

**EXISTING ROOM FINISHES**

- ① QUARRY TILE FLOOR, WOOD BASE, GYPSUM BOARD WALLS (PAINTED) & SUSP. ACOUSTICAL CEILING
- ② CARPET, VINYL BASE, GYPSUM BOARD WALLS (PAINTED) & SUSP. ACOUSTICAL CEILING
- ③ CARPET, WOOD BASE, GYPSUM BOARD WALLS (PAINTED) & SUSP. ACOUSTICAL CEILING
- ④ SHEET VINYL, WOOD BASE, GYPSUM BOARD WALLS (PAINTED) & SUSP. ACOUSTICAL CEILING
- ⑤ SHEET VINYL, WOOD BASE, GYPSUM BOARD WALLS (PAINTED) & SUSP. ACOUSTICAL CEILING
- ⑥ EXISTING BASE, WALL CABINETS, ASSOCIATED PLUMBING, SHELVING UNITS, COUNTERS, ETC.
- ⑦ EXISTING SYSTEM'S FURNITURE

WHERE WORK NEEDS TO OCCUR WITHIN THE BUILDING IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT THE EXISTING FLOORING, REMOVE AND REPLACE THE EXISTING BASE, PATCH AND PAINT THE GYPSUM BOARD WALLS, PROVIDE NEW WINDOW & DOOR TRIM (SEE DETAILS), REMOVE AND REINSTALL CEILINGS AS REQUIRED, REMOVE AND REINSTALL CASEWORK (& ASSOCIATED PLUMBING), ETC., AS REQUIRED.

**GENERAL NOTES**

- 1. CONTRACTOR(S) TO VERIFY DRAWINGS (INC DIMENSIONS) BEFORE PROCEEDING WITH NEW WORK.
- 2. CONTRACTOR(S) TO VERIFY EXISTING CONDITIONS AND COORDINATE NEW CONDITIONS WITH EXISTING BEFORE PROCEEDING.
- 3. CONTRACTOR(S) TO NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN NEW AND EXISTING CONSTRUCTION BEFORE PROCEEDING WITH NEW WORK.
- 4. ALL WORK SHALL BE DONE IN AN ORDERLY AND PROFESSIONAL MANNER. THE CONTRACTOR(S) SHALL COORDINATE ALL WORK AND PATCH (TO MATCH) ALL AREAS IN THE BUILDING TO MATCH.
- 5. PRIOR TO SUBMITTING BID - CONTRACTOR(S) SHALL VISIT THE PORTION OF THE BUILDING THAT IS TO BE RENOVATED AND OBSERVE ALL EXISTING CONDITIONS (INCLUDING AREAS ABOVE CEILING).
- 6. ALL GYPSUM BOARD SHALL BE 1/2" OR AS NOTED ON THE DRAWINGS.
- 7. THIS BUILDING IS SPRINKLED - NO WORK IS ANTICIPATED ON THIS SYSTEM.
- 8. INSTALL ALL MATERIALS PER MFG. RECOMMENDATIONS AND PERFORM WORK TO MEET STANDARD BUILDING PRACTICES THAT ARE ACCEPTABLE TO THE BUILDING TRADE (ALSO SEE SPECIFICATIONS).
- 9. THE NEW WORK SHALL MEET THE FOLLOWING BUILDING CODES:
  - A. THE BOCA NATIONAL BUILDING CODE 1999
  - B. ANSI/NFPA 101 LIFE SAFETY CODE/1997
  - C. THE CURRENT EDITION OF THE NATIONAL ELECTRICAL CODE
  - D. ALL LOCAL BUILDING CODES
  - E. STATE AND NATIONAL HANDICAP ACCESSIBILITY CODES AND LAWS
- 10. THE CONTRACTOR(S) SHALL PATCH AND PAINT (TO MATCH) ANY EXISTING CONSTRUCTION THAT IS DISTURBED BY NEW CONSTRUCTION.

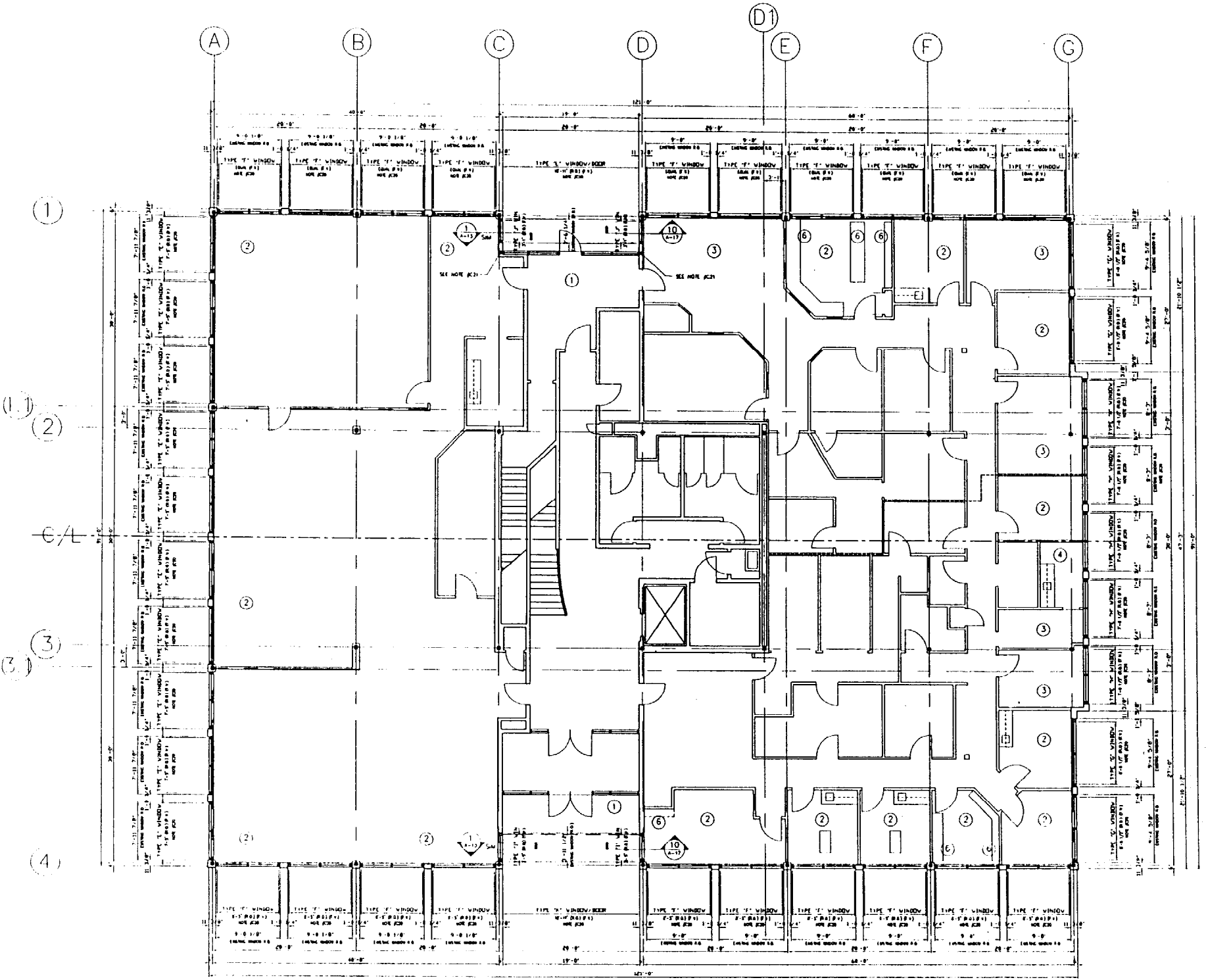
**PHASING NOTES: SEE SPECIFICATIONS**

**PARTIAL LEGEND:**

- INDICATES NEW CONSTRUCTION - SEE DETAILS & WALL SECTIONS
- INDICATES NEW TEMPORARY WALL & DOOR.
  - WALL CLEARANCE FROM FACE OF EXTERIOR WALL TO FACE OF TEMP. WALL = 3'-0" MIN (TYPICAL)
  - WALL CONSTRUCTION: 1/2" GYPSUM BOARD EACH SIDE OF 2" X 4" (24" O.C.) WOOD STUDS - FLOOR TO BOTTOM OF DECK ABOVE. DUCT TAPE ALL JOINTS (NO PAINT). PROVIDE SILL SEALER WHERE WALL ABUTS TO FLOOR, WALLS AND BOTTOM OF DECK. REMOVE EXISTING CEILING FROM NEW TEMP. WALL TO EXISTING EXTERIOR WALL. REPLACE EXISTING CEILING AS REQUIRED WHEN TEMP. WALL IS REMOVED. SEAL (FOR SOUND) AROUND ALL EXISTING BEAMS AND JOIST WHERE TEMP. WALL CONTINUES UP TO BOTTOM OF DECK.
  - TEMPORARY DOOR: 3068 PRE-HUNG, EXTERIOR FLUSH STEEL DOOR & FRAME WITH WEATHERSTRIPPING AND METAL THRESHOLD. PASSAGE SET REQUIRED. DOOR(S) MAY BE REUSED AT OTHER TEMP. WALL LOCATIONS AS REQUIRED.

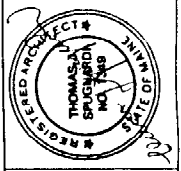
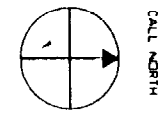
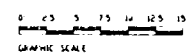
**CONSTRUCTION NOTES**

- SEE EXTERIOR ELEVATIONS ON SHEETS A-5 THRU A-8 FOR NOTE IDENTIFICATIONS
- C1. REMOVE ALL (INC. ALL SIDES AND STRUCTURES ON ROOF) EXISTING EXTERIOR CLAPBOARDS
  - C2. REMOVE ALL (EXTERIOR WALLS) EXISTING CDX PLYWOOD AND BUILDING WRAP (UNLESS OTHERWISE NOTED)
  - C3. REMOVE ALL (EXTERIOR WALLS) FIBERGLASS INSULATION
  - C4. REMOVE ALL (EXTERIOR WALLS) (1ST, 2ND, & 3RD FLOORS) WOOD WINDOWS/DOORS INCLUDING WINDOW WALLS
  - C5. UNIT COST: REMOVE AS REQUIRED ANY DAMAGED AND/OR MILDEWED/MOLD INFECTED GYPSUM BOARD (EXTERIOR WALLS) AND POLY VAPOR BARRIER
  - C6. REMOVE ALL (EXTERIOR WALLS) HORIZONTAL AND VERTICAL MDO (EDGE BANDED) PLYWOOD TRIM, NOT FASCIA TRIM AROUND PITCH ROOF
  - C7. REMOVE ALL (EXTERIOR WALLS) WOOD WATER TABLE TRIM
  - C8. REMOVE ALL (EXTERIOR WALLS) ASSOCIATED METAL FLASHINGS
  - C9. REMOVE ALL (EXTERIOR WALLS) EXTERIOR CORNER WOOD BULLNOSE TRIM
  - C10. PRIOR TO INSTALLATION OF NEW MATERIALS ALL SURFACES CONTAMINATED WITH MOULD/MILDEW SHALL BE CLEANED AND DISINFECTED AS SPECIFIED.
  - C11. UNIT COST: INSTALL AS REQUIRED NEW 6 MIL. POLY. VAPOR BARRIER AND 1/2" GYPSUM BOARD (PAINT 3 COATS) TO MATCH EXISTING ADJACENT SURFACES.
  - C12. INSTALL NEW 6" FIBERGLASS INSULATION (ALL EXTERIOR WALLS) (SEE WALL SECTIONS ON SHEETS A-13 TO A-17)
  - C13. INSTALL NEW 1/2" CDX PLYWOOD (ALL EXTERIOR WALLS) (SEE WALL SECTIONS ON SHEETS A-13 TO A-17)
  - C14. INSTALL NEW 15# FELT BUILDING PAPER (& ICE AND WATER SHIELD AS INDICATED ON DETAILS) ON NEW 1/2" CDX PLYWOOD (ALL EXTERIOR WALLS) (SEE WALL SECTIONS ON SHEETS A-13 TO A-17)
  - C15. INSTALL NEW METAL FLASHINGS AND COUNTER FLASHINGS AS INDICATED ON DETAILS (ALL EXTERIOR WALLS) (SEE WALL SECTIONS ON SHEETS A-13 TO A-17)
  - C16. INSTALL NEW HORIZONTAL & VERTICAL FIBER-CEMENT TRIM (ALL EXTERIOR WALLS) (SEE WALL SECTIONS ON SHEETS A-13 TO A-17)
  - C17. INSTALL NEW WOOD WATER TABLE TRIM (ALL EXTERIOR WALLS) (SEE WALL SECTIONS ON SHEETS A-13 TO A-17)
  - C18. INSTALL NEW EXTERIOR CORNER WOOD BULLNOSE TRIM (ALL EXTERIOR WALLS) (SEE WALL SECTIONS ON SHEETS A-13 TO A-17)
  - C19. INSTALL NEW FIBER-CEMENT CLAPBOARDS (4" TO WEATHER) (FACTORY PRIMED/PAINTED) (ALL EXTERIOR WALLS) (SEE WALL SECTIONS ON SHEETS A-13 TO A-17)
  - C20. INSTALL NEW FIXED WINDOWS AND DOORS (1ST, 2ND, & 3RD FLOORS) (ALL EXTERIOR WALLS) (SEE WINDOW TYPE ELEVATIONS ON SHEETS A-9 & A-10 AND WALL SECTIONS ON SHEETS A-13 TO A-17)
  - C21. NEW 4" X 4" X 1/4" (2) STEEL COLUMNS AS REQUIRED TO SUPPORT NEW W24X55 STEEL BEAM ABOVE. EACH COLUMN TO HAVE - BASE PLATES: 5" X 13" X 1/2" W/ FOUR (4) - 1/2" EXPANSION BOLTS SET 4" INTO CONCRETE. EACH COLUMN TO HAVE - CAP PLATE: 8" X 8" X 1/2" W/ TWO (2) A325 X 3/4" BOLTS



**FIRST FLOOR PLAN - ARCHITECTURAL**

SCALE: 1/8" = 1'-0"



**Thomas J. Spugnardi**  
ARCHITECT

• Programming  
• Code Analysis  
Poland Spring, ME 04274

EXTERIOR WALL ALTERATIONS  
STROUTWATER CROSSING  
1685 CONGRESS STREET  
PORTLAND, MAINE

FIRST FLOOR PLAN - ARCHITECTURAL

SCALE: AS NOTED | DATE: 04-14-2000 | REVISIONS

**A-1**

**EXISTING ROOM FINISHES**

- ① QUARRY TILE FLOOR, WOOD BASE, GYPSUM BOARD WALLS (PAINTED) & SUSP. ACOUSTICAL CEILING
- ② CARPET, VINYL BASE, GYPSUM BOARD WALLS (PAINTED) & SUSP. ACOUSTICAL CEILING.
- ③ CARPET, WOOD BASE, GYPSUM BOARD WALLS (PAINTED) & SUSP. ACOUSTICAL CEILING.
- ④ SHEET VINYL, WOOD BASE, GYPSUM BOARD WALLS (PAINTED) & SUSP. ACOUSTICAL CEILING
- ⑤ VINYL COMPOSITION TILE, WOOD BASE, GYPSUM BOARD WALLS (PAINTED) & SUSP. ACOUSTICAL CEILING.
- ⑥ EXISTING BASE, WALL CABINETS, ASSOCIATED PLUMBING, SHELVING UNITS, COUNTERS, ETC.
- ⑦ EXISTING SYSTEM'S FURNITURE

WHERE WORK NEEDS TO OCCUR WITHIN THE BUILDING IT IS THE CONTRACTOR'S RESPONSIBILITY TO: PROTECT THE EXISTING FLOORING, REMOVE AND REPLACE THE EXISTING BASE, PATCH AND PAINT THE GYPSUM BOARD WALLS, PROVIDE NEW WINDOW & DOOR TRIM (SEE DETAILS), REMOVE AND REINSTALL CEILING AS REQUIRED, REMOVE AND REINSTALL CASEWORK (& ASSOCIATED PLUMBING), ETC., AS REQUIRED.

**GENERAL NOTES:**

1. CONTRACTOR(S) TO VERIFY DRAWINGS (INC. DIMENSIONS) BEFORE PROCEEDING WITH NEW WORK.
2. CONTRACTOR(S) TO VERIFY EXISTING CONDITIONS AND COORDINATE NEW CONDITIONS WITH EXISTING BEFORE PROCEEDING.
3. CONTRACTOR(S) TO NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN NEW AND EXISTING CONSTRUCTION BEFORE PROCEEDING WITH NEW WORK.
4. ALL WORK SHALL BE DONE IN AN ORDERLY AND PROFESSIONAL MANNER. THE CONTRACTOR(S) SHALL COORDINATE ALL WORK AND PATCH (TO MATCH) ALL AREAS IN THE BUILDING TO MATCH.
5. PRIOR TO SUBMITTING BID - CONTRACTOR(S) SHALL VISIT THE PORTION OF THE BUILDING THAT IS TO BE RENOVATED AND OBSERVE ALL EXISTING CONDITIONS (INCLUDING AREAS ABOVE CEILING).
6. ALL GYPSUM BOARD SHALL BE 1/2" (OR AS NOTED ON THE DRAWINGS).
7. THIS BUILDING IS SPRINKLED - NO WORK IS ANTICIPATED ON THIS SYSTEM.
8. INSTALL ALL MATERIALS PER MFG. RECOMMENDATIONS AND PERFORM WORK TO MEET STANDARD BUILDING PRACTICES THAT ARE ACCEPTABLE TO THE BUILDING TRADE (ALSO SEE SPECIFICATIONS).
9. THE NEW WORK SHALL MEET THE FOLLOWING BUILDING CODES:
  - A. THE BOCA NATIONAL BUILDING CODE/1996
  - B. ANSI/NFPA 101 LIFE SAFETY CODE/1997
  - C. THE CURRENT EDITION OF THE NATIONAL ELECTRICAL CODE
  - D. ALL LOCAL BUILDING CODES
  - E. STATE AND NATIONAL HANDICAP ACCESSIBILITY CODES AND LAWS
10. THE CONTRACTOR(S) SHALL PATCH AND PAINT (TO MATCH) ANY EXISTING CONSTRUCTION THAT IS DISTURBED BY NEW CONSTRUCTION.

**PHASING NOTES:** SEE SPECIFICATIONS

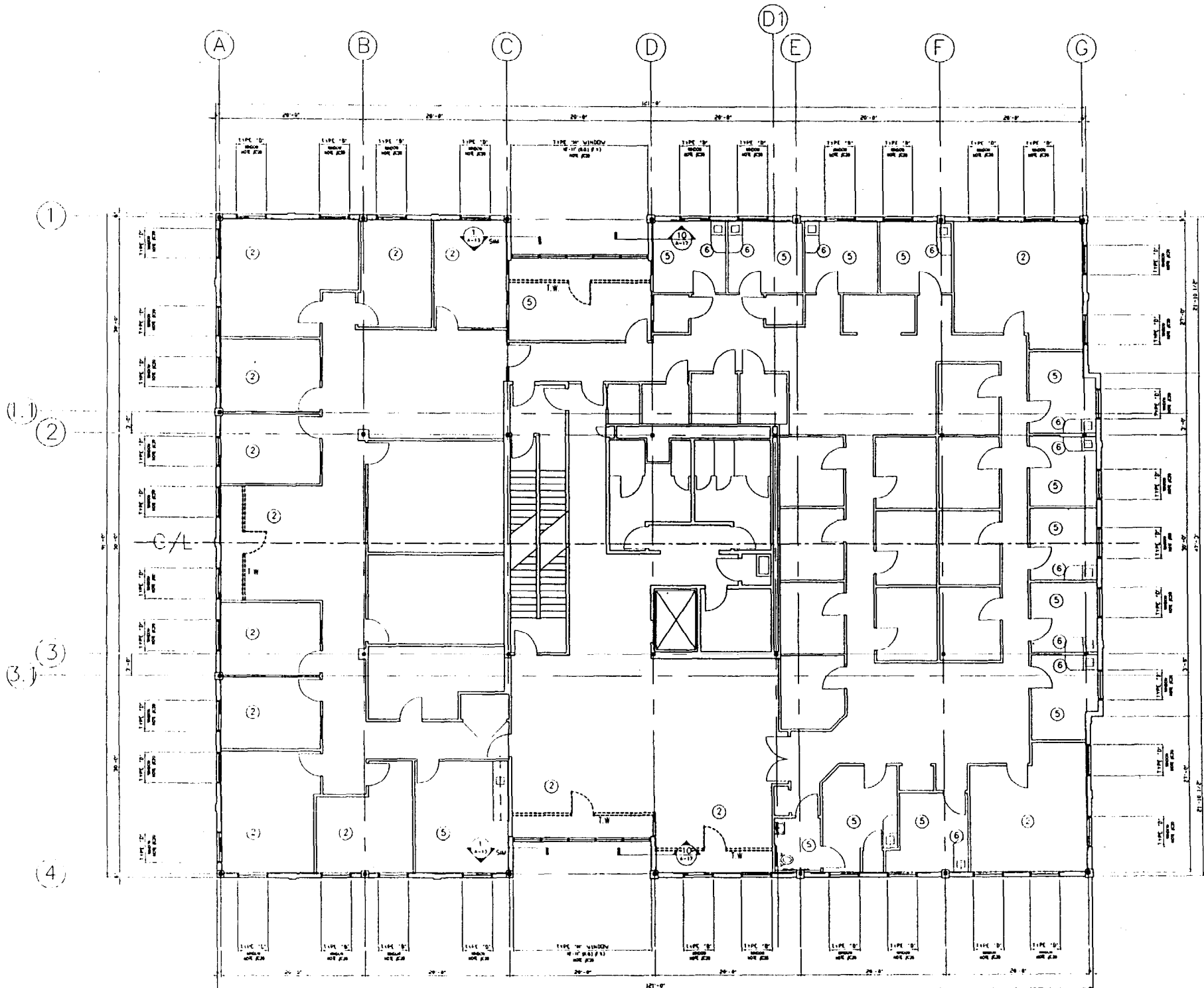
**PARTIAL LEGEND:**

- INDICATES NEW CONSTRUCTION - SEE DETAILS & WALL SECTIONS
- - - - - INDICATES NEW TEMPORARY WALL & DOOR.
  - WALL CLEARANCE FROM FACE OF EXTERIOR WALL TO FACE OF TEMP. WALL = 3'-0" MIN (TYPICAL)
  - WALL CONSTRUCTION: 1/2" GYPSUM BOARD EACH SIDE OF 2 X 4 (24" O.C.) WOOD STUDS - FLOOR TO BOTTOM OF DECK ABOVE. DUCT TAPE ALL JOINTS (NO PAINT). PROVIDE SILL SEALER WHERE WALL ABUTS TO FLOOR, WALLS AND BOTTOM OF DECK. REMOVE EXISTING CEILING FROM NEW TEMP. WALL TO EXISTING EXTERIOR WALL. REPLACE EXISTING CEILING AS REQUIRED WHEN TEMP. WALL IS REMOVED. SEAL (FOR SOUND) AROUND ALL EXISTING BEAMS AND JOIST WHERE TEMP. WALL CONTIGUES UP TO BOTTOM OF DECK.
  - TEMPORARY DOOR: 306B PRE-HUNG, EXTERIOR FLUSH STEEL DOOR & FRAME WITH WEATHERSTRIPPING AND METAL THRESHOLD. PASSAGE SET REQUIRED. DOOR(S) MAY BE REUSED AT OTHER TEMP. WALL LOCATIONS AS REQUIRED.

**CONSTRUCTION NOTES**

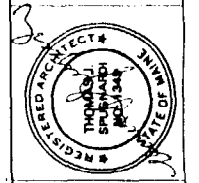
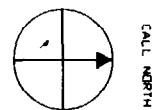
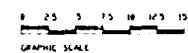
- SEE EXTERIOR ELEVATIONS ON SHEETS A-5 THRU A-8 FOR NOTE IDENTIFICATIONS
- C1. REMOVE ALL (AND ALL SIDES AND STRUCTURES ON ROOF) EXISTING EXTERIOR CLAPBOARDS
  - C2. REMOVE ALL (EXTERIOR WALLS) EXISTING CDX PLYWOOD AND BUILDING WRAP (UNLESS OTHERWISE NOTED)
  - C3. REMOVE ALL (EXTERIOR WALLS) FIBERGLASS INSULATION
  - C4. REMOVE ALL (EXTERIOR WALLS) (1ST, 2ND, & 3RD FLOORS) WOOD WINDOWS/DOORS INCLUDING WINDOW WALLS
  - C5. UNIT COST. REMOVE AS REQUIRED ANY DAMAGED AND/OR MILDEWED/MOLD INFECTED GYPSUM BOARD (EXTERIOR WALLS) AND POLY VAPOR BARRIER
  - C6. REMOVE ALL (EXTERIOR WALLS) HORIZONTAL AND VERTICAL WOOD (EDGE BANDED) PLYWOOD TRIM, HUT FASCIA TRIM AROUND PITCH ROOF
  - C7. REMOVE ALL (EXTERIOR WALLS) WOOD WATER TABLE TRIM
  - C8. REMOVE ALL (EXTERIOR WALLS) ASSOCIATED METAL FLASHINGS
  - C9. REMOVE ALL (EXTERIOR WALLS) EXTERIOR CORNER WOOD BULLNOSE TRIM
  - C10. PRIOR TO INSTALLATION OF NEW MATERIALS ALL SURFACES CONTAMINATED WITH MOLD/MILDEW SHALL BE CLEANED AND DISINFECTED AS SPECIFIED.
  - C11. UNIT COST. INSTALL AS REQUIRED NEW 6 MIL POLY. VAPOR BARRIER AND 1/2" GYPSUM BOARD (PAINT 3 COATS) TO MATCH EXISTING ADJACENT SURFACES)
  - C12. INSTALL NEW 6" FIBERGLASS INSULATION (ALL EXTERIOR WALLS) (SEE WALL SECTIONS ON SHEETS A-13 TO A-17)
  - C13. INSTALL NEW 1/2" CDX PLYWOOD (ALL EXTERIOR WALLS) (SEE WALL SECTIONS ON SHEETS A-13 TO A-17)
  - C14. INSTALL NEW 15# FELT BUILDING PAPER (& ICE AND WATER SHIELD AS INDICATED ON DETAILS) ON NEW 1/2" CDX PLYWOOD (ALL EXTERIOR WALLS) (SEE WALL SECTIONS ON SHEETS A-13 TO A-17)
  - C15. INSTALL NEW METAL FLASHINGS AND COUNTER FLASHINGS AS INDICATED ON DETAILS (ALL EXTERIOR WALLS) (SEE WALL SECTIONS ON SHEETS A-13 TO A-17)
  - C16. INSTALL NEW HORIZONTAL & VERTICAL FIBER-CEMENT TRIM (ALL EXTERIOR WALLS) (SEE WALL SECTIONS ON SHEETS A-13 TO A-17)
  - C17. INSTALL NEW WOOD WATER TABLE TRIM (ALL EXTERIOR WALLS) (SEE WALL SECTIONS ON SHEETS A-13 TO A-17)
  - C18. INSTALL NEW EXTERIOR CORNER WOOD BULLNOSE TRIM (ALL EXTERIOR WALLS) (SEE WALL SECTIONS ON SHEETS A-13 TO A-17)
  - C19. INSTALL NEW FIBER-CEMENT CLAPBOARDS (4" TO WEATHER) (FACTORY PRIMED/PAINTED) (ALL EXTERIOR WALLS) (SEE WALL SECTIONS ON SHEETS A-13 TO A-17)
  - C20. INSTALL NEW FIXED WINDOWS AND DOORS (1ST, 2ND, & 3RD FLOORS) (ALL EXTERIOR WALLS) (SEE WINDOW TYPE ELEVATIONS ON SHEETS A-9 & A-10 AND WALL SECTIONS ON SHEETS A-13 TO A-17)

NOTE: AT NEW TYPE "D" WINDOW - EXISTING WINDOW RUAHA OPENING IS 4'-2 1/4" WIDE X 6'-10 7/8" HIGH - TO BE FIELD VERTICAL.



**SECOND FLOOR PLAN - ARCHITECTURAL**

SCALE: 1/8" = 1'-0"



**Thomas J. Spugnardi**  
ARCHITECT

• Programming  
• Code Analysis  
• Consulting  
• Design

Poland Springs, ME 04274  
14 Bishop Road

EXTERIOR WALL ALTERATIONS  
STROUD WATER CROSSING  
1665 CONGRESS STREET  
PORTLAND, MAINE

SECOND FLOOR PLAN - ARCHITECTURAL

DATE: 04-14-2006  
BY: [Signature]  
SCALE: AS NOTED

99-130

**A-2**

OF 15

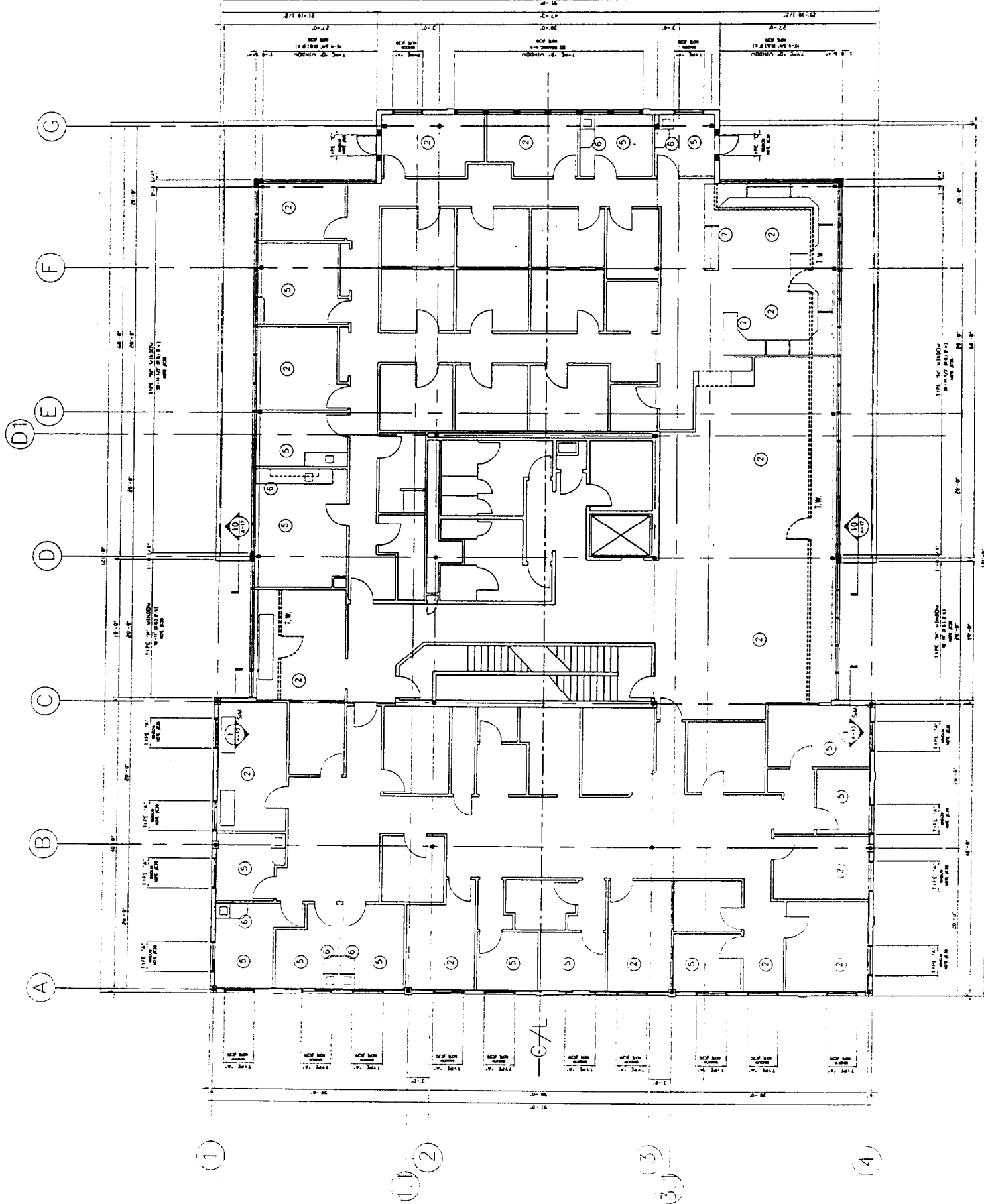
REVISIONS

**EXISTING ROOM FINISHES**

- ① QUARRY TILE FLOOR, WOOD BASE, GYPSUM BOARD WALLS (PAINTED) & SUSP. ACOUSTICAL CEILING
- ② CARPET, VINYL BASE, GYPSUM BOARD WALLS (PAINTED) & SUSP. ACOUSTICAL CEILING
- ③ CARPET, WOOD BASE, GYPSUM BOARD WALLS (PAINTED) & SUSP. ACOUSTICAL CEILING
- ④ SHEET VINYL, WOOD BASE, GYPSUM BOARD WALLS (PAINTED) & SUSP. ACOUSTICAL CEILING
- ⑤ VINYL COMPOSITION TILE, WOOD BASE, GYPSUM BOARD WALLS (PAINTED) & SUSP. ACOUSTICAL CEILING

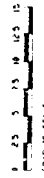
- ⑥ EXISTING BASE, WALL CABINETS, ASSOCIATED PLUMBING, SHELVEING UNITS, COUNTERS, ETC.
- ⑦ EXISTING SYSTEM'S FURNITURE

WHERE WORK NEEDS TO OCCUR WITHIN THE BUILDING IT IS THE CONTRACTOR'S RESPONSIBILITY TO: PROTECT THE EXISTING FLOORING, REMOVE AND REPLACE THE EXISTING BASE, PATCH AND PAINT THE GYPSUM BOARD WALLS, PROVIDE NEW WINDOW & DOOR TRIM (SEE DETAILS), REMOVE AND REINSTALL CEILING AS REQUIRED, REMOVE AND REINSTALL CASEWORK (& ASSOCIATED PLUMBING), ETC., AS REQUIRED.



**THIRD FLOOR PLAN - ARCHITECTURAL**

SCALE: 1/8" = 1'-0"



GRAPHIC SCALE

**GENERAL NOTES:**

1. CONTRACTOR(S) TO VERIFY DRAWINGS (I.E. DIMENSIONS) BEFORE PROCEEDING WITH NEW WORK.
2. CONTRACTOR(S) TO VERIFY EXISTING CONDITIONS AND COORDINATE NEW CONDITIONS WITH EXISTING CONSTRUCTION BEFORE PROCEEDING WITH NEW WORK.
3. CONTRACTOR(S) TO NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN NEW AND EXISTING CONSTRUCTION BEFORE PROCEEDING WITH NEW WORK.
4. ALL WORK SHALL BE DONE IN AN ORDERLY AND PROFESSIONAL MANNER. THE CONTRACTOR(S) SHALL COORDINATE ALL WORK AND PATCH (TO MATCH) ALL AREAS IN THE BUILDING TO MATCH THE PORTION OF THE BUILDING THAT IS TO BE RENOVATED PRIOR TO SUBMITTING BID - CONTRACTOR(S) SHALL VISIT THE PORTION OF THE BUILDING THAT IS TO BE RENOVATED AND OBSERVE ALL EXISTING CONDITIONS INCLUDING AREAS ABOVE CEILING(S).
5. ALL GYPSUM BOARD SHALL BE 1/2" OR AS NOTED ON THE DRAWINGS.
6. THIS BUILDING IS SPRINKLED - NO WORK IS ALLOWED ON THIS SYSTEM.
7. INSTALL ALL MATERIALS PER MFG. RECOMMENDATIONS AND PERFORM WORK TO MEET STANDARD BUILDING PRACTICES THAT ARE ACCEPTABLE TO THE BUILDING TRADE (ALSO SEE SPECIFICATIONS).
8. THE NEW WORK SHALL MEET THE FOLLOWING BUILDING CODES:
  - A. THE BOCA NATIONAL BUILDING CODE/1996
  - B. ANSI/NFPA 70E LIFE SAFETY CODE/1997
  - C. THE CURRENT EDITION OF THE NATIONAL ELECTRICAL CODE
  - D. ALL LOCAL BUILDING CODES
  - E. STATE AND NATIONAL HANDICAP ACCESSIBILITY CODES AND LAWS
9. THE CONTRACTOR(S) SHALL PATCH AND PAINT (TO MATCH) ANY EXISTING CONSTRUCTION THAT IS UNDISTURBED BY NEW CONSTRUCTION.

**PHASING NOTES: SEE SPECIFICATIONS**

**PARTIAL LEGEND:**

INDICATES NEW CONSTRUCTION - SEE DETAILS & WALL SECTIONS

INDICATES NEW TEMPORARY WALL & DOOR

- WALL CLEARANCE FROM FACE OF EXTERIOR WALL TO FACE OF TEMP. WALL - 3'-0" MIN. (TYPICAL)
- WALL CONSTRUCTION: 1/2" GYPSUM BOARD EACH SIDE OF 2 x 4 (2x4 O.C.) WOOD STUDS - FLOOR TO BOTTOM OF DECK ABOVE DOOR TAPE ALL JOINTS (NO PAINT) PROVIDE SILL SEALER WHERE WALL ABUTS TO FLOOR, WALLS AND BOTTOM OF DECK. REMOVE EXISTING CEILING FROM NEW TEMP. WALL TO EXISTING EXTERIOR WALL. REPLACE EXISTING CEILING AS REQUIRED WHEN TEMP. WALL IS REMOVED. SEAL (FOR SOUND) AROUND ALL EXISTING BEAMS AND JOIST WHERE TEMP. WALL CONTIGUES UP TO BOTTOM OF DECK.
- TEMPORARY DOOR: 30x8 PRE-HUNG, EXTERIOR FLUSH STEEL DOOR & FRAME WITH WEATHERSTRIPPING AND METAL THRESHOLD PASSAGE SET REQUIRED. DOOR(S) MAY BE REUSED AT OTHER TEMP. WALL LOCATIONS AS REQUIRED.

**CONSTRUCTION NOTES:**

SEE EXTERIOR ELEVATIONS ON SHEETS A-5 THRU A-8 FOR NOTE IDENTIFICATIONS

- C1. REMOVE ALL (INC. ALL SIDES AND STRUCTURES ON ROOF) EXISTING EXTERIOR CLAPBOARDS
- C2. REMOVE ALL (EXTERIOR WALLS) EXISTING CDX PLYWOOD AND BUILDING WRAP (UNLESS OTHERWISE NOTED)
- C3. REMOVE ALL (EXTERIOR WALLS) FIBERGLASS INSULATION
- C4. REMOVE ALL (EXTERIOR WALLS) (1ST, 2ND, & 3RD FLOORS) WOOD WINDOWS/DOORS INCLUDING WINDOW WALLS
- C5. UNIT COST: REMOVE AS REQUIRED ANY DAMAGED AND/OR MILDED/MOLD INFECTED GYPSUM BOARD (EXTERIOR WALLS) AND POLY VAPOR BARRIER
- C6. REMOVE ALL (EXTERIOR WALLS) HORIZONTAL AND VERTICAL WOOD (EDGE BARRIED) PLYWOOD TRIM, NOT TYPICAL TRIM AROUND PITCH ROOF
- C7. REMOVE ALL (EXTERIOR WALLS) WOOD WATER TABLE TRIM
- C8. REMOVE ALL (EXTERIOR WALLS) ASSOCIATED METAL FLASHINGS
- C9. REMOVE ALL (EXTERIOR WALLS) EXTERIOR CORNER WOOD BALUNGE TRIM
- C10. PRIOR TO INSTALLATION OF NEW MATERIALS ALL SURFACES CONTAMINATED WITH MOLD/MILDEW SHALL BE CLEANED AND DISINFECTED AS SPECIFIED.
- C11. UNIT COST: INSTALL AS REQUIRED NEW 6 MIL POLY VAPOR BARRIER AND 1/2" GYPSUM BOARD. (PAINT (3 COATS) TO MATCH EXISTING ADJACENT SURFACES)
- C12. INSTALL NEW 6" FIBERGLASS INSULATION (ALL EXTERIOR WALLS) (SEE WALL SECTIONS ON SHEETS A-13 TO A-17)
- C13. INSTALL NEW 1/2" CDX PLYWOOD (ALL EXTERIOR WALLS) (SEE WALL SECTIONS ON SHEETS A-13 TO A-17)
- C14. INSTALL NEW 1/8" FELT BUILDING PAPER (8 MIL) AND WATER SHIELD AS INDICATED ON DETAILS OR NEW 1/2" CDX PLYWOOD (ALL EXTERIOR WALLS) (SEE WALL SECTIONS ON SHEETS A-13 TO A-17)
- C15. INSTALL NEW METAL FLASHINGS AND CORNER FLASHINGS AS INDICATED ON DETAILS (ALL EXTERIOR WALLS) (SEE WALL SECTIONS ON SHEETS A-13 TO A-17)
- C16. INSTALL NEW HORIZONTAL & VERTICAL FIBER-CEMENT TRIM (ALL EXTERIOR WALLS) (SEE WALL SECTIONS ON SHEETS A-13 TO A-17)
- C17. INSTALL NEW WOOD WATER TABLE TRIM (ALL EXTERIOR WALLS) (SEE WALL SECTIONS ON SHEETS A-13 TO A-17)
- C18. INSTALL NEW EXTERIOR CORNER WOOD BALUNGE TRIM (ALL EXTERIOR WALLS) (SEE WALL SECTIONS ON SHEETS A-13 TO A-17)
- C19. INSTALL NEW FIBER-CEMENT CLAPBOARDS (4" TO WEATHER) (FACTORY PRIME/PANIELED) (ALL EXTERIOR WALLS) (SEE WALL SECTIONS ON SHEETS A-13 TO A-17)
- C20. INSTALL NEW TYPED WINDOWS AND DOORS (1ST, 2ND, & 3RD FLOORS) (ALL EXTERIOR WALLS) (SEE WINDOW TYPE ELEVATIONS ON SHEETS A-9 & A-10 AND WALL SECTIONS ON SHEETS A-13 TO A-17)

NOTE AT NEW TYPE "A" WINDOW - EXISTING WINDOW ROUGH OPENING IS 4'-2 1/4" WIDE X 5'-10 7/8" HIGH - TO BE FIELD NUMBERED  
 NOTE AT NEW TYPE "C" WINDOW - EXISTING WINDOW ROUGH OPENING IS 4'-4" WIDE X 7'-7 7/8" HIGH - TO BE FIELD NUMBERED



Thomas J. Spugnardi  
 ARCHITECT  
 • Consulting  
 • Design  
 • Programming  
 • Code Analysis

14 Bishop Road

Portland Springs, ME 04274

REVISIONS

DATE: 04-14-2009

BY: JAC

SCALE: AS NOTED

OF 14

A-3

98-130

THIRD FLOOR PLAN - ARCHITECTURAL  
 EXTERIOR WALL ALTERATIONS  
 STROUDWATER CROSSING  
 1685 CONGRESS STREET  
 PORTLAND, MAINE



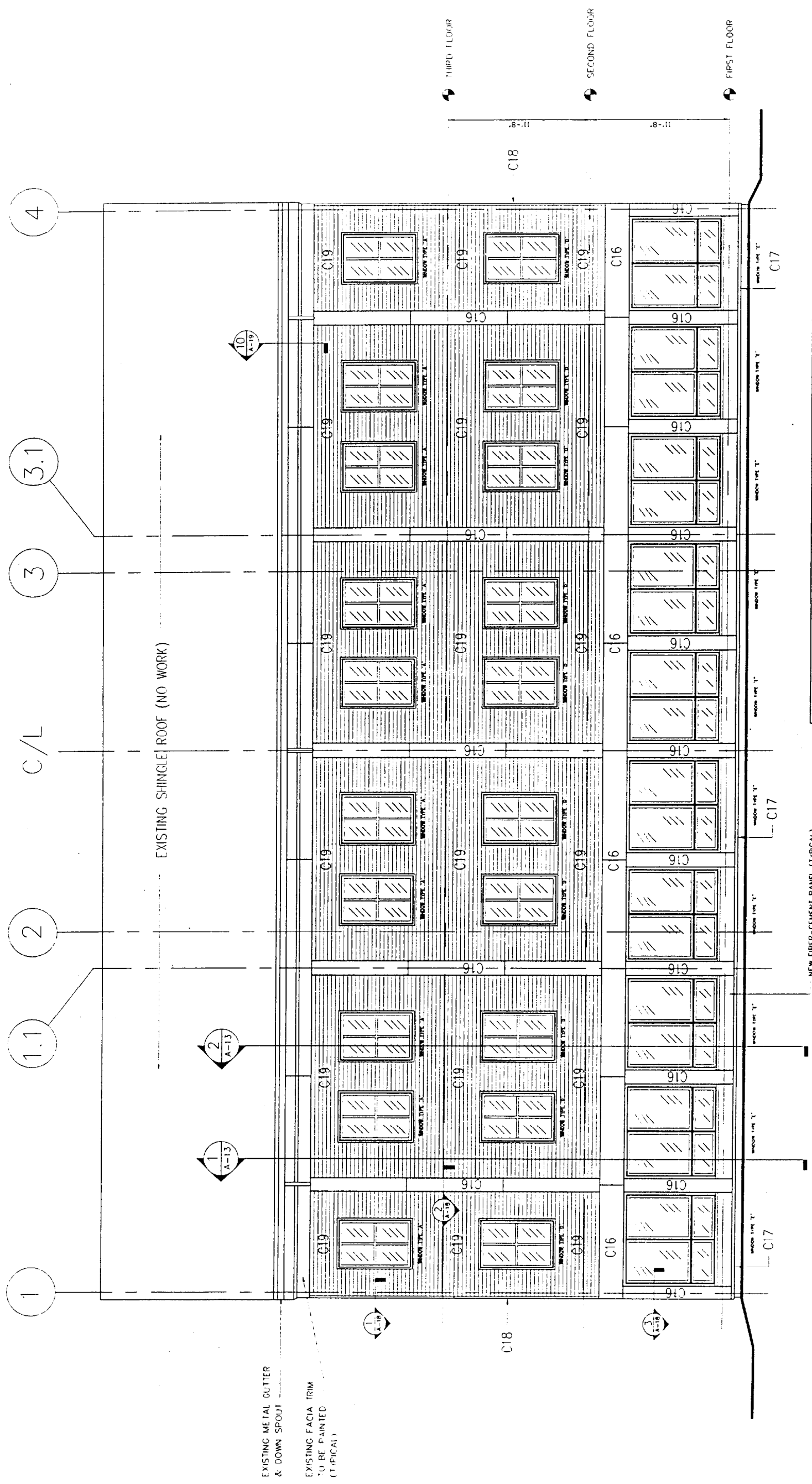
Thomas J. Spugnardi  
ARCHITECT  
• Programming  
• Code Analysis  
• Design  
• Consulting

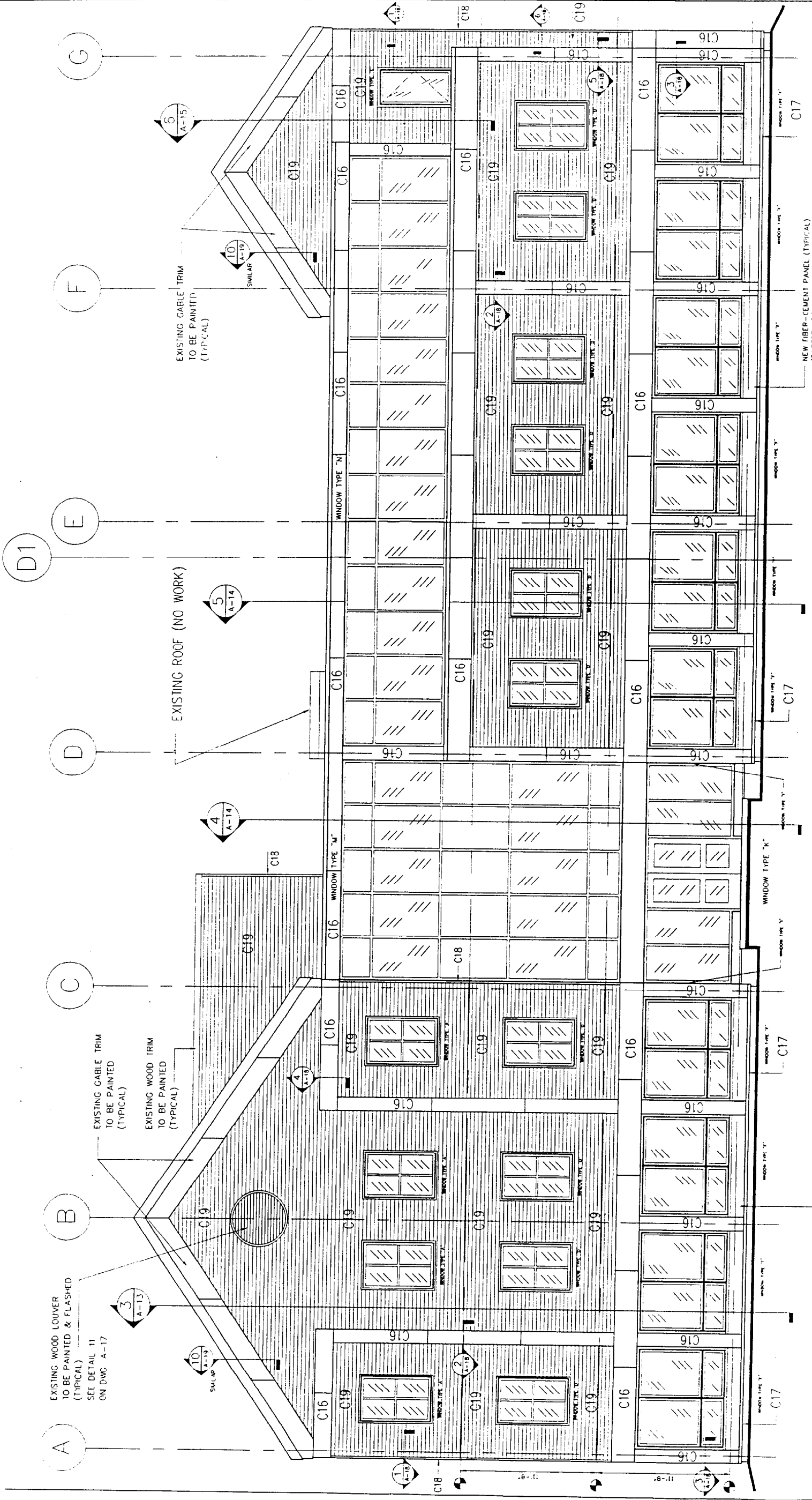
NOTES:  
ALL VERTICAL (UNLESS OTHERWISE DETAILED)  
FIBER-CEMENT TRIM EXTENDS 1 1/4" FROM  
CDX PLYWOOD SHEATHING  
ALL HORIZONTAL (UNLESS OTHERWISE DETAILED)  
FIBER-CEMENT TRIM EXTENDS 1 3/4" FROM  
CDX PLYWOOD SHEATHING  
PROVIDE, BEHIND EACH VERTICAL AND  
HORIZONTAL TRIM PANEL JOINT, CONTINUOUS  
4" WIDE FIBER CEMENT-BLOCKING (THICKNESS  
AS REQUIRED)

EXTERIOR MATERIAL NOTES  
C16. INSTALL NEW HORIZONTAL & VERTICAL FIBER-CEMENT TRIM (ALL EXTERIOR WALLS)  
(SEE WALL SECTIONS ON SHEETS A-13 TO A-17)  
C17. INSTALL NEW WOOD WATER TABLE TRIM (ALL EXTERIOR WALLS)  
(SEE WALL SECTIONS ON SHEETS A-13 TO A-17)  
C18. INSTALL NEW EXTERIOR CORNER WOOD BULLNOSE TRIM (ALL EXTERIOR WALLS)  
(SEE WALL SECTIONS ON SHEETS A-13 TO A-17)  
C19. INSTALL NEW FIBER-CEMENT CLAPBOARDS (4" TO WEATHER) (FACTORY PRIMED/PANIED)  
(ALL EXTERIOR WALLS) (SEE WALL SECTIONS ON SHEETS A-13 TO A-17)  
C20. INSTALL NEW FIXED WINDOWS AND DOORS (1ST, 2ND, & 3RD. FLOORS. (ALL EXTERIOR WALLS)  
(SEE FLOOR PLANS ON SHEETS A-1 TO A-3 & WALL SECTIONS ON SHEETS A-13 TO A-17)

EXTERIOR SOUTH ELEVATION - ARCHITECTURAL

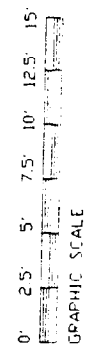
SCALE 1/4" = 1'-0"



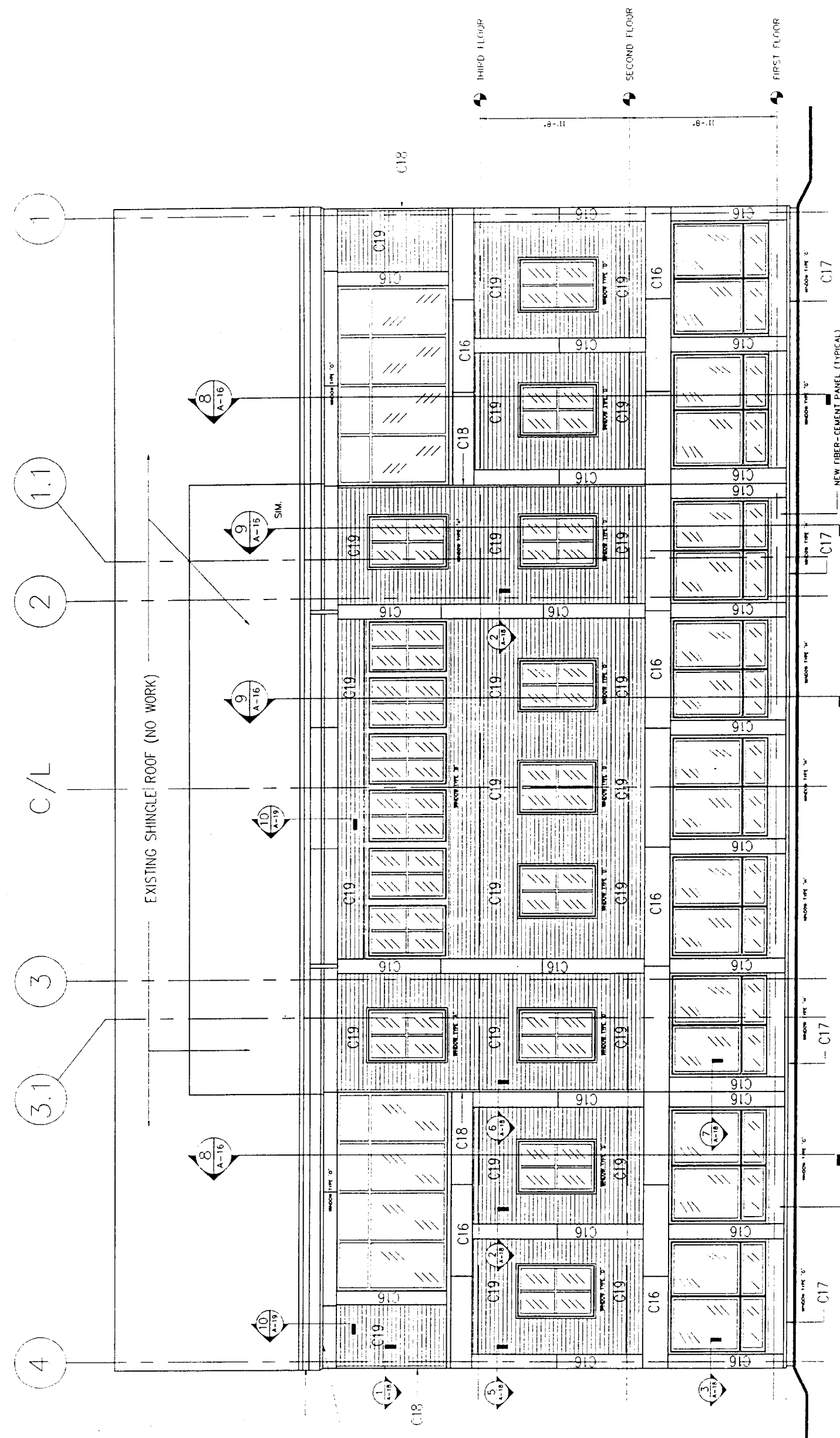


- EXTERIOR MATERIAL NOTES**
- C16. INSTALL NEW HORIZONTAL & VERTICAL FIBER-CEMENT TRIM (ALL EXTERIOR WALLS) (SEE WALL SECTIONS ON SHEETS A-13 TO A-17)
  - C17. INSTALL NEW WOOD WATER TABLE TRIM. (ALL EXTERIOR WALLS) (SEE WALL SECTIONS ON SHEETS A-13 TO A-17)
  - C18. INSTALL NEW EXTERIOR CORNER WOOD BULLNOSE TRIM. (ALL EXTERIOR WALLS) (SEE WALL SECTIONS ON SHEETS A-13 TO A-17)
  - C19. INSTALL NEW FIBER-CEMENT CLAPBOARDS (4" TO WEATHER) (FACTORY PRIMED/PAINED) (ALL EXTERIOR WALLS) (SEE WALL SECTIONS ON SHEETS A-13 TO A-17)
  - C20. INSTALL NEW FIXED WINDOWS AND DOORS (1ST., 2ND., & 3RD. FLOORS. (ALL EXTERIOR WALLS) (SEE FLOOR PLANS ON SHEETS A-1 TO A-3 & WALL SECTIONS ON SHEETS A-13 TO A-17)
- NOTES:**
- ALL VERTICAL (UNLESS OTHERWISE DETAILED) FIBER-CEMENT TRIM EXTENDS 1 1/4" FROM CDX PLYWOOD SHEATHING.
  - ALL HORIZONTAL (UNLESS OTHERWISE DETAILED) FIBER-CEMENT TRIM EXTENDS 1 3/4" FROM CDX PLYWOOD SHEATHING.
  - PROVIDE, BEHIND EACH VERTICAL AND HORIZONTAL TRIM PANEL JOINT, CONTINUOUS 4" WIDE FIBER CEMENT BLOCKING (THICKNESS AS REQUIRED)

EXTERIOR EAST ELEVATION - ARCHITECTURAL  
SCALE: 1/4" = 1'-0"



GRAPHIC SCALE



**NOTES:**

- ALL VERTICAL (UNLESS OTHERWISE DETAILED) FIBER-CEMENT TRIM EXTENDS 1 1/4" FROM CDX PLYWOOD SHEATHING
- ALL HORIZONTAL (UNLESS OTHERWISE DETAILED) FIBER-CEMENT TRIM EXTENDS 1 7/4" FROM CDX PLYWOOD SHEATHING
- PROVIDE, BEHIND EACH VERTICAL AND HORIZONTAL TRIM PANEL JOINT, CONTINUOUS 4" WIDE FIBER CEMENT BLOCKING (THICKNESS AS REQUIRED)

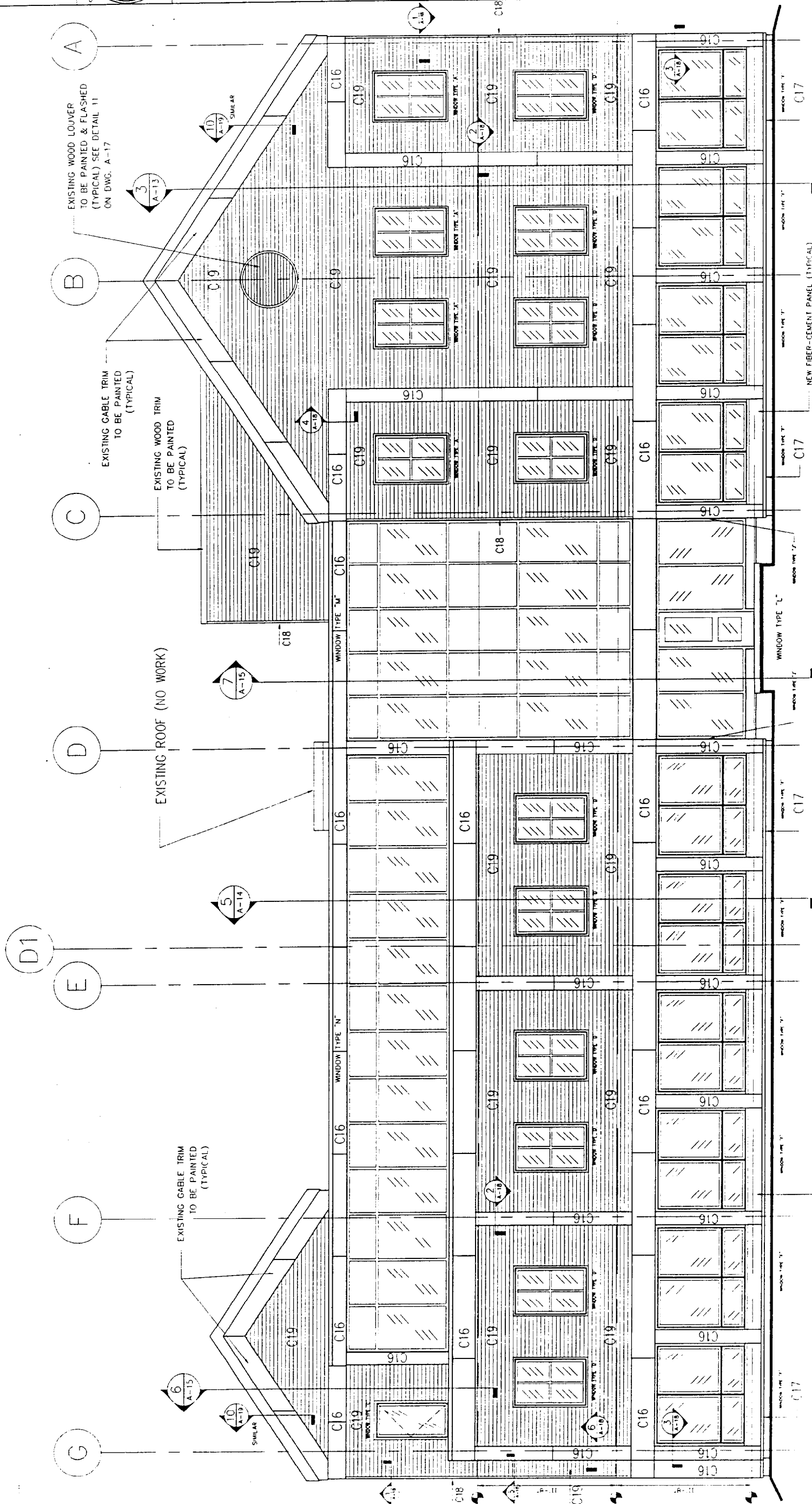
**EXTERIOR MATERIAL NOTES**

- C16. INSTALL NEW HORIZONTAL & VERTICAL FIBER-CEMENT TRIM. (ALL EXTERIOR WALLS) (SEE WALL SECTIONS ON SHEETS A-13 TO A-17)
- C17. INSTALL NEW WOOD WATER TABLE TRIM (ALL EXTERIOR WALLS) (SEE WALL SECTIONS ON SHEETS A-13 TO A-17)
- C18. INSTALL NEW EXTERIOR CORNER WOOD BULLNOSE TRIM. (ALL EXTERIOR WALLS) (SEE WALL SECTIONS ON SHEETS A-13 TO A-17)
- C19. INSTALL NEW FIBER-CEMENT CLAPBOARDS (4" TO WEATHER) (FACTORY PRIMED/PAINTED) (ALL EXTERIOR WALLS) (SEE WALL SECTIONS ON SHEETS A-13 TO A-17)
- C20. INSTALL NEW FIXED WINDOWS AND DOORS (1ST., 2ND., & 3RD. FLOORS. (ALL EXTERIOR WALLS) (SEE FLOOR PLANS ON SHEETS A-1 TO A-3 & WALL SECTIONS ON SHEETS A-13 TO A-17)

EXTERIOR NORTH ELEVATION - ARCHITECTURAL

SCALE: 1/4" = 1'-0"  
0' 2.5' 5' 7.5' 10' 12.5' 15'  
GRAPHIC SCALE





**NOTES:**  
ALL VERTICAL (UNLESS OTHERWISE DETAILED) FIBER-CEMENT TRIM EXTENDS 1 1/4" FROM CDX PLYWOOD SHEATHING.  
ALL HORIZONTAL (UNLESS OTHERWISE DETAILED) FIBER-CEMENT TRIM EXTENDS 1 3/4" FROM CDX PLYWOOD SHEATHING.  
PROVIDE, BEHIND EACH VERTICAL AND HORIZONTAL TRIM PANEL JOINT, CONTINUOUS 4" WIDE FIBER CEMENT BLOCKING (THICKNESS AS REQUIRED).

**EXTERIOR MATERIAL NOTES**  
C16 INSTALL NEW HORIZONTAL & VERTICAL FIBER-CEMENT TRIM (ALL EXTERIOR WALLS) (SEE WALL SECTIONS ON SHEETS A-13 TO A-17)  
C17 INSTALL NEW WOOD WATER TABLE TRIM (ALL EXTERIOR WALLS) (SEE WALL SECTIONS ON SHEETS A-13 TO A-17)  
C18 INSTALL NEW EXTERIOR CORNER WOOD BULLNOSE TRIM (ALL EXTERIOR WALLS) (SEE WALL SECTIONS ON SHEETS A-13 TO A-17)  
C19 INSTALL NEW FIBER-CEMENT CLAPBOARDS (4" TO WEATHER) (FACTORY PRIMED/PAINTED) (ALL EXTERIOR WALLS) (SEE WALL SECTIONS ON SHEETS A-13 TO A-17)  
C20 INSTALL NEW FIXED WINDOWS AND DOORS (1ST, 2ND, & 3RD. FLOORS. (ALL EXTERIOR WALLS) (SEE FLOOR PLANS ON SHEETS A-1 TO A-3 & WALL SECTIONS ON SHEETS A-13 TO A-17)

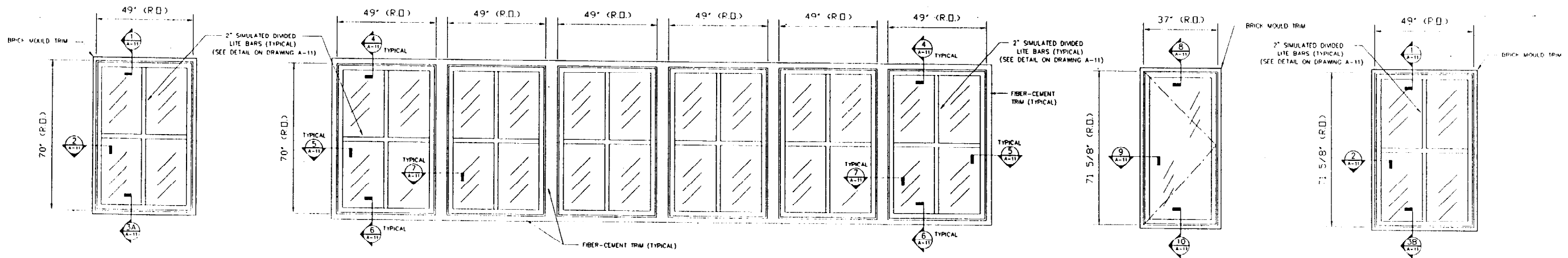
NEW FIBER-CEMENT PANEL (TYPICAL)  
(FACTORY PRIMED/PAINTED)

EXTERIOR WEST ELEVATION - ARCHITECTURAL

SCALE: 1/4" = 1'-0"



GRAPHIC SCALE



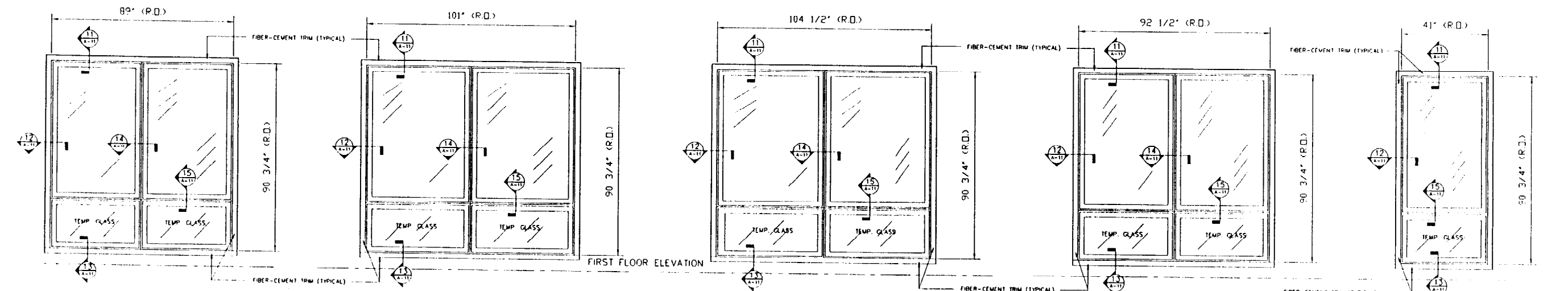
THIRD FLOOR ELEVATION  
 THIRD FLOOR ELEVATION  
 THIRD FLOOR ELEVATION  
 SECOND FLOOR ELEVATION

WINDOW TYPE "A"  
 CAWNP4870 (CUSTOM)  
 (20 UNITS)

CAWNP4870 (CUSTOM)  
 CAWNP4870 (CUSTOM)  
 CAWNP4870 (CUSTOM)  
 CAWNP4870 (CUSTOM)  
 CAWNP4870 (CUSTOM)  
 CAWNP4870 (CUSTOM)  
 WINDOW TYPE "B"  
 (1 UNIT)

WINDOW TYPE "C"  
 CCM3672  
 (2 UNITS) (1R, 1L)

WINDOW TYPE "D"  
 CAWNP4872  
 (39 UNITS)



FIRST FLOOR ELEVATION  
 FIRST FLOOR ELEVATION  
 FIRST FLOOR ELEVATION  
 FIRST FLOOR ELEVATION  
 FIRST FLOOR ELEVATION

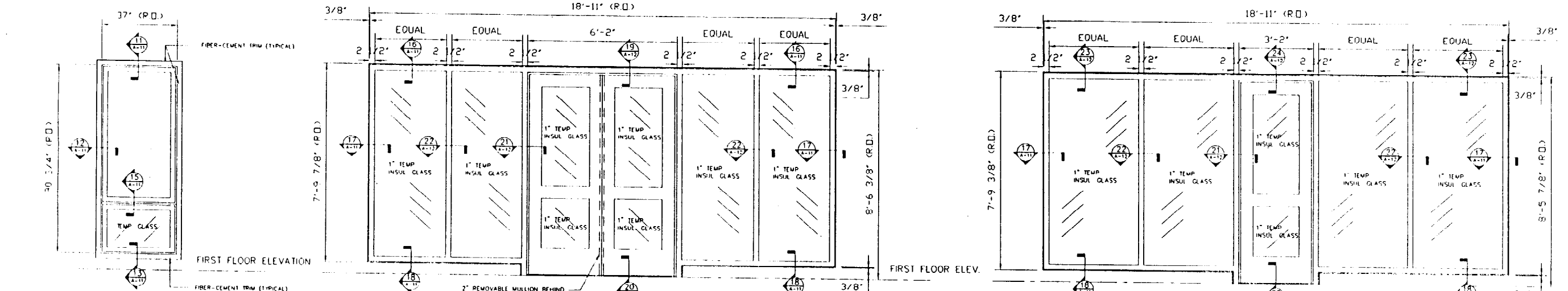
WINDOW TYPE "E"  
 CCMP4472 - 2 (ALL FIXED)  
 CAWNP4420 - 2 (ALL FIXED)  
 (10 UNITS)

WINDOW TYPE "F"  
 CCMP5072 - 2 (ALL FIXED)  
 CAWNP5020 - 2 (ALL FIXED)  
 (20 UNITS)

WINDOW TYPE "G"  
 CCMP52.25 72 - 2 (ALL FIXED)  
 CAWNP52.25 20 - 2 (ALL FIXED)  
 (4 UNITS)

WINDOW TYPE "H"  
 CCMP45.75 72 - 2 (ALL FIXED)  
 CAWNP45.75 20 - 2 (ALL FIXED)  
 (5 UNITS)

WINDOW TYPE "I"  
 CCMP4072 - (FIXED)  
 CAWNP4020 - (FIXED)  
 (2 UNITS)



FIRST FLOOR ELEVATION  
 FIRST FLOOR ELEVATION  
 FIRST FLOOR ELEVATION

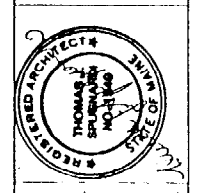
WINDOW TYPE "J"  
 CCM3672 - (FIXED)  
 CAWNP3620 - (FIXED)  
 (2 UNITS)

WINDOW TYPE "K"  
 (AS SHOWN)  
 ALUMINUM CURTAIN WALL SYSTEM W/DOOR  
 (1 UNIT)

WINDOW TYPE "L"  
 (AS SHOWN)  
 ALUMINUM CURTAIN WALL SYSTEM W/DOOR  
 (1 UNIT)

NOTE:  
 ALL DIMENSIONS ARE TO BE FIELD VERIFIED BEFORE SHOP DRAWING SUBMISSION AND NOTED AS SUCH ON THE SHOP DRAWINGS.  
 CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY SIGNIFICANT DISCREPANCIES

WIND LOAD DESIGN:  
 ALL WINDOWS ARE TO BE DESIGNED FOR A WIND LOAD OF 30 MPH.  
 WINDOW MANUFACTURERS ARE RESPONSIBLE FOR ALL REQUIRED REINFORCING, BRACING AND CLIPS



**Thomas J. Spugnardi**  
 ARCHITECT

• Programming  
 • Code Analysis

• Consulting  
 • Design

Poland Springs, ME 04274  
 114 Bishop Road

REVISIONS

NO.	DATE	DESCRIPTION

EXTERIOR WALL ALTERATIONS  
 STROUDWATER CROSSING  
 1685 CONGRESS STREET  
 PORTLAND, MAINE

WINDOW TYPES - ARCHITECTURAL

SCALE: 1/2" = 1'-0"  
 DATE: 04-14-2000  
 BY: TJS



EXTERIOR WALL ALTERATIONS  
STROUD WATER CROSSING  
1685 CONGRESS STREET  
PORTLAND, MAINE

WINDOW TYPES - ARCHITECTURAL

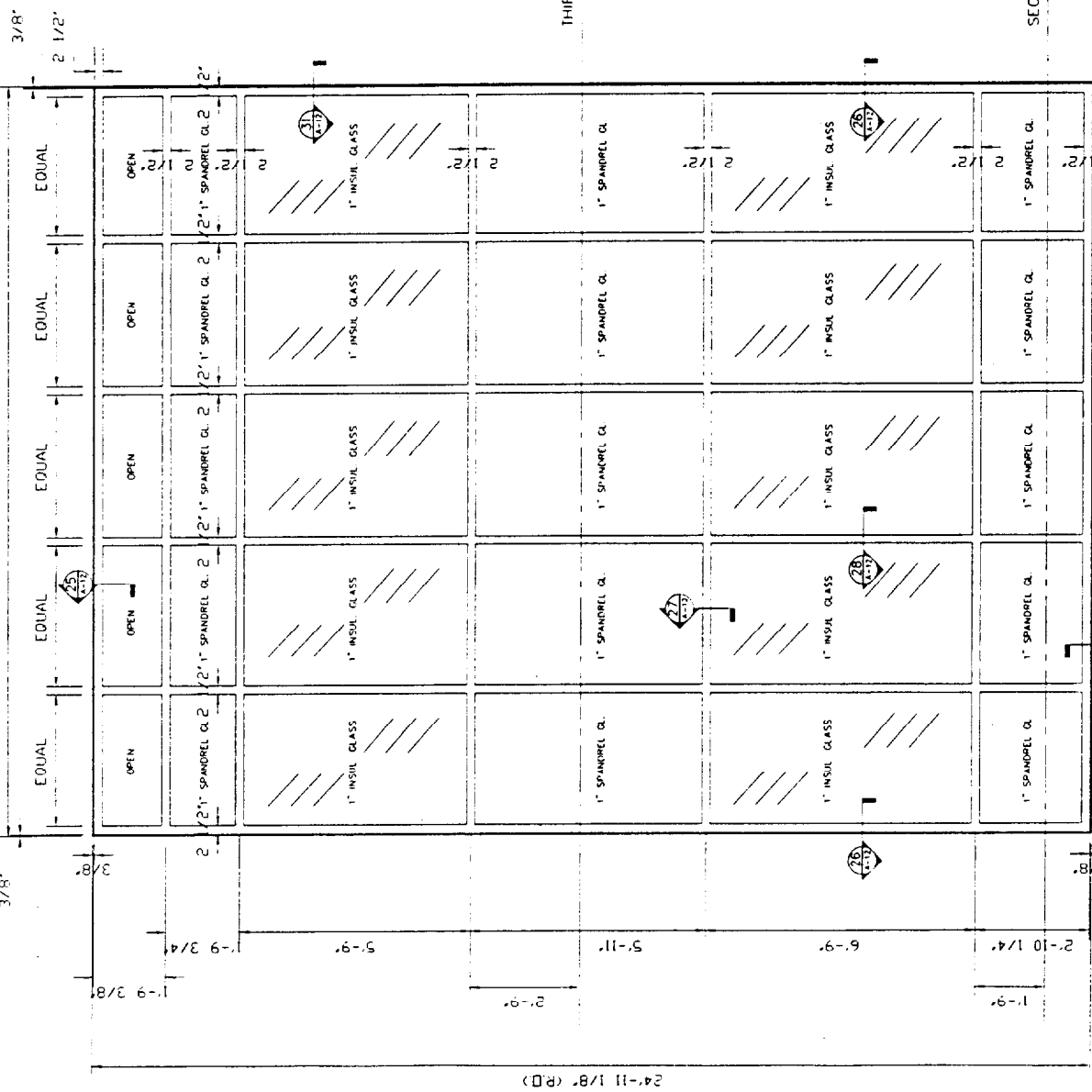
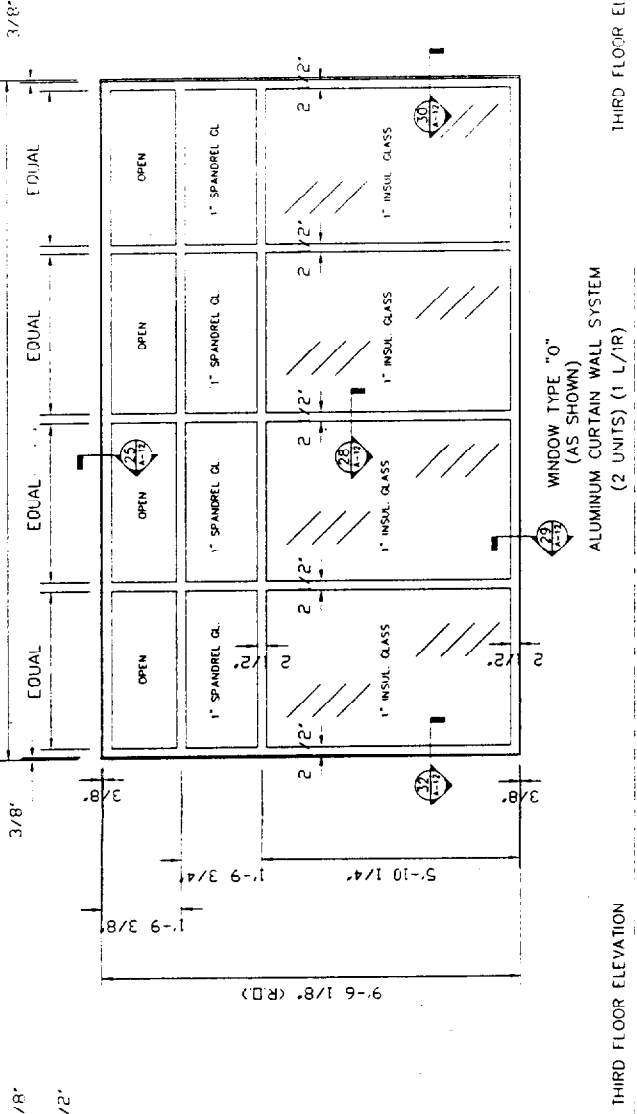
SCALE: 1/8" = 1'-0" BY: TJS

DATE: 04-14-2000

REVISIONS

1 Bishop Road  
Portland Spring, ME 04274

Thomas J. Spugnardi  
ARCHITECT  
• Programming  
• Code Analysis  
• Design  
• Consulting



NOTE:  
ALL DIMENSIONS ARE TO BE FIELD VERIFIED BEFORE SHOP DRAWING SUBMISSION AND NOTED AS SUCH ON THE SHOP DRAWINGS.  
CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY SIGNIFICANT DISCREPANCIES

WIND LOAD DESIGN  
ALL WINDOWS ARE TO BE DESIGNED FOR A WIND LOAD OF 30 MPH.  
WINDOW MANUFACTURERS ARE RESPONSIBLE FOR ALL REQUIRED REINFORCING, BRACING AND CUPS

