

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that GARFIELD, SUSAN E & SUSAN E & GARFIELD

Located At 125 STROUDWATER

Job ID: 2011-06-1501-ALTR

CBL: 222 - - A - 003 - 001 - - - -

has permission to Build 8' x 17.5' entry deck

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

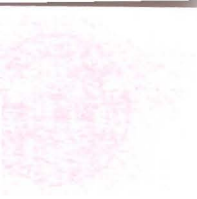
A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

7/12/11

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD**



1875

1875

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
 1. Setback and tube depth inspection prior to pouring concrete.
 2. Framing and final inspection required. These can be done at the same time if the framing is left visible.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-06-1501-ALTR

Located At: 125 STROUDWATER CBL: 222 - - A - 003 - 001 - - - - -



Conditions of Approval:

Building

1. 36" high guard rails are required to be installed if 30" above grade.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-06-1501-ALTR	Date Applied: 6/22/2011	CBL: 222 - - A - 003 - 001 - - - - -	
Location of Construction: 125 STROUDWATER RD	Owner Name: SUSAN GARFIELD & LYND MULLEN	Owner Address: 125 STROUDWATER RD PORTLAND, ME 04102	Phone: 207-899-4270
Business Name:	Contractor Name: Kevin Garfield	Contractor Address: 114 By-Pass Rd., Wells, ME 04090	Phone: 207-337-4355
Lessee/Buyer's Name:	Phone:	Permit Type: BUILDING	Zone: R-2
Past Use: Single Family	Proposed Use: Single Family -- build 8' x17.5' front entry deck	Cost of Work: 5000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: R-3 Use Group: Type: SB
Proposed Project Description: Building a 8' x 17.5' entry deck at front door		Signature:  Pedestrian Activities District (P.A.D.)	
Permit Taken By:		Signature: 	

Zoning Approval

	Special Zone or Reviews	Zoning Appeal	Historic Preservation
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.	<input checked="" type="checkbox"/> Shoreland <i>edge of property in shoreland</i>	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in Dist or Landmark
2. Building Permits do not include plumbing, septic or electrical work.	<input type="checkbox"/> Wetlands <i>structure is not.</i>	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does not Require Review
3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.	<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
	<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
	<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
	<input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
	Date: <i>OK</i> <i>6/28/11 ABM</i>	Date:	Date: <i>ABM</i>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON



P-2. Shooked 2011-06-1501
General Building Permit Application 6123/11

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>125 Stroudwater Road, Portland</u>		
Total Square Footage of Proposed Structure/Area <u>14058</u>	Square Footage of Lot <u>43,560 (1acre)</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>22</u> Block# <u>A</u> Lot# <u>3</u>	Applicant * must be owner, Lessee or Buyer* Name <u>Susan Garfield / Lynda Mullen</u> Address <u>125 Stroudwater Road</u> City, State & Zip <u>Portland, ME 04102</u>	Telephone: <u>207-899-4270</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>5,000</u> C of O Fee: \$ _____ Total Fee: \$ <u>70</u>
Current legal use (i.e. single family) <u>single family</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Single Family</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>Landing deck at front door. Materials will be composite, 2'x10', 16" on center with 3 sonar tubes. Structure is not attached to building/house. Maximum height from ground is 14"</u>		
Contractor's name: <u>Kevin Garfield</u> Address: <u>114 By-Pass Road</u> City, State & Zip <u>Wells, ME 04090</u> Telephone: <u>207-337-4355</u> Who should we contact when the permit is ready: <u>Susan Garfield</u> Telephone: <u>207-939-2040</u> Mailing address: <u>125 Stroudwater Rd, Portland, ME 04102</u> <u>207-899-4270</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

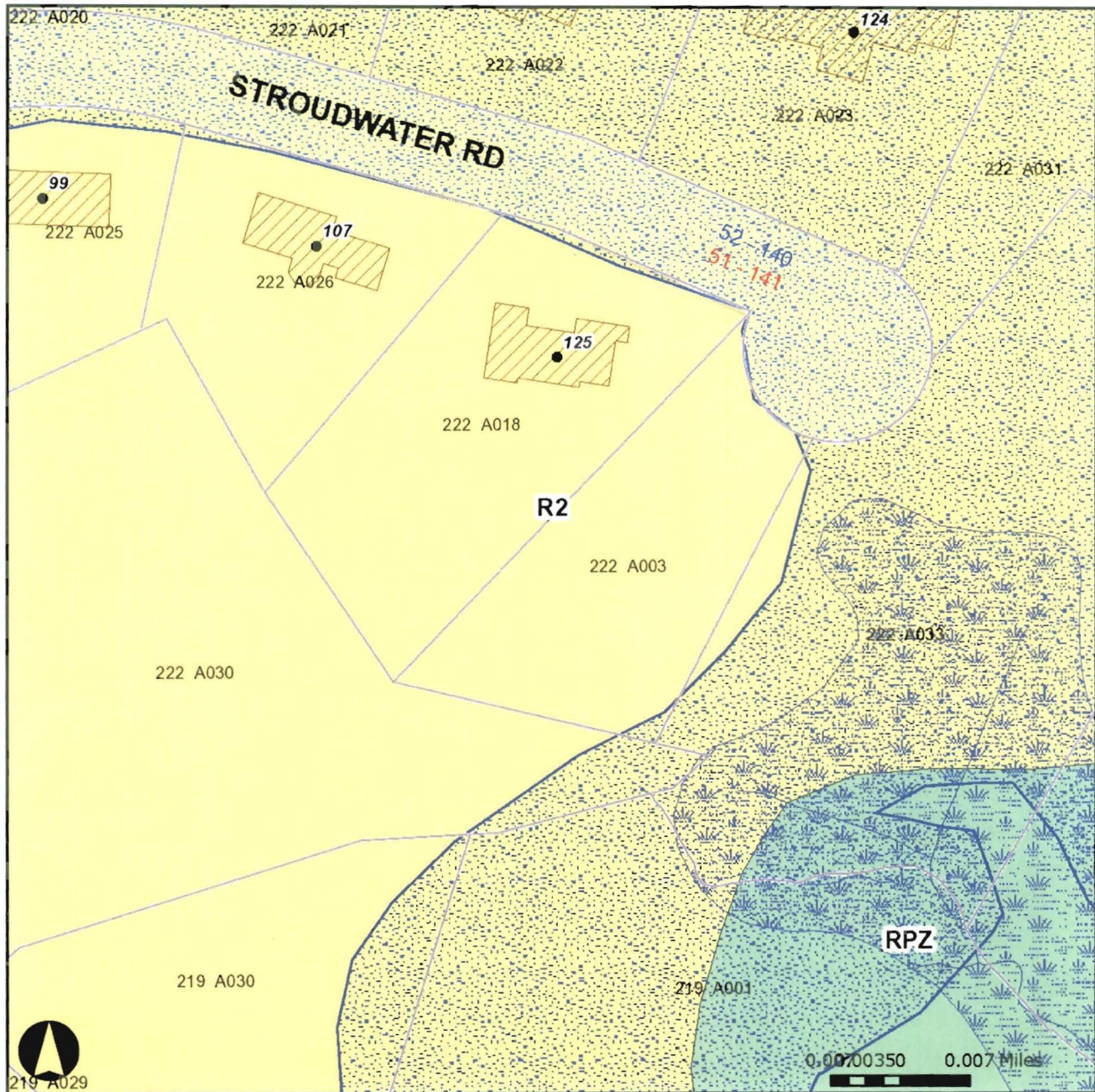
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 6/21/11

This is not a permit; you may not commence ANY work until the permit is issue

Map



Interstate	Stream Overlay Zone	Zoning (continued)	Zoning (continued)	Ocean
	Stream_protection	R1 Residential	C23	
Streets	Island Zoning	R2 Residential	C24	
	C43	R3 Residential	C25	
Buildings	I-B	R4 Residential	C26	
Building	I-TS	R5 Residential	C27	
Out Building	I-R1	R6 Residential	C28	
Parcels	I-R2	ROS Recreation	C29	

PLOT PLAN

125 Stroudwater Road
Portland 04102
L. Mullen / S. Garfield

R-2

lot size, 43,795'

front - 25' min -> 30' (circled)
(45' curb)

120' to property line

rear - N/A

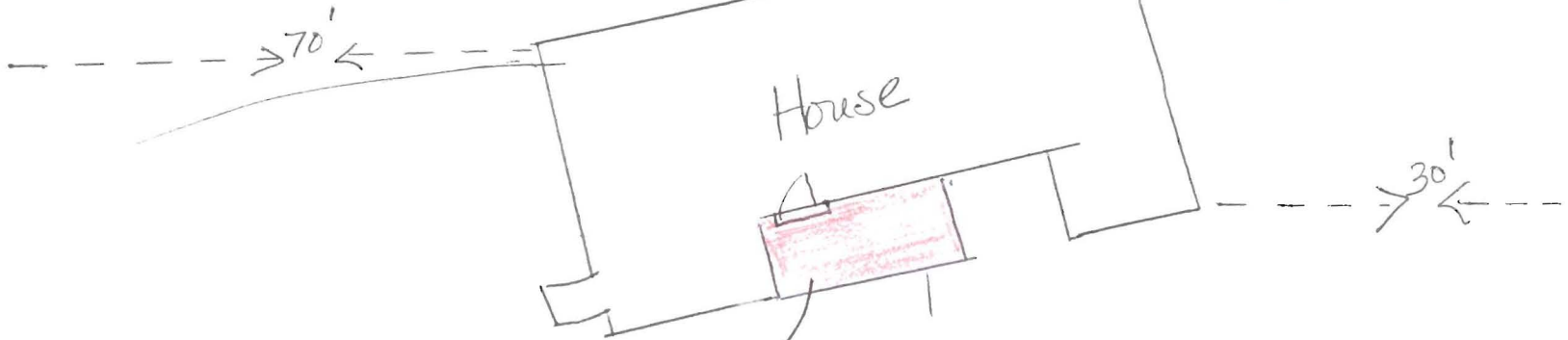
side - 12' - not extend
beyond base

lot coverage - 30% = $\frac{4431.6}{14772}$

house 1981

deck 140 (8 x 17.5)

2121# (circled)



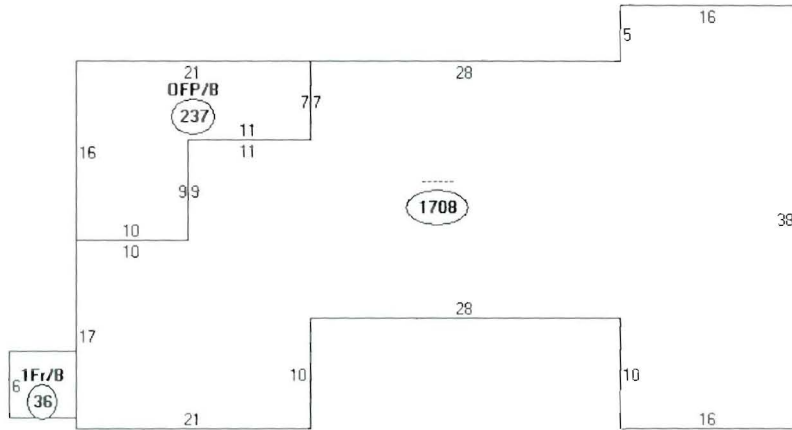
Paved Driveway

Proposed entry
landing/deck
8' x 17' 6"

45' (15' B x 17' W)
at least 30' setback.

street curb

Property is approx. 205 x 215 or 1 acre



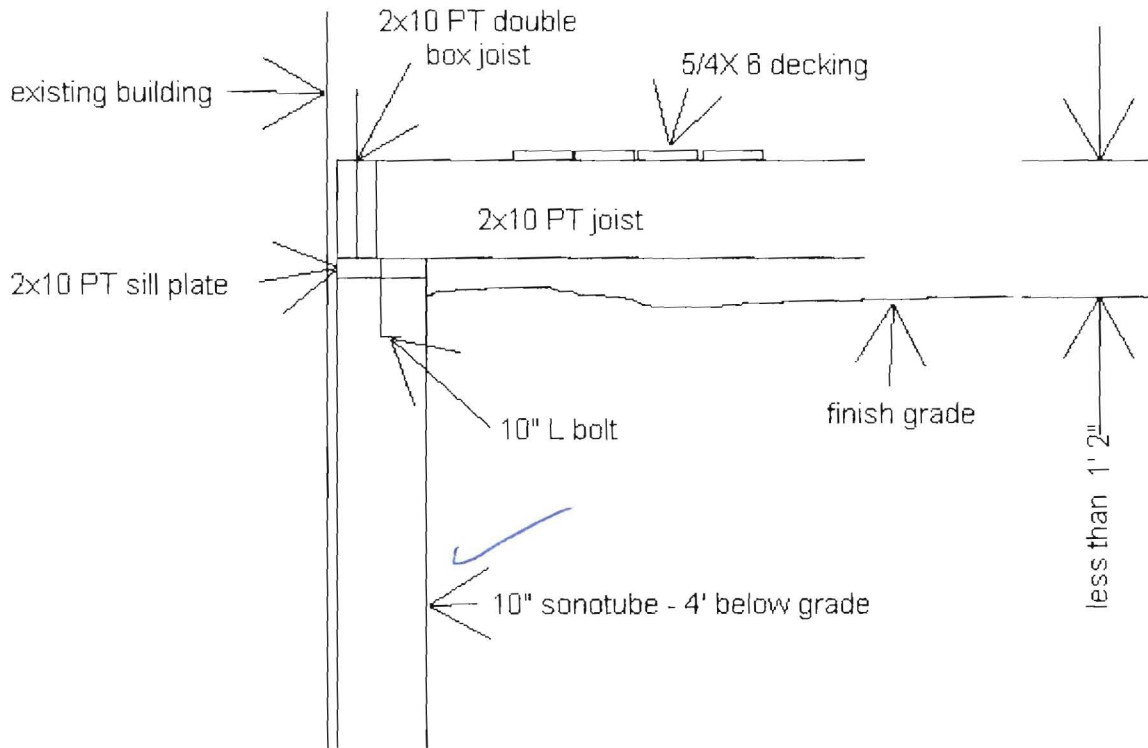
Descriptor/Area

- A: -----
1708 sqft
- B: 1Fr/B
36 sqft
- C: OFF/B
237 sqft

1981

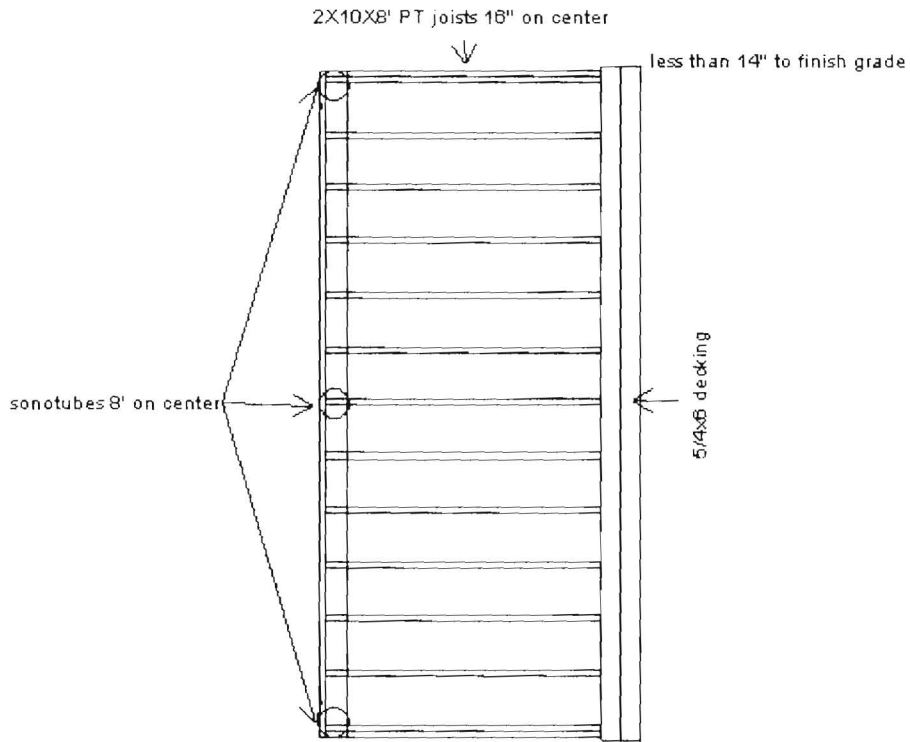
125 Stroudwater Road, Portland 04102
L. Miller/S. Garfield

DETAIL CROSS SECTION OF DECK - NOT ATTACHED TO EXISTING DWELLING



125 Strondwater Road, Portland 04102
L Mullen / S. Garfield

FRAMING SECTION OF DECK - 8' x 17' 6" - NOT ATTACHED TO EXISTING DWELLING



125 Stroudwater Road
Portland, ME 04102

L. Mullen / S. Garfield

Guardrails and Handrails Details

No guardrails or handrails

Stair Details

No stairs