

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING DEPARTMENT

PERMIT

Permit Number: 021315

This is to certify that Buxton Anthony W/Home Improvement
has permission to Remove existing garage and replace with 16' x 24' two story
AT 138 Stroudwater Rd 222 A033001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work on permit must be completed before this building or part thereof is occupied or closed-in. **48 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____

PERMIT ISSUED
DEC - 9 2002
CITY OF PORTLAND

12/9/02
[Signature]
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-315	Issue Date: DEC - 9 2002	CBL: 222 A033001
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Location of Construction: 138 Stroudwater Rd	Owner Name: Buxton Anthony W	Owner Address: 138 Stroudwater Rd CITY OF PORTLAND	Phone: 72-8854
Business Name: n/a	Contractor Name: Home Improvement LLC	Contractor Address: PO Box 252 Westbrook	Phone:
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Additions - Dwellings	Zone: R-2

Past Use: Single Family	Proposed Use: Single Family / Remove existing garage & replace with 41'6" x 24' two story unit, includes family room & 3 car garage.	Permit Fee: \$359.00	Cost of Work: \$48,000.00	CEO District: 3
Proposed Project Description: Remove existing garage and replace with 41'6" x 24" two story unit <i>not an addition D.U.</i>		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: R-3 Type: SB BOCA 99 w/conditions <i>12/9/02</i>	

Signature:	Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Signature:	Date:

Permit Taken By: gg	Date Applied For: 11/21/2002	Zoning Approval	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input checked="" type="checkbox"/> ADD AT 1.5 No <input type="checkbox"/> Shoreland <i>with in Shoreland per delimitation</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>parallel zone</i> <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <i>to remove single family</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Denied <i>ok with conditions</i> Date: <i>12/6/02</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>S</i> Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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2-1315

Zoning

Approved with Conditions

Marge Schmuckal

138 Stroudwater Rd.

12/06/2002

11/26/2002

Marge Schmuckal

12/06/2002

[Redacted content]

11/26/2002

gg

12/06/2002

mes

All Purpose Building Permit Application for Demolition

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 138 Stroudwater Rd.

Total Square Footage of Proposed Structure	Square Footage of Lot
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Tax Assessor's Chart, Block & Lot Chart# <u>222 A0</u> Block# <u>33</u> Lot#	Owner: <u>Anthony Buxton</u> <u>Elizabeth Haglund</u>	Telephone: <u>772-8854</u>
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Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Home Improvement LLC</u> <u>P.O. Box 252</u> <u>Westbrook, ME 04092</u>	Cost Of Work: \$ <u>45,000.00</u> Fee: \$ <u>359.00</u>
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Current use: Garage

If the location is currently vacant, what was prior use: _____

Approximately how long has it been vacant: _____

Project description: Remove existing garage & replace with a larger two story unit 41'6" x 24' Family Rm + 3 car garage

DEMOLITION CALL LIST MUST BE SUBMITTED WITH THIS APPLICATION

Contractor's name, address & telephone: Home Improvement LLC
P.O. Box 252, Westbrook, ME 04092

Who should we contact when the permit is ready: Don Haglund SR

Mailing address: 83 Pinecrest Rd, Portland, ME 04102

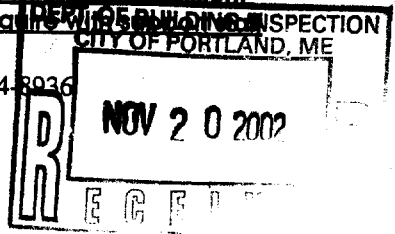
Phone: 838-2532

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>11/20/02</u>
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This is not a permit, you may not commence ANY work until the permit is issued. This is for residential demolition. Commercial demolition will require other types of permitting along with this permit, please inquire with the Building Inspection City of Portland, ME



Application ID Number: 2-1315
 Department: Building
 Status: Approved with Conditions
 Reviewer: Tommy Munson
 Approval Date: 12/09/2002
 Given On Date: 12/09/2002
 Comment:

OK to Issue Permit
 Name: Tommy Munson
 Date: 12/09/2002

Conditions Section:

<input type="checkbox"/>	
<input type="checkbox"/>	
<input type="checkbox"/>	
<input type="checkbox"/>	

Create Date: 11/26/2002
 Update Date: 12/09/2002
 BY: 99
 BY: tmm

Application ID Number: 2-1315

Department: Building

Status: Approved with Conditions

Reviewer: Tammy Munson

Approval Date: 12/09/2002

Comments:

Given On Date: 12/09/2002

OK to Issue Permit

Name: Tammy Munson

Date: 12/09/2002

Date 2: [Redacted]

Conditions Section:

- [Redacted]
- [Redacted]
- [Redacted]
- [Redacted]

Create Date: 11/26/2002

By: 89

Update Date: 12/09/2002

By: lmm



138 Stroudwater
222-A-033



138 Stroudwater
222-A-033

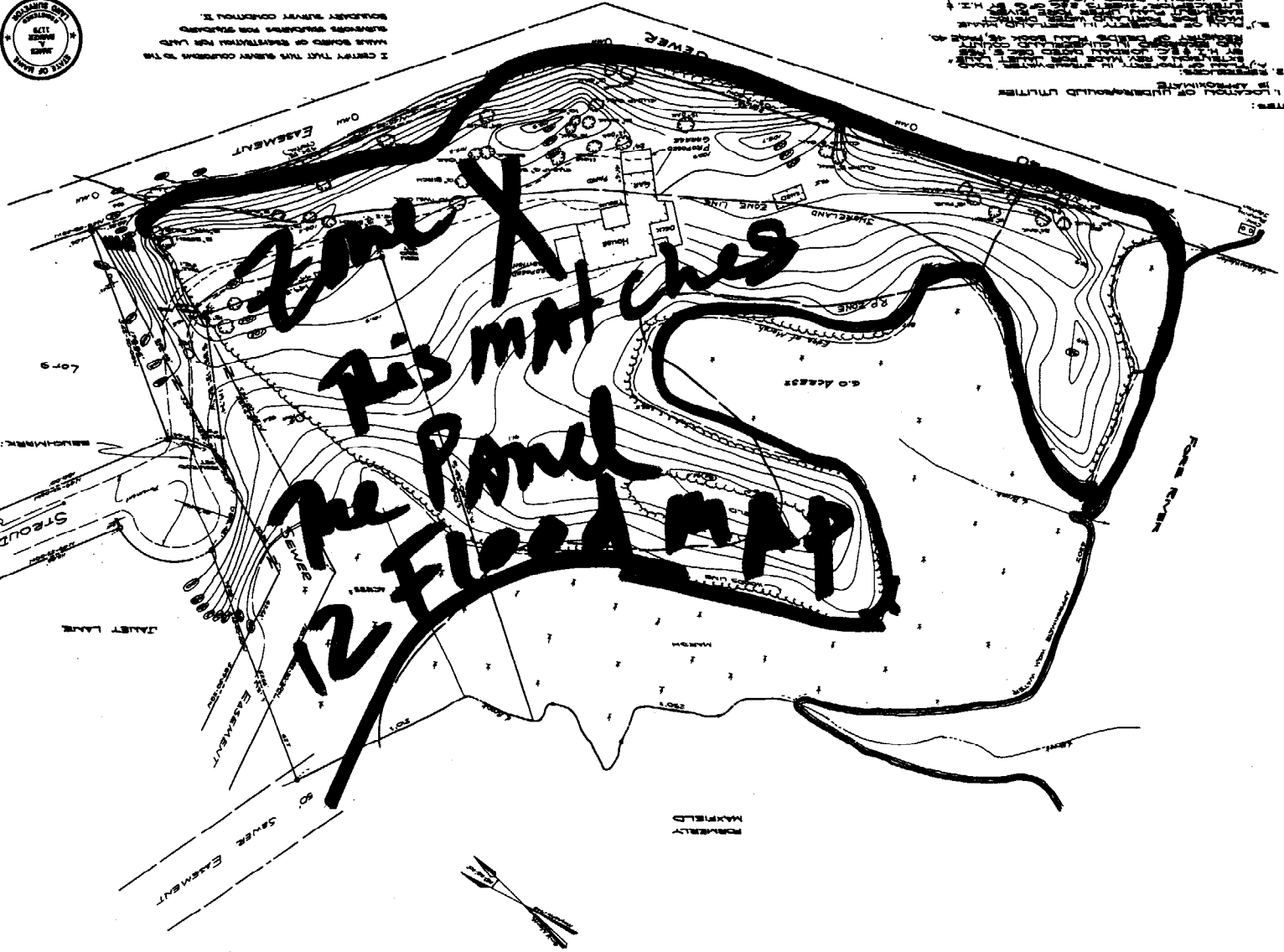
DATE	1972
BY	MAINE AUBURN SOCIETY
FOR	PLAN OF LAND
DATE	May 11, 1972
BY	Owen Haskell, Inc.
FOR	Douglas Norton
DATE	
BY	
FOR	



MAINE AUBURN SOCIETY
 I CERTIFY THAT THIS SURVEY CONFORMS TO THE
 MAINE BOARD OF SURVEYING FOR LAND
 SURVEYING REGULATIONS FOR SURVEYS
 BOUNDARY SURVEY CONDITION II.
 RECORD OWNER: DONALD C. NORTON, ET AL.
 CORP. #157143

NOTES:
 1. LOCATION OF HYDROLOGICAL UTILITIES IS APPROXIMATE.
 2. PROPOSED LOT LINES AND UTILITIES SHOWN ON THIS MAP ARE BASED ON A PHOTOGRAMMETRIC SURVEY OF THE AREA.
 3. ALL BEARINGS ARE MAGNETIC.
 4. AREA OF SURVEY IS ABOVE HIGH WATER.

R-2 ZONE:
 MIN. LOT SIZE: 10,000 S.F.
 MIN. FRONTAGE: 50 FT.
 FRONT YARD SETBACK: 25 FT.
 SIDE YARD SETBACK: 25 FT.
 REAR YARD SETBACK: 25 FT.
 NOTE: ZONE LINE AS SHOWN FROM CITY OF PORTLAND ZONE MAP.
 0 = 10' PER 100' RADIUS
 * = 10' PER 100' RADIUS
 * = 10' PER 100' RADIUS



**This matches
 the Parcel
 Flood Map
 12**



CITY OF PORTLAND

The Demolition Call List must be submitted with a Building Permit Application

Property location: 135 Standwater Rd

Chart/Block/Lot 222 A0 33

The call list below must be submitted with the building permit application. Please note any "commercial use" demolition will need additional approvals.

When making the submission please include a plot plan showing the location of the structure that is being removed along with a photograph. You may not remove or disconnect any type of lines (private or public) until you have received an *approved building permit*. If the building does not have one of the below utilities please put "does not apply". All Departments in bold must be notified under all circumstances.

City Approvals

<u>Department</u>	<u>Number</u>	<u>Contact</u>	<u>Date/Who you spoke with</u>
Public Works Sewer	874-8833	Todd Merkel	<u>Does not apply</u>
Public Works Traffic (if structure is being moved to another location)	874-8437	Gary Dobson	<u>Does not apply</u>
Public Works Sealed Drain Permit	874-8822	Carol Merritt	<u>Does not apply</u>
Historical Preservation	874-8726	Deb Andrews	<u>11/23/12</u>
Fire Dispatch	874-8576	Dispatcher on Duty	<u>11/23/12 Andy Dziegielewski</u>

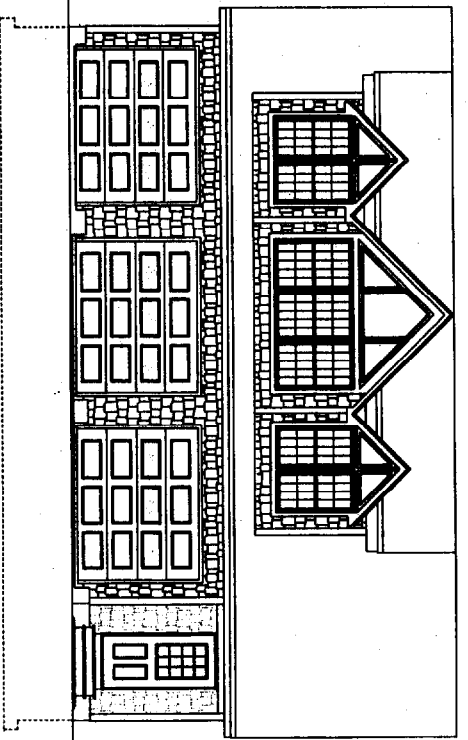
Utility Approvals

Dig Safe (must receive 72 hours notice before digging can begin)	1-888-344-7233	Customer Service	<u>11/23/12 2022 470 5588 Mike</u>
Asbestos	1-207-287-2651	Ed Antz	<u>Does not apply</u>

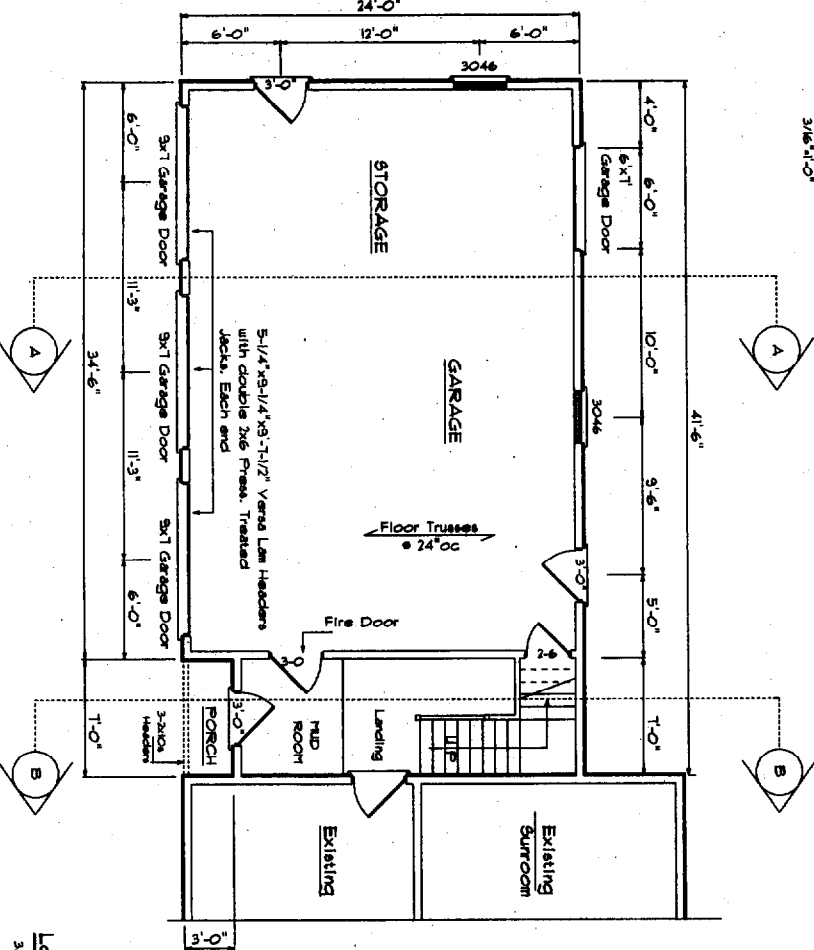
I have contacted all the necessary companies and departments as indicated above.

Signature [Handwritten Signature]

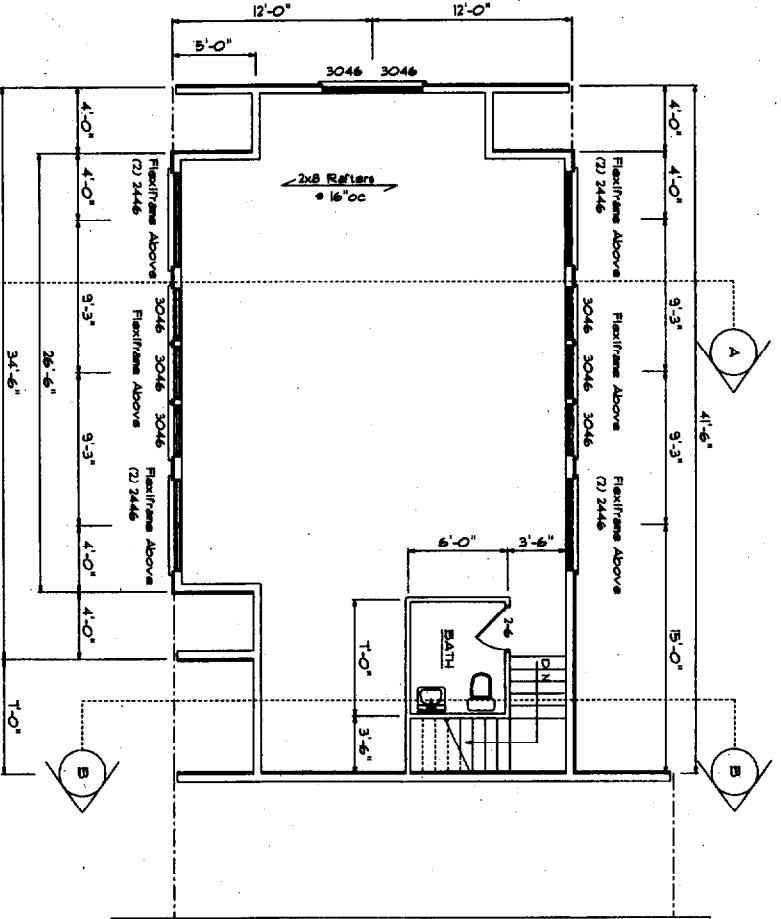
Date: 11/23/12



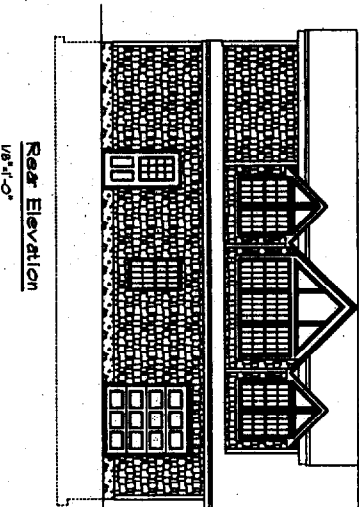
Front Elevation
3/16"=1'-0"



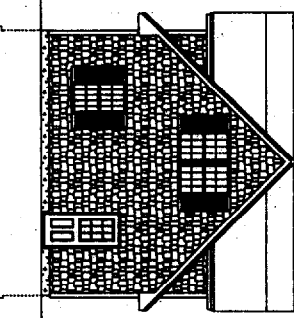
Lower Floor Plan Garage
3/16"=1'-0"



Upper Floor Plan Garage
3/16"=1'-0"



Rear Elevation
1/8"=1'-0"



Side Elevation
1/8"=1'-0"

HOME IMPROVEMENT, LLC. PO Box 752 Westbrook, Maine 04098 207 838-2532		Donald Hoglund, SR. President	
Plan For: Tony Burton	Floor Plans & Elevations	Drawn By: Wayne Parada	Addition 13 Nov. 18, 2002

Upper Floor:

- 3/4" CDX plywood sub floor
- Floor Trusses @ 24" oc.
- 2x6 ceiling ties @ 16" oc
- 2x6 Rafter @ 16" oc. (downer) 2x6 (capes)
- 5/8" CDX Fir plywood sheathing with clips
- 15' felt paper
- 3/8" strip of eave protection in valley
- Ice & water eave protection @ eaves
- Dripedge @ eaves & rake
- Asphalt shingles (heavyweight) 25 year prorated warranty

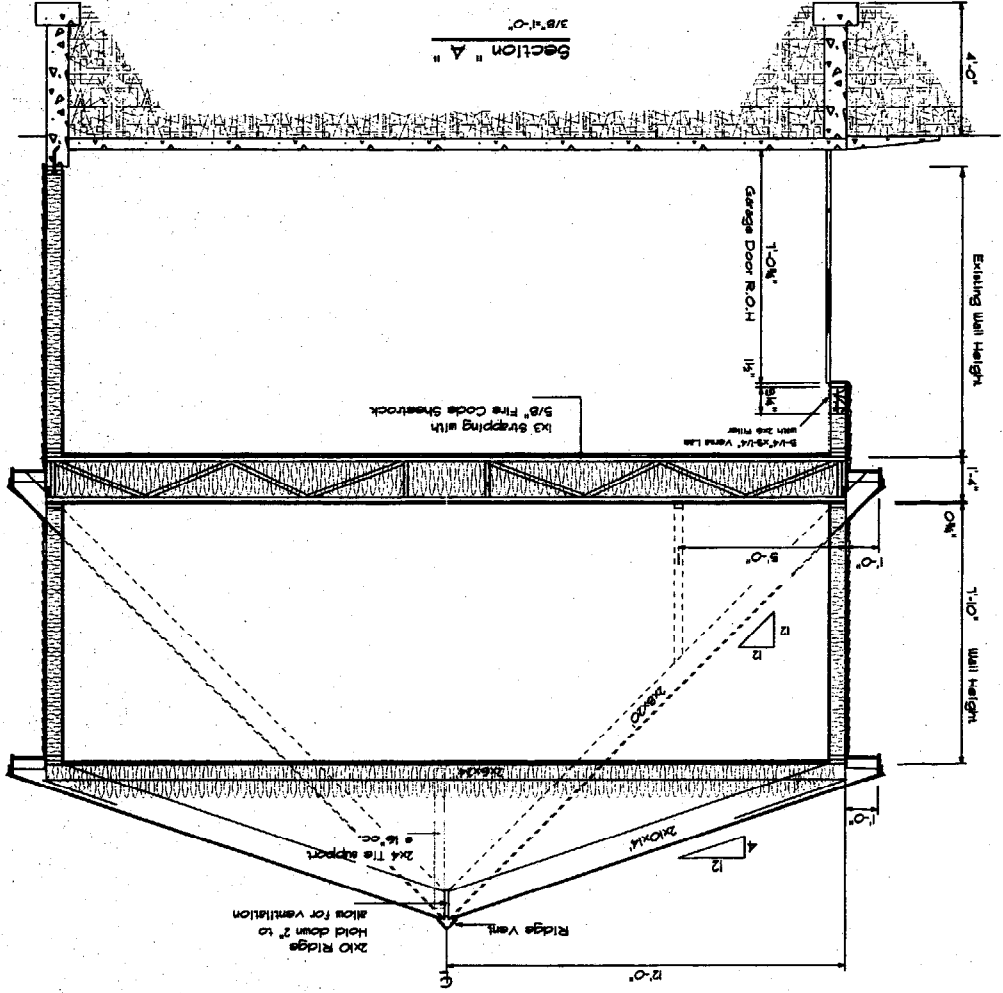
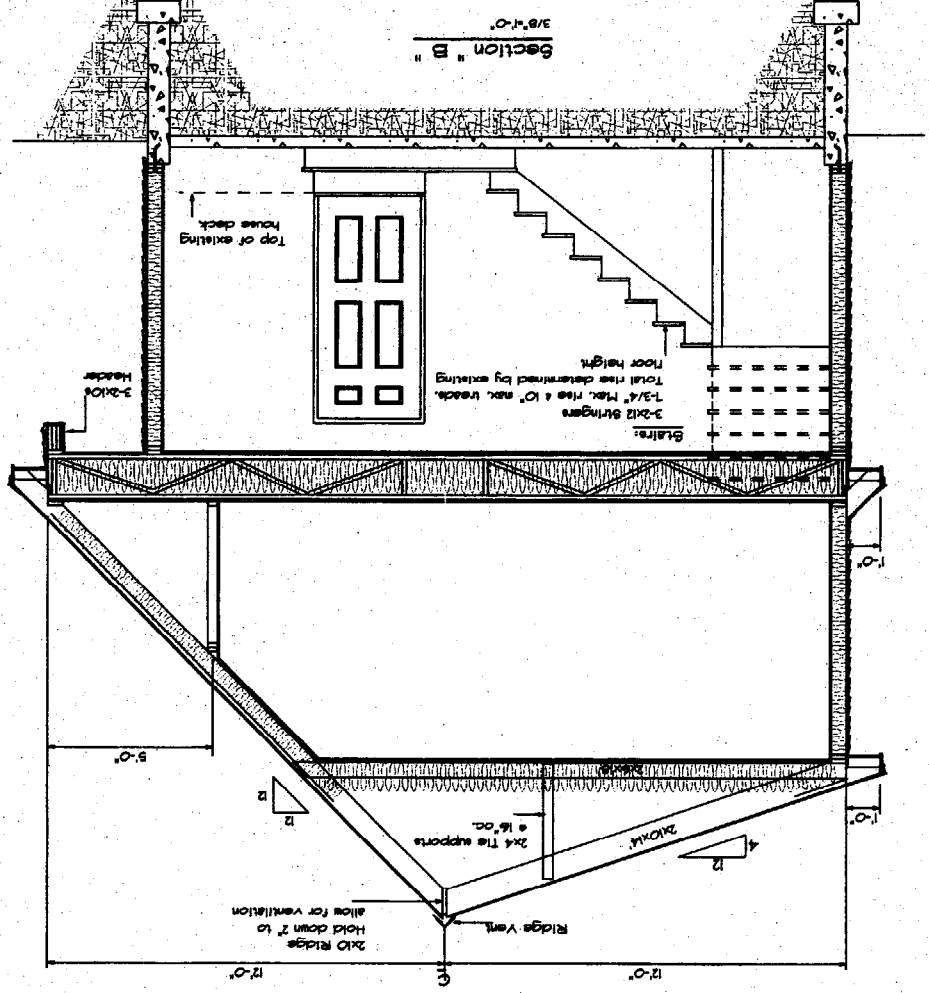
Roof System:

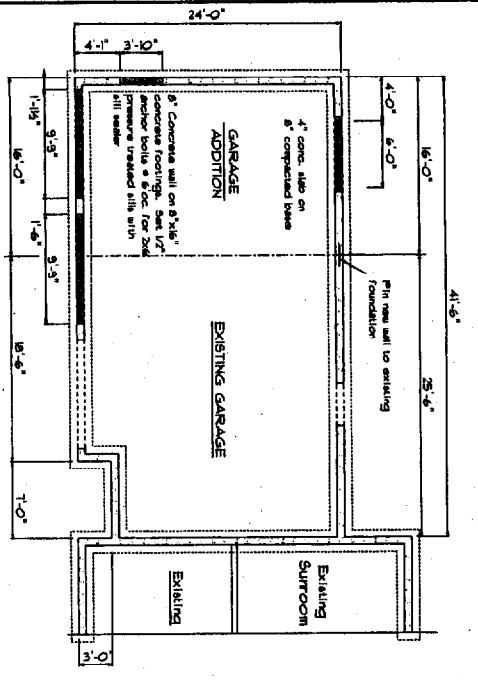
- Cedar Shingles
- Tyvek house wrap or equivalent
- 7/16" OSB sheathing
- 2x6 studs @ 16" oc.
- 6" insulation (R-19)
- 1/2" sheetrock interior finish by others

Material Specs:

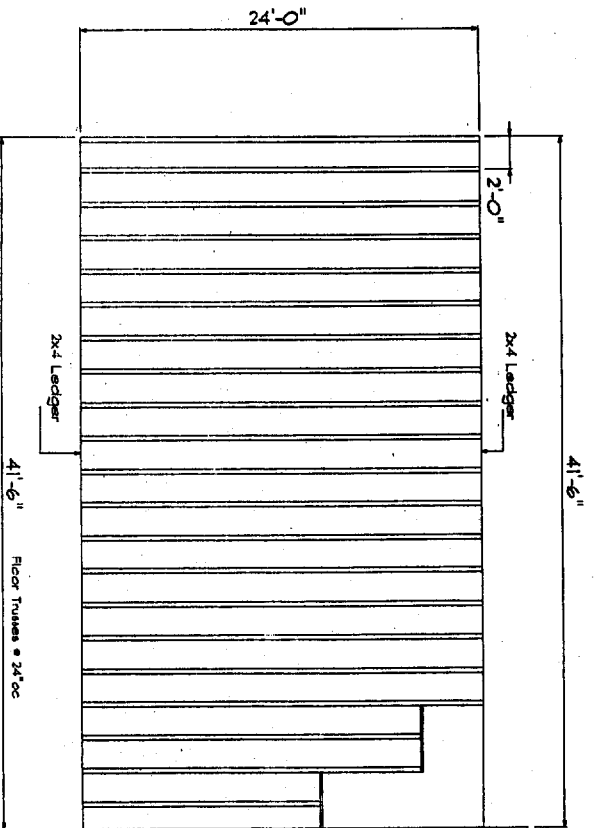
Exterior Walls:

NOV. 18, 2002	Wayne Perada	Drawn by:	HOME IMPROVEMENT, LLC. PO Box 252 Westbrook, Maine 04098 Donald Hoglund, SR. President 207 838-2532
3	Tommy Buxton	Plan for:	
2	Section "A" & "B"		
Addition			

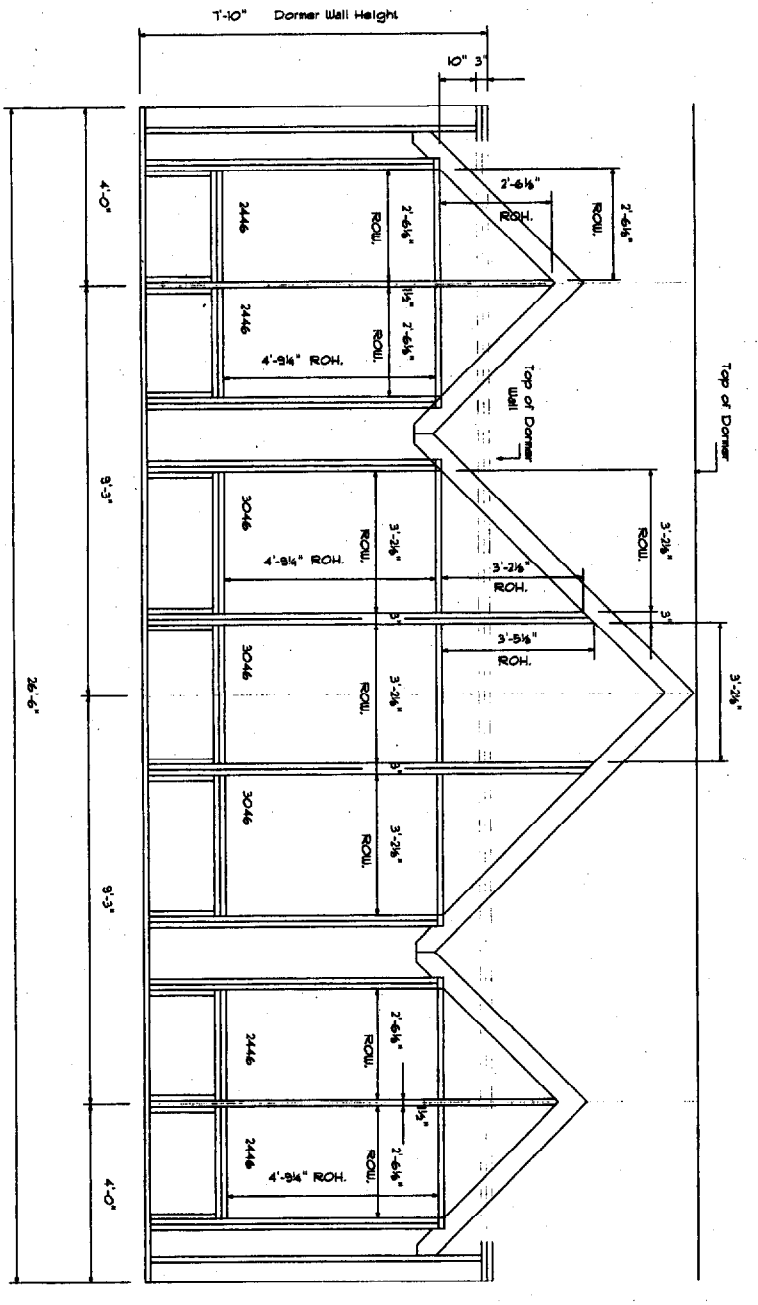




Foundation Plan
1/8"=1'-0"



Floor Framing
3/16"=1'-0"



Domer Framing
1/2"=1'-0"

Window & Door Schedule			
Qty	Product Code	ROU	ROH
10	Andersen 3046	3'-2-1/8"	4'-9-1/4"
8	Andersen 2446	2'-6-1/8"	4'-9-1/4"
14	Andersen Flexiframes	See Domer Framing	
3	6x7 Garage Doors	9'-1-1/2"	T-O-3/4"
1	6x7 Garage Doors	6'-1-1/2"	T-O-3/4"
3	3/Ox6/8 Doors	3'-2"	6'-10-1/2"
2	2/6x6/6 Doors	2'-8"	6'-9-1/2"

HOME IMPROVEMENT, LLC.
PO Box 232
Westbrook, Maine 04098
207 636-2532

Donald Hoglund, SR
President

Plan for: **Tony Burton**

Drawn by: **Wayne Parada**

Nov. 15, 2002