

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

This is to certify that PATRICIA BUCKLEY TRUSTEE Located At 79 STROUDWATER RD  
FOSTER

CBL: 222- A-024-001

Job ID: 2012-06-4161-ALTR

has permission to rebuild an exterior deck (Single Family Residence).

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

\_\_\_\_\_  
**Fire Prevention Officer**

\_\_\_\_\_  
**Code Enforcement Officer / Plan Reviewer**

07/09/2012

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
  1. Footings/Setbacks prior to pouring concrete
  2. Close In Elec/Plmb/Frame prior to insulate or gypsum
  3. Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



# PORTLAND MAINE

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Acting Director of Planning and Urban Development  
Gregory Mitchell

Job ID: 2012-06-4161-ALTR

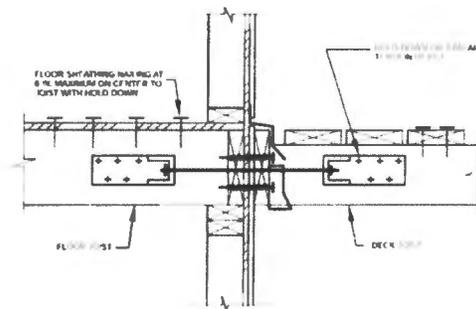
Located At: 79 STROUDWATER  
RD

CBL: 222- A-024-001

## Conditions of Approval:

### Building

1. A graspable handrail (34-38 inches in height) shall be provided on at least one side of each continuous run of treads or flight with four or more risers. Fall protection (36 inches) from exterior decks may be required if floor joist are at or above thirty (30) inches from grade.
2. **The maximum riser height shall be 7 3/4 inches;** the minimum tread depth shall be 10 inches.
3. R311.7.1 Width. Stairways shall not be less than 36 inches in clear width at all points above the permitted handrail height and below the required headroom height. Handrails shall not project more than 4.5 inches on either side of the stairway and the minimum clear width of the stairway at and below the handrail height, including treads and landings, shall not be less than 31 1/2 inches where a handrail is installed on one side and 27 inches where handrails are provided on both sides.
4. R311.5.1 Attachment. Exterior landings, decks, balconies, stairs and similar facilities shall be positively anchored to the primary structure to resist both vertical and lateral forces or shall be designed to be self-supporting. Attachment shall not be accomplished by use of toenails or nails subject to withdrawal.
5. Section R317 Protection of Wood and Wood Based Products against decay. All wood framing members that rest on concrete or masonry exterior foundation walls and are less than 8 inches from the exposed ground.
6. See attached documentation for the Ledger Fastening Schedule.
7. R502.6 Bearing. The ends of each joist, beam or girder shall have not less than 1.5 inches of bearing on wood or metal and not less than 3 inches on masonry or concrete except where supported on a 1-inch-by-4-inch ribbon strip and nailed to the adjacent stud or by the use of approved joist hangers.
8. **R502.3.3 Floor cantilevers. Floor cantilever spans shall not exceed the nominal depth of the wood floor joist. Floor cantilevers constructed in accordance with Table R502.3.3(1), see attachment.**
9. Note: Max Span for SPF# 2- Two (2) by Eight (8) inch ("") deck joist @ 16" O.C. is **12'-3"**; the Max span for the (3) 2 by 12 inch Girders are 10-7 inches between each 8" Sona® Tubes.



For SI 1 inch = 25.4 mm

FIGURE 902.2.3  
DECK ATTACHMENT FOR LATERAL LOADS

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-06-4161-ALTR	Date Applied: 6/5/2012	CBL: 222- A-024-001	
Location of Construction: 79 STROUDWATER RD	Owner Name: PATRICIA BUCKLEY FOSTER TRUSTEE	Owner Address: 1213 MUNDON DR  ASHLAND, OR 97520	Phone:
Business Name:	Contractor Name: Heath Titcomb	Contractor Address: 81 Sandbar Rd., Windham, ME 04062	Phone: 207-332-4083
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-2
Past Use: Single family	Proposed Use: Same - Single family - build rear deck - 46' long - 384 sf rebuild existing deck	Cost of Work: 10000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: R3 Type: SB IRC 2009 (MURKIN) Signature: <i>AR</i>
Proposed Project Description: 384 sq ft. deck		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Gayle		<b>Zoning Approval</b>	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p><b>Special Zone or Reviews</b></p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p><input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM</p> <p>Date: OK 6/12/12 <i>ABU</i></p>	<p><b>Zoning Appeal</b></p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p><b>Historic Preservation</b></p> <p><input checked="" type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>ABU</i></p>
	<b>CERTIFICATION</b>		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

Safety Concern ASAP  
R-2

2012 06 4161 66



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>79 STROUDWATER rd Portland 04103</u>		
Total Square Footage of Proposed Structure/Area <u>450</u>	Square Footage of Lot <u>roughly 1/2 acre</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>222</u> Block# <u>A</u> Lot# <u>024</u>	Applicant: (must be owner, lessee or buyer) Name <u>Heath Titcomb</u> Address <u>81 Sandbar rd</u> City, State & Zip <u>Windham, ME 04062</u>	Telephone: <u>332-4083</u> <u>cell</u> <u>511-51</u>
Lessee/DBA  <b>RECEIVED</b> <b>JUN 05 2012</b>	Owner: (if different from applicant) Name <u>PATRICIA Buckley</u> Address <u>79 STROUDWATER</u> City, State & Zip <u>Portland ME 04103</u>	Cost of Work: \$ <u>10,000</u> C of O Fee: \$ _____ Historic Review: \$ _____ Planning Amin.: \$ _____  Total Fee: \$ _____
Dept. of Building Inspections City of Portland Maine Current legal use (i.e. single family) <u>Single</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? <u>Home</u> Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>450 sq feet</u>		
Contractor's name: <u>Heath Titcomb</u> Email: _____ Address: <u>81 Sandbar rd</u> City, State & Zip: <u>Windham, ME 04062</u> Telephone: <u>332-4083</u> Who should we contact when the permit is ready: <u>HEATH</u> Telephone: <u>332-4083</u> Mailing address: <u>SAME</u>		

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

and I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: JUNE 5th, 2012

**This is not a permit; you may not commence ANY work until the permit is issued**

939-6768  
Call Bob  
Don't send

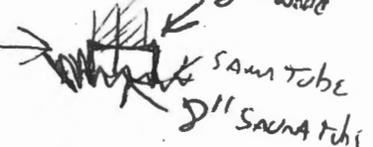
# BUILDING A DECK???

## INFORMATION REQUIRED WITH YOUR APPLICATION

The following is a guideline of information required for the review of a deck application. It is intended to help you supply proper and complete application packages. Please label all of the following items on your plans. Thank you!

1. A complete plot plan showing all structures & proposed structures with distances to all property lines labeled.

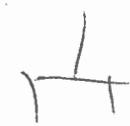
2. Type of foundation system

- a. Diameter of concrete filled tube or pre cast concrete pier size 8" SAMA Tube
  - b. depth below grade (minimum 4'-0" below grade) 4'
  - c. anchorage of column to footing 16" rebar pin
  - d. spacing and location of tubes/piers 8' → 7.8" on center
- 

3. Framing Members

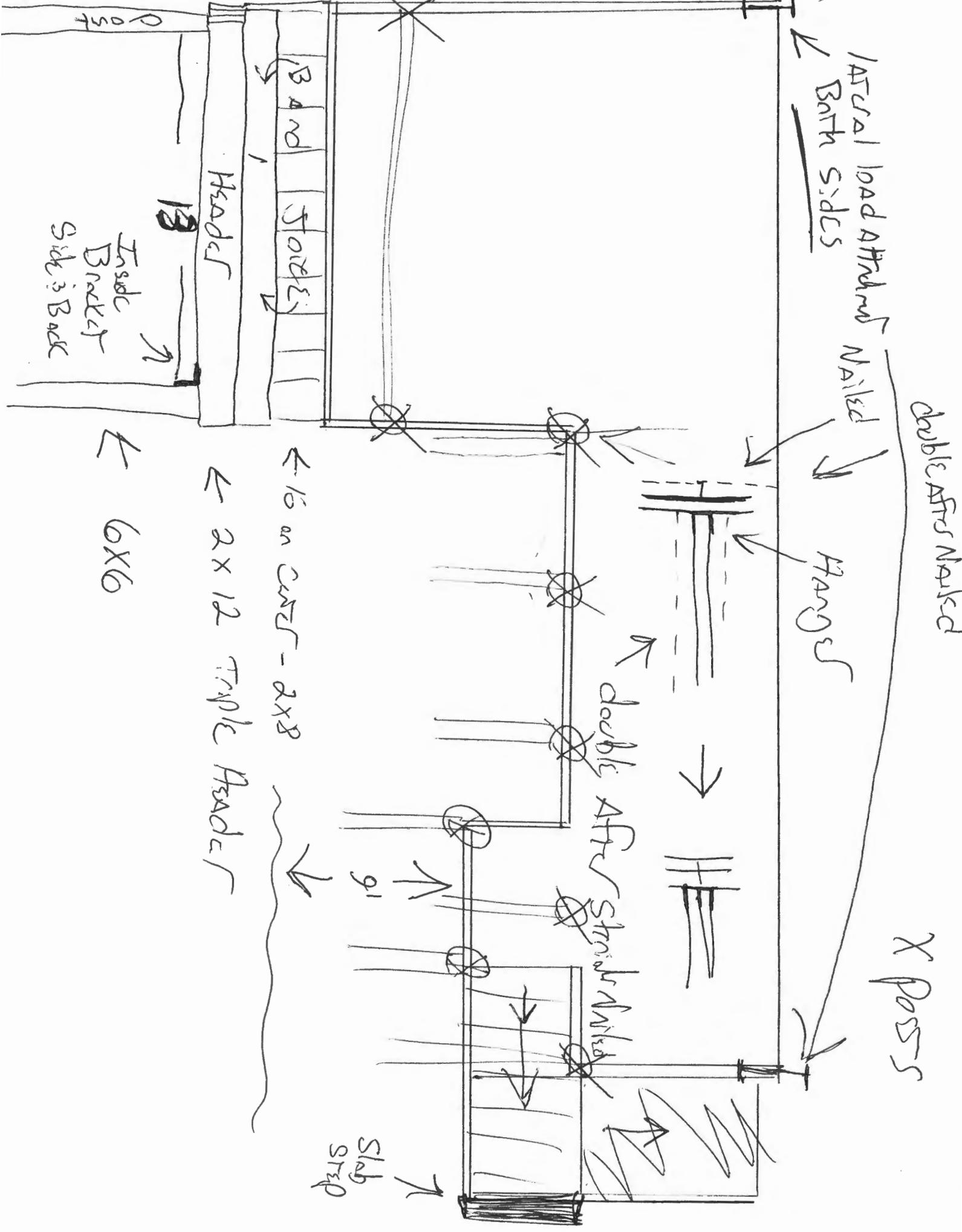
- a. Columns – wood size and location (members supporting framing of floor system) 4x6 - 6x6
- b. Ledger size attached to building 2x10 + ~~2x8~~ ~~2x10~~ ~~2x12~~
- c. Fastener size and spacing attaching ledger 16 on center 2 5" Lags + Hangers + Nails
- d. Girder Size and spans carrying floor system 2x12 triple 12' with 24" overhang
- e. Joist size, span, and spacing 2x8 to 12' At 16 on center 24" overhang
- f. Joist hangers or ledger Hangers

4. Guardrails & Handrail Details

- a. Guardrail height 42
  - b. Baluster spacing 36
  - c. Handrail height 36
- 

5. Stair Details

- a. Tread depth (measured nosing to nosing) 11"
- b. Riser height 8"
- c. Nosing on tread 1"
- d. Width of stairs 4'



Post

Band  
Stores

Header

13

Inside Bracket  
Side & Back

10 on center - 2x8

2x12 Triple Header

6x6

Double AFRs Nailed

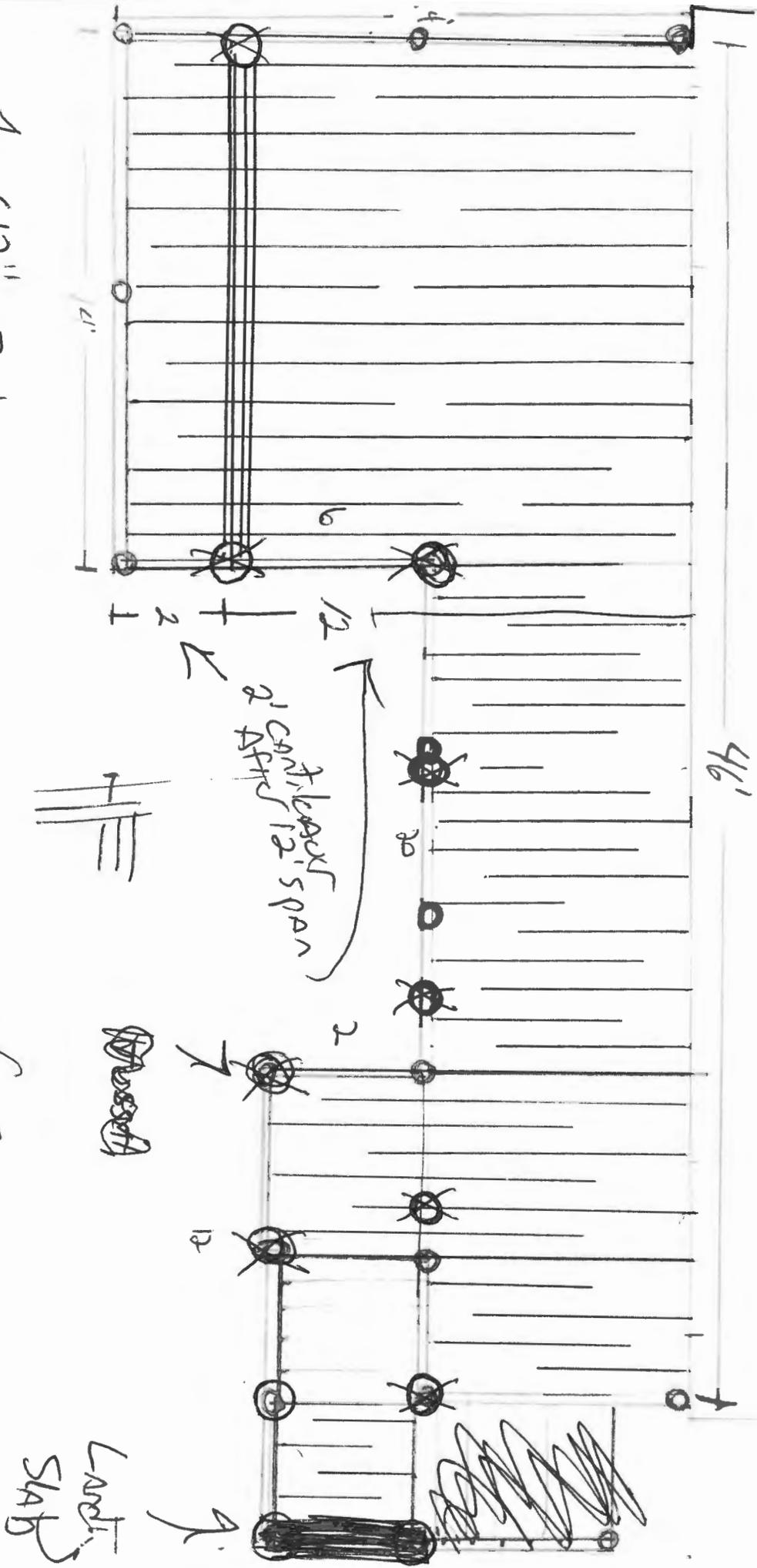
Fangers

Double AFR Strainer Nailed

X Passes

Slab Strip

~~Post~~



1. 42" Railings
2. 2x8 construction
3. 2x10 Header + T. pole
- 4.





# PORTLAND MAINE

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Receipts Details:

**Tender Information:** Cash

**Tender Amount:** 120.00

Receipt Header:

**Cashier Id:** gguertin

**Receipt Date:** 6/5/2012

**Receipt Number:** 44641

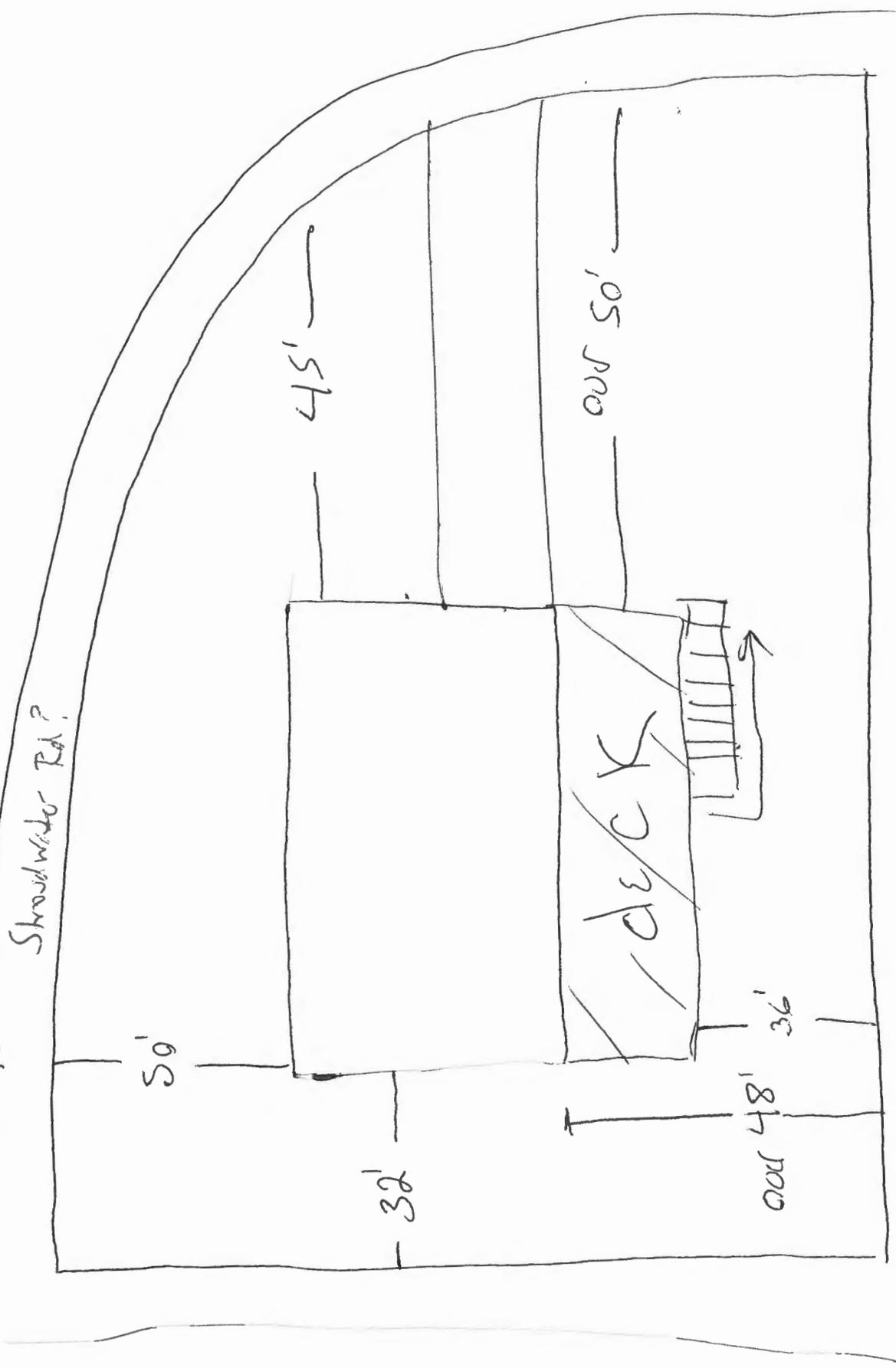
Receipt Details:

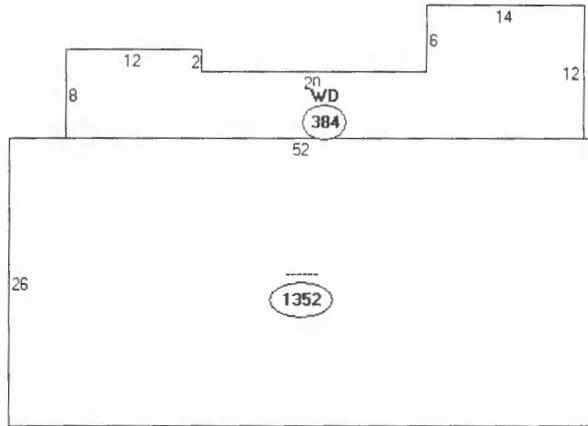
Referance ID:	6773	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	120.00	Charge Amount:	120.00
Job ID: Job ID: 2012-06-4161-ALTR - 450 sq ft. deck			
Additional Comments: Heath Titcomb			

Thank You for your Payment!

R-2 - lot size - 16,405.  
 front setback - N/A  
 rear - 25' - 36' <sup>5 min</sup> <sup>OK</sup>  
 side - 15 by 17' - 32' <sup>5 min</sup> <sup>OK</sup>  
 50' "

lot coverage - 3281  $\phi$   
 1352 base  
 480 deck  
 1802 <sup>OK</sup>





Descriptor/Area

- A: -----  
1352 sqft
- B: WD  
384 sqft