FLOOR MECHANICAL PLAN</del>  <del>L1.1 LANDSCAPING PLAN</del> </td> </tr> </table>	T1.1 TITLE SHEET P1.1 SITE PLAN P1.2 GRADING PLAN A1.1 1ST FLOOR CONSTRUCTION PLAN A1.2 2ND FLOOR CONSTRUCTION PLAN <del>A3.1 1ST FLOOR REFLECTED CEILING PLAN</del> <del>A3.2 2ND FLOOR REFLECTED CEILING PLAN</del> S1.1 1ST FLOOR FRAMING PLAN S1.2 2ND FLOOR FRAMING PLAN S1.3 ROOF FRAMING PLAN F1.1 FOUNDATION PLAN A4.1 1ST FLOOR FURNISHING & FINISH PLAN <del>A4.2 2ND FLOOR FURNISHING &amp; FINISH PLAN</del> A5.1 EXTERIOR ELEVATIONS A5.2 EXTERIOR ELEVATION A6.1 BUILDING SECTIONS A6.2 BUILDING SECTIONS A8.1 DETAILS A8.2 DETAILS A8.3 DETAILS A8.4 DETAILS	E1.1 1ST FLOOR POWER & COMMUNICATION PLAN E1.2 2ND FLOOR POWER & COMMUNICATION PLAN E1.3 BASEMENT POWER & COMMUNICATION PLAN & LIGHTING SCHEDULE <del>M1.1 1ST FLOOR MECHANICAL PLAN</del> <del>M1.2 2ND FLOOR MECHANICAL PLAN</del> <del>L1.1 LANDSCAPING PLAN</del>	<table style="width: 100%; border: none;"> <tr> <td style="width: 30%;">ELECTRICAL</td> <td>BRIAN'S PLUMBING &amp; ELECTRICAL 10 FOREST LANE CUMBERLAND, ME 04021 829-4179</td> </tr> <tr> <td>SITE WORK</td> <td>JACK A. KOSTKA RT. 302 BRIDGETON, MAINE 647-8146</td> </tr> <tr> <td>FRAMING</td> <td>BRIGGS CONSTRUCTION 66 SWANS RD. RAYMOND, MAINE 04701 838 6725</td> </tr> <tr> <td>MECHANICAL</td> <td>BRIAN'S PLUMBING &amp; ELECTRICAL 10 FOREST LANE CUMBERLAND, ME 04021 829-4179</td> </tr> <tr> <td>DRY WALL &amp; PLASTER</td> <td>T.B.D.</td> </tr> </table>	ELECTRICAL	BRIAN'S PLUMBING & ELECTRICAL 10 FOREST LANE CUMBERLAND, ME 04021 829-4179	SITE WORK	JACK A. KOSTKA RT. 302 BRIDGETON, MAINE 647-8146	FRAMING	BRIGGS CONSTRUCTION 66 SWANS RD. RAYMOND, MAINE 04701 838 6725	MECHANICAL	BRIAN'S PLUMBING & ELECTRICAL 10 FOREST LANE CUMBERLAND, ME 04021 829-4179	DRY WALL & PLASTER	T.B.D.
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03/5/03 $\frac{1}{8}'' = 1'-0''$ 2010	MR. & MRS FORBES CAPISC STREET 198 PORTLAND, MAINE 04102	<b>MACGREGOR / FORBES</b> BUILDERS - ARCHITECTS - ENGINEERS	TITTLE SHEET PERMIT SET NOT FOR CONSTRUCTION												
			DEPT. OF BUILDING INSPECTION CITY OF PORTLAND, ME <div style="border: 1px solid black; padding: 5px; display: inline-block;">             APR 7 2003              REVIEW           </div> T1.1												
			MACGREGOR FORBES 34 CUSHMAN STREET PORTLAND, MAINE 04102 CONTACT: SCOTT FORBES 831-7720												



SHEET REVISED 04/05/03

DEPT. OF PUBLIC WORKS  
CITY OF PORTLAND  
APR 7 2003  
RECEIVED

03/5/03	MR. & MRS FORBES CAPISIC STREET 198 PORTLAND, MAINE 04102	<b>MACGREGOR / FORBES</b>	1ST FLOOR PLAN	PERMIT SET NOT FOR CONSTRUCTION	MACGREGOR FORBES 34 CUSHMAN STREET PORTLAND, MAINE 04102 CONTACT: SCOTT FORBES 831-7720	A1.1
1/8" = 1'-0"						
2010						



SHEET REVISED 04/05/03

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND  
APR 7 2013  
A1.2

03/5/03  
1/8" = 1'-0"  
2010

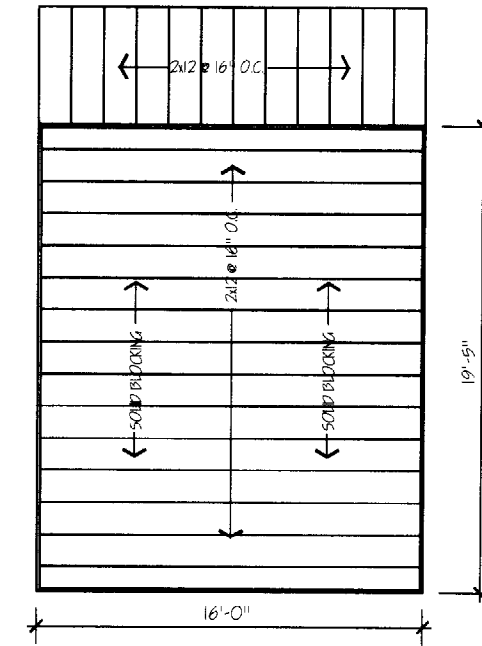
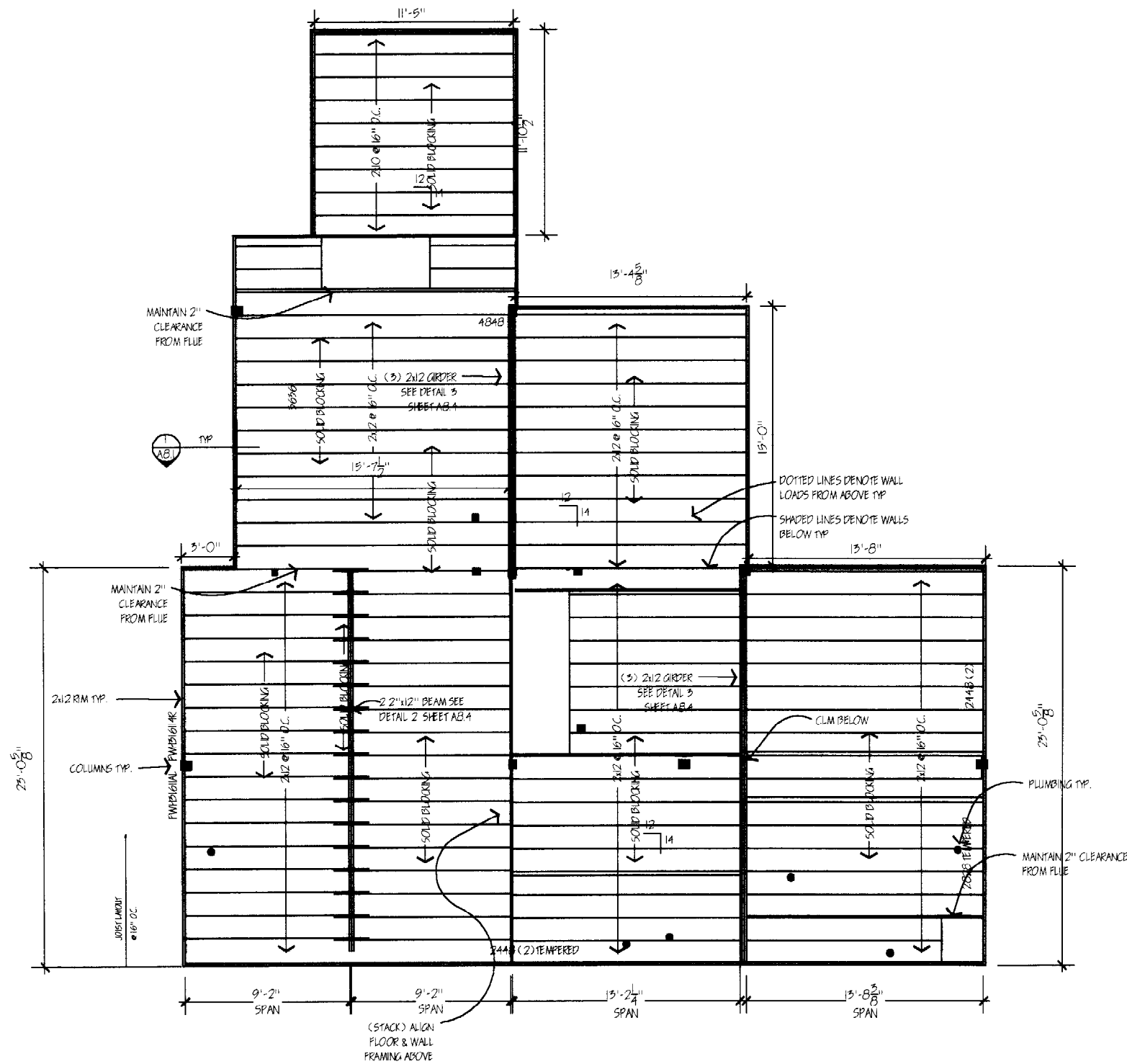
MR. & MRS FORBES  
CAPISC STREET 198  
PORTLAND, MAINE 04102

**MACGREGOR / FORBES**  
BUILDERS - ARCHITECTS - ENGINEERS

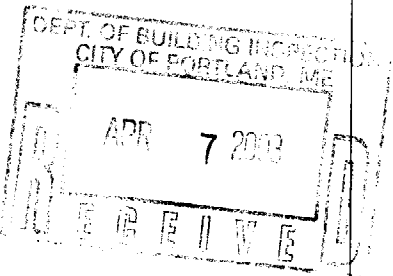
2ND FLOOR PLAN

PERMIT SET  
NOT FOR CONSTRUCTION

MACGREGOR FORBES  
34 CUSHMAN STREET  
PORTLAND, MAINE 04102  
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SCOTT FORBES 831-7720

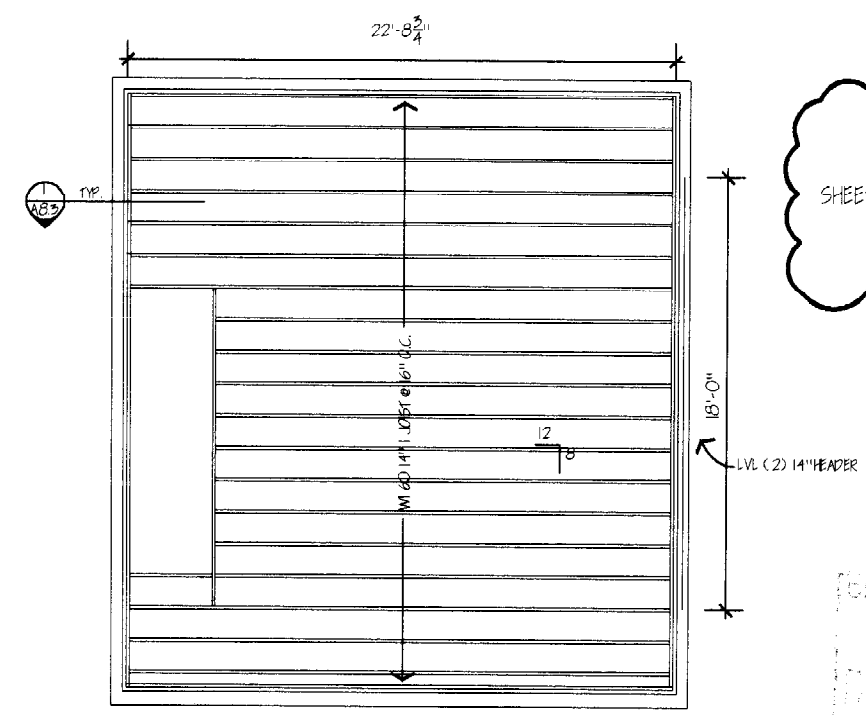
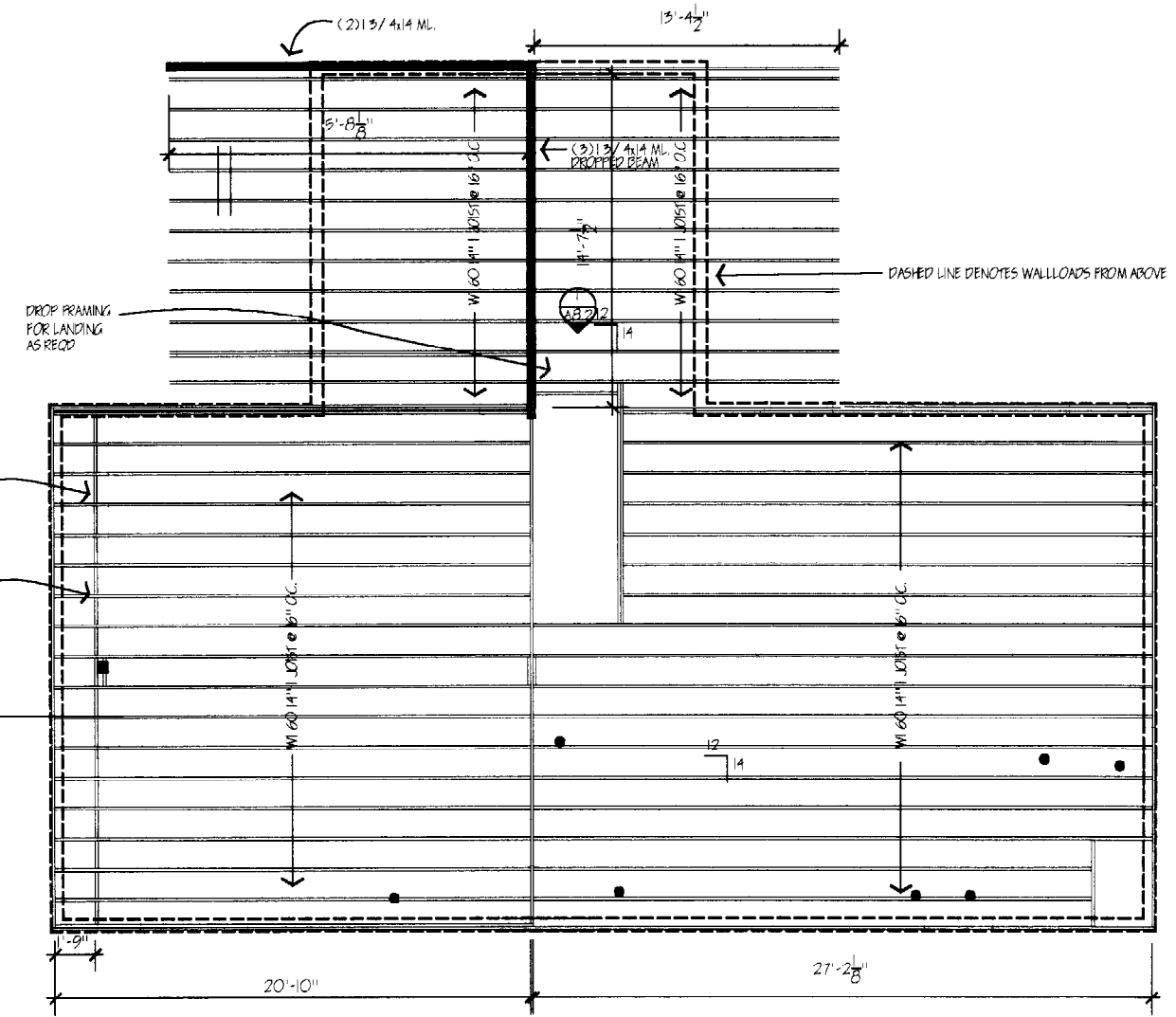


SHEET REVISED 04/05/03



03/5/03	MR. & MRS FORBES CAPISIC STREET 198 PORTLAND, MAINE 04102	<b>MACGREGOR / FORBES</b> BUILDERS - ARCHITECTS - ENGINEERS	1ST FLOOR FRAMING PLAN	PERMIT SET NOT FOR CONSTRUCTION	MACGREGOR FORBES 34 CUSHMAN STREET PORTLAND, MAINE 04102 CONTACT: SCOTT FORBES 831-7720	S1.1
1/8" = 1'-0"						
2010						

12  
14

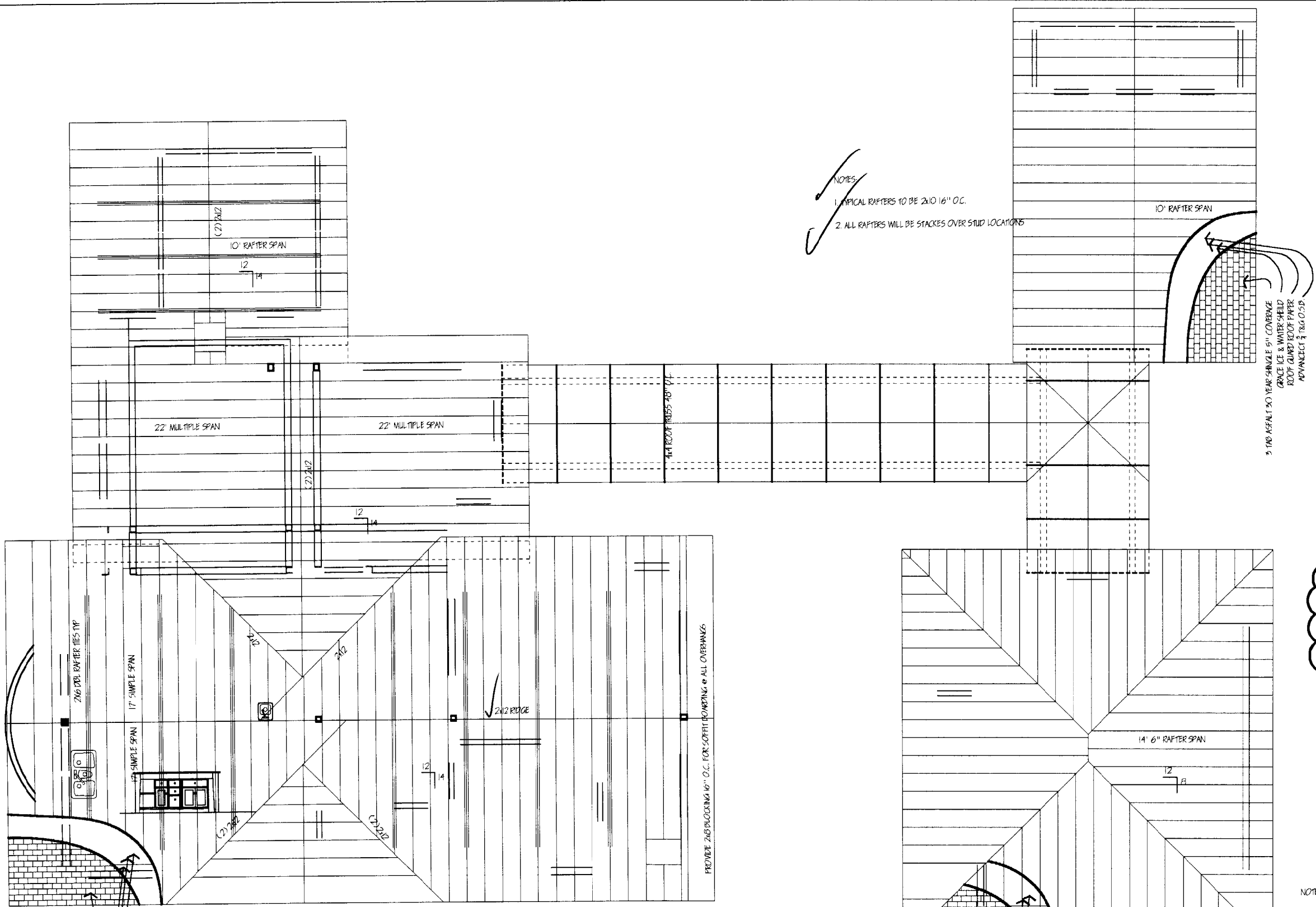


SHEET REVISED 04/05/03

SCOTT FORBES  
7 20 11

03/5/03	MR. & MRS FORBES CAPISIC STREET 198 PORTLAND, MAINE 04102	<b>MACGREGOR / FORBES</b>	2ND FLOOR FRAMING PLAN	PERMIT SET NOT FOR CONSTRUCTION	MACGREGOR FORBES 34 CUSHMAN STREET PORTLAND, MAINE 04102 CONTACT: SCOTT FORBES 831-7720	S1.2
1/8" = 1'-0"						
2010	BUILDERS - ARCHITECTS - ENGINEERS					



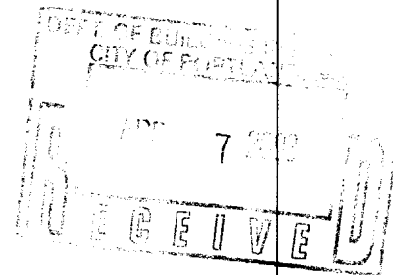


- NOTES
1. TYPICAL RAFTERS TO BE 2X10 16" O.C.
  2. ALL RAFTERS WILL BE STACKED OVER STUD LOCATIONS

10' RAFTER SPAN

3 TAB ASPALT 30 YEAR SHINGLE 5" COVERAGE  
 GRACE ICE & WATER-SHEILD  
 ROOF GUARD ROOF PAPER  
 ADVANCECT 3/8" T&G O.S.B.

SHEET REVISED 04/05/03



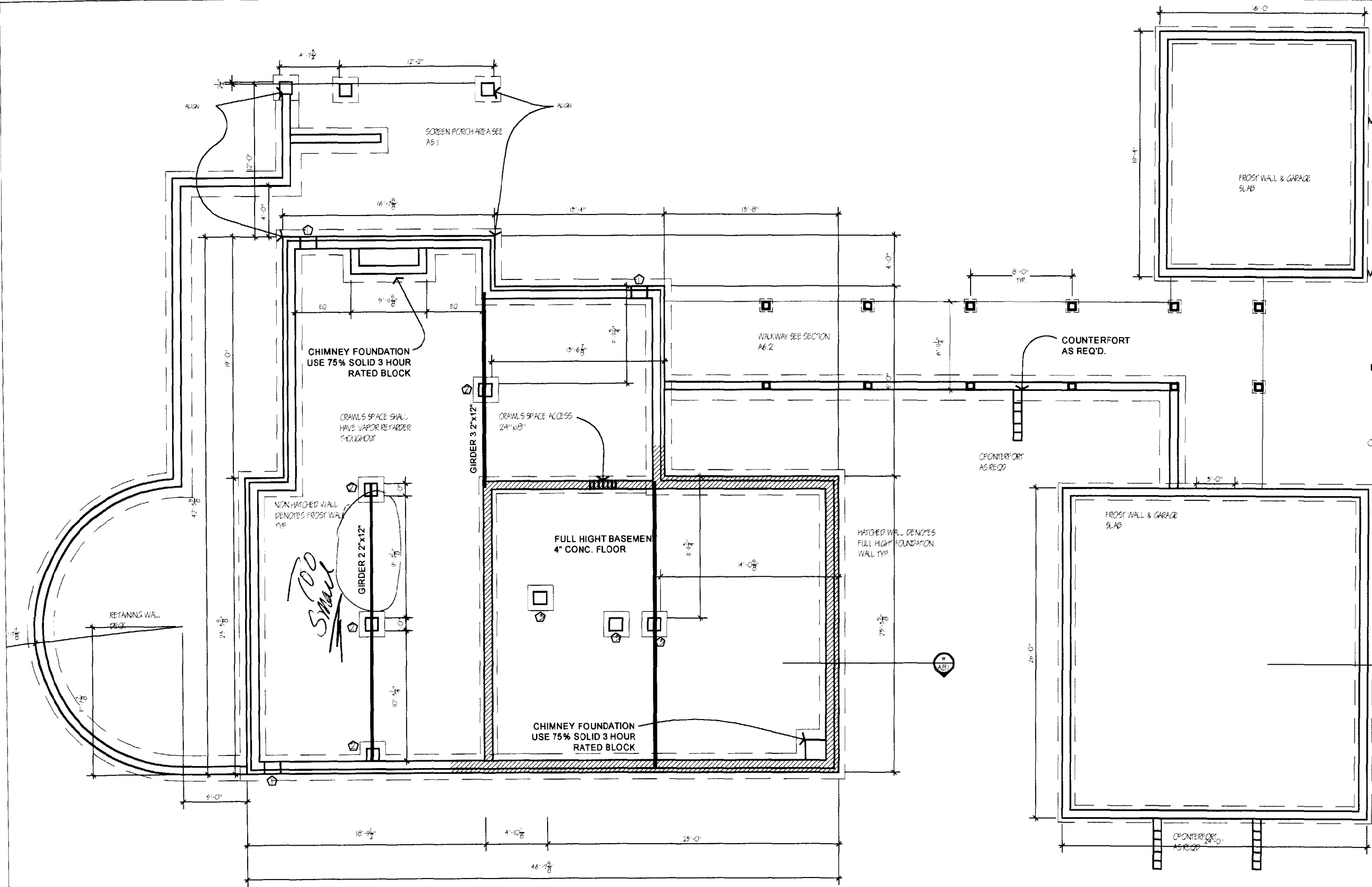
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03/5/03	MR. & MRS FORBES CAPISC STREET 198 PORTLAND, MAINE 04102	<b>MACGREGOR / FORBES</b>	ROOF FRAMING PLAN	PERMIT SET NOT FOR CONSTRUCTION	MACGREGOR FORBES 34 CUSHMAN STREET PORTLAND, MAINE 04102 CONTACT: SCOTT FORBES 831-7720	S1.3
1/8" = 1'-0"						
2010	BUILDERS - ARCHITECTS - ENGINEERS					



**MATERIAL SCHEDULE**

**FOOTINGS**

REBAR

FOOTING FORM MATERIAL

**MODULAR BRICK**

MODULAR BRICK 675 = 100 sq.ft

MASONRY CEMENT MORTAR 1 BAG = 125 BRICK

MASONRY SAND 1 TON = 8 BAGS OF MASONRY CEMENT

**CONCRETE BLOCK**

12" CONCRETE BLOCK

12" CORNER BLOCK

12" RETURN CORNER

0.75 x TOTAL lf PER COURSE LESS CORNERS

8" BLOCK

8" CORNER BLOCK

0.75 x TOTAL lf PER COURSE LESS CORNERS

4" BLOCK

4" CORNER BLOCK

0.75 x TOTAL lf PER COURSE LESS CORNERS

MASONRY CEMENT MORTAR 1 BAG = 30 BLOCK

MASONRY SAND 1 TON = 8 BAGS OF MASONRY CEMENT

**REINFORCEMENT**

#5 REBAR

TRUSS DESIGN

15" ANCHOR BOLT

METAL STRAP ANCHOR WALL TO WALL

WATER PROOFING

TYPE M WATER PROOF PARGING CEMENT

HYDROCID 700B ( SONNEBORN BUILDING PRODUCTS)

DRAINAGE

3" PERFORATED PLASTIC PIPE WITH FILTER CLOTH

**FOUNDATION KEY NOTES**

- 6x6 SCREENED VENT WITH LIVERS
- TOTAL CRAWLS SPACE 641 SQ.FT. 384 SQ IN PROVIDED
- 12" x 24" BLOCK PIERS ON 24" x 24" x 8" CONC FOOTINGS TYP
- 24" x 24" x 8" CONC FOOTINGS TOP TO ALIGN WITH BOTTOM OF SLAB. FOUR 4" SLAB OVER COILING AFTER 6" STEEL COLUMNS ARE IN PLACE

APR 7 2010

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03/5/03

2010

MR. & MRS FORBES  
CAPISIC STREET 198  
PORTLAND, MAINE 04102

**MACGREGOR / FORBES**

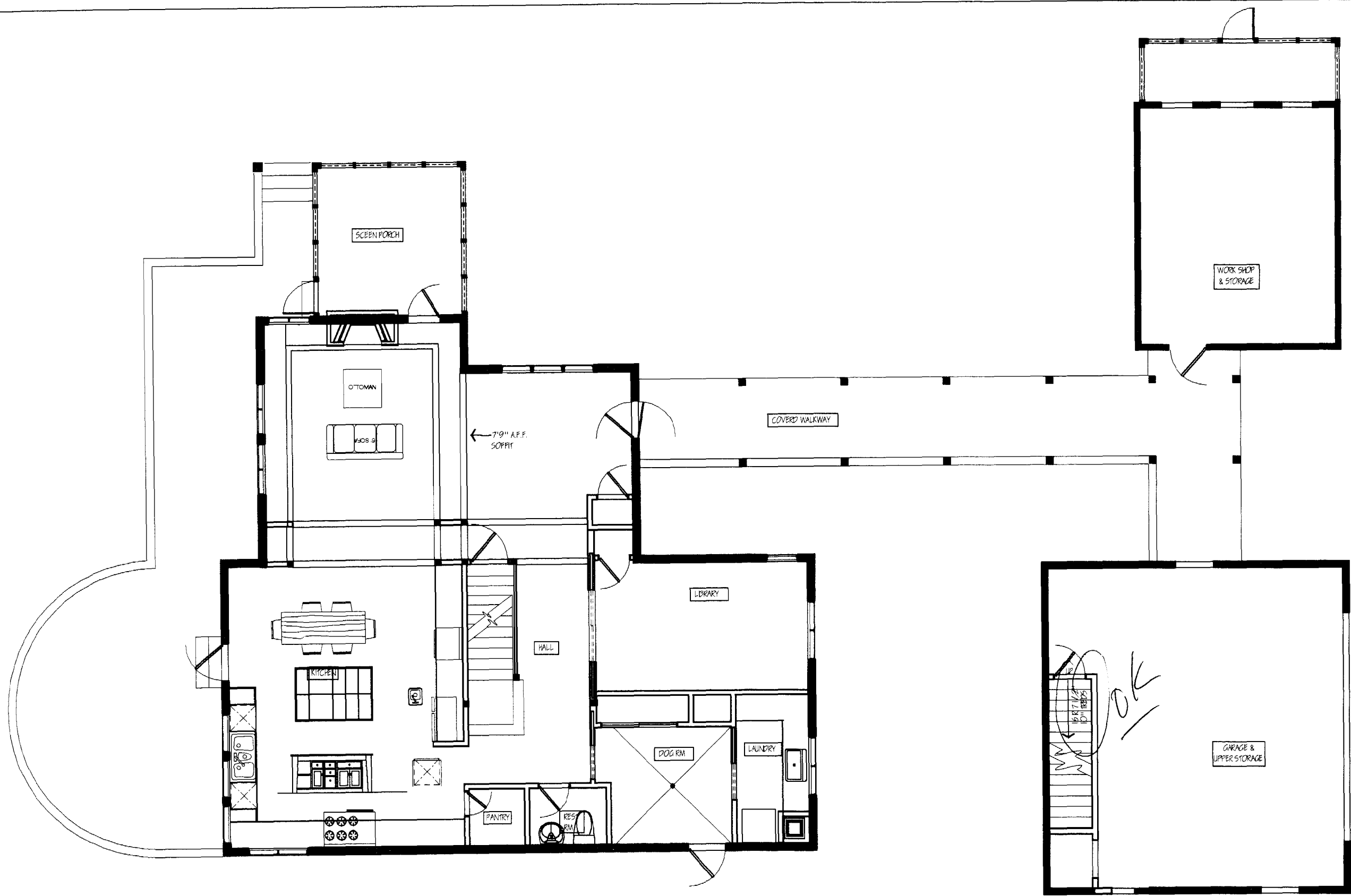
BUILDERS - ARCHITECTS - ENGINEERS

FOUNDATION PLAN  
NOT FOR CONSTRUCTION

PERMIT SET  
NOT FOR CONSTRUCTION

MACGREGOR FORBES  
34 CUSHMAN STREET  
PORTLAND, MAINE 04102  
CONTACT:  
SCOTT FORBES 831-7720

F1.1



DEPT. OF BUILDING INSPECTION  
 CITY OF PORTLAND, ME  
 APR 7 2011  
 RECEIVE

03/5/03  
 1/8" = 1'-0"  
 2010

MR. & MRS FORBES  
 CAPISIC STREET 198  
 PORTLAND, MAINE 04102

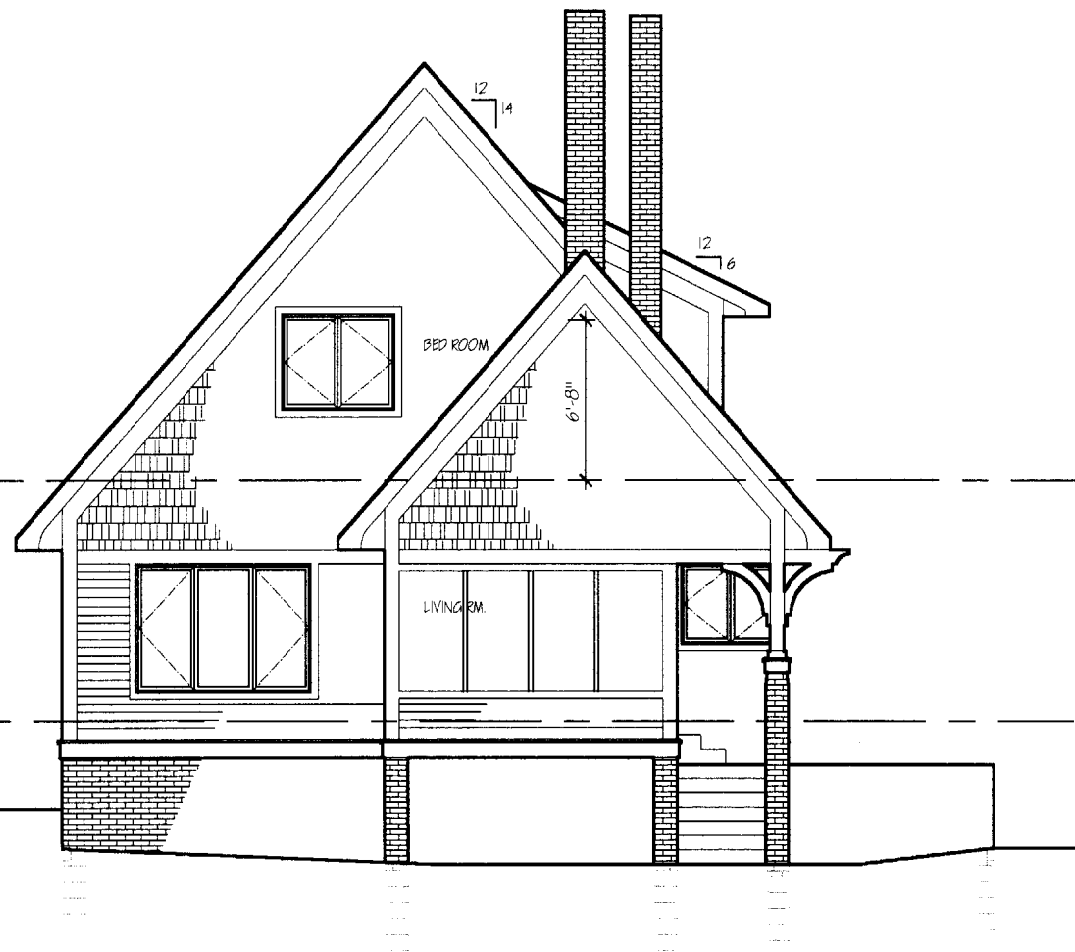
**MACGREGOR / FORBES**  
 BUILDERS - ARCHITECTS - ENGINEERS

1ST FLOOR FURNISHING  
 & FINISH PLAN

PERMIT SET  
 NOT FOR CONSTRUCTION

MACGREGOR FORBES  
 34 CUSHMAN STREET  
 PORTLAND, MAINE 04102  
 CONTACT:  
 SCOTT FORBES 831-7720

A4.1



2ND FLOOR ELEV.  
10'-0"

1ST FLOOR ELEV.  
0'-0"

BASEMENT ELEV.  
-8'-10 1/2"



APR 7 2003  
RECEIVED

03/5/03  
1/8" = 1'-0"  
2010

MR. & MRS FORBES  
CAPISIC STREET 198  
PORTLAND, MAINE 04102

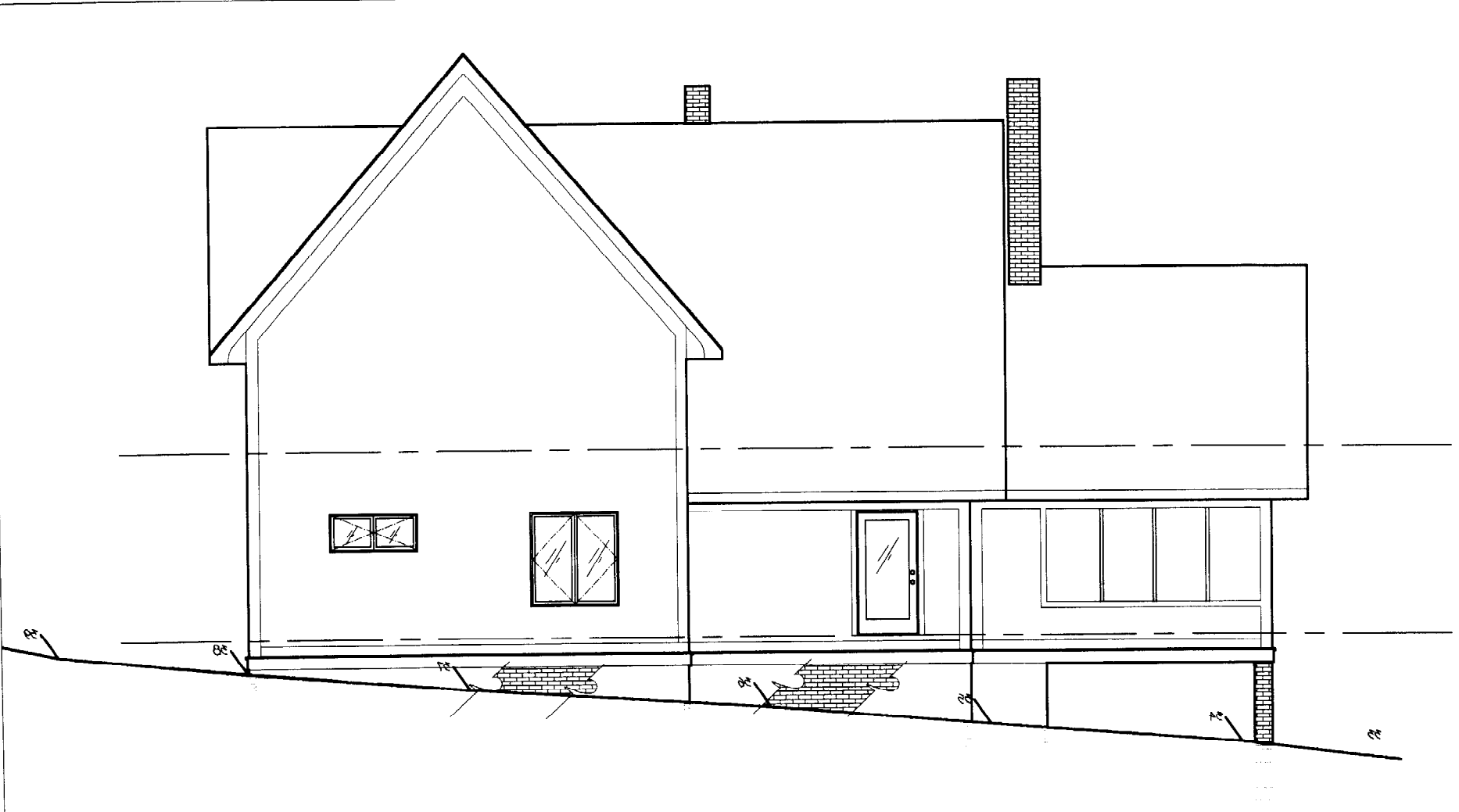
**MACGREGOR / FORBES**  
BUILDERS - ARCHITECTS - ENGINEERS

ELEVATIONS

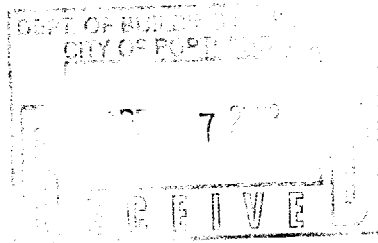
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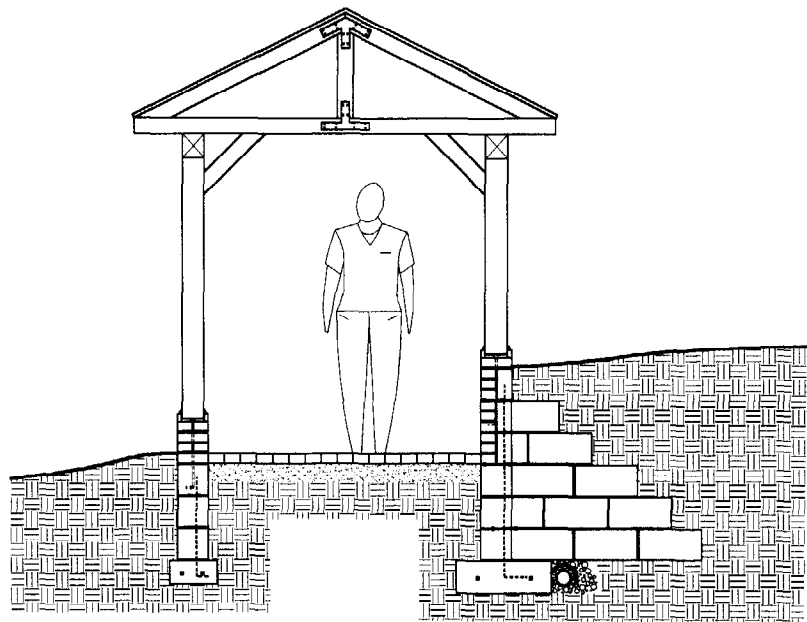
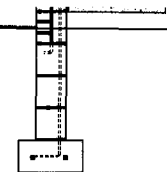
A5.1



FIXTURE SCHEDULE					
SYM.	ITEM / MODEL NO.	MANUFACTURER	LAMP	QTY	REMARKS
1	ONION LAMP EXTERIOR WALL SCONCE	-	40 WATT DEC	12	-
2	DECORATIVE PENDENT	-	-	1	-
3	DECORATIVE PENDENT	-	-	1	RELOCATED FROM CUSHMAN
4	DECORATIVE PENDENT	-	-	1	NO LIGHT
5	CLON PAN	30" LOW PROFILE	-	-	-
6	LIGHT PAN	-	60 WATT STANDARD	2	-
7	VANITY LIGHT WALL SCONCE	-	-	4	-
8	SURFACE MT CERAMIC PULL STRING	-	-	7	-
9	6" RECESSED FLOOD	-	-	12	-
10	FLUOR WALL MT 24"	-	-	1	-
11	6" RECESSED ADJ SEMI SPOT	-	-	29	-
12	4" RECESSED ADJ SPOT	-	-	9	-
13	UP LIGHTING FLOOD	-	25 WATT STANDARD	5	-
14	SMOKE DETECTOR	-	-	7	-
-	-	-	-	-	-



03/5/03	MR. & MRS FORBES CAPISC STREET 198 PORTLAND, MAINE 04102	<b>MACGREGOR / FORBES</b> BUILDERS - ARCHITECTS - ENGINEERS	ELEVATIONS	PERMIT SET NOT FOR CONSTRUCTION	MACGREGOR FORBES 34 CUSHMAN STREET PORTLAND, MAINE 04102 CONTACT: SCOTT FORBES 831-7720	A5.2
1/8" = 1'-0"						
2010						



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7/23

03/5/03  
1/4" = 1'-0"  
2010

MR. & MRS FORBES  
CAPISIC STREET 198  
PORTLAND, MAINE 04102

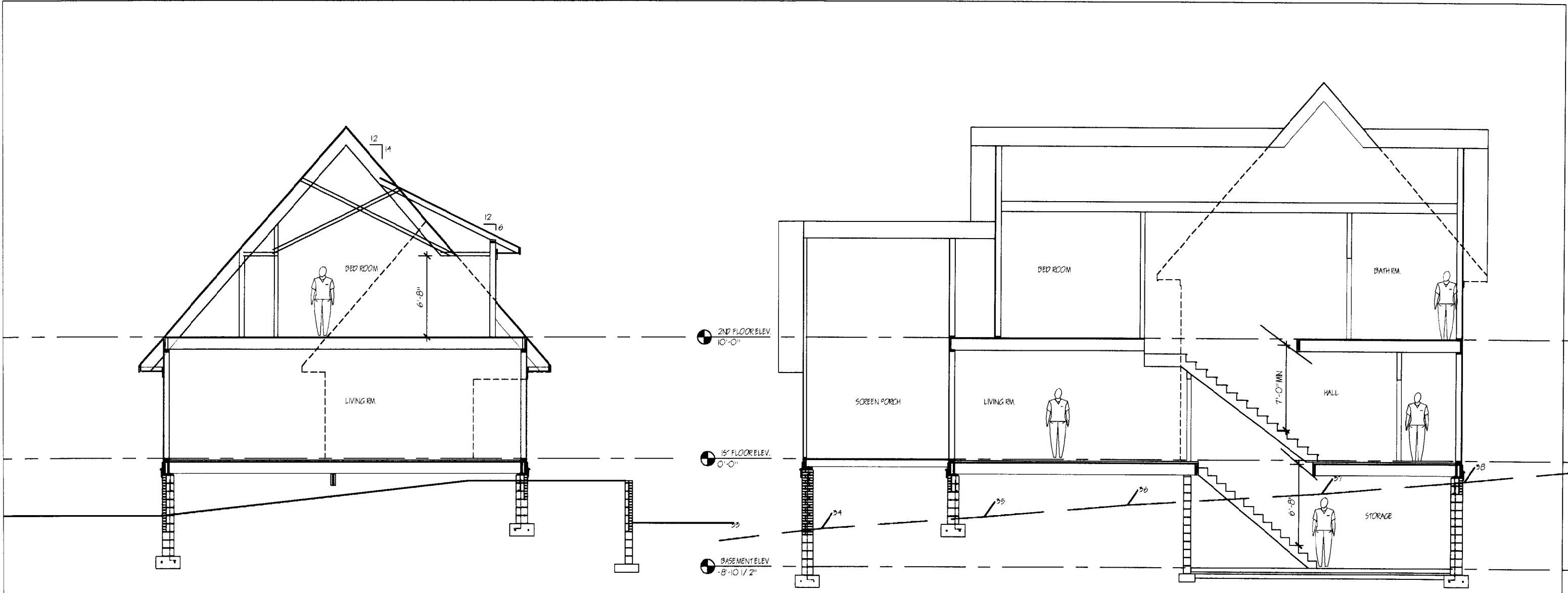
**MACGREGOR / FORBES**  
BUILDERS - ARCHITECTS - ENGINEERS

SECTIONS

PERMIT SET  
NOT FOR CONSTRUCTION

MACGREGOR FORBES  
34 CUSHMAN STREET  
PORTLAND, MAINE 04102  
CONTACT:  
SCOTT FORBES 831-7720

A6.1



720  
**RECEIVED**

03/5/03  
 1/8" = 1'-0"  
 2010

MR. & MRS FORBES  
 CAPISIC STREET 198  
 PORTLAND, MAINE 04102

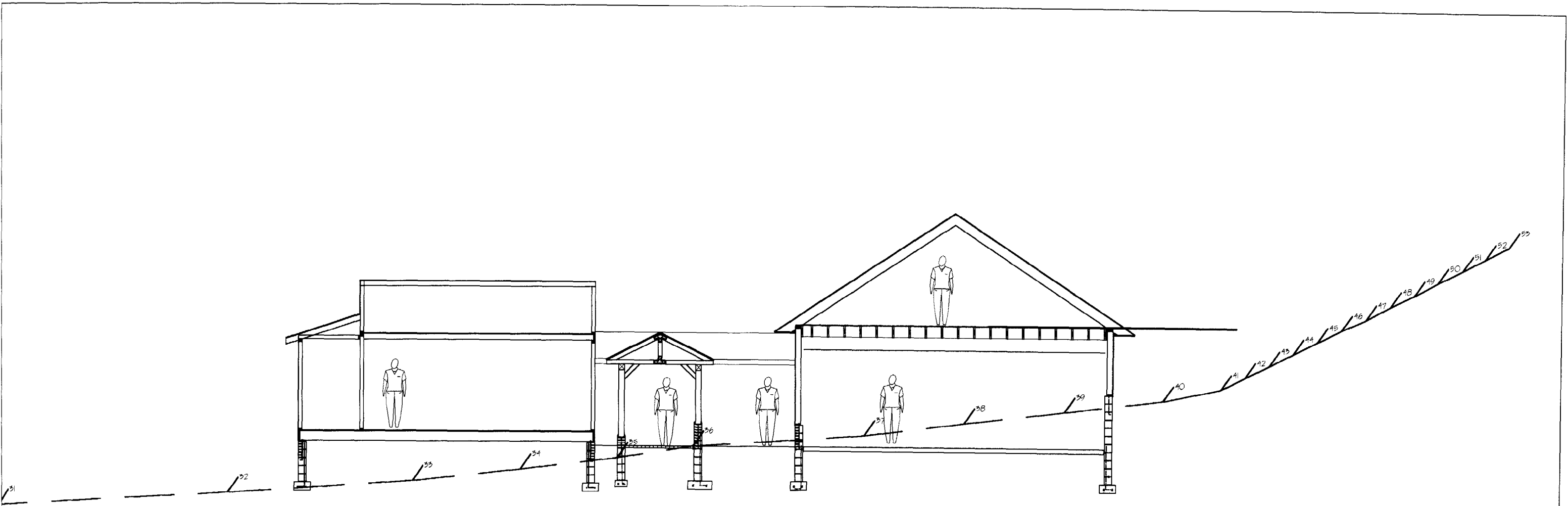
**MACGREGOR / FORBES**  
 BUILDERS - ARCHITECTS - ENGINEERS

SECTIONS

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 SCOTT FORBES 831-7720

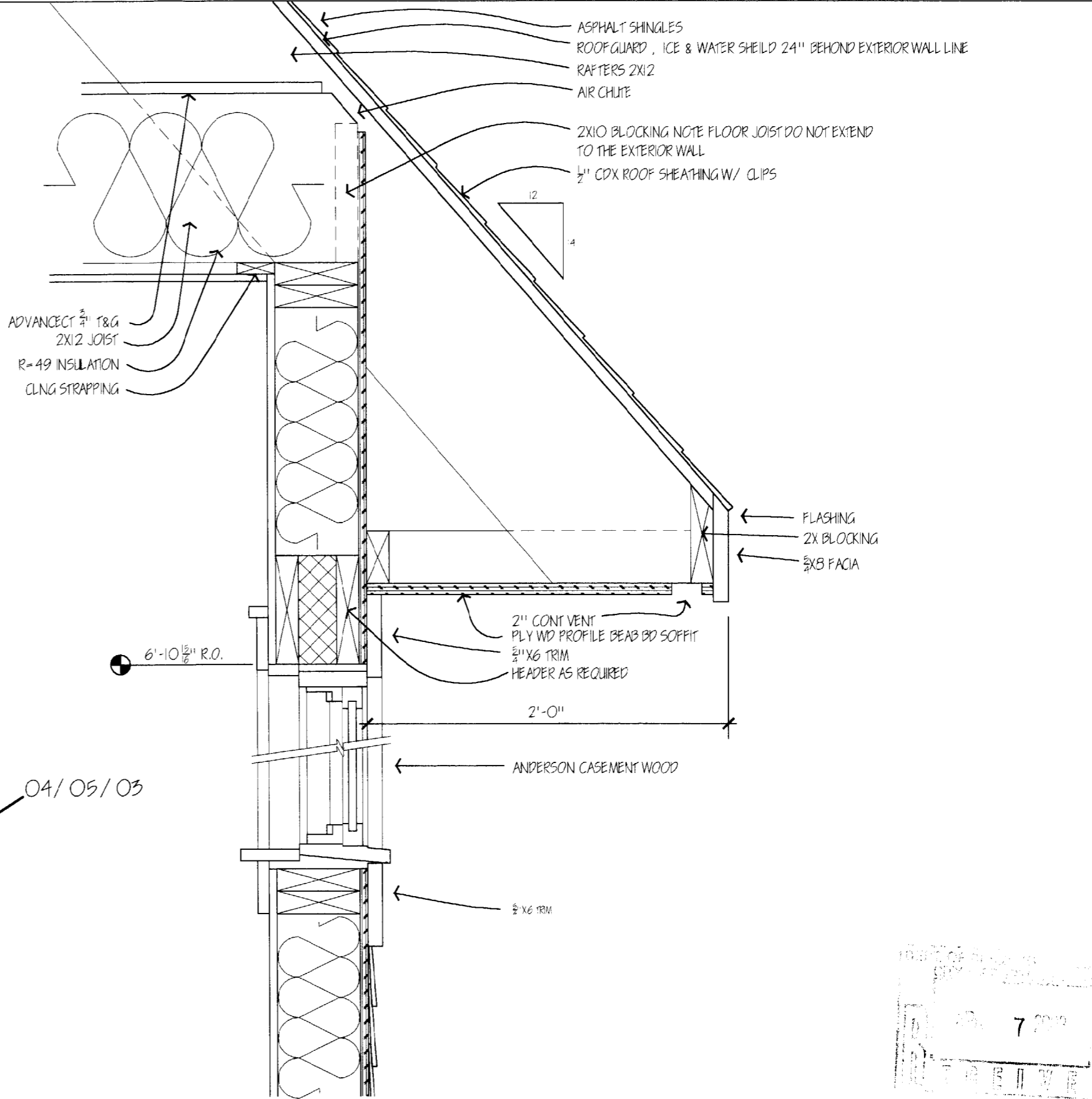
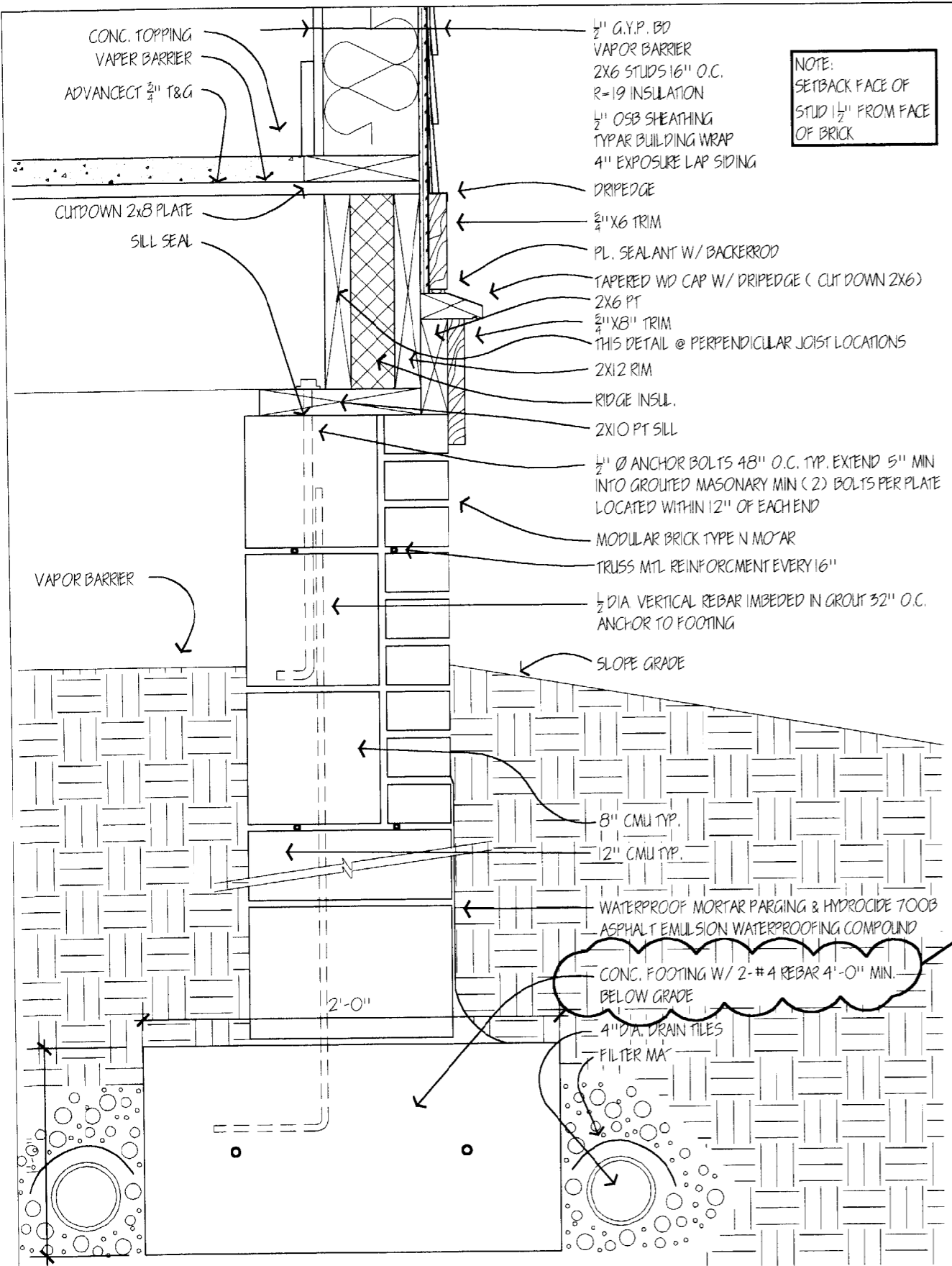
A6.1



DEPT. OF BUILDINGS  
CITY OF PORTLAND  
APR 7 2010  
**RECEIVED**

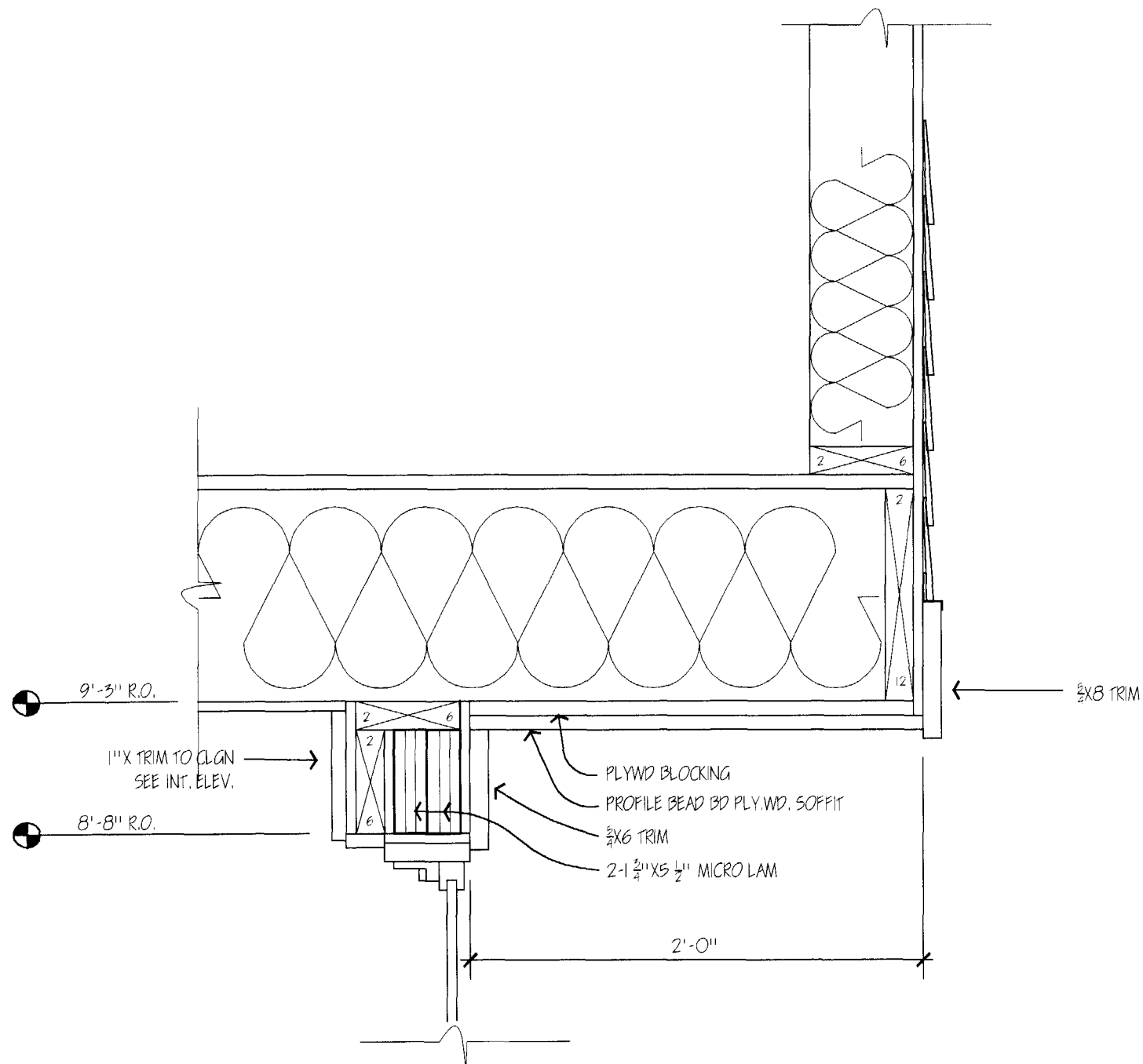
03/5/03	MR. & MRS FORBES CAPISIC STREET 198 PORTLAND, MAINE 04102	<b>MACGREGOR / FORBES</b>	SECTIONS	PERMIT SET NOT FOR CONSTRUCTION	MACGREGOR FORBES 34 CUSHMAN STREET PORTLAND, MAINE 04102 CONTACT: SCOTT FORBES 831-7720	A6.2
$\frac{1}{8}'' = 1'-0''$		BUILDERS - ARCHITECTS - ENGINEERS				
2010						



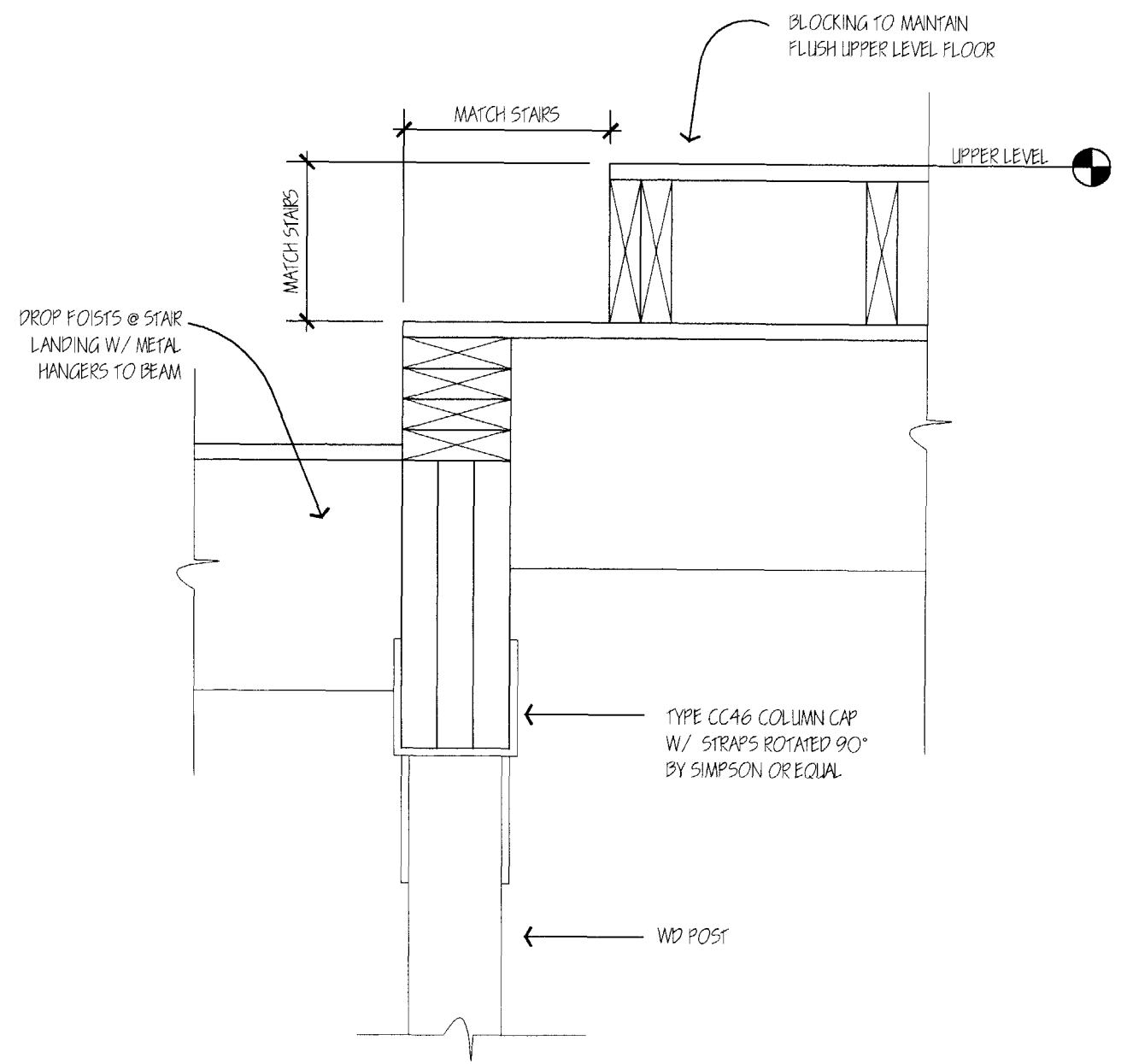


7 2009

03/5/03	MR. & MRS FORBES CAPISC STREET 198 PORTLAND, MAINE 04102	<b>MACGREGOR / FORBES</b> BUILDERS - ARCHITECTS - ENGINEERS	TYPICAL WALL SECTION DETAILS	PERMIT SET NOT FOR CONSTRUCTION	MACGREGOR FORBES 34 CUSHMAN STREET PORTLAND, MAINE 04102 CONTACT: SCOTT FORBES 831-7720	A8.1
1 1/2" = 1'-0"						
2010						



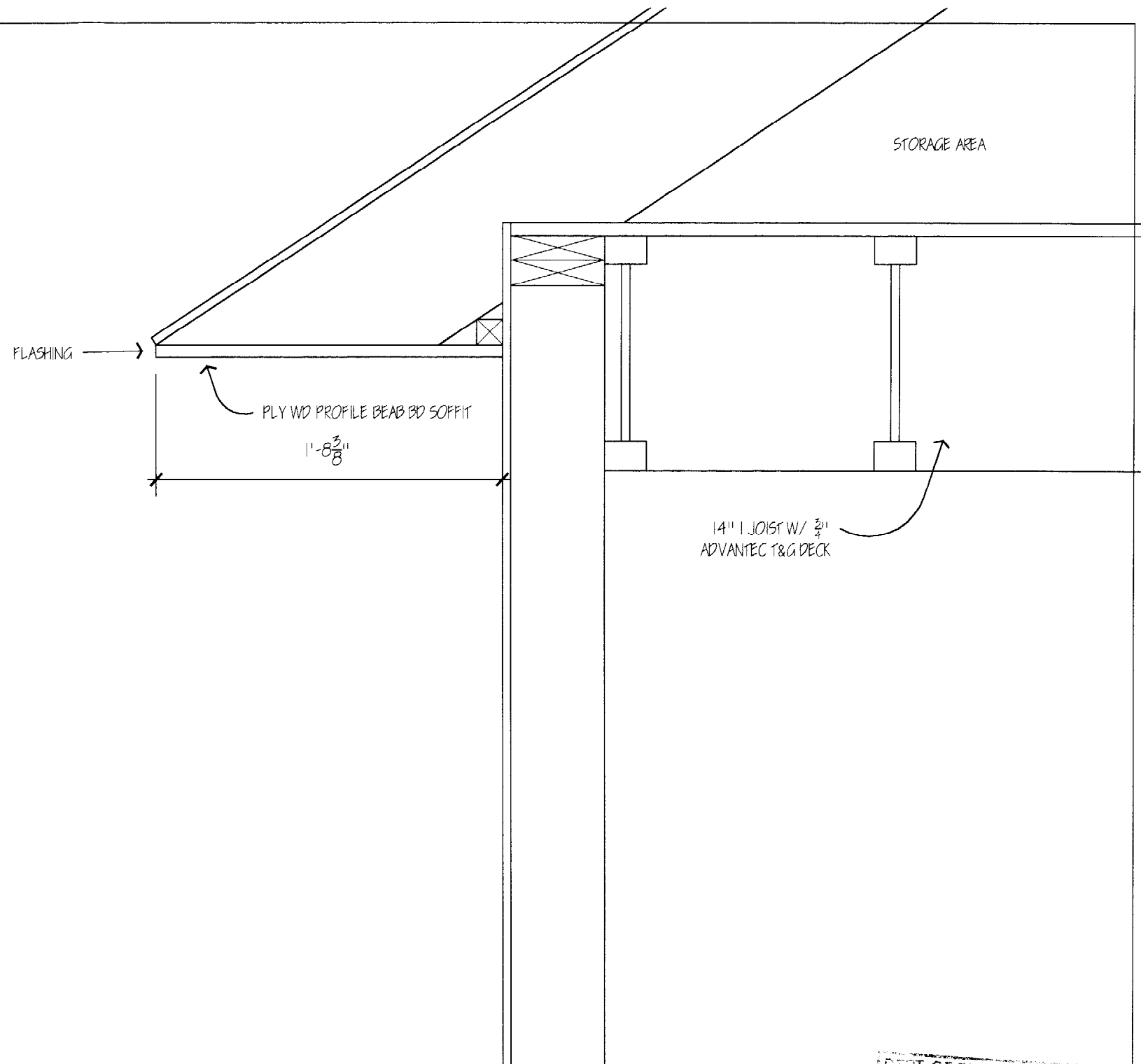
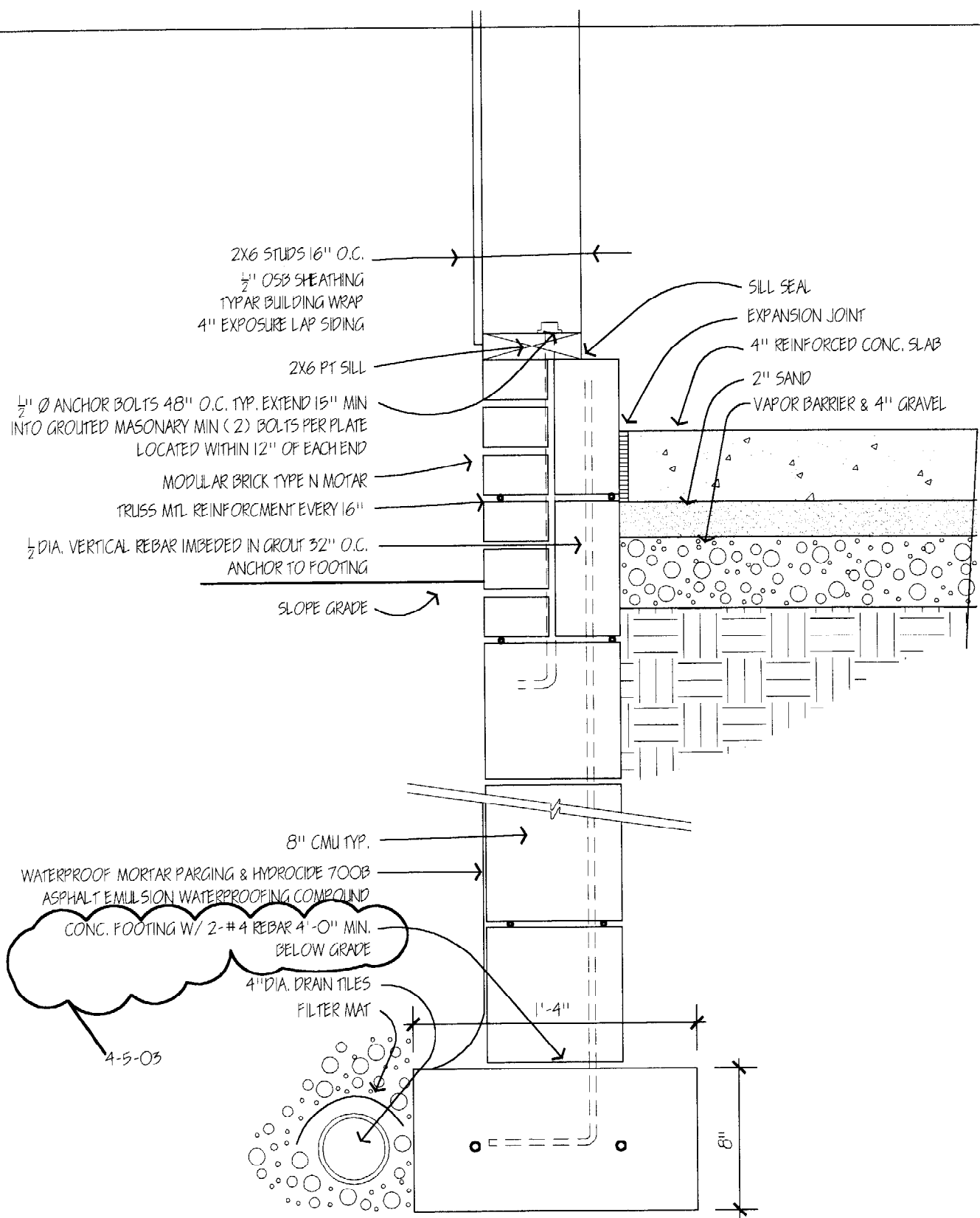
1 OVERHANG DETAIL  
1-1/2" = 1'-0"



2 STAIR LANDING DETAIL  
1-1/2" = 1'-0"

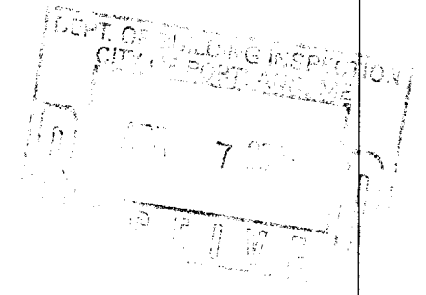
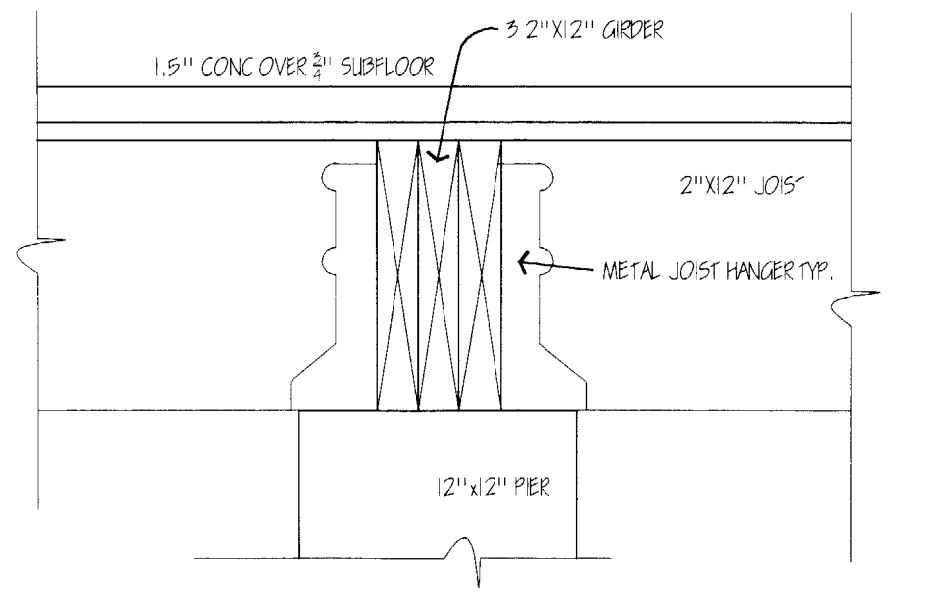
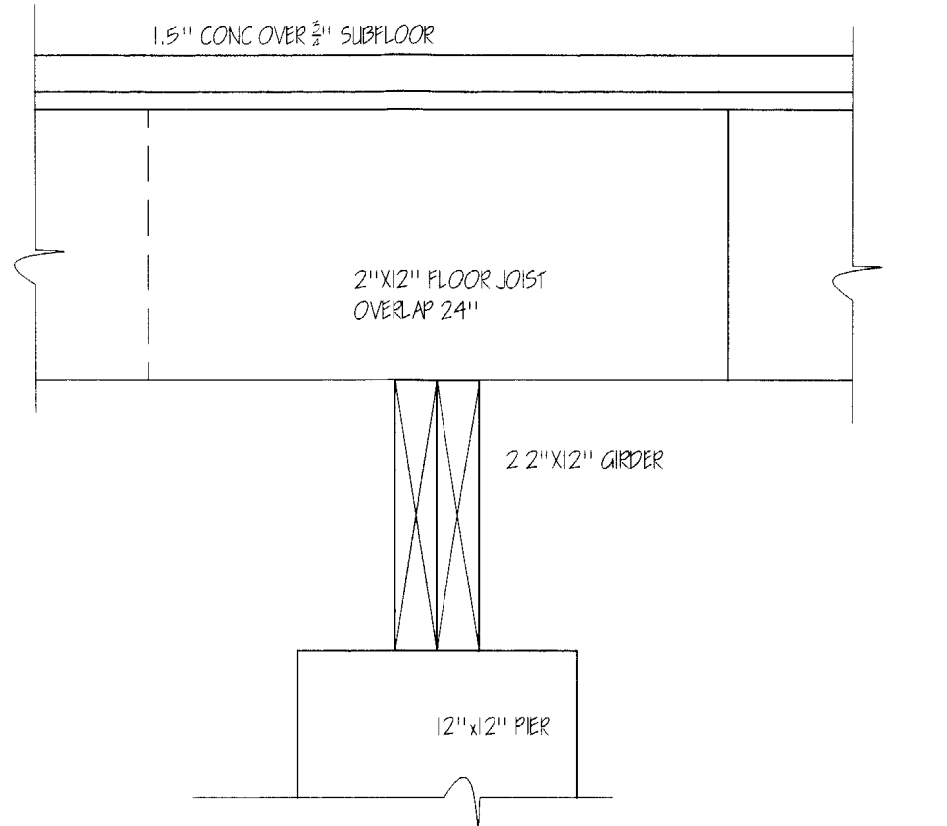
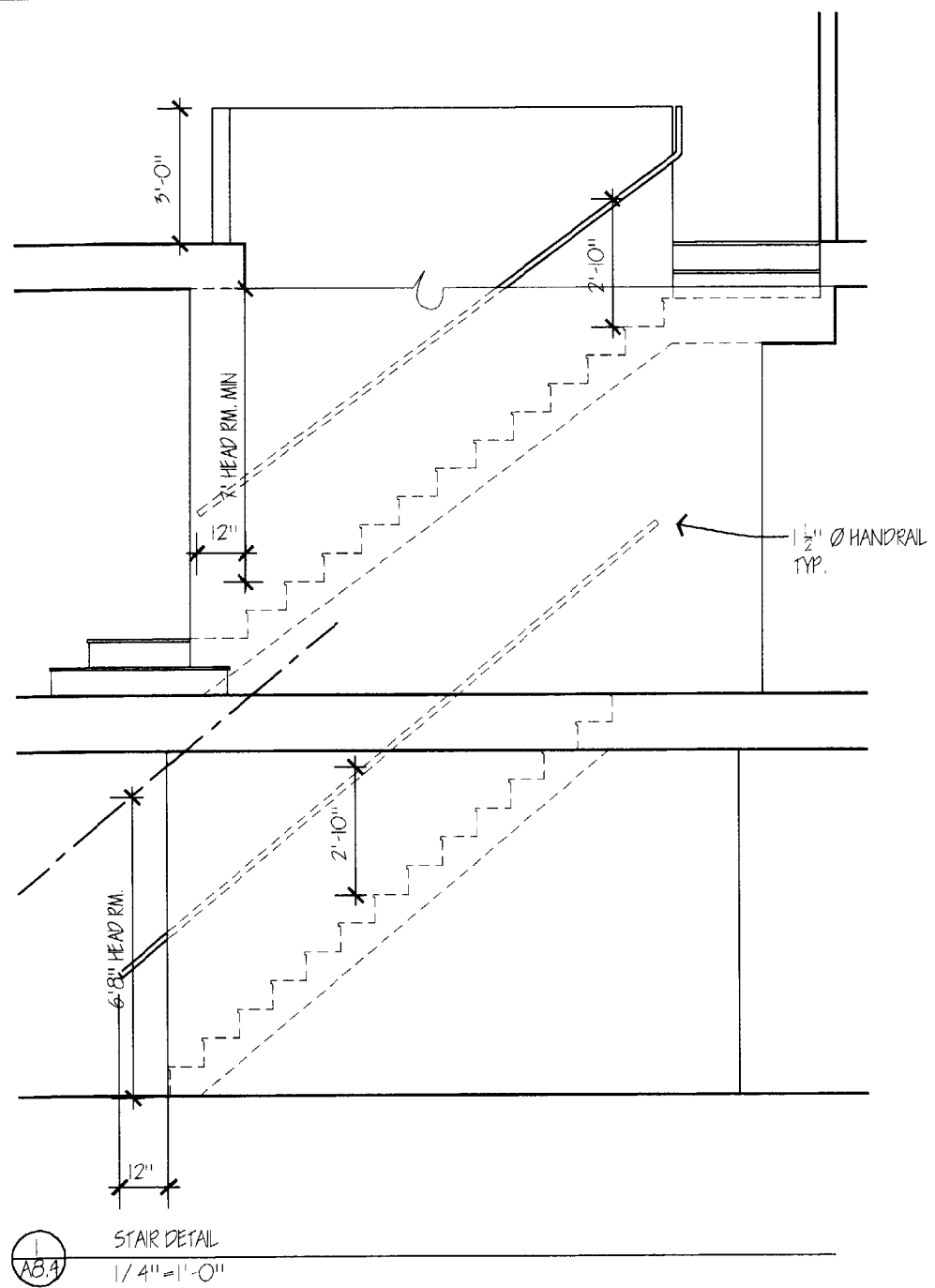
DEPT. OF BUILDING PERMITS  
CITY OF PORTLAND  
APR 7 2010  
RECEIVED

03/5/03	MR. & MRS FORBES CAPISIC STREET 198 PORTLAND, MAINE 04102	<b>MACGREGOR / FORBES</b> BUILDERS - ARCHITECTS - ENGINEERS	OVERHANG DETAILS	PERMIT SET NOT FOR CONSTRUCTION	MACGREGOR FORBES 34 CUSHMAN STREET PORTLAND, MAINE 04102 CONTACT: SCOTT FORBES 831-7720	A8.2
1 1/2" = 1'-0"						
2010						



DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
APR 7 2003  
RECEIVED

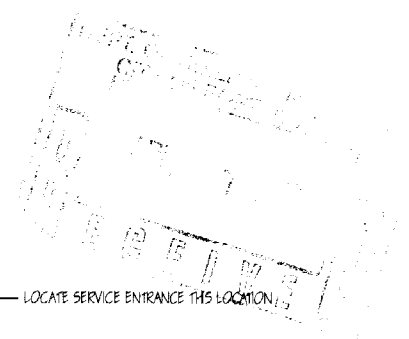
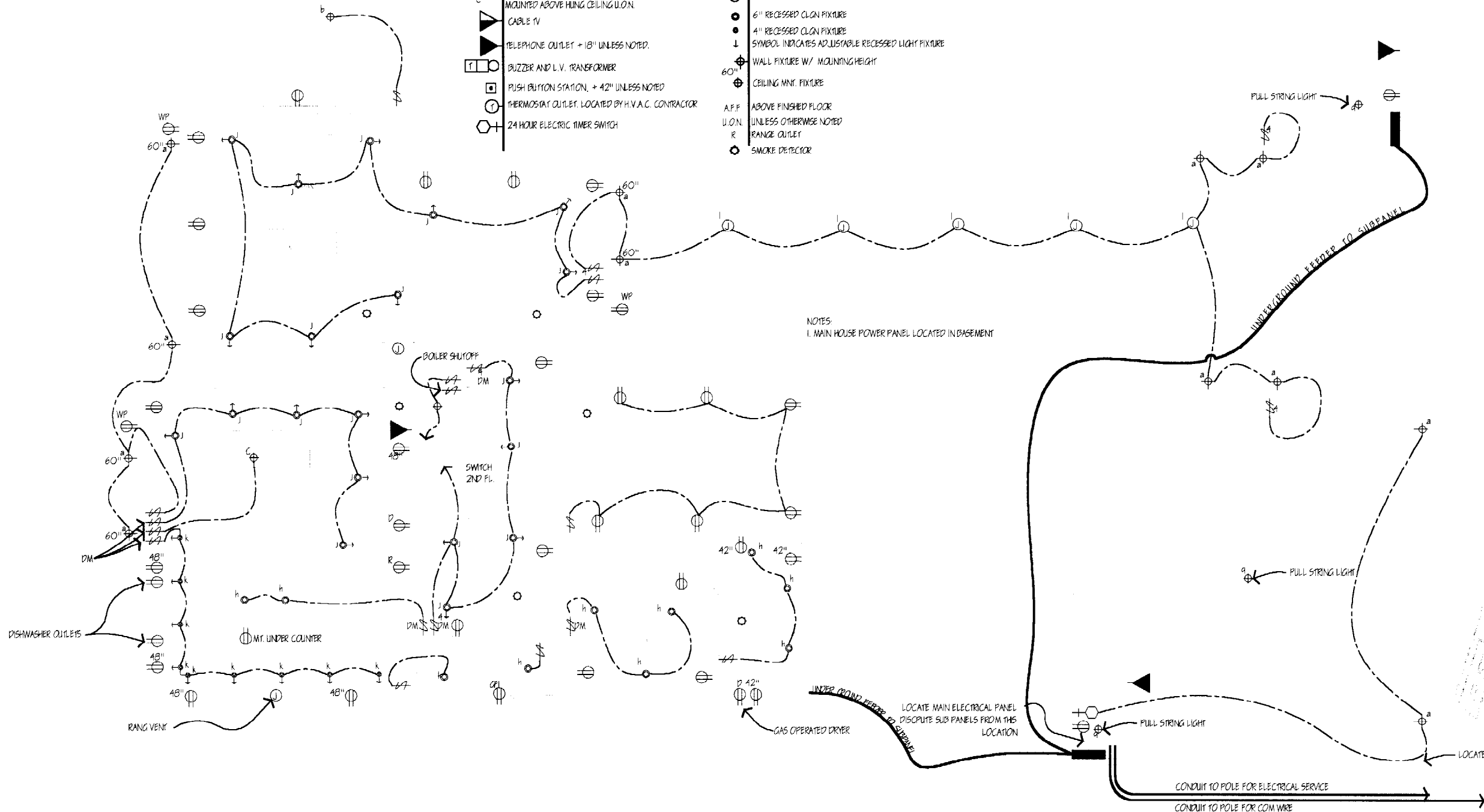
03/5/03	MR. & MRS FORBES CAPISC STREET 198 PORTLAND, MAINE 04102	<b>MACGREGOR / FORBES</b> BUILDERS - ARCHITECTS - ENGINEERS	TYP. GARAGE WALL SECTION	PERMIT SET NOT FOR CONSTRUCTION	MACGREGOR FORBES 34 CUSHMAN STREET PORTLAND, MAINE 04102 CONTACT: SCOTT FORBES 831-7720	A8.3
1 1/2" = 1'-0"						
2010						



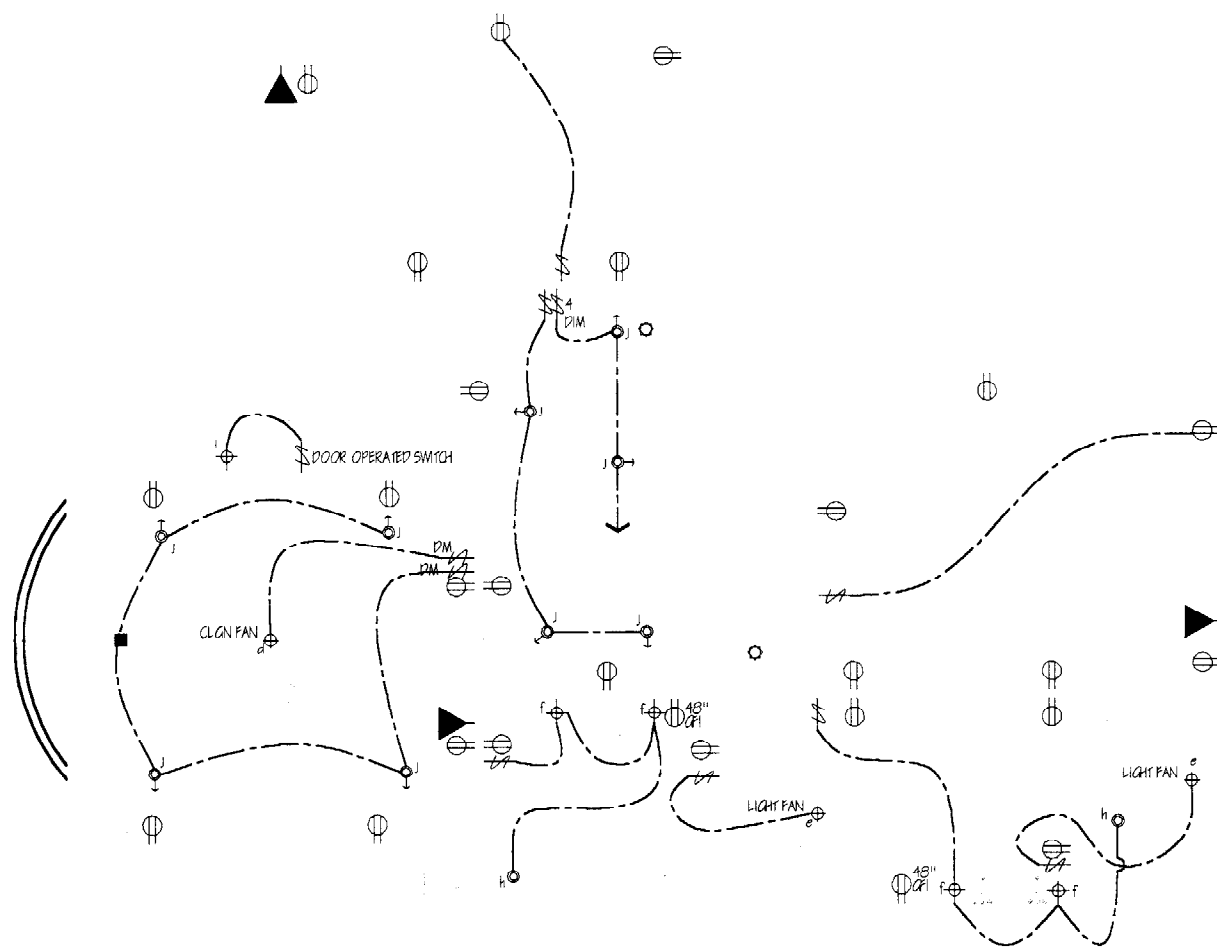
03/5/03	MR. & MRS FORBES CAPISIC STREET 198 PORTLAND, MAINE 04102	<b>MACGREGOR / FORBES</b>	DETAILS	PERMIT SET NOT FOR CONSTRUCTION	MACGREGOR FORBES 34 CUSHMAN STREET PORTLAND, MAINE 04102 CONTACT: SCOTT FORBES 831-7720	A8.4
AS NOTED		BUILDERS - ARCHITECTS - ENGINEERS				
2010						

**ELECTRICAL SYMBOL LIST**

■	POWER PANEL	⚡	SINGLE POLE TOGGLE SWITCH, + 42" UNLESS NOTED
⊖	GROUND FAULT INTERRUPTER	⚡	3 WAY TOGGLE SWITCH, + 42" UNLESS NOTED
D	SYMBOL INDICATES A DEDICATED CIRCUIT TO SIMILAR PIECES OF EQUIPMENT	⚡	4 WAY TOGGLE SWITCH, + 42" UNLESS NOTED
48"	SYMBOL INDICATES MOUNTING HEIGHT TO SIMILAR PIECES OF EQUIPMENT	⚡	TOGGLE TYPE DIMMER SWITCH
⊖	DUPLEX ±18" A.F.F., U.O.N.	⚡	SINGLE POLE TOGGLE SWITCH OUTLET USED AS DISCONNECT FOR 120V OR 277V EQUIPMENT.
⊖	DOUBLE DUPLEX RECEPTACLE 18" A.F.F., U.O.N.	V.L.	VERIFY LOCATION
⊖	ISOLATED GROUND DOUBLE DUPLEX RECEPTACLE ON DEDICATED CIRCUIT 18" A.F.F., U.O.N.	C.O.	CONDUIT ONLY
⊖	ISOLATED GROUND DUPLEX RECEPTACLE - MOUNTED ABOVE HUNG CEILING U.O.N.	WP	WEATHER PROOF
C	CABLE TV	⊖	JUNCTION BOX
⊖	TELEPHONE OUTLET + 18" UNLESS NOTED.	⊖	6" RECESSED CLG. FIXTURE
⊖	BUZZER AND L.V. TRANSFORMER	⊖	4" RECESSED CLG. FIXTURE
⊖	PUSH BUTTON STATION, + 42" UNLESS NOTED	⊖	SYMBOL INDICATES ADJUSTABLE RECESSED LIGHT FIXTURE
⊖	THERMOSTAT OUTLET, LOCATED BY H.V.A.C. CONTRACTOR	⊖	WALL FIXTURE W/ MOUNTING HEIGHT
⊖	24 HOUR ELECTRIC TIMER SWITCH	⊖	CEILING MNT. FIXTURE
		60"	
		A.F.F.	ABOVE FINISHED FLOOR
		U.O.N.	UNLESS OTHERWISE NOTED
		R	RANGE OUTLET
		⊖	SMOKE DETECTOR



03/5/03	MR. & MRS FORBES CAPISC STREET 198 PORTLAND, MAINE 04102	<b>MACGREGOR / FORBES</b>	1ST FLOOR ELECTRICAL & LIGHTING PLAN	PERMIT SET NOT FOR CONSTRUCTION	MACGREGOR FORBES 34 CUSHMAN STREET PORTLAND, MAINE 04102 CONTACT: SCOTT FORBES 831-7720	E1.1
1/8" = 1'-0"						
2010	BUILDERS - ARCHITECTS - ENGINEERS					



INSPECTION  
 1/17/03

03/5/03  
 1/8" = 1'-0"  
 2010

MR. & MRS FORBES  
 CAPISIC STREET 198  
 PORTLAND, MAINE 04102

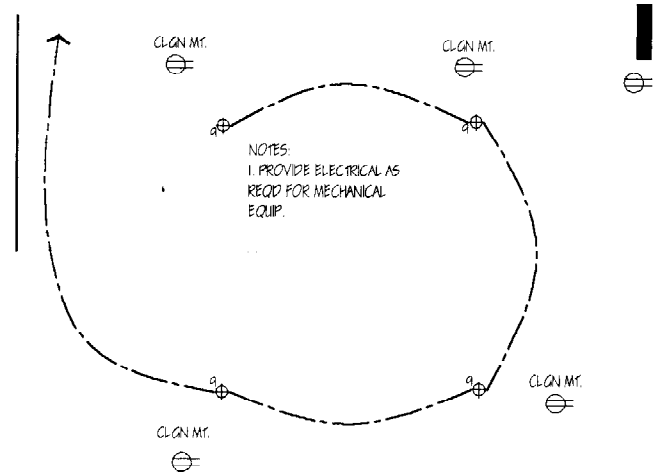
**MACGREGOR / FORBES**  
 BUILDERS - ARCHITECTS - ENGINEERS

2ND FLOOR ELECTRICAL &  
 LIGHTING  
 PLAN

PERMIT SET  
 NOT FOR CONSTRUCTION

MACGREGOR FORBES  
 34 CUSHMAN STREET  
 PORTLAND, MAINE 04102  
 CONTACT:  
 SCOTT FORBES 831-7720

E1.2



FIXTURE SCHEDULE					
SYM	ITEM / MODEL NO.	MANUFACTURER	LAMP	QTY	REMARKS
⊕	ONION LAMP EXTERIOR WALL SCONCE	-	40 WATT DEC	12	-
⊕	DECORATIVE PENDENT	-	-	1	-
⊕	DECORATIVE PENDENT	-	-	1	RELOCATED FROM CUSHMAN
⊕	CLGN FAN	30" LOW PROFILE	-	1	NO LIGHT
⊕	LIGHT FAN	-	60 WATT STANDARD	2	-
⊕	VANITY LIGHT WALL SCONCE	-	-	4	-
⊕	SURFACE MT CERAMIC PULL STRING	-	-	7	-
⊕	6" RECESSED FLOOD	-	-	12	-
⊕	FLUOR WALL MT 24"	-	-	1	-
⊕	6" RECESSED ADJ SEMI SPOT	-	-	29	-
⊕	4" RECESSED ADJ SPOT	-	-	9	-
⊕	UP LIGHTING FLOOD	-	29 WATT STANDARD	5	-
⊕	SMOKE DETECTOR	-	-	7	-
-	-	-	-	-	-
-	-	-	-	-	-

REVISIONS  
NO. 1  
DATE 03/10/03  
BY [Signature]

03/5/03

1/8" = 1'-0"

2010

MR. & MRS FORBES  
CAPISIC STREET 198  
PORTLAND, MAINE 04102

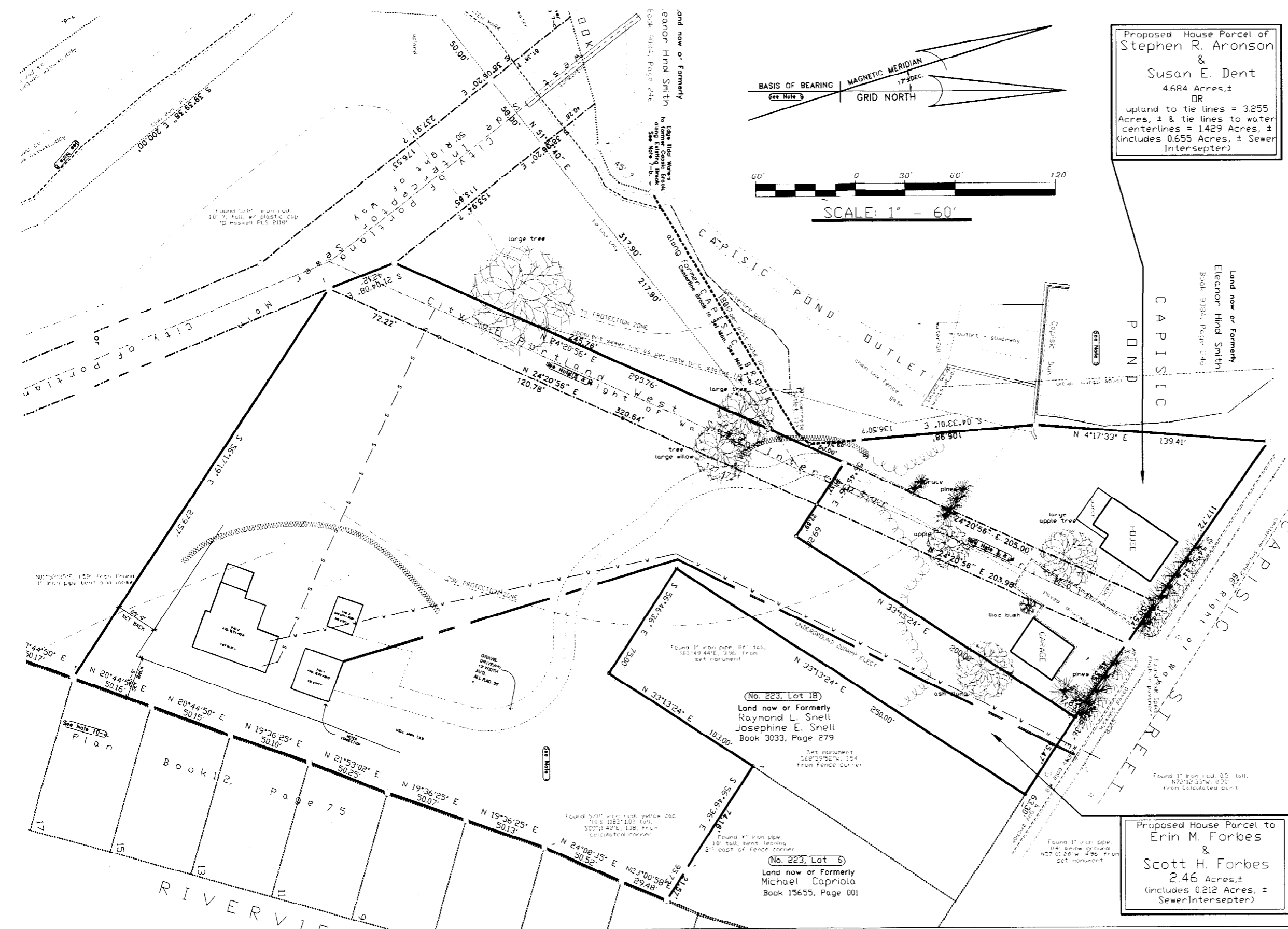
**MACGREGOR / FORBES**  
BUILDERS - ARCHITECTS - ENGINEERS

BASEMENT FLOOR ELECTRICAL &  
LIGHTING  
PLAN & FIXTURE SCHEDULE

PERMIT SET  
NOT FOR CONSTRUCTION

MACGREGOR FORBES  
34 CUSHMAN STREET  
PORTLAND, MAINE 04102  
CONTACT:  
SCOTT FORBES 831-7720

E1.3



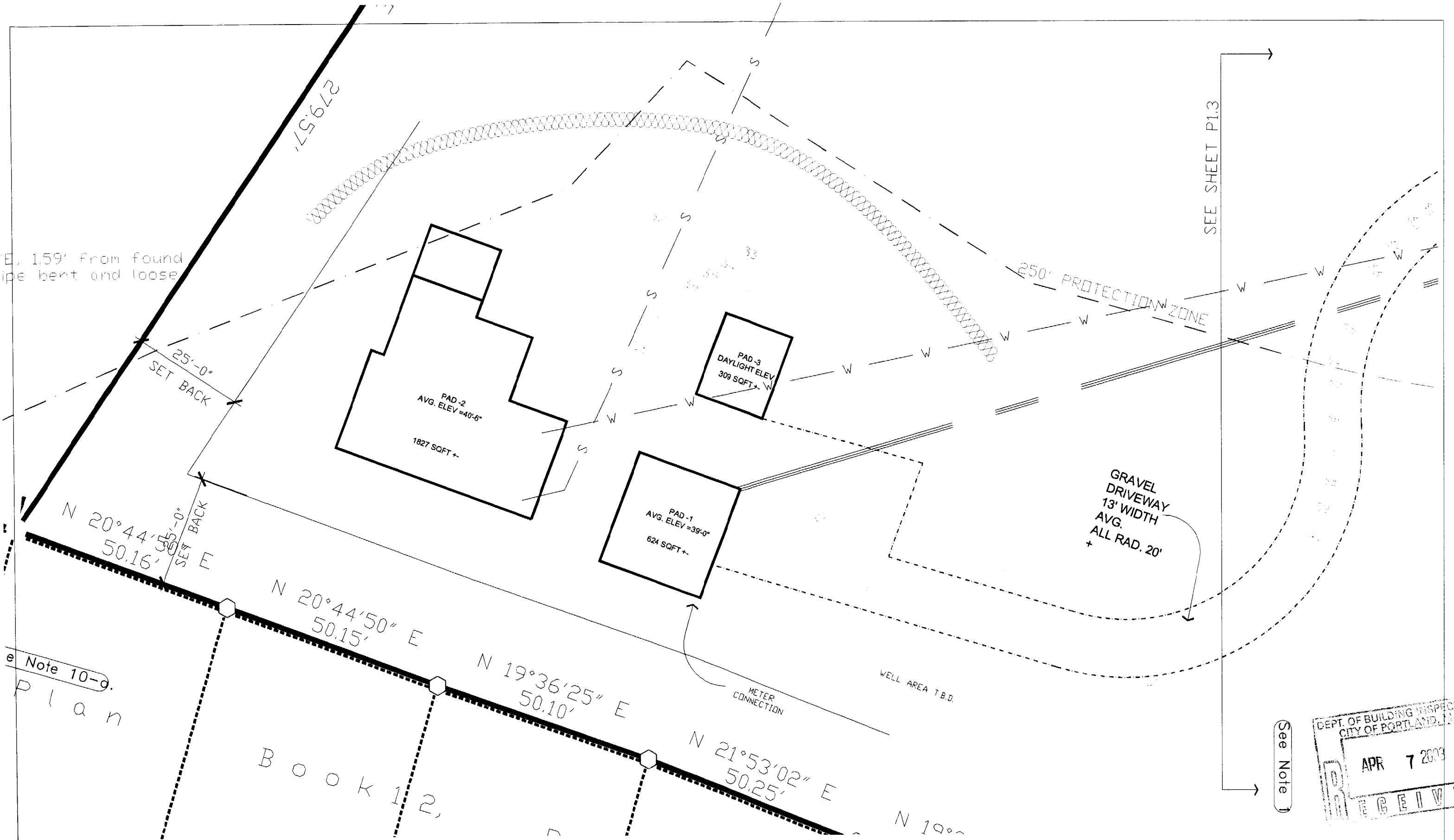
**SYMBOLS:**

	SET 1" IRON ROD WITH A 2" DIAMETER ALUMINUM CAP MARKED "SET BY ROBERT A. YARUMIAN PLS 1303 LAND SURVEY MONUMENT"
	FOUND IRON ROD OR PIPE (size and type as noted)
	ANGLE POINT NOTHING FOUND OR SET
	SEWER MANHOLE
	CATCH BASIN
	UTILITY POLE, & GUY WIRE ANCHOR
	BOUNDARY LINE PARCEL SURVEYED (within upland)
	BOUNDARY LINE PARCEL SURVEYED (near or within water body)
	WATER BOUNDARY LINE (approx, assumed, & general)
	ABUTTER'S LINE (approx.)
	RIGHT OF WAY OR EASEMENT LINE
	CENTERLINE OF R.O.W., EASEMENT, RAILROAD, etc.
	EDGE OF WATER LINE
	HIGHER HIGH WATER MARK
	SHORE LAND PROTECTION ZONE
	TIE LINE ONLY (for mathematical purposes [area])
	CENTERLINE GULLY
	FENCE (chain link)
	OTHER POSSIBLE SEWER LINE
	EDGE OF PAYMENT
	EDGE OF CURB
	CONTOUR LINE (with elevation label)
	TREE LINE (general)
	SILT FENCE TEMP BARRIER
	BUILDING
	TREE (type as noted)
	BEARING and DISTANCE PARCEL SURVEYED
	OTHER MEASURED BEARING and DISTANCE
	TAX MAP and LOT NUMBER
	NAMES OF ABUTTING LAND OWNERS
	DEED REFERENCES OF CURRENT OWNERS
	DESCRIPTION OF FOUND MONUMENTS
	MAP REFERENCES and REPORT LOCATIONS
	MISCELLANEOUS LABELS

# permit  
 03-0179  
 223-B-004

APR 7 2010  
 RECEIVED





E, 1.59' from found  
ipe bent and loose

Note 10-9.  
Plan

Book 12,

See Note 1

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
APR 7 2003  
RECEIVED

04/05/03  
1" = 20'-0"  
2010

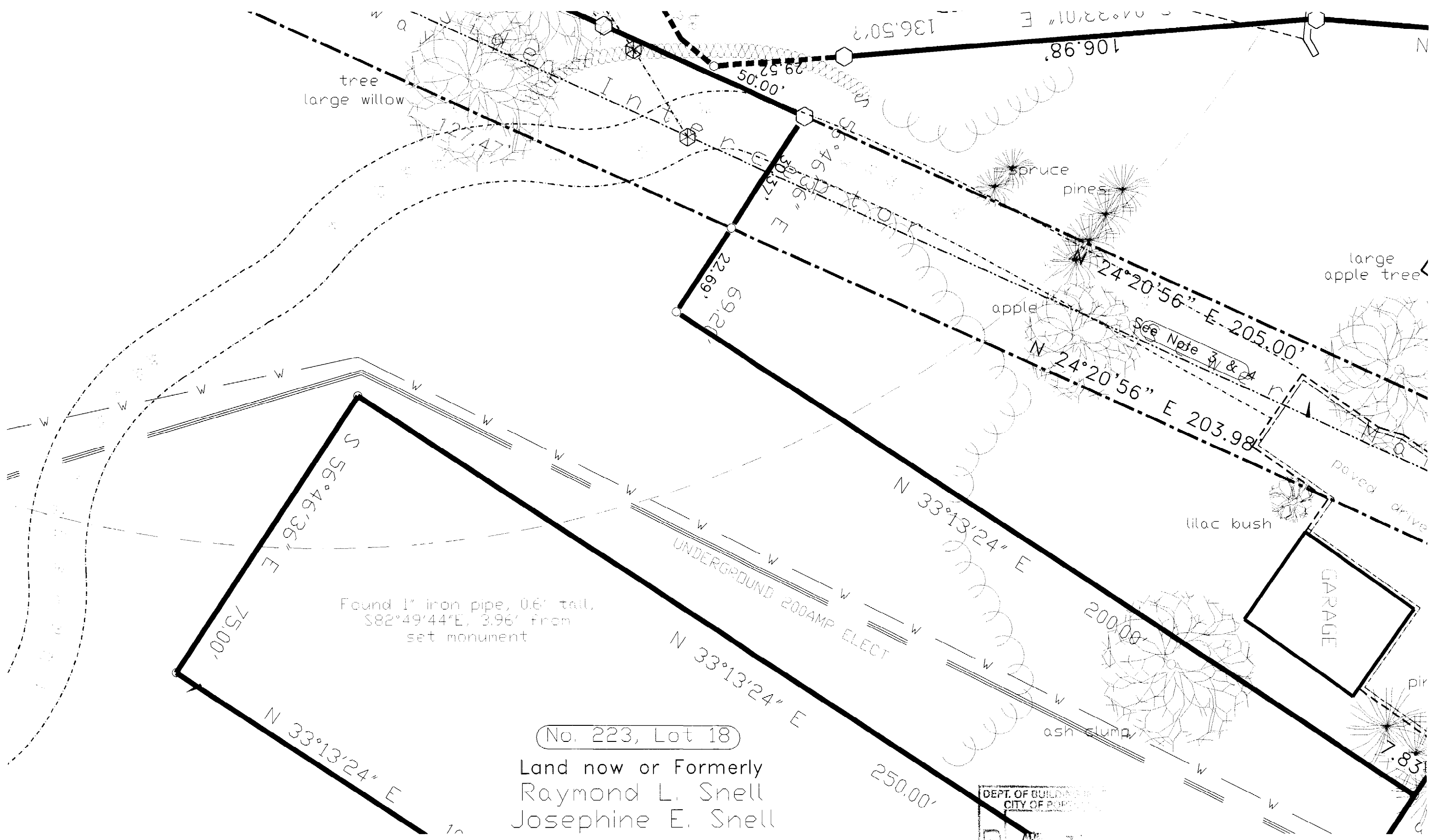
MR. & MRS FORBES  
CAPISIC STREET 198  
PORTLAND, MAINE 04102

**MACGREGOR / FORBES**  
BUILDERS - ARCHITECTS - ENGINEERS

GRADING PLAN

MACGREGOR FORBES  
34 CUSHMAN STREET  
PORTLAND, MAINE 04102  
CONTACT:  
SCOTT FORBES 831-7720

P1.2



Found 1" iron pipe, 0.6' tall,  
 S82°49'44"E, 3.96' from  
 set monument

No. 223, Lot 18

Land now or Formerly  
 Raymond L. Snell  
 Josephine E. Snell

DEPT. OF BUILDING  
 CITY OF PORTLAND

04/05/03  
 1" = 20'-0"  
 2010

MR. & MRS FORBES  
 CAPISIC STREET 198  
 PORTLAND, MAINE 04102

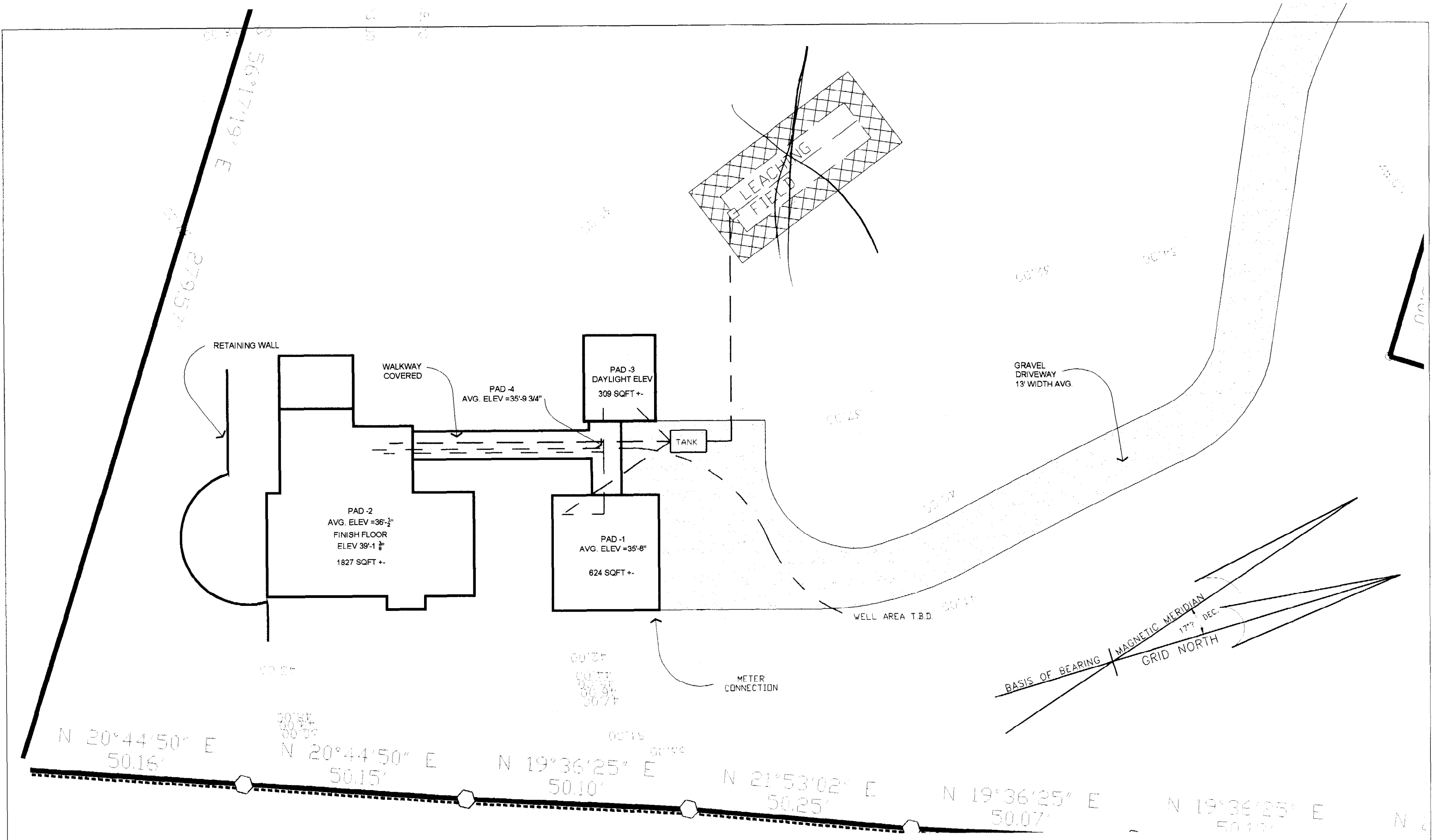
**MACGREGOR / FORBES**  
 BUILDERS - ARCHITECTS - ENGINEERS

GRADING PLAN

APR 7 2010

MACGREGOR FORBES  
 34 CUSHMAN STREET  
 PORTLAND, MAINE 04102  
 CONTACT:  
 SCOTT FORBES 831-7720

P1.3



02/22/03  
1" = 20'-0"  
2010

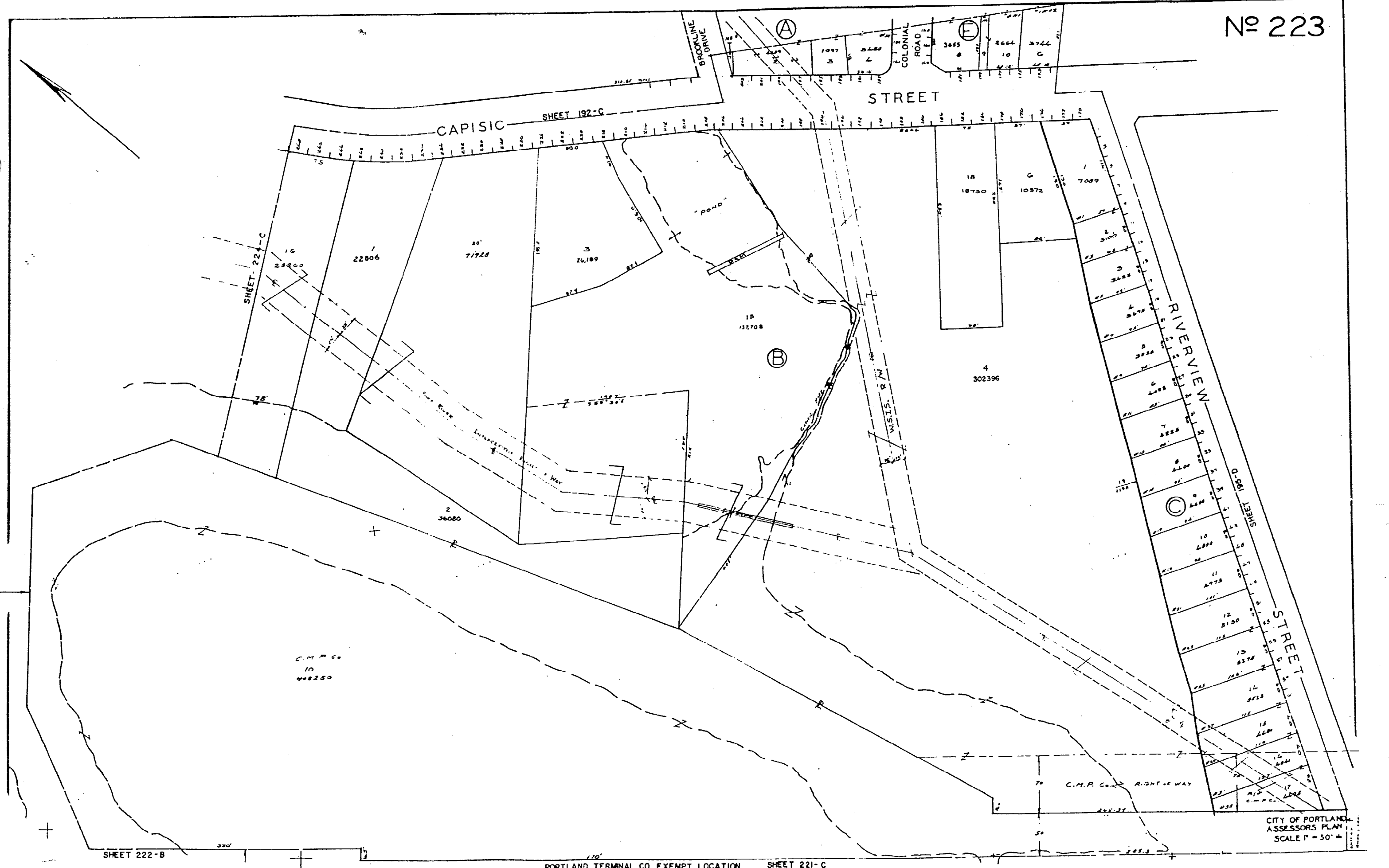
MR. & MRS FORBES  
CAPISIC STREET 198  
PORTLAND, MAINE 04102

**MACGREGOR / FORBES**  
BUILDERS - ARCHITECTS - ENGINEERS

GRADING PLAN

MACGREGOR FORBES  
34 CUSHMAN STREET  
PORTLAND, MAINE 04102  
CONTACT:  
SCOTT FORBES 831-7720

P1.2



CITY OF PORTLAND  
ASSESSORS PLAN  
SCALE 1" = 50'

SHEET 222-B

PORTLAND TERMINAL CO. EXEMPT LOCATION SHEET 221-C

Per phone call  
3/27/03 Scott will  
make this setback  
25' - he will get  
we revised plans

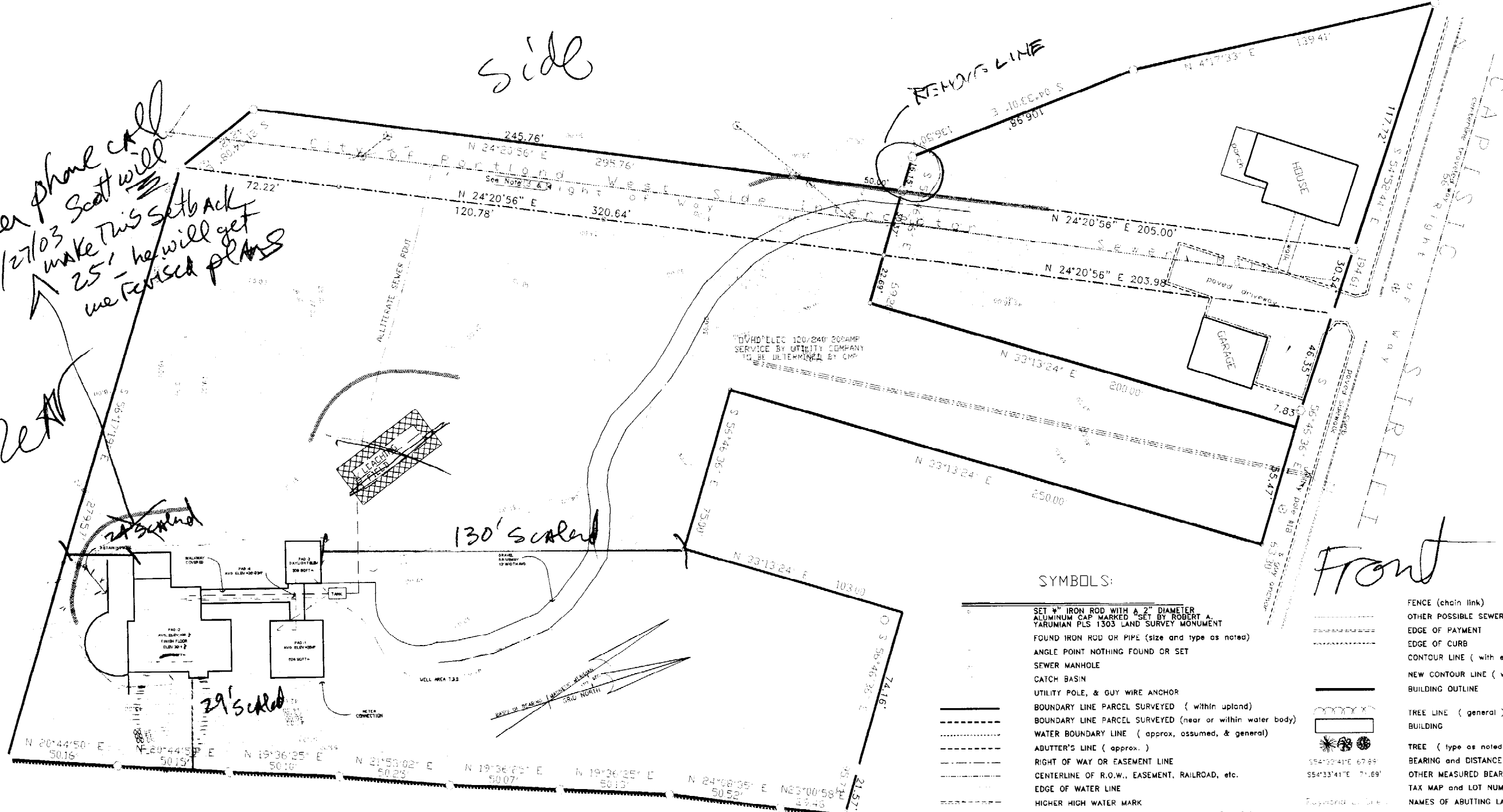
RETR

side

REMOVING LINE

Front

side

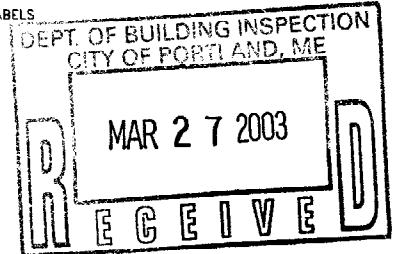


SYMBOLS:

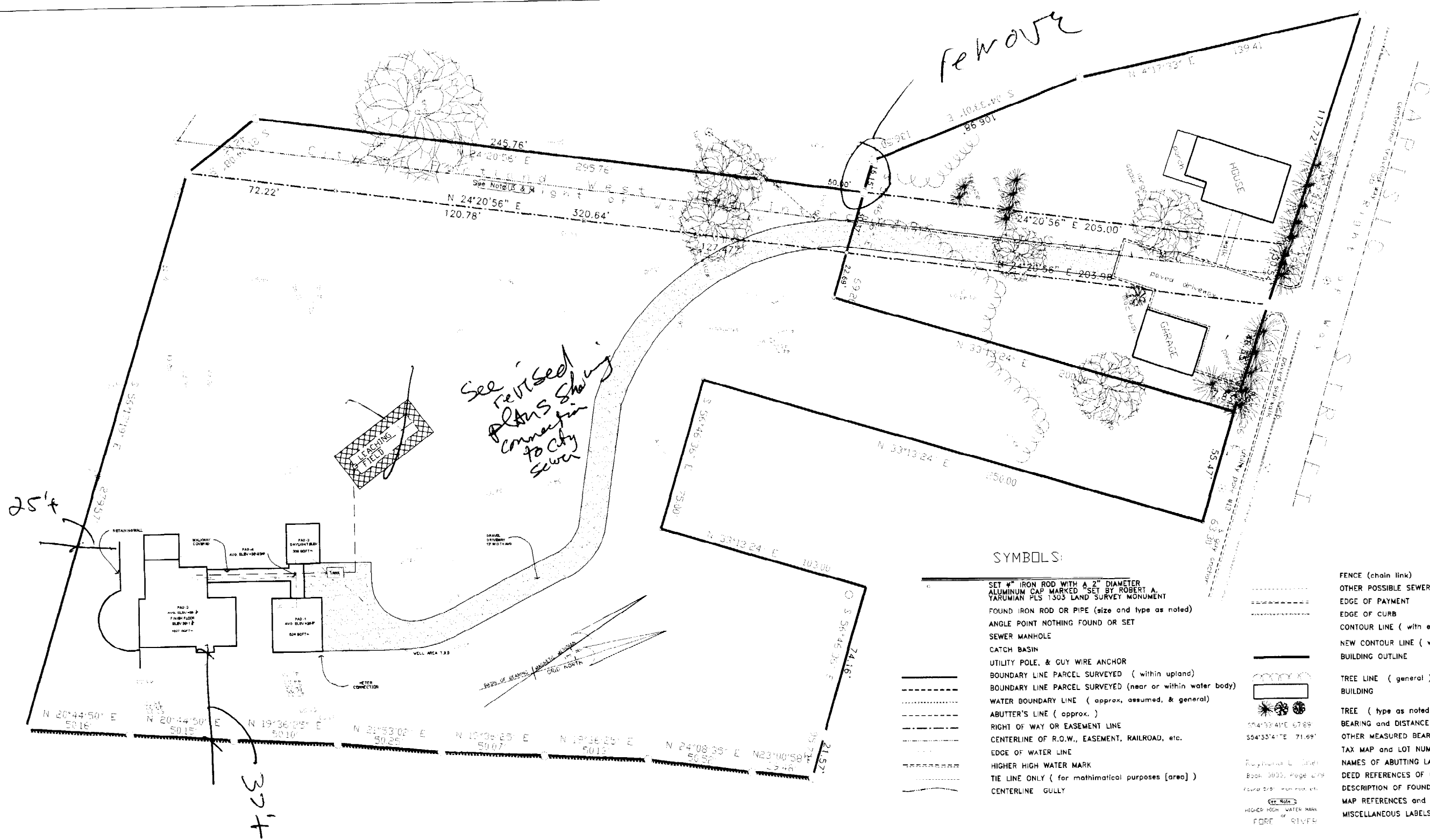
- SET 1/2" IRON ROD WITH A 2" DIAMETER ALUMINUM CAP MARKED "SET BY ROBERT A. YARUMIAN PLS 1303 LAND SURVEY MONUMENT"
- FOUND IRON ROD OR PIPE (size and type as noted)
- ANGLE POINT NOTHING FOUND OR SET
- SEWER MANHOLE
- CATCH BASIN
- UTILITY POLE, & GUY WIRE ANCHOR
- BOUNDARY LINE PARCEL SURVEYED (within upland)
- BOUNDARY LINE PARCEL SURVEYED (near or within water body)
- WATER BOUNDARY LINE (approx, assumed, & general)
- ABUTTER'S LINE (approx.)
- RIGHT OF WAY OR EASEMENT LINE
- CENTERLINE OF R.O.W., EASEMENT, RAILROAD, etc.
- EDGE OF WATER LINE
- HIGHER HIGH WATER MARK
- TIE LINE ONLY (for mathematical purposes [area])
- CENTERLINE GULLY
- SILT FENCE
- FENCE (chain link)
- OTHER POSSIBLE SEWER LINE
- EDGE OF PAYMENT
- EDGE OF CURB
- CONTOUR LINE (with elevation label)
- NEW CONTOUR LINE (with elevation label)
- BUILDING OUTLINE
- TREE LINE (general)
- BUILDING
- TREE (type as noted)
- BEARING and DISTANCE PARCEL SURVEYED
- OTHER MEASURED BEARING and DISTANCE
- TAX MAP and LOT NUMBER
- NAMES OF ABUTTING LAND OWNERS
- DEED REFERENCES OF CURRENT OWNERS
- DESCRIPTION OF FOUND MONUMENTS
- MAP REFERENCES and REPORT LOCATIONS
- MISCELLANEOUS LABELS

Not an As-built Septa  
per owner

used for  
plans



02/22/03	MR. & MRS FORBES CAPISIC STREET 198 PORTLAND, MAINE 04102	<b>MACGREGOR / FORBES</b>	SITE PLAN	MACGREGOR FORBES 34 CUSHMAN STREET PORTLAND, MAINE 04102 CONTACT: SCOTT FORBES 831-7720	P1.1
1" = 40'-0"		BUILDERS - ARCHITECTS - ENGINEERS			
2010					



**SYMBOLS:**

- SET 4" IRON ROD WITH A 2" DIAMETER ALUMINUM CAP MARKED "SET BY ROBERT A. YARUMIAN PLS 1303 LAND SURVEY MONUMENT"
- - - - - FOUND IRON ROD OR PIPE (size and type as noted)
- ANGLE POINT NOTHING FOUND OR SET
- SEWER MANHOLE
- CATCH BASIN
- UTILITY POLE, & GUY WIRE ANCHOR
- BOUNDARY LINE PARCEL SURVEYED (within upland)
- - - - - BOUNDARY LINE PARCEL SURVEYED (near or within water body)
- · - · - · WATER BOUNDARY LINE (approx, assumed, & general)
- · - · - · ABUTTER'S LINE (approx.)
- · - · - · RIGHT OF WAY OR EASEMENT LINE
- · - · - · CENTERLINE OF R.O.W., EASEMENT, RAILROAD, etc.
- · - · - · EDGE OF WATER LINE
- · - · - · HIGHER HIGH WATER MARK
- · - · - · TIE LINE ONLY (for mathematical purposes [area])
- · - · - · CENTERLINE GULLY
- FENCE (chain link)
- - - - - OTHER POSSIBLE SEWER LINE
- - - - - EDGE OF PAYMENT
- - - - - EDGE OF CURB
- - - - - CONTOUR LINE (with elevation label)
- - - - - NEW CONTOUR LINE (with elevation label)
- BUILDING OUTLINE
- TREE LINE (general)
- BUILDING
- TREE (type as noted)
- BEARING and DISTANCE PARCEL SURVEYED
- OTHER MEASURED BEARING and DISTANCE
- TAX MAP and LOT NUMBER
- NAMES OF ABUTTING LAND OWNERS
- DEED REFERENCES OF CURRENT OWNERS
- DESCRIPTION OF FOUND MONUMENTS
- MAP REFERENCES and REPORT LOCATIONS
- MISCELLANEOUS LABELS

02/22/03  
1" = 40'-0"  
2010

MR. & MRS FORBES  
CAPISIC STREET 198  
PORTLAND, MAINE 04102

**MACGREGOR / FORBES**  
BUILDERS - ARCHITECTS - ENGINEERS

SITE PLAN

MACGREGOR FORBES  
34 CUSHMAN STREET  
PORTLAND, MAINE 04102  
CONTACT:  
SCOTT FORBES 831-7720

P1.1