

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 080935

ISSUED

CITY OF PORTLAND

This is to certify that Macleod Ian/Hildreth & W

has permission to New Single Family Home 2 1/2 stories, 3 Bedrooms, 1 1/2 Bath

AT 15 CAPTAINS LANDING Lot 26

PL 218 B056001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or service is closed-in. 4 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

9/2/08 *CLM*

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

Scanned

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0935	Issue Date: <i>9/2/08</i>	CBL: 218 B056001
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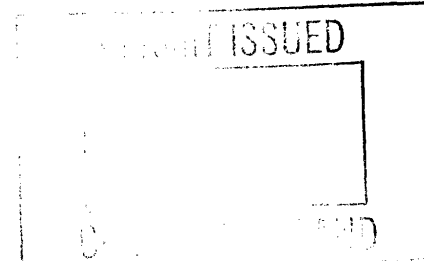
Location of Construction: 15 CAPTAINS LANDING Lot 26	Owner Name: Macleod Ian	Owner Address: 6 Twin Knoll	Phone: 207-831-5384
Business Name:	Contractor Name: Hildreth & White	Contractor Address: PO Box 8433 Portland	Phone: 2076717591
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: <i>C-8(R)</i>

Past Use: Vacant Land lot #26	Proposed Use: Single Family - New Single Family Home 2 floors, 3 Bedrooms, & 1 1/2 Bath	Permit Fee: \$1,695.00	Cost of Work: \$160,000.00	CEO District: 3
FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: <i>R-3</i> Type: <i>SB</i> <i>JLL-2007</i>		

Proposed Project Description: New Single Family Home 2 floors, 3 Bedrooms, & 1 1/2 Bath	Signature:	Signature: <i>CL 9/2/08</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: Idobson	Date Applied For: 07/28/2008	Zoning Approval	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input checked="" type="checkbox"/> Shoreland <i>within 200' setback put beyond 75' setback</i></p> <p><input type="checkbox"/> Wetland <i>N/A</i></p> <p><input type="checkbox"/> Flood Zone <i>per 12-200X</i></p> <p><input type="checkbox"/> Subdivision</p> <p><input checked="" type="checkbox"/> Site Plan <i>200X</i></p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/></p> <p><i>OK w/ conditions</i> Date: <i>8/12/08</i> <i>AM</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p>Historic Preservation <i>yes</i></p> <p><input type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input checked="" type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>8/20/08</i> <i>D. Andrews</i></p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0935	Date Applied For: 07/28/2008	CBL: 218 B056001
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Location of Construction: 15 CAPTAINS LANDING Lot 26	Owner Name: Macleod Ian	Owner Address: 6 Twin Knoll	Phone: 207-831-5384
Business Name:	Contractor Name: Hildreth & White	Contractor Address: PO Box 8433 Portland	Phone: (207) 671-7591
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family - New Single Family Home 2 floors, 3 Bedrooms, & 1½ Bath	Proposed Project Description: New Single Family Home 2 floors, 3 Bedrooms, & 1½ Bath
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Dept: Historic **Status:** Approved with Conditions **Reviewer:** Deborah Andrews **Approval Date:** 08/20/2008
Note: **Ok to Issue:**

- 1) * Vegetated buffer zone must be maintained to limit visibility of rear of building.

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 08/12/2008
Note: **Ok to Issue:**

- 1) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 09/02/2008
Note: **Ok to Issue:**

- 1) All walls and ceiling in garage must meet 1 HR. Rated assembly
- 2) The attic scuttle opening must be 22" x 30".
- 3) There must be a 2" clearance maintained between the chimney and any combustible material, with draft stopping per code at each level
- 4) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 5) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.
- 6) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 7) Frost protection must be installed per the enclosed detail as discussed w/owner/contractor.
- 8) Separate permits are required for any electrical, plumbing, or HVAC systems.
Separate plans may need to be submitted for approval as a part of this process.

Dept: Fire **Status:** **Reviewer:** Capt Greg Cass **Approval Date:**
Note: N/A - Capt Cass does not review single family dwellings **Ok to Issue:**

Dept: DRC **Status:** Approved with Conditions **Reviewer:** Philip DiPierro **Approval Date:** 08/19/2008
Note: **Ok to Issue:**

Location of Construction: 15 CAPTAINS LANDING Lot 26	Owner Name: Macleod Ian	Owner Address: 6 Twin Knoll	Phone: 207-831-5384
Business Name:	Contractor Name: Hildreth & White	Contractor Address: PO Box 8433 Portland	Phone: (207) 671-7591
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

- 1) The limits of allowable clearing shall be clearly marked with flagging or temporary fencing. Absolutely no clearing is to take place within, or encroach into the "do not disturb/no cut" zone. All conditions listed in the approved subdivision plan, as they relate to this lot shall be followed.
- 2) Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily.
- 3) All Site Work will conform to the City of Portland ordinance on Shoreland Regulations (Division 26).
- 4) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 5) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Services must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 6) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 7) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 8) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.

Comments:

8/11/2008-amachado: Spoke to Dan White at Hildreth & White. Need a revised siteplan that locates the 12' x 9' turnaround beyond the front property line. Moving permit forward in the system .

8/12/2008-amachado: Rceived revised siteplan.

8/20/2008-gg: received permit from historic as of 8/20/08.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>LOT 26 RIVERS EDGE - Captain's Landing</u>		
Total Square Footage of Proposed Structure/Area <u>1980</u>		Square Footage of Lot <u>17,114</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>218 B 26</u>	Applicant *must be owner, Lessee or Buyer* Name <u>IAN MACLEOD</u> Address <u>6 TWIN KNOLLS LN</u> City, State & Zip <u>PORTLAND, ME 04102</u>	Telephone: <u>831-5384</u>
Lessee/DBA (if Applicable) <u>JUL 28 2008</u>	Owner (if different from Applicant) Name <u>STROUDWATER FARM ASSOC.</u> Address <u>147 DEEPWOOD</u> City, State & Zip <u>PORTLAND, ME 04103</u>	Cost Of Work: \$ <u>160,000.-</u> C of O Fee: \$ <u>75.-</u> Total Fee: \$ <u>1595</u>
Current legal use (i.e. single family) <u>NONE - VACANT</u> If vacant, what was the previous use? <u>NONE</u> Proposed Specific use: <u>RESIDENTIAL</u> Is property part of a subdivision? <u>YES</u> If yes, please name <u>RIVERS EDGE</u> Project description: <u>NEW SINGLE FAMILY RESIDENCE</u> <u>2 FLOORS - 3 BEDROOMS, 1 1/2 BATHROOM</u>		
Contractor's name: <u>Hildreth & White</u> Address: <u>PO BOX 8433</u> City, State & Zip <u>PORTLAND, ME 04104</u> Telephone: <u>671-7591</u> Who should we contact when the permit is ready: <u>DAN WHITE</u> Telephone: <u>671-7591</u> Mailing address: <u>P.O. BOX 8433 PORTLAND, ME 04104</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Its President Date: 7/28/08

This is not a permit; you may not commence ANY work until the permit is issued.

McCool Res. # 08005
 Lot 26 river edge

ONE AND TWO FAMILY	PLAN REVIEW		CHECKLIST	
Soil type/Presumptive Load Value (Table R401.4.1)				
Component	Submitted Plan	Findings	Revisions	Date
STRUCTURAL				
Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	EX16	48 on Garage 8 on House		
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)			not shown	*
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	N/A			
Anchor Bolts/Straps, spacing (Section R403.1.6)				
Lally Column Type (Section R407)		3 1/2" 9-5 MAX span		
Girder & Header Spans (Table R 502.5(2))	3/2X12			
Built-Up Wood Center Girder Dimension/Type	3/2X12			
Sill/Band Joist Type & Dimensions	2X10			
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))		2X10 16 O.C.		
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))		Floor trusses	Need specs	
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))		2X8 16 O.C.		

Type of Heating System		
Means of Egress (Sec R311 & R312) Basement Number of Stairways Interior 1 Exterior 1 Day light Treads and Risers (Section R311.5.3) Width (Section R311.5.1) 36" Headroom (Section R311.5.2) 6'-8" Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)	7 1/4" max 10" min ✓ ✓ ✓ ✓ 6'-8" ✓	
Smoke Detectors (Section R313) Location and type/Interconnected	Hard wired every level all bedrooms	
Draftstopping (Section R502.12) and Fireblocking (Section (R602.8)	not shown	
Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)	5/8" gage	
Deck Construction (Section R502.2.1)		

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	10/12 ✓	
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))		
Fastener Schedule (Table R602.3(1) & (2))	JLC - 2003	
Private Garage (Section R309) Living Space ? (Above or beside)	✓	
Fire separation (Section R309.2)	walls + Ceiling 5/8"	
Opening Protection (Section R309.1)	yes ✓	
Emergency Escape and Rescue Openings (Section R310)	✓	
Roof Covering (Chapter 9)	✓	
Safety Glazing (Section R308)	#9 window	
Attic Access (Section R807)	20x30	
Chimney Clearances/Fire Blocking (Chap. 10)	2"	
Header Schedule (Section 502.5(1) & (2))	✓	
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	R-19 R-29	

Applicant: Ian MacLeod

Date: 8/11/08

Address: 15 Captain's Landing (lot 26)

C-B-L: 218-B-56
permit # 08-0535

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

Zone Location - C-8 (using R-3 zone)

Interior or corner lot -

Proposed Use/Work - build new 2 story, single family home w/ attached garage

Sevage Disposal - public

Lot Street Frontage - 50' min. - 110' given

Front Yard - 25' min. - ~~22'~~^{32'} scaled

Rear Yard - 25' min. - ~~95'~~^{89'} scaled

Side Yard - 1 1/2 story 8' min 25' scaled on left.
2 story 14' min 30' scaled on right.
2 1/2 story 16' min

Projections - deck 6'x14'; front porch 6'x14'; steps 2'x10'

Width of Lot - 65' min - ~~107'~~^{125'} scaled

Height - 35' max. - 32.25' scaled @ lowest grade

Lot Area - 6,500 sq ft min. - 17,114 sq ft given

Lot Coverage Impervious Surface - 35% - 5989.9 sq ft

Area per Family - 6,500 sq ft OK

Off-street Parking - 2 parking spaces required - garage 21'x24' OK

Loading Bays - N/A

Site Plan - minor / minor 2008-115

Shoreland Zoning/ Stream Protection - w/in 250' shoreland zone - but building well beyond the 75' setback - 75' setbacks around the rear of the lot

Flood Plains - panel 12 - zone X

- * in Stroudwater Historic District.
- * partial daylight basement

48x24 = 1152

20x14 = 280

6x14 = 84

6x14 = 84

2x12 = 24

1624

OK

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

**Zoning Copy
Marge Schmuckal**

2008-0115

Application I. D. Number

7/28/2008

Application Date

Single Family Home - Lot 26 Rivers Ed

Project Name/Description

Stroudwater Farms Assoc

Applicant

91 Johnson Rd , Falmouth , ME 04105

Applicant's Mailing Address

Dan White

Consultant/Agent

Agent Ph: (207)671-7591

Agent Fax: (207) 772-5042

Applicant or Agent Daytime Telephone, Fax

15 - 15 Captains Landing , Portland, Maine

Address of Proposed Site

218 B056001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail

Manufacturing Warehouse/Distribution Parking Lot Apt 0 Condo 0 Other (specify) _____

0

Proposed Building square Feet or # of Units

Acreage of Site

Proposed Total Disturbed Area of the Site

Zoning

Check Review Required:

Site Plan (major/minor)

Zoning Conditional - PB

Subdivision # of lots _____

Amendment to Plan - Board Review

Zoning Conditional - ZBA

Shoreland

Historic Preservation

DEP Local Certification

Amendment to Plan - Staff Review

Zoning Variance

Flood Hazard

Site Location

After the Fact - Major

Stormwater

Traffic Movement

Other _____

After the Fact - Minor

PAD Review

14-403 Streets Review

Fees Paid:

Site Plan

\$50.00

Subdivision

Engineer Review

\$250.00

Date

7/28/2008

Zoning Approval Status:

Reviewer _____

Approved

Approved w/Conditions
See Attached

Denied

Approval Date _____

Approval Expiration _____

Extension to _____

Additional Sheets

Attached

Condition Compliance

signature

date

Performance Guarantee

Required*

Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

Performance Guarantee Accepted

date

amount

expiration date

Inspection Fee Paid

date

amount

Building Permit Issue

date

Performance Guarantee Reduced

date

remaining balance

signature

Temporary Certificate of Occupancy

date

Conditions (See Attached)

expiration date

Final Inspection

date

signature

Certificate Of Occupancy

date

Performance Guarantee Released

date

signature

Defect Guarantee Submitted

submitted date

amount

expiration date

Defect Guarantee Released

date

signature

PURCHASE AND SALE AGREEMENT - LAND ONLY

June 23, 2008

June 24, 2008 Effective Date
Effective Date is defined in Paragraph 20 of this Agreement.

1. PARTIES: This Agreement is made between Ian D.R. Macleod & Acadia Trust MA
(co-trustees of the Ian D.R. Macleod GST Exempt Trust) ("Buyer") and
Stroudwater Farms Associates ("Seller").

2. DESCRIPTION: Subject to the terms and conditions hereinafter set forth, Seller agrees to sell and Buyer agrees to buy (all
 part of; If "part of" see para. 22 for explanation) the property situated in municipality of Portland,
 County of Cumberland, State of Maine, located at Lot 26 River's Edge and
 described in deed(s) recorded at said County's Registry of Deeds Book(s) 201, Page(s) 494.

3. PURCHASE PRICE: For such Deed and conveyance Buyer agrees to pay the total purchase price of \$ 118,000.00.
 Buyer has delivered; or will deliver to the Agency within 1 days of the date of this offer, a deposit of earnest money in
 the amount \$ 1,000.00. If said deposit is to be delivered after the submission of this offer and is not delivered by the
 above deadline, this offer shall be void and any attempted acceptance of this offer in reliance on the deposit being delivered will not
 result in a binding contract. Buyer agrees that an additional deposit of earnest money in the amount of \$ _____ will be
 delivered N/A. Failure by Buyer to deliver this additional deposit in compliance with the above terms shall
 constitute a default under this Agreement. The remainder of the purchase price shall be paid by a certified or cashier's check upon
 delivery of the Deed.

This Purchase and Sale Agreement is subject to the following conditions:

4. EARNEST MONEY/ACCEPTANCE: Prudential Northeast Properties ("Agency") shall hold
 said earnest money and act as escrow agent until closing; this offer shall be valid until June 26, 2008 (date)
5:00 AM PM; and, in the event of non-acceptance, this earnest money shall be returned promptly
 to Buyer. In the event that the Agency is made a party to any lawsuit by virtue of acting as escrow agent, Agency shall be entitled to
 recover reasonable attorney's fees and costs which shall be assessed as court costs in favor of the prevailing party.

5. TITLE AND CLOSING: A deed, conveying good and merchantable title in accordance with the Standards of Title adopted by
 the Maine Bar Association shall be delivered to Buyer and this transaction shall be closed and Buyer shall pay the balance due and
 execute all necessary papers on see conditions (closing date) or before, if agreed in writing by both parties. If
 Seller is unable to convey in accordance with the provisions of this paragraph, then Seller shall have a reasonable time period, not to
 exceed 30 calendar days, from the time Seller is notified of the defect, unless otherwise agreed to in writing by both Buyer and Seller,
 to remedy the title. Seller hereby agrees to make a good-faith effort to cure any title defect during such period. If, at the later of the
 closing date set forth above or the expiration of such reasonable time period, Seller is unable to remedy the title, Buyer may close and
 accept the deed with the title defect or this Agreement shall become null and void in which case the parties shall be relieved of any
 further obligations hereunder and any earnest money shall be returned to the Buyer.

6. DEED: The property shall be conveyed by a warranty deed, and shall be free and clear of all
 encumbrances except covenants, conditions, easements and restrictions of record which do not materially and adversely affect the
 continued current use of the property.

7. POSSESSION: Possession of premises shall be given to Buyer immediately at closing unless otherwise agreed in writing.

8. RISK OF LOSS: Until the closing, the risk of loss or damage to said premises by fire or otherwise, is assumed by Seller. Buyer
 shall have the right to view the property within 24 hours prior to closing for the purpose of determining that the premises are in
 substantially the same condition as on the date of this Agreement.

9. PRORATIONS: The following items, where applicable, shall be prorated as of the date of closing: rent, association fees, (other)
none. Real estate taxes shall be prorated as of the date of closing (based on municipality's
 fiscal year). Seller is responsible for any unpaid taxes for prior years. If the amount of said taxes is not known at the time of closing,
 they shall be apportioned on the basis of the taxes assessed for the preceding year with a reapportionment as soon as the new tax rate
 and valuation can be ascertained, which latter provision shall survive closing. Buyer and Seller will each pay their transfer tax as
 required by State of Maine.

July 2007

Page 1 of 4 - P&S-LO

Buyer(s) Initials IM

Seller(s) Initials Komal

Prudential Northeast Properties 386 Bridgton Road, Westbrook ME 04092
 Phone: (207) 400-3139 Fax: (207) 878-1172 Karen Walsh

Ian Macleod.zf

Produced with ZipForm™ by RE FormsNet, LLC 18025 Fifteen Mile Road, Canton Township, Michigan 48066 www.zipform.com

10. DUE DILIGENCE: Buyer is encouraged to seek information from professionals regarding any specific issue or concern.

Neither Seller nor Licensee makes any warranties regarding the condition, permitted use or value of Seller's real property. This Agreement is subject to the following contingencies, with results being satisfactory to Buyer:

CONTINGENCY	YES	NO	DAYS FOR COMPLETION	OBTAINED BY	TO BE PAID FOR BY
1. SURVEY Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
2. SOILS TEST Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
3. SEPTIC SYSTEM DESIGN Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
4. LOCAL PERMITS Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
5. HAZARDOUS WASTE REPORTS Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
6. UTILITIES Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
7. WATER Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
8. SUB-DIVISION APPROVAL Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
9. DEP/LURC APPROVALS Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
10. ZONING VARIANCE Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
11. HABITAT REVIEW/WATERFOWL Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
12. MDOT DRIVEWAY/ENTRANCE PERMIT Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
13. DEED RESTRICTION Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
14. TAX EXEMPT STATUS Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
15. OTHER Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____

Further specifications regarding any of the above: N/A

Unless otherwise specified above, all of the above will be obtained and paid for by Buyer. If the result of any investigation or other condition specified herein is unsatisfactory to Buyer, Buyer will declare the Agreement null and void by notifying Seller in writing within the specified number of days, and any earnest money shall be returned to Buyer. If the result of any investigation or other condition specified herein is unsatisfactory to Buyer, and Buyer wishes to pursue remedies other than voiding the Agreement, Buyer must do so to full resolution within the time period set forth above; otherwise this contingency is waived. If Buyer does not notify Seller that an investigation is unsatisfactory within the time period set forth above, this contingency is waived by Buyer. In the absence of inspection(s) mentioned above, Buyer is relying completely upon Buyer's own opinion as to the condition of the property.

July 2007

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Buyer(s) Initials

JM *(AT)*

Seller(s) Initials

KRM

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Jan MacLeod, JF

11. FINANCING: This Agreement is is not subject to Financing. If subject to Financing:
- This Agreement is subject to Buyer obtaining a _____ loan of _____ % of the purchase price, at an interest rate not to exceed _____ % and amortized over a period of _____ years.
 - Buyer to provide Seller with letter from lender showing that Buyer has made application and, subject to verification of information, is qualified for the loan requested within _____ days from the Effective Date of the Agreement. If Buyer fails to provide Seller with such letter within said time period, Seller may terminate this Agreement and the earnest money shall be returned to Buyer.
 - Buyer to provide Seller with loan commitment letter from lender within _____ days of the Effective Date of the Agreement. If Buyer fails to provide Seller with this loan commitment letter within said time period, Seller may deliver notice to Buyer that this Agreement is terminated three days after delivery of such notice unless Buyer delivers the loan commitment letter before the end of the three-day period. If the Agreement is terminated under the provision of this sub-paragraph, the earnest money shall be returned to Buyer.
 - Buyer hereby authorizes, instructs and directs its lender to communicate the status of the Buyer's loan application to Seller or Seller's licensee.
 - After (b) or (c) are met, Buyer is obligated to notify Seller in writing if the lender notifies Buyer that it is unable or unwilling to proceed under the terms of the financing. Any failure by Buyer to notify Seller within two days of receipt by Buyer of notice from the lender shall be a default under this Agreement.
 - Buyer agrees to pay no more than _____ points. Seller agrees to pay up to \$ _____ toward Buyer's actual pre-paid, points and/or closing costs, but no more than allowable by Buyer's lender.
 - Buyer's ability to obtain financing is is not subject to the sale of another property. See addendum Yes No.
 - Buyer may choose to pay cash instead of obtaining financing. If so, buyer shall notify seller in writing and the Agreement shall no longer be subject to financing, and Seller's right to terminate pursuant to the provisions of this paragraph shall be void.

12. BROKERAGE DISCLOSURE: Buyer and Seller acknowledge they have been advised of the following relationships:

Karen Walsh of Prudential Northeast Properties is a Seller Agent Buyer Agent
 Licensee Agency Disc Dual Agent Transaction Broker

Karen Walsh of Prudential Northeast Properties is a Seller Agent Buyer Agent
 Licensee Agency Disc Dual Agent Transaction Broker

If this transaction involves Disclosed Dual Agency, the Buyer and Seller acknowledge the limited fiduciary duties of the agents and hereby consent to this arrangement. In addition, the Buyer and Seller acknowledge prior receipt and signing of a Disclosed Dual Agency Consent Agreement.

13. PROPERTY DISCLOSURE FORM: Buyer acknowledges receipt of Seller's Property Disclosure Form.

14. MEDIATION: Earnest money disputes subject to the jurisdiction of small claims court will be handled in that forum. For all other disputes or claims arising out of or relating to this Agreement or the property addressed in this Agreement shall be submitted to mediation in accordance with the Maine Residential Real Estate Mediation Rules. Buyer and Seller are bound to mediate in good faith and pay their respective mediation fees. If a party does not agree first to go to mediation, then that party will be liable for the other party's legal fees in any subsequent litigation regarding that same matter in which the party who refused to go to mediation loses in that subsequent litigation. This clause shall survive the closing of the transaction.

15. DEFAULT: In the event of default by the Buyer, Seller may employ all legal and equitable remedies, including without limitation, termination of this Agreement and forfeiture by Buyer of the earnest money. In the event of a default by Seller, Buyer may employ all legal and equitable remedies, including, without limitation, termination of this Agreement and return to Buyer of the earnest money. Agency acting as escrow agent has the option to require written releases from both parties prior to disbursing the earnest money to either Buyer or Seller.

16. PRIOR STATEMENTS: Any representations, statements and agreements are not valid unless contained herein. This Agreement completely expresses the obligations of the parties.

17. HEIRS/ASSIGNS: This Agreement shall extend to and be obligatory upon heirs, personal representatives, successors, and assigns of the Seller and the assigns of the Buyer.

18. COUNTERPARTS: This Agreement may be signed on any number of identical counterparts, such as a faxed copy, with the same binding effect as if the signatures were on one instrument. Original or faxed signatures are binding.

19. ADDENDA: Yes Explain: _____ No

20. EFFECTIVE DATE/NOTICE: Any notice, communication or document delivery requirements hereunder may be satisfied by providing the required notice, communication or documentation to the party or their licensee. Withdrawals of offers and counteroffers will be effective upon communication, verbally or in writing. This Agreement is a binding contract when signed by both Buyer and Seller and when that fact has been communicated which shall be the Effective Date. Licensee is authorized to fill in the Effective Date on Page 1 hereof. Except as expressly set forth to the contrary, the use of the term "days" in this Agreement, including all addenda made a part hereof, shall mean business days defined as excluding Saturdays, Sundays and any State/Federal holidays (including but not limited to Patriots Day, Columbus Day, Martin Luther King Holiday, etc.) Deadlines in this Agreement, including all addenda, expressed as "within x days" shall be counted from the Effective Date, unless another starting date is expressly set forth, beginning with the first day after the Effective Date, or such other established starting date, and ending at 5:00 p.m. Eastern Time on the last day counted. Unless expressly stated to the contrary, deadlines in this Agreement, including all addenda, expressed as a specific date shall end at 5:00 p.m. Eastern Time on such date.

21. CONFIDENTIALITY: Buyer and Seller authorize the disclosure of the information herein to the real estate licensees, attorneys, lenders, appraisers, inspectors, investigators and others involved in the transaction necessary for the purpose of closing this transaction. Buyer and Seller authorize the lender and/or closing agent preparing the entire closing statement to release a copy of the closing statement to the parties and their licensees prior to, at and after the closing.

22. OTHER CONDITIONS: This Agreement, is subject to Seller's approval of the Buyer's building plan. This offer is also subject to Ben White's approval (within 5 business days) of the site for building. The Agreement is subject to the issuance of a building permit from the City of Portland, at which time the Closing shall take place on the lot.

A copy of this Agreement is to be received by all parties and, by signature, receipt of a copy is hereby acknowledged. If not fully understood, contact an attorney. This is a Maine contract and shall be construed according to the laws of Maine.

Seller acknowledges that State of Maine law requires buyers of property owned by non-resident sellers to withhold a prepayment of capital gains tax unless a waiver has been obtained by Seller from the State of Maine Revenue Services.

Buyer acknowledges that Maine law requires continuing interest in the property and any back up offers to be communicated by the listing agent to the Seller.

Buyer's Mailing address is 6 Twin Knolls Lane, Portland, ME 04103

[Signature]
BUYER

6-23-08
DATE

[Signature]
BUYER

6/23/08
DATE

Seller accepts the offer and agrees to deliver the above-described property at the price and upon the terms and conditions set forth and agrees to pay agency a commission for services as specified in the listing agreement.

Seller's Mailing address is 147 Deepwood Drive, Portland, ME 04103

[Signature]
SELLER Stroudwater Farms Associates

DATE

SELLER

DATE

COUNTER-OFFER

Seller agrees to sell on the terms and conditions as detailed herein with the following changes and/or conditions:

The parties acknowledge that until signed by Buyer, Seller's signature constitutes only an offer to sell on the above terms and the offer will expire unless accepted by Buyer's signature with communication of such signature to Seller by (date) _____ (time) _____ AM _____ PM.

SELLER

DATE

SELLER

DATE

The Buyer hereby accepts the counter offer set forth above.

BUYER

DATE

BUYER

DATE

EXTENSION:

The time for the performance of this Agreement is extended until _____

DATE

BUYER

DATE

SELLER

DATE

BUYER

DATE

SELLER

DATE



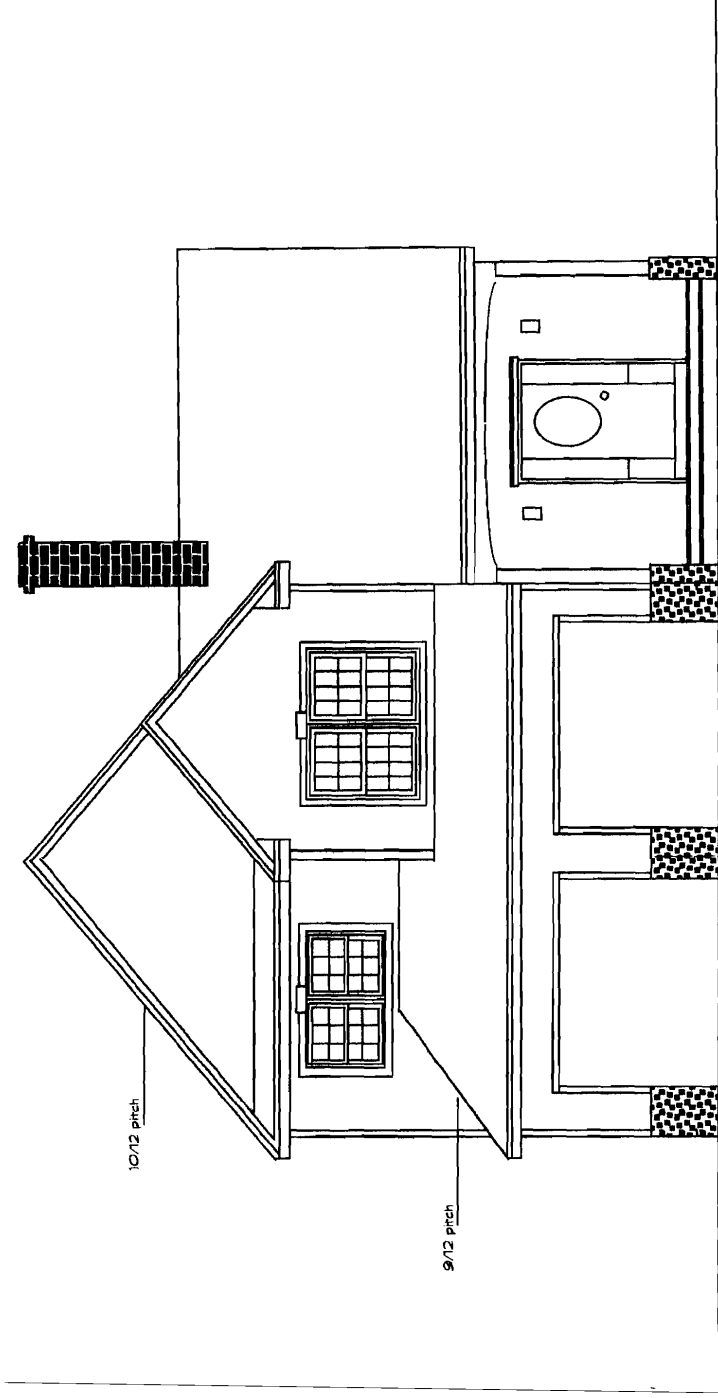
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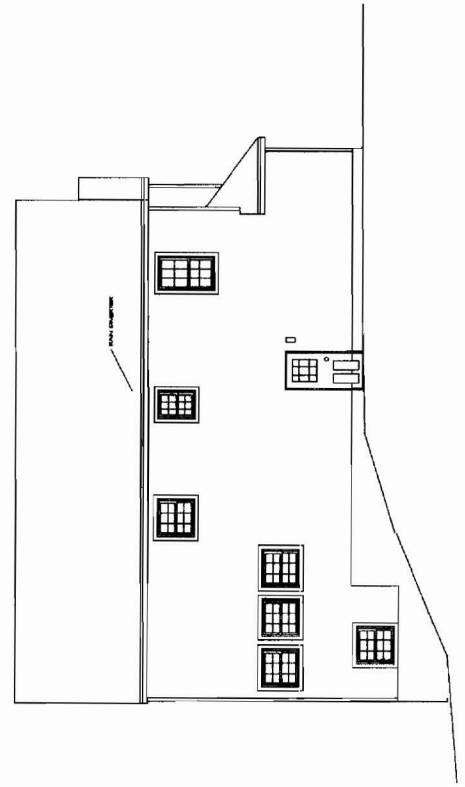
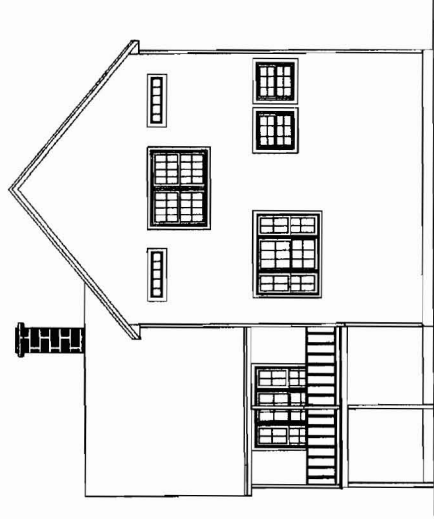
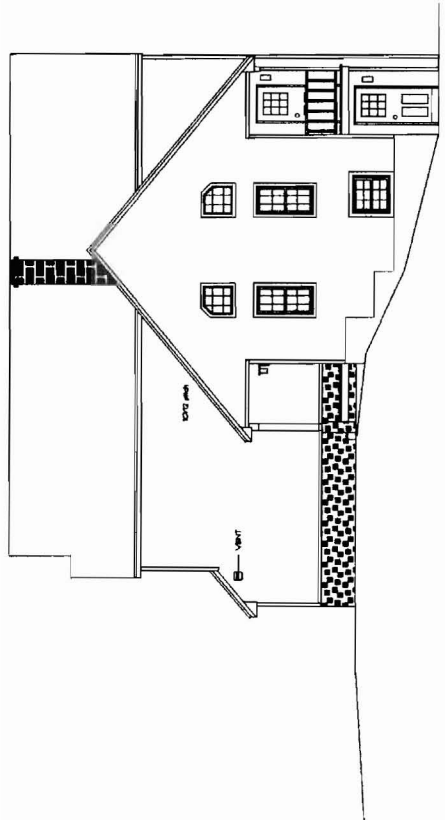
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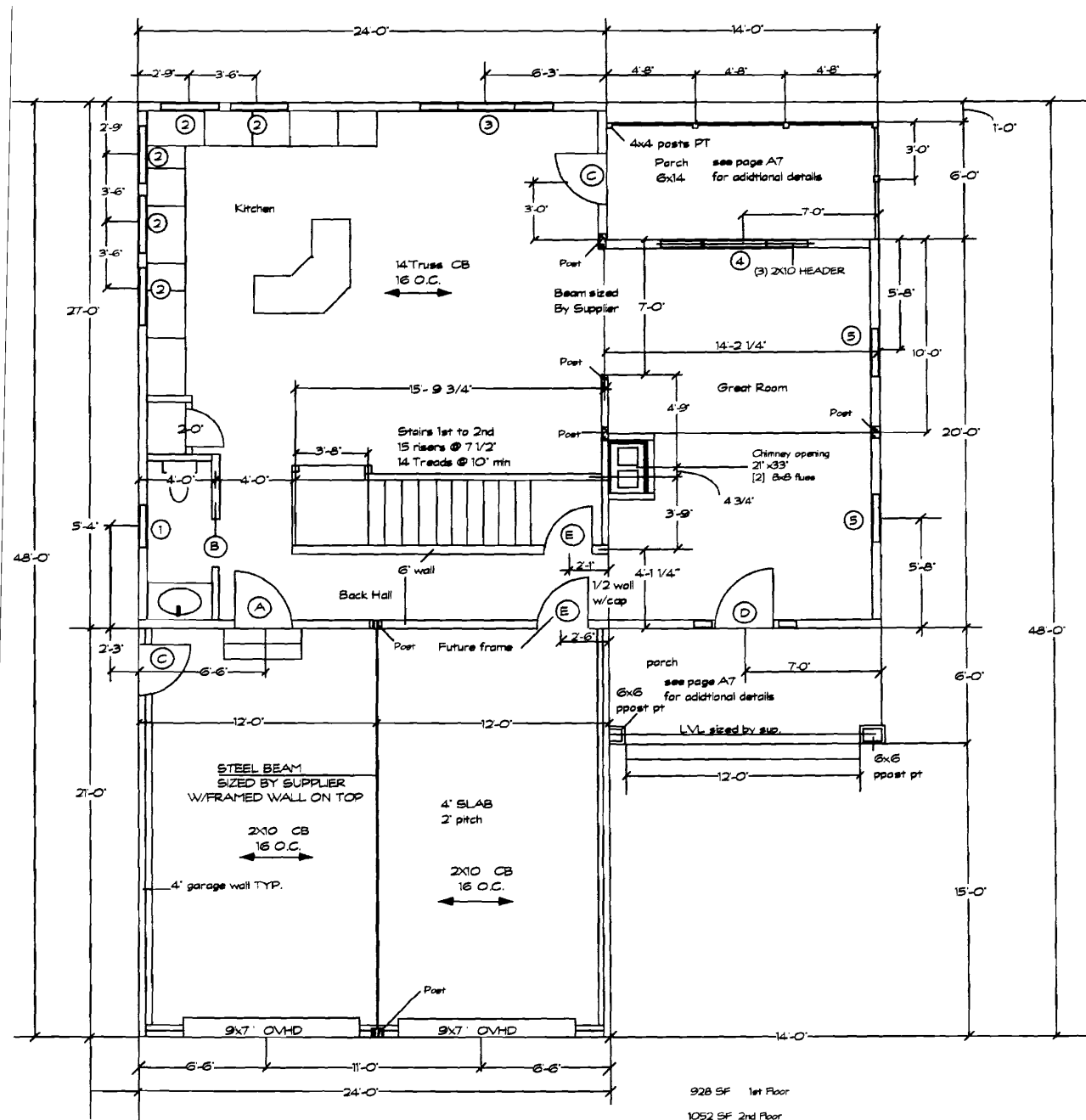


1st MacLeod, ZF



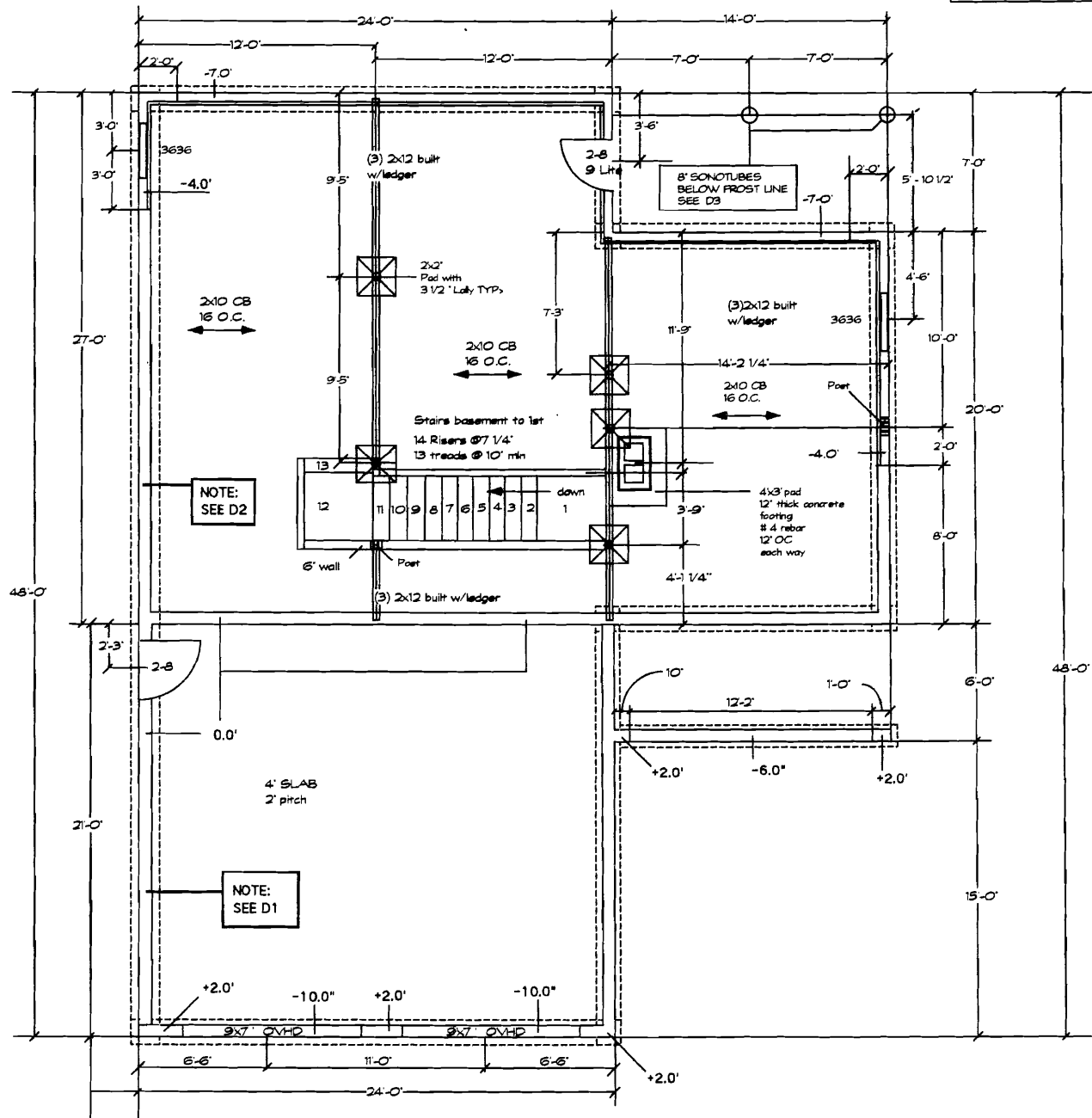
MACLEOD RESIDENCE
LOT 26 RIVERS EDGE
BY HILDRETH & WHITE
SCALE 1/4" = 1'-0"
DATE: 7/27/08
PAGE: A

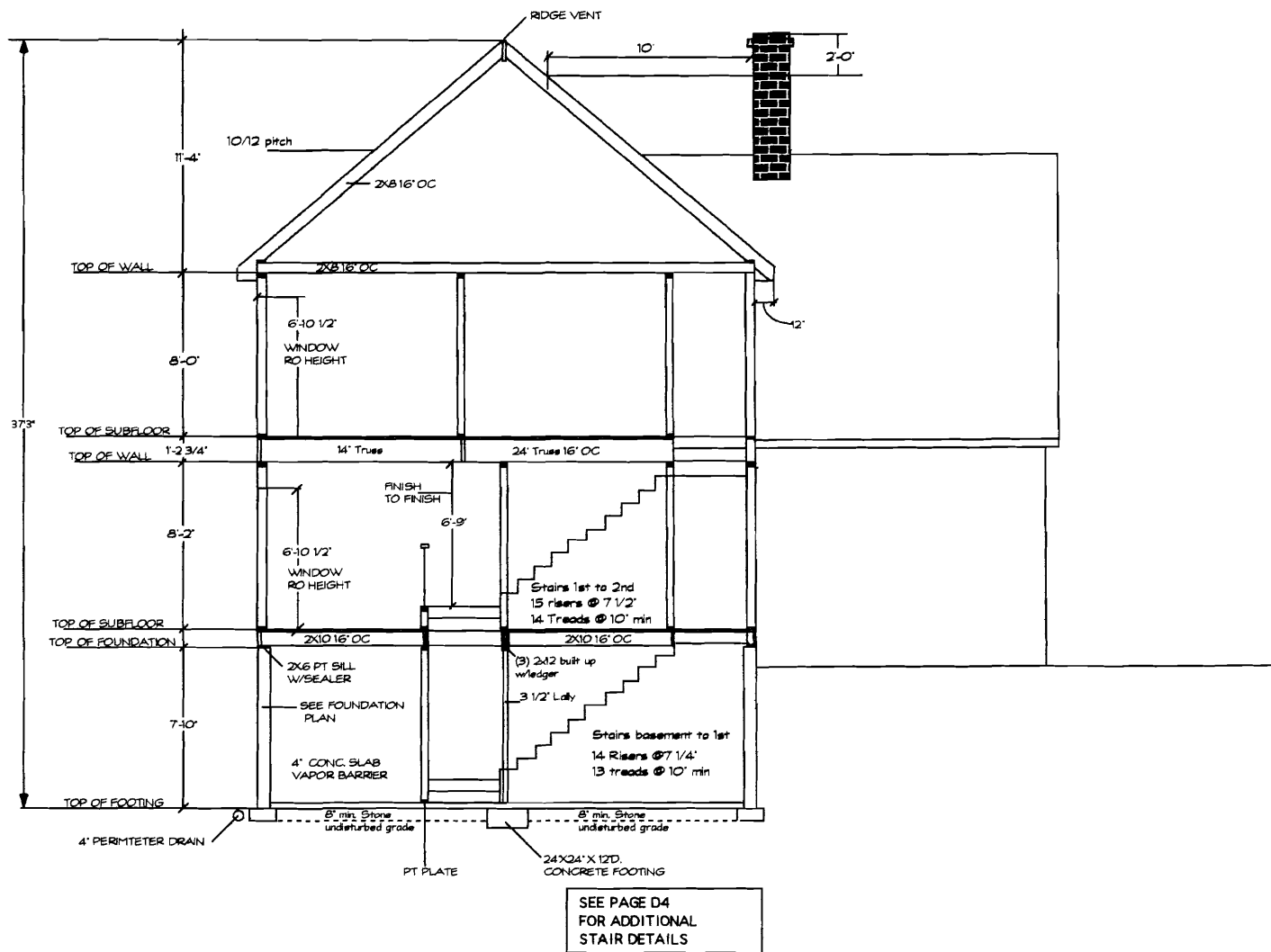


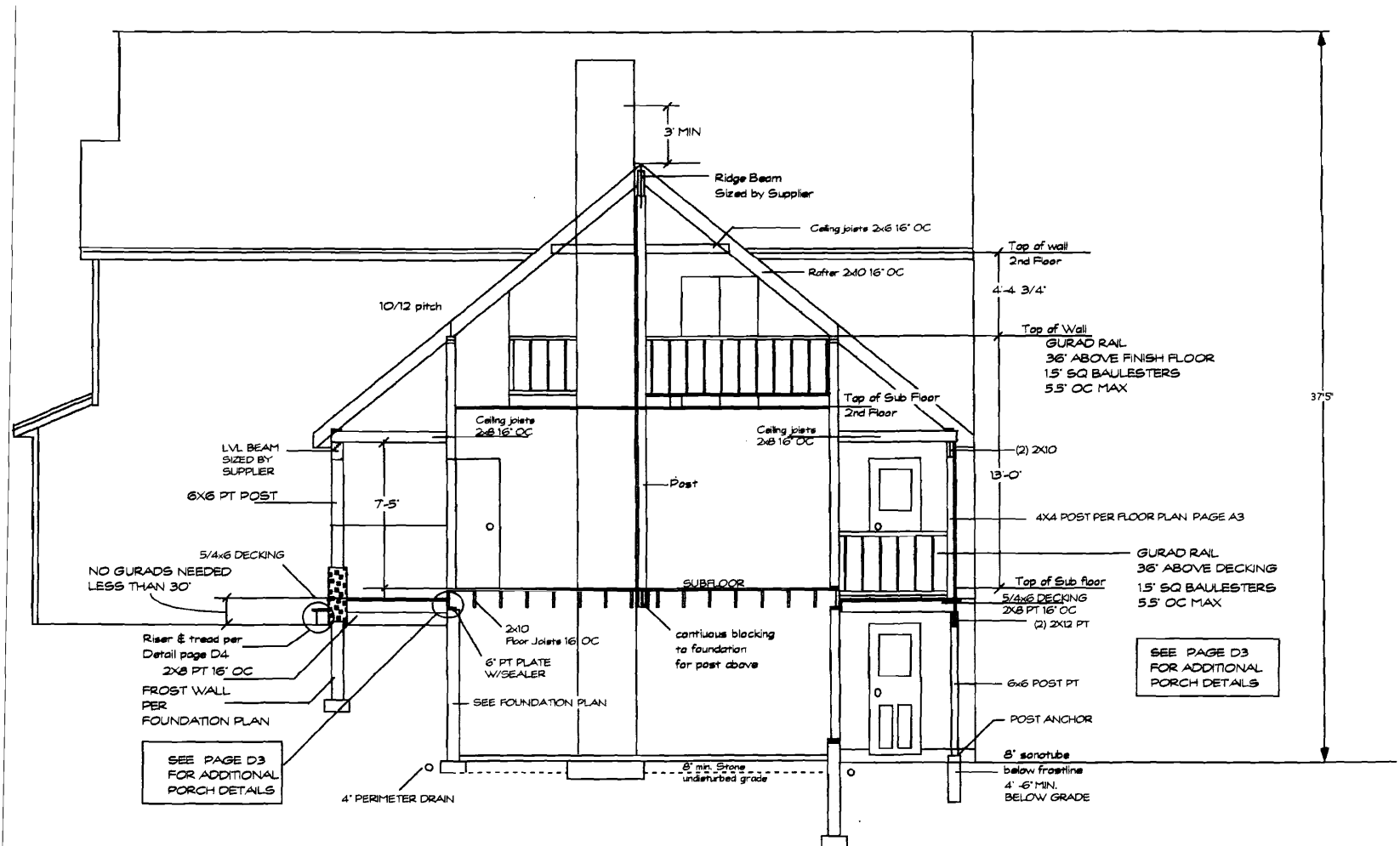


928 SF 1st Floor
 1052 SF 2nd Floor
 1980 SF Total

Foundation wall
drops subject to
Field conditions







DOOR SCHEDULE

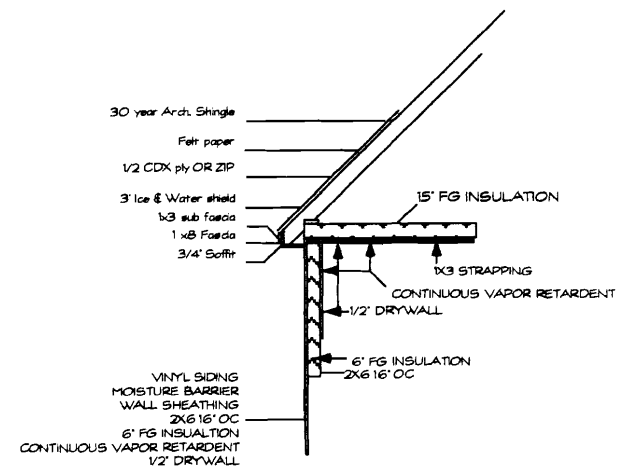
TYPE	STYLE	QTY	EXT / INT
A	STEEL FIRE DOOR-3068	1	EXT
B	POCKET 2668	1	INT
C	FIBERGLASS-2868 9 LITE	3	EXT
D	FIBERGLASS 3068	1	EXT
E	6 PANEL 2668	5	INT
F	6 PANEL 3068	2	INT
G	6 PANEL 2068	6	INT
H	6 PANEL 2468	1	INT
I	3 PANEL 1668	1	INT

WINDOW SCHEDULE

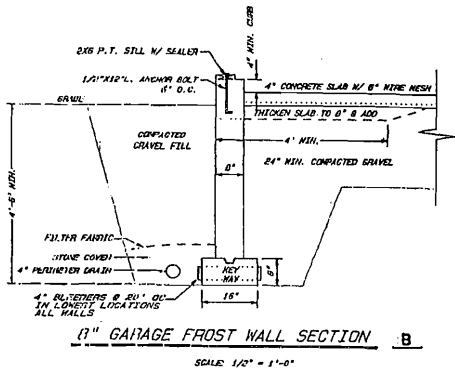
TYPE	STYLE	QTY	SF	U FACTOR
1	DH 3040	2	16.67	.33
2	DH 3640	5	20.0	.33
3	DH 2466-3666-2466	1	38.5	.33
4	DH 2460-3660-2460	1	35.0	.33
5	DH 3060	2	25.0	.33
6	DH 4060-2	2	66.67	.33
7	DH 3642-2	1	21.0	.33
8	DH 4060	1	16.67	.33
9	DH 3640--TEMPERED	1	10.0	.33
10	TR 3412	2	5.67	.33
11	DH 3636	2	18.0	.33

ALL WINDOWS ARE
HANCOCK VINYL CLASSIC

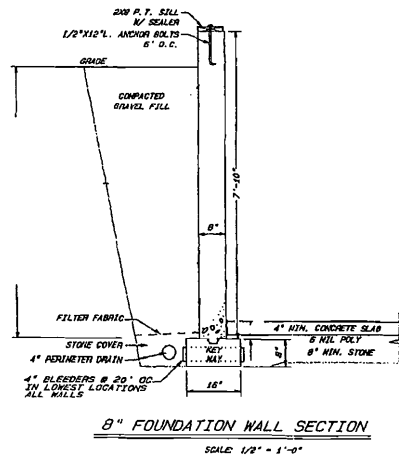
SOFFIT DETAIL



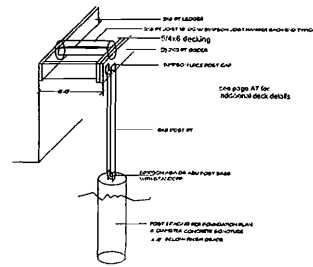
DETAIL D1



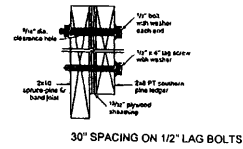
DETAIL D2



DETAIL D3

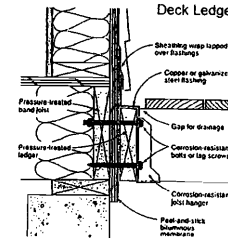


Ledger Detail

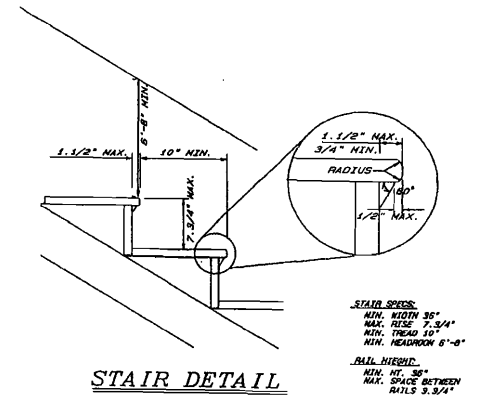


30" SPACING ON 1/2" LAG BOLTS

Deck Ledger Detail



DETAIL D4



STAIR SIZES:
MIN. WIDTH 36"
MAX. RISE 7 3/4"
MIN. TREAD 11"
MIN. HEADROOM 6'-8"

RAIL SIZES:
MIN. HT. 36"
MAX. SPACE BETWEEN RAILS 3 3/4"

DETAIL D6

DETAIL D5

FRAMING MATERIAL SPECIFICATIONS

FLOOR SHEATHING:	3/4" TAG ADVANTECH
WALL SHEATHING:	7/16" OSB OR ZIP SHEATHING
ROOF SHEATHING:	1/2" CDX OR ZIP SHEATHING
UNDERLAYMENT:	
MOISTURE BARRIER:	TV6K HOUSEWRAP OR ZIP SHEATHING
VAPOR RETARDENT:	
EXTERIOR SIDING:	VINYL CLAPBOARD
EXTERIOR TRIM:	VINYL ALUMINUM WRAPPED PINE
SILLS:	2X6 PRESSURE TREATED
FLOOR JOIST:	K.D. SPRUCE
FLOOR JOIST:	14" BCI TRUSS
WALL STUDS:	K.D. SPRUCE
CEILING JOISTS:	K.D. SPRUCE
RAFTERS:	K.D. SPRUCE
EAVE VENT:	2" WHT ALUMINUM
DRIDGE:	8" GALV.
ROOFING SHINGLES:	30 YEAR ASPHALT/FIBERGLASS/ARCHITECTURAL
RIDGE VENT:	ROLL VENT
1" AIR SPACE MAT.:	PROPERVENT
FOUNDATION INSULATION:	NONE
SILL SEALER:	PER AVAILABILITY
FLOOR BLOCKS & RUNNERS:	5 1/2" FIBERGLASS R-21
1ST FLOOR INSULATION:	5 1/2" FIBERGLASS R-19 W/MESH
EXTERIOR WALL INSULATION:	5 1/2" FIBERGLASS R-21
2ND FLOOR INSULATION:	NONE
CEILING INSULATION:	15" FIBERGLASS R-49
SLOPED ROOF INSULATION:	9 1/2" INSULATION R-30

WOOD FRAMING NOTES:

- STRUCTURAL LUMBER: NO. 2 SPRUCE, PINE, FIR OR BETTER.
- DESIGN CODE: IBC 2004 EDITION OF THE INTERNATIONAL BUILDING CODE
- FASTENERS: COMPLY WITH RECOMMENDED FASTENING SCHEDULE OF THE BOCA BASIC BUILDING CODE LATEST EDITION, UNLESS SHOWN OTHERWISE ON THE DRAWINGS.
- NAILING REQUIREMENTS FOR PLYWOOD FLOOR DECKS, ROOF DECK AND SHEATHING: PROVIDE 8D NAILS AS FOLLOWS, UNLESS SHOWN OTHERWISE:
6" D.C.: ALONG ALL PANEL EDGES
8" D.C.: ALONG INTERMEDIATE MEMBERS
ALL PLYWOOD SUB-FLOORS TO BE GLUED AND NAILED WITH 8d SCREW NAILS.
- SPIKE TOGETHER ALL FRAMING MEMBERS WHICH ARE BUILT-UP WITH 16D NAILS ~ 16" O.C., TOP AND BOTTOM
- PROVIDE GALVANIZED METAL JOIST HANGERS AT FLUSH FRAMED CONNECTIONS, IF SIZES ARE NOT SHOWN ON PLANS, PROVIDE HANGERS EQUAL TO SIMPSON U210 OR LU210.
- PROVIDE 3 - 2X10 HEADERS OVER ALL OPENINGS IN BEARING WALLS, UNLESS SHOWN OTHERWISE.
- PROVIDE DOUBLE TOP PLATE IN ALL EXTERIOR WALLS AND ALL BEARING WALLS, STAGGER TOP PLATE SPLICES IN EXTERIOR WALLS 4'-0" AND PROVIDE AT LEAST 8 - 10D NAILS PER SPLICE.
- PROVIDE PRESSURE TREATED LUMBER FOR ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE.
- PROVIDE MINIMUM OF TWO 2X STUDS AT THE ENDS OF ALL BUILT-UP 2X BEAMS, UNLESS SHOWN OTHERWISE.
- ROOF AND WALL SHEATHING: APA RATED SHEATHING, EXTERIOR OR STRUCTURAL I OR II RATED SHEATHING, EXTERIOR.
ROOF: 1/2" THICK
WALLS: 7/16" THICK
INSTALL SHEETS WITH FACE GRAIN DIRECTION PERPENDICULAR TO SUPPORTING MEMBERS.
- POSTS AT CORNERS OF EXTERIOR WALLS: PROVIDE 6X6 POST OR 3 - 2X6 MINIMUM.
- PROVIDE FULL DEPTH BLOCKING AT ENDS AND INTERIOR SUPPORTS OF ALL JOISTS AND RAFTERS WHERE JOISTS AND RAFTERS FRAME OVER SUPPORTS.
- PROVIDE STAINLESS STEEL NAILS TO ATTACH SIDING AND EXT. TRIM.
- MICRO-LAM BEAMS (LVL): GLUE LAMINATED VENEER LUMBER OF DOUGLAS FIR AS MANUFACTURED BY TRUS-JOIST OF BOISE, IDAHO OR APPROVED EQUAL Fv 285 PSI, Fb - 2800 PSI, E 2,000,000 PSI. ALL LVL HEADERS TO HAVE A MINIMUM OF DOUBLE 2X JACKS UNLESS NOTED OTHERWISE ON THE PLANS.
- BOLTS, NUTS & WASHERS: ASTM - A307, HOT DIPPED GALVANIZED CONFORMING TO ASTM - A153.
- NAILS: COMMON WIRE EXCEPT BARBED NAILS AT PLYWOOD SHEATHING. PROVIDE GALVANIZED NAILS AT EXPOSED FRAMING.
- METAL CONNECTORS: APPROVED ITEMS OF PROPER TYPE & GAUGE AS REQUIRED ON DRAWINGS. HOT DIPPED GALVANIZED.
- ALL WOOD MEMBERS TO BE NAILED IN ACCORDANCE WITH BOCA CODE APPENDIX.
- PROVIDE SOLID BRIDGING, SIZED TO MATCH FLOOR JOIST, AT MID-SPAN IN ALL FLOOR SYSTEMS.
- LIVE LOADS FOR FLOOR JOIST SHALL BE PER THE BOCA BASIC BUILDING CODE LATEST EDITION.

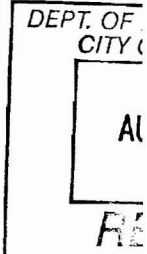
OWNER:
IAN & SUZAN
6 TWIN KNO
PORTLAND,

BUILDER:
HILDRETH &
41 BATES S
PORTLAND,

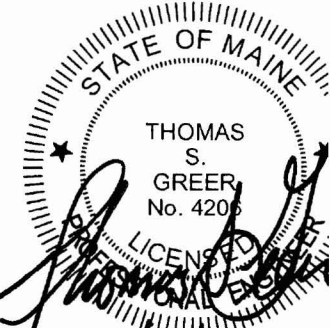
ENGINEER:
PINKHAM &
CONSULTING
FALMOUTH, M

TOPOGRAPHI
OWEN HASKI
PORTLAND,

2-STREET
RED MAP
rubrum) 2 1



- NOTES:
1. THIS PLAN IS FOR THE PROPOSED DEVELOPMENT SHOWN FOR ADJACENT LOTS AND MAY NOT BE APPLIED TO OTHER LOTS.
 2. DEVELOPMENT BY THE CITY OF PORTLAND IS PROHIBITED.
 3. FOUNDATIONS SHALL BE CONSTRUCTED TO RESIST EROSION CONTROLS GREATER THAN 10 FEET.
 4. EROSION CONTROLS SHALL BE MAINTAINED AT ALL TIMES.



8/11/08

BUFFER ZONE TO BE LEFT
IN IT'S NATURAL CONDITION
EXCEPT THAT CLEARING OF
THE UNDERSTORY FOR A 5'
WIDE WALKING TRAIL IS
PERMITTED.

REV. 1	8/11/08	REV'D HOUSE & DRIVEWAY LOCATION
--------	---------	---------------------------------



GRAPHIC SCALE (IN FEET)
1 inch = 30 ft.

CONNECT UTILITIES
TO EXISTING STUBS,
FIELD LOCATE.

EDGE OF
FOUNDATION

N/F
STROUDWATER FARM
ASSOCIATES
LOT 27

SHORELAND
ZONE LIMIT

CAPTAIN'S
SLANDING

N/F
PORTLAND TRAILS
LOT 30

LOT 26
17,114 SF

N/F
STROUDWATER FARM
ASSOCIATES
LOT 31A

FLOOD HAZARD
EL. 26.4

FILE SCALE: 1"=30'
CAD FILE: 02110