

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2004-0232

Application I. D. Number

11/17/2004

Application Date

Lot 2 Heritage Court

Project Name/Description

Stroudwater Farms Assoc

Applicant

91 Johnson Rd , Falmouth , ME 04105

Applicant's Mailing Address

Heritage Ct , Portland, Maine

Address of Proposed Site

218 D032001

Assessor's Reference: Chart-Block-Lot

Consultant/Agent

Agent Ph:

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

Proposed Building square Feet or # of Units _____ Acreage of Site _____ Zoning _____

Check Review Required:

Site Plan (major/minor)

Flood Hazard

Zoning Conditional Use (ZBA/PB)

Subdivision # of lots _____

Shoreland

Zoning Variance

PAD Review

Historic Preservation

14-403 Streets Review

DEP Local Certification

Other _____

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$250.00 Date 11/17/2004
Reviewer Jay Reynolds

DRC Approval Status:

Approved

Approved w/Conditions See Attached

Denied

Approval Date 12/22/2004

Approval Expiration 12/22/2005

Extension to _____ Additional Sheets Attached

Condition Compliance

Jay Reynolds
signature

12/22/2004
date

Performance Guarantee

Required*

Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

Performance Guarantee Accepted _____ date _____ amount _____ expiration date _____

Inspection Fee Paid _____ date _____ amount _____

Building Permit Issue _____ date _____

Performance Guarantee Reduced _____ date _____ remaining balance _____ signature _____

Temporary Certificate of Occupancy _____ date _____

Final Inspection _____ date _____

Certificate Of Occupancy _____ date _____

Performance Guarantee Released _____ date _____ signature _____

Defect Guarantee Submitted _____ submitted date _____ amount _____ expiration date _____

Defect Guarantee Released _____ date _____ signature _____

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM

2004-0232

Application I. D. Number

11/17/2004

Application Date

Lot 2 Heritage Court

Project Name/Description

Stroudwater Farms Assoc

Applicant

91 Johnson Rd , Falmouth , ME 04105

Applicant's Mailing Address

Consultant/Agent

Agent Fax:

Agent Ph:

Applicant or Agent Daytime Telephone, Fax

Heritage Ct , Portland, Maine

Address of Proposed Site

218 D032001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of DRC

- 1 Buffer zone shall remain in its natural condition; Foundation drain shall not be installed within the existing buffer zone.
- 2 Final landscaped buffer solution to be worked out at an on-site meeting with Deb Andrews and Jay Reynolds upon completion of house construction.
- 3 All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.
- 4 Your new street address HAS NOT BEEN ASSIGNED TO DATE, HOWEVER, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 5 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 6 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

① Add L.S. to Unincorporated Area Per HP Recommendation
 ② Roll PD out of Unincorporated Zone

CITY OF PORTLAND, MAINE
 DEVELOPMENT REVIEW APPLICATION
 PLANNING DEPARTMENT PROCESSING FORM

DRC Copy

Rec'd
 12-20-04

2004-0232
 Application I. D. Number
 11/17/2004
 Application Date
 Lot 2 Heritage Court
 Project Name/Description

Stroudwater Farms Assoc
 Applicant
 91 Johnson Rd , Falmouth , ME 04105
 Applicant's Mailing Address

Heritage Ct , Portland, Maine
 Address of Proposed Site
 218 D032001
 Assessor's Reference: Chart-Block-Lot

Consultant/Agent
 Agent Ph: _____ Agent Fax: _____
 Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

Proposed Building square Feet or # of Units _____ Acreage of Site _____ Zoning _____

Check Review Required:

Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Pla \$50.00 Subdivision _____ Engineer Review \$250.00 Date 11/17/2004

DRC Approval Status:

Approved Approved w/Conditions See Attached Denied
 Reviewer _____
 Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached
 Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____ date	_____ amount	_____ expiration date
<input type="checkbox"/> Inspection Fee Paid	_____ date	_____ amount	
<input type="checkbox"/> Building Permit Issue	_____ date		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date	_____ remaining balance	_____ signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date
<input type="checkbox"/> Final Inspection	_____ date	_____ signature	
<input type="checkbox"/> Certificate Of Occupancy	_____ date		
<input type="checkbox"/> Performance Guarantee Released	_____ date	_____ signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date	_____ amount	_____ expiration date
<input type="checkbox"/> Defect Guarantee Released	_____ date	_____ signature	

SF = 9,024.77
Jump to sewer lot allowed
Visit for AFE + drainage
how PL OK, nurse?

Consistent OK - 2nd Lve to PL - Eric?
CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM

2004-0138
Application I. D. Number
6/30/2004
Application Date
Single Family Home
Project Name/Description

Robinson Keith S Kw Vet
Applicant
18 Ninth St, Portland, ME 04103
Applicant's Mailing Address

Consultant/Agent
Agent Ph: _____
Agent Fax: _____
Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply):
 New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

1352 sq ft
Proposed Building square Feet or # of Units
Acreage of Site _____
Zoning _____

Check Review Required:
 Site Plan (major/minor) Subdivision # of lots _____
 Flood Hazard Shoreland
 Zoning Conditional Use (ZBA/PB) Zoning Variance
 PAD Review 14-403 Streets Review
 Historic Preservation DEP Local Certification
 Other _____
Fees Paid: Site Plan _____ Subdivision _____ Engineer Review _____ Date _____

Called
Steve Brad.
#8x12
7-8
Steve Brad.
To Revise
7-14

DRC Approval Status:

Approved Approved w/Conditions See Attached Denied
Approval Date 7-15-05 Approval Expiration _____ Extension to _____
 Condition Compliance signature 7-15-05 date _____
 Additional Sheets Attached

Performance Guarantee

* No building permit may be issued until a performance guarantee has been submitted as indicated below
 Performance Guarantee Accepted _____ date _____ amount _____ expiration date _____
 Inspection Fee Paid _____ date _____ amount _____
 Building Permit Issue _____ date _____
 Performance Guarantee Reduced _____ date _____ remaining balance _____ signature _____
 Temporary Certificate of Occupancy _____ date _____
 Final Inspection _____ date _____
 Certificate Of Occupancy _____ date _____
 Performance Guarantee Released _____ date _____ signature _____
 Defect Guarantee Submitted _____ submitted date _____ amount _____ expiration date _____
 Defect Guarantee Released _____ date _____ signature _____

Jay Reynolds



CITY OF PORTLAND, MAINE
Department of Public Works
Street Numbering Notice

7/7 2004

Keith Robinson

18 Ninth St.

Portland, Me. 04103

You are hereby notified that the legal STREET NUMBER of your New building on Ninth St. is —

STREET NUMBER

LOT NUMBER

10

38

City ordinances direct the Director of Public Works to assign street numbers to all buildings and lots on all public streets in the City of Portland. The City Council may order any public street to be renumbered whenever they determine that the public convenience so requires. The ordinances require that the above number be plainly displayed on the building to which it has been assigned so as to be visible at all times, and the ordinances also provide a penalty for non-compliance.

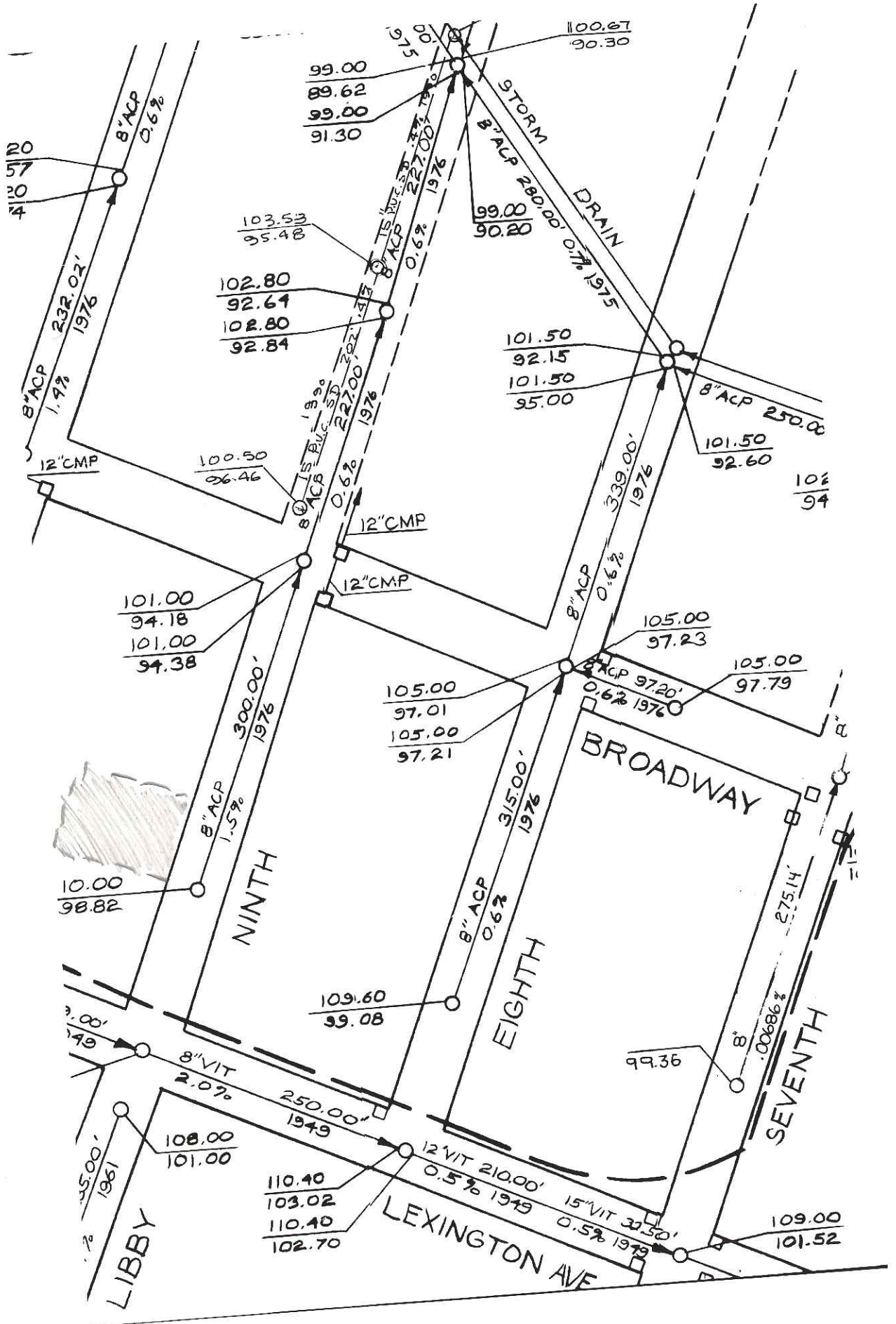
James M. Robbins
Archivist Public Works



Sheet 340-A

Sheet 335-C

(A) (B)



**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2005-0037

Application I. D. Number

3/3/2005

Application Date

Alice Ct Single Family Home
Project Name/Description

Milliken Janet A &
Applicant

1851 Washington Ave , Portland , ME 04103
Applicant's Mailing Address

Jane Milliken
Consultant/Agent

Agent Ph: (207)883-3656
Applicant or Agent Daytime Telephone, Fax

Agent Fax:

Proposed Development (check all that apply):
 New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

2815 sqf
Proposed Building square Feet or # of Units

29659
Acreage of Site

7-7 Alice Ct, Portland, Maine
Address of Proposed Site
386A B013001
Assessor's Reference: Chart-Block-Lot

Zoning

Check Review Required:

Site Plan (major/minor)

Flood Hazard

Zoning Conditional Use (ZBA/PB)

Subdivision # of lots _____

Shoreland

Zoning Variance

PAD Review

Historic Preservation

14-403 Streets Review

DEP Local Certification

Other _____

Fees Paid: Site Pla **\$50.00** Subdivision _____ Engineer Review **\$250.00** Date **3/3/2005**

Reviewer *Jay Reynolds*

Denied

DRC Approval Status:

Approved

Approved w/Conditions See Attached

Approval Date **4-12-05** Approval Expiration _____ Extension to _____
 Condition Compliance *Jay Reynolds* signature **4-12-05** date

Additional Sheets Attached

Performance Guarantee

Required*

Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

Performance Guarantee Accepted _____ date _____ amount _____ expiration date _____

Inspection Fee Paid _____ date _____ amount _____

Building Permit Issue _____ date _____

Performance Guarantee Reduced _____ date _____ remaining balance _____ signature _____

Temporary Certificate of Occupancy _____ date _____

Final Inspection _____ date _____

Certificate Of Occupancy _____ date _____

Performance Guarantee Released _____ date _____ signature _____

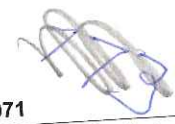
Defect Guarantee Submitted _____ submitted date _____ amount _____ expiration date _____

Defect Guarantee Released _____ date _____ signature _____

Handwritten notes:
 Sent to [unclear] 9/3/05
 Home 3-11-05
 4-12-05 Revision Submitted
 Approved

visit for 14-403 status
Pushing deadline towards August

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy



Nappi Ben J &
Applicant
169 Broadway, Portland, ME 04103
Applicant's Mailing Address

Consultant/Agent
Agent Ph:
Agent Fax:
Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply):
 New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot
2584 sf + 484 sf gar
Proposed Building square Feet or # of Units

46 - 52 Ninth St, Portland, Maine
Address of Proposed Site
339 L003001
Assessor's Reference: Chart-Block-Lot

2004-0071
Application I. D. Number
4/13/2004
Application Date
Single Family dwelling: Mitton
Project Name/Description

Called 5-6
See Pine Street
228-1272
Nappi
Revision

J.R.
#18

7875 sf
Acreage of Site

R-3
Zoning

Check Review Required:

- Site Plan (major/minor)
- Flood Hazard
- Zoning Conditional Use (ZBA/PB)
- Subdivision # of lots
- Shoreland
- Zoning Variance
- PAD Review
- Historic Preservation
- 14-403 Streets Review
- DEP Local Certification
- Other

Fees Paid: Site Pla \$250.00 Subdivision _____ Engineer Review \$50.00 Date 4/13/2004

Reviewer Jay Reynolds

DRC Approval Status:

- Approved
- Approved w/Conditions See Attached
- Denied
- Approval Date 5-13-04
- Approval Expiration _____ Extension to _____
- Condition Compliance
- signature [Signature] date 5-13-04
- Additional Sheets Attached

Performance Guarantee

Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

	date	amount	expiration date
<input checked="" type="checkbox"/> Performance Guarantee Accepted			
<input checked="" type="checkbox"/> Inspection Fee Paid			
<input type="checkbox"/> Building Permit Issue			
<input checked="" type="checkbox"/> Performance Guarantee Reduced		remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy		<input type="checkbox"/> Conditions (See Attached)	expiration date
<input type="checkbox"/> Final Inspection		signature	
<input type="checkbox"/> Certificate Of Occupancy			
<input checked="" type="checkbox"/> Performance Guarantee Released		signature	
<input checked="" type="checkbox"/> Defect Guarantee Submitted	submitted date	amount	expiration date
<input checked="" type="checkbox"/> Defect Guarantee Released	date	signature	

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2004-0071

Application I. D. Number

04/13/2004

Application Date

Single Family dwelling: Mitton

Project Name/Description

Nappi Ben J &

Applicant

169 Broadway, Portland, ME 04103

Applicant's Mailing Address

Consultant/Agent

Agent Ph:

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

48 - 48 Ninth St, Portland, Maine

Address of Proposed Site

339 L003001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of DRC

- 1 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 2 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 Your new street address is now #48 NINTH STREET, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 5 A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 6 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 7 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2005-0250
Application I. D. Number

11/21/2005
Application Date

Meadow Ave Lot 11-12
Project Name/Description

Mcandrew Robert R Etal Jts
Applicant
451 Deming St , South Windsor , CT 06074
Applicant's Mailing Address
Leddy Houser
Consultant/Agent

Meadow Ave, Portland, Maine
Address of Proposed Site
083A B001001
Assessor's Reference: Chart-Block-Lot

Agent Ph: (207)767-0903 Agent Fax:
Applicant or Agent Daytime Telephone, Fax
Proposed Development (check all that apply):
 New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot
1452 foundation only
Proposed Building square Feet or # of Units

22230
Acreage of Site 12/8 Zoning

Check Review Required:

- Site Plan (major/minor)
- Flood Hazard
- Zoning Conditional Use (ZBA/PB)
- Subdivision # of lots _____
- Shoreland
- Zoning Variance
- PAD Review
- Historic Preservation
- 14-403 Streets Review
- DEP Local Certification
- Other _____

Fees Paid: Site Pla \$50.00 Subdivision _____ Engineer Review \$250.00 Date 11/21/2005

Reviewer Jay Reynolds

DRC Approval Status:

- Approved
- Approved w/Conditions See Attached
- Denied
- Approval Date 12-27-05 Approval Expiration _____ Extension to _____ Additional Sheets Attached
- Condition Compliance Jay Reynolds signature 12-27-05 date

Performance Guarantee

Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	_____ date	_____ amount	_____ expiration date
<input checked="" type="checkbox"/> Inspection Fee Paid	_____ date	_____ amount	
<input type="checkbox"/> Building Permit Issue	_____ date		
<input checked="" type="checkbox"/> Performance Guarantee Reduced	_____ date	_____ remaining balance	_____ signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date
<input type="checkbox"/> Final Inspection	_____ date	_____ signature	
<input type="checkbox"/> Certificate Of Occupancy	_____ date		
<input checked="" type="checkbox"/> Performance Guarantee Released	_____ date	_____ signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date	_____ amount	_____ expiration date
<input checked="" type="checkbox"/> Defect Guarantee Released	_____ date	_____ signature	

MODE = MEMORY TRANSMISSION

START=DEC-06 12:20 END=DEC-06 12:21

FILE NO.=806

STN NO.	COMM.	ABBR NO.	STATION NAME/TEL NO.	PAGES	DURATION
001	OK		97670961	001/001	00:00:35

-CITY OF PORTLAND

***** -PLANNING DEPT. - ***** 2077568258- *****



Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

December 6, 2005

Mr. Laddy Houser
429 Preble Street
South Portland, ME 04103

Dear Mr. Houser:

RE: Application for Single Family Residence, Meadow Avenue, Great Diamond Island

Upon review of the site plans, the City's Planning Division has the following comments:

1. It appears that this lot falls within the shoreland zone. Please show the water line, 75 foot and 250 foot setbacks.
2. Shoreland zoning has guidelines regarding soil disturbance and tree clearing. Please indicate your limits of tree clearing, or show areas of preservation.
3. It is unclear whether any changes in ground elevation/contours is proposed. Also, there is no proposed topography change around the subsurface/septic system. Please clarify.
4. Please add erosion control/silt fence as appropriate.

Please resubmit 4 copies of the site plan to my attention.

Sincerely,

Jay Reynolds
Development Review Coordinator

cc: Sarah Hopkins, Development Review Services Manager



PORTLAND MAINE

Strengthening a Remarkable City. Building a Community for Life www.portlandmaine.gov

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

December 6, 2005

Mr. Leddy Houser
429 Preble Street
South Portland, ME 04106

Dear Mr. Houser:

RE: Application for Single Family Residence, Meadow Avenue, Great Diamond Island

Upon review of the site plans, the City's Planning Division has the following comments:

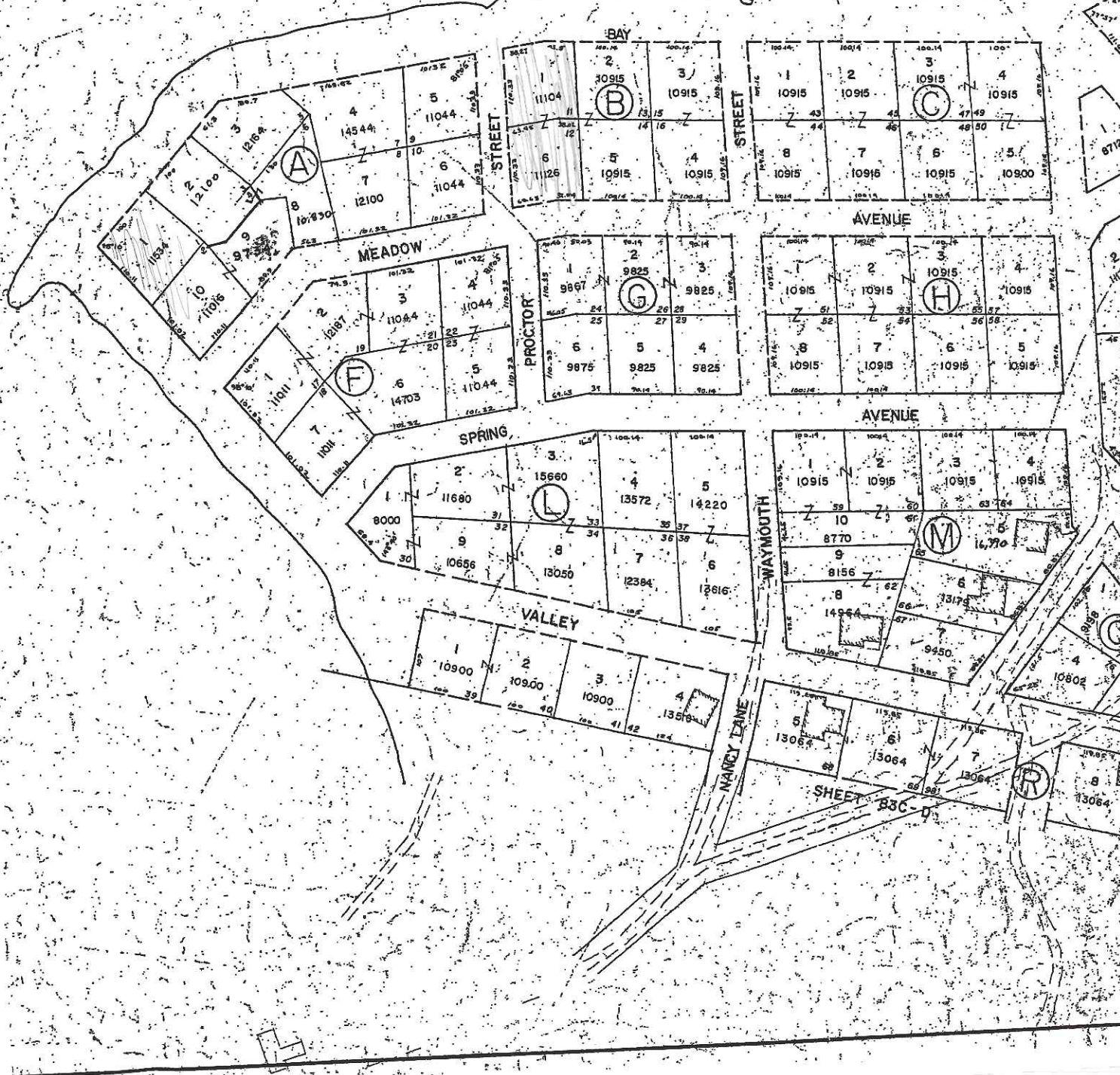
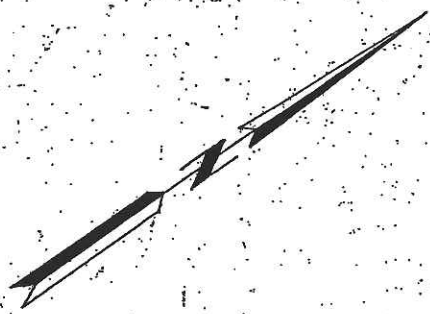
1. It appears that this lot falls within the shoreland zone. Please show the water line, 75 foot and 250 foot setbacks.
2. Shoreland zoning has guidelines regarding soil disturbance and tree clearing. Please indicate your limits of tree clearing, or show areas of preservation.
3. It is unclear whether any changes in ground elevation/contours is proposed. Also, there is no proposed topography change around the subsurface/septic system. Please clarify.
4. Please add erosion control/silt fence as appropriate.

Please resubmit 4 copies of the site plan to my attention.

Sincerely,

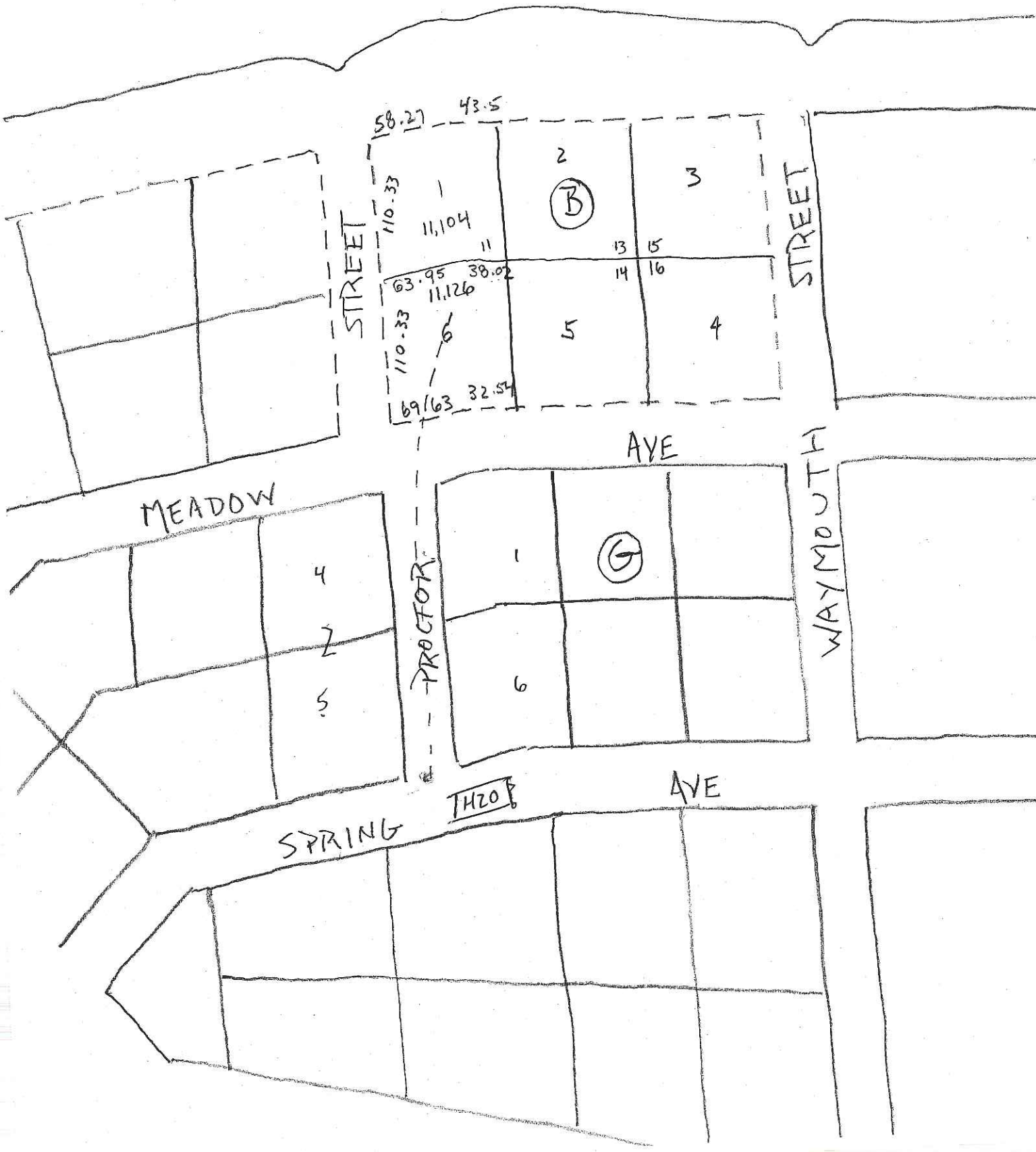
Jay Reynolds
Development Review Coordinator

cc: Sarah Hopkins, Development Review Services Manager



No 83 A

601





Strengthening a Remarkable City, Building a Community for Life

www.portlandmaine.gov

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

March 11, 2005

Robert and Janet Milliken
368 Pine Point Road
Scarborough, ME 04074

Dear Mr. and Mrs. Milliken:

RE: Application for Single Family Residence, 7 Alice Court

Thank you for your application for a single-family house at 7 Alice Court. In addition to the Zoning Administrator's memo dated March 8, 2005, the City's Planning Division has the following review comments:

- a. Please revise the site plan to show any proposed topography changes. The submitted site plan shows no change in grades, which indicates a front yard graded back toward the building and also indicates a daylight basement in the rear. The building elevations do not reflect this.
- b. One of the required street trees appears to be directly in front of the entrance, approximately 3 feet from the house. Please relocate this tree so that it is along the street frontage/property line.

Please resubmit 4 copies of the site plan to my attention.
I can be reached at 874-8632 if you have any questions or comments.

Sincerely,

Jay Reynolds
Development Review Coordinator

cc: Sarah Hopkins, Development Review Services Manager

O:\PLAN\DRC\alice7a.doc

- 1 -



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Lee Urban- Director of Planning and Development
Marge Schmuckal, Zoning Administrator

March 8, 2005

Robert & Janet Milliken
368 Pine Point Road
Scarborough, ME 04074

RE: 7 Alice Court (lot #13B) – 386A-B-013 – R-2 Zone – application #05-0217

Dear Mr. & Mrs. Milliken:

I am in receipt of your permit application at 7 Alice Court. Your permit is denied because it is not meeting the Land Use Zoning requirements.

Section 14-80(d)3 of the Zoning ordinance requires a minimum of fourteen (14) feet from the property line to a two story building. I am scaling only twelve (12) feet from the property line to the left side of the building.

Section 14-80(f) requires a minimum lot width of eighty (80) feet. I am scaling sixty-five (65) feet through the narrowest part of the lot where the principal structure is placed. Lot width is defined as the distance parallel to the front of the building measured between side lot lines through that part of the principal building where the lot is narrowest.

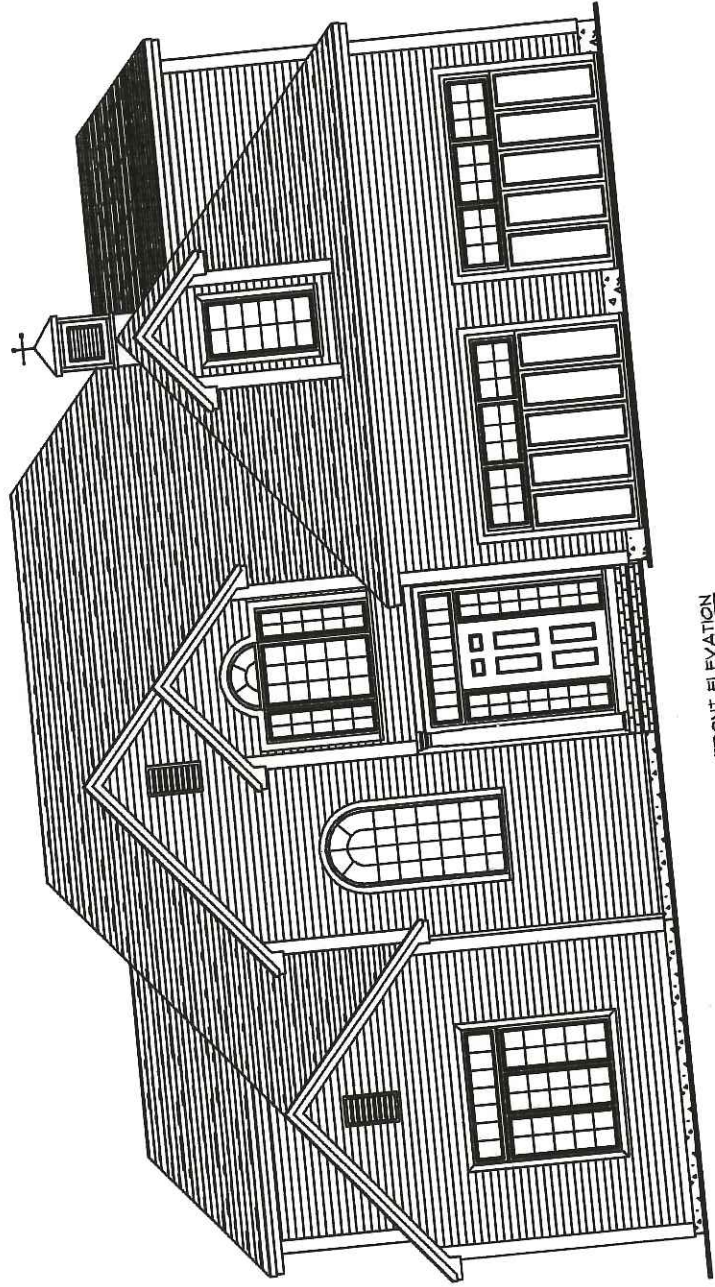
Your permit is on hold until you submit revised plans. Your permit application cannot be reviewed for building codes until such time zoning thresholds have been met.

If you have any questions regarding this matter, please call this office.

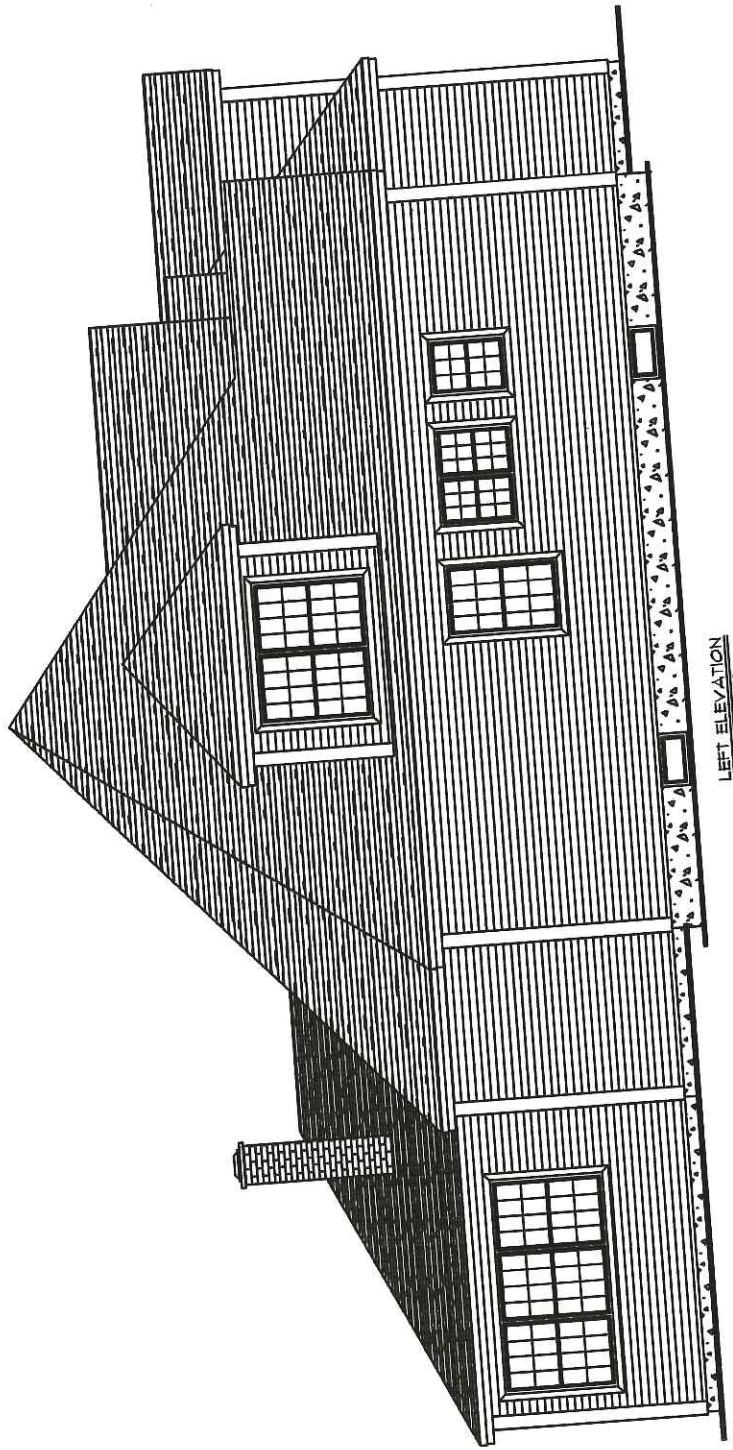
Very truly yours,

Marge Schmuckal
Zoning Administrator

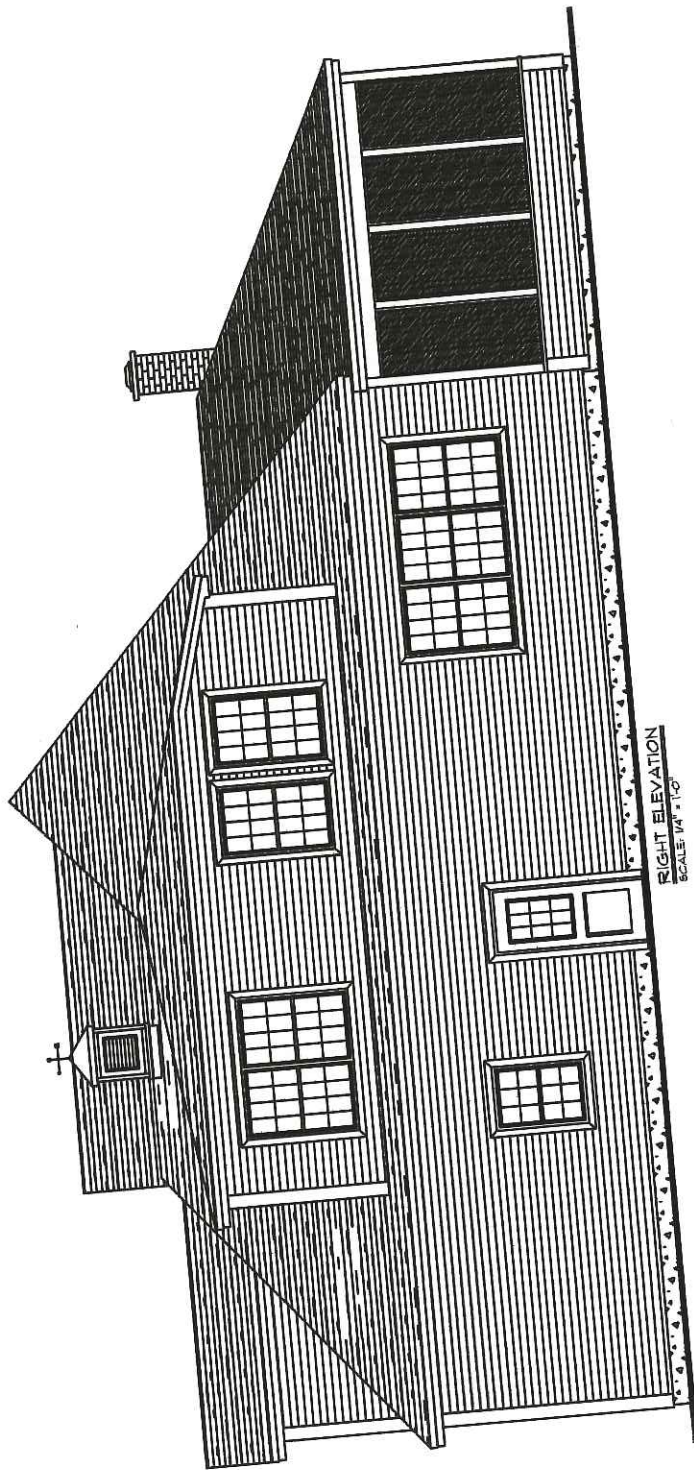
Cc: Larry with Donatello Builders Inc., PO Box 684, Portland, ME
Jay Reynolds, Planning
file



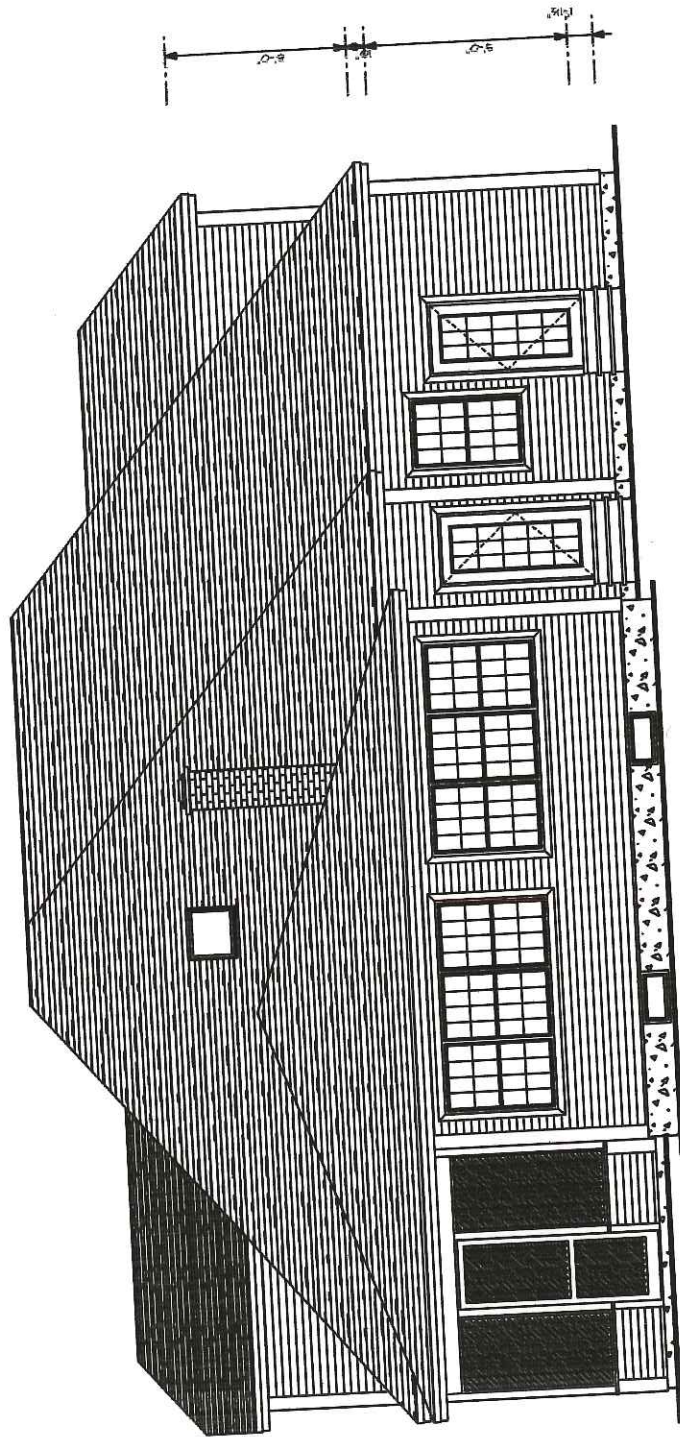
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



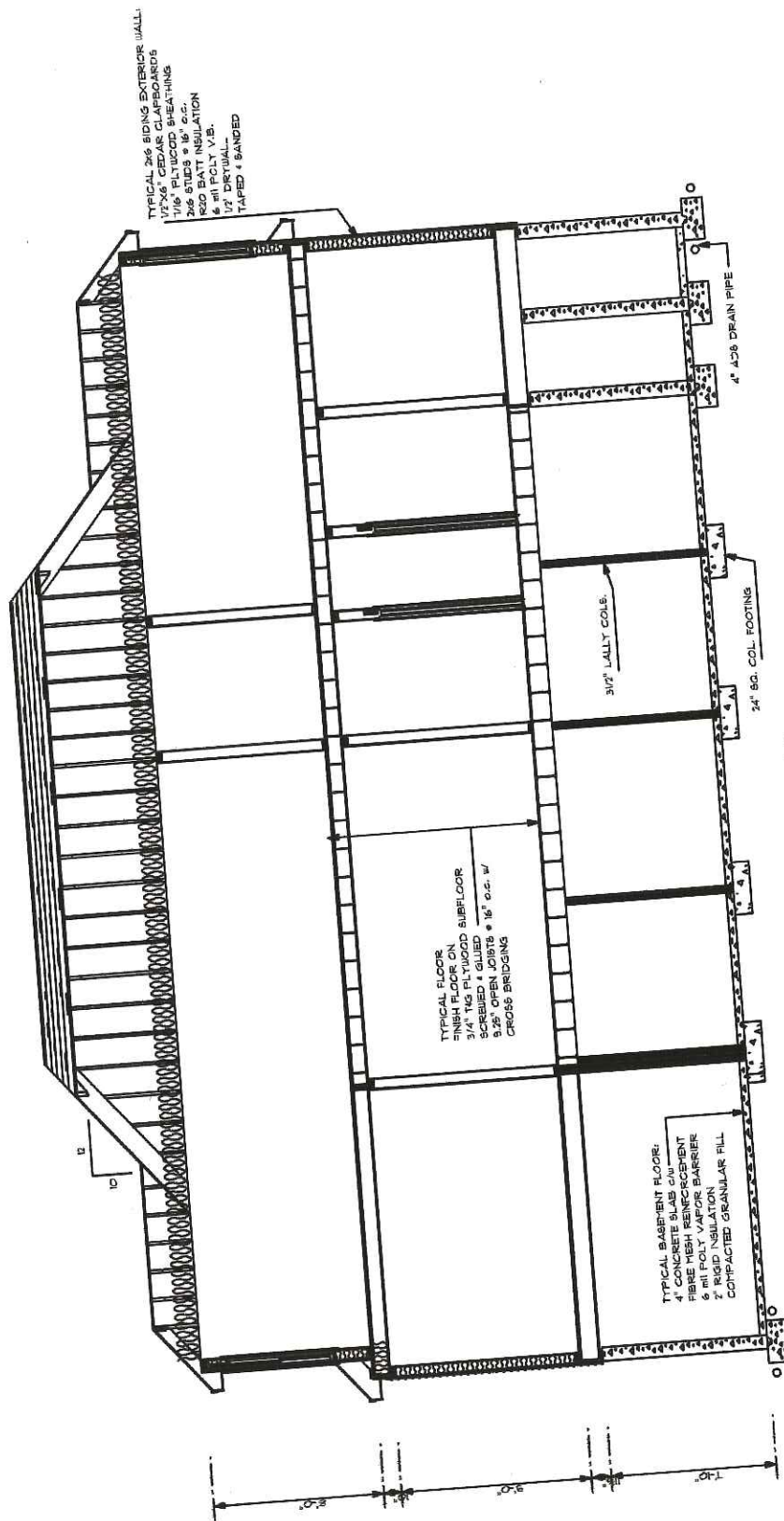
LEFT ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

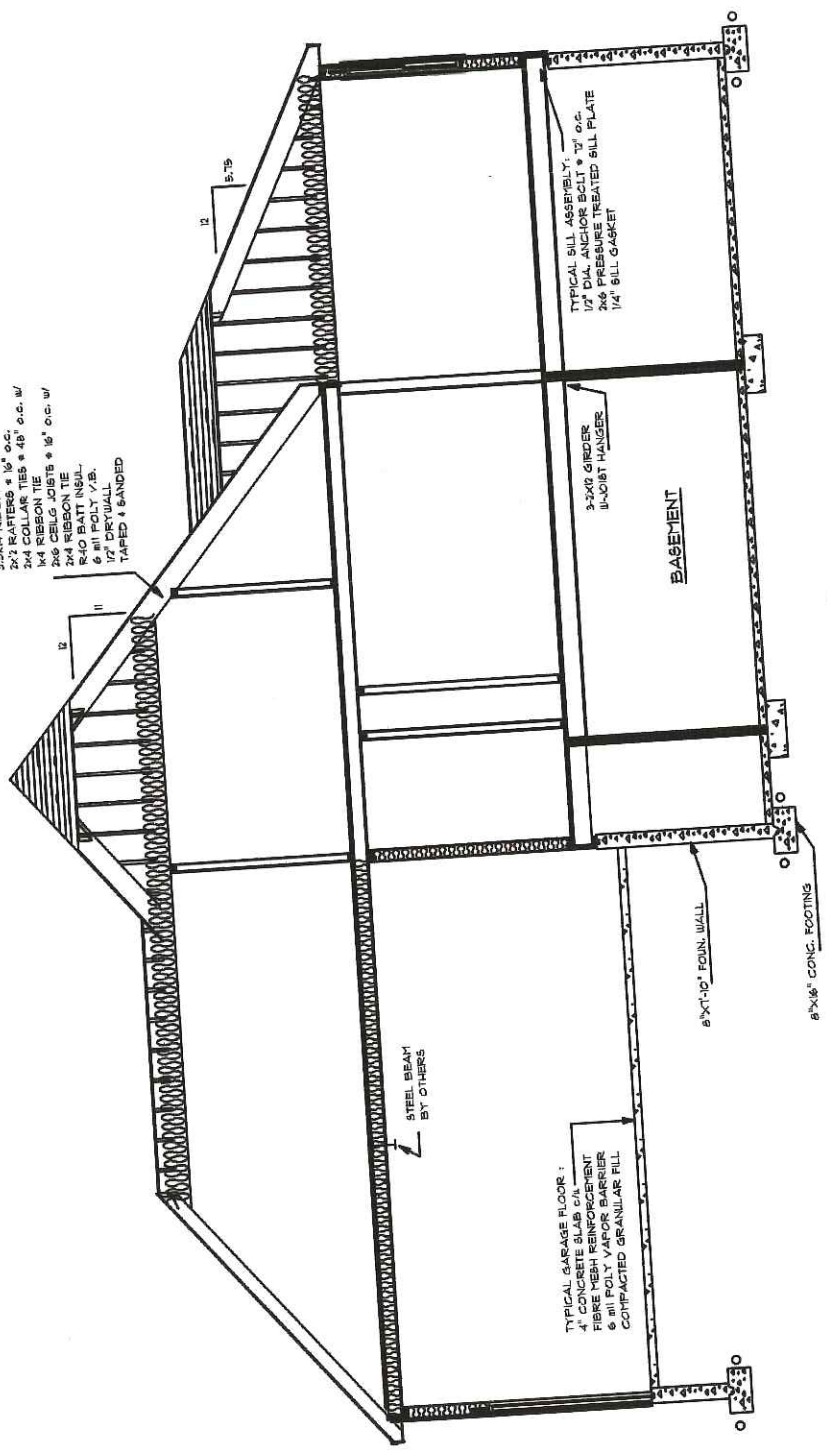


REAR ELEVATION
SCALE: 1/4" = 1'-0"

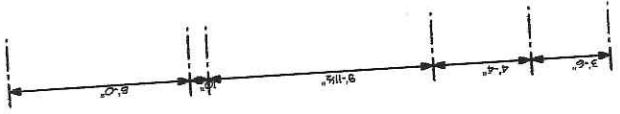


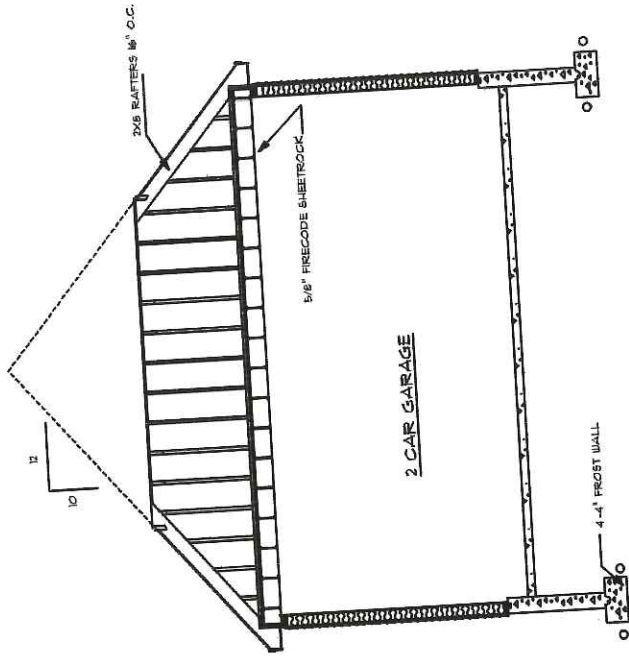
CROSS SECTION A-A
SCALE: 1/4" = 1'-0"

- TYPICAL FRAME ROOF:
- 190 ASPHALT SHINGLES
- 1/2" ROOFING PLYWOOD 2/11
- 1" CLIPS
- 3.5x4x4 RIDGESBOARD
- 2x2 RAFTERS @ 16" o.c.
- 2x4 CEILING TIES @ 48" o.c. w/
- 2x4 CEILING TIE
- 2x6 CEILING JOISTS @ 16" o.c. w/
- R-10 BATT INSUL.
- 6 #11 POLY V.B.
- 1/2" DRYWALL
- TAPED & SANDIED

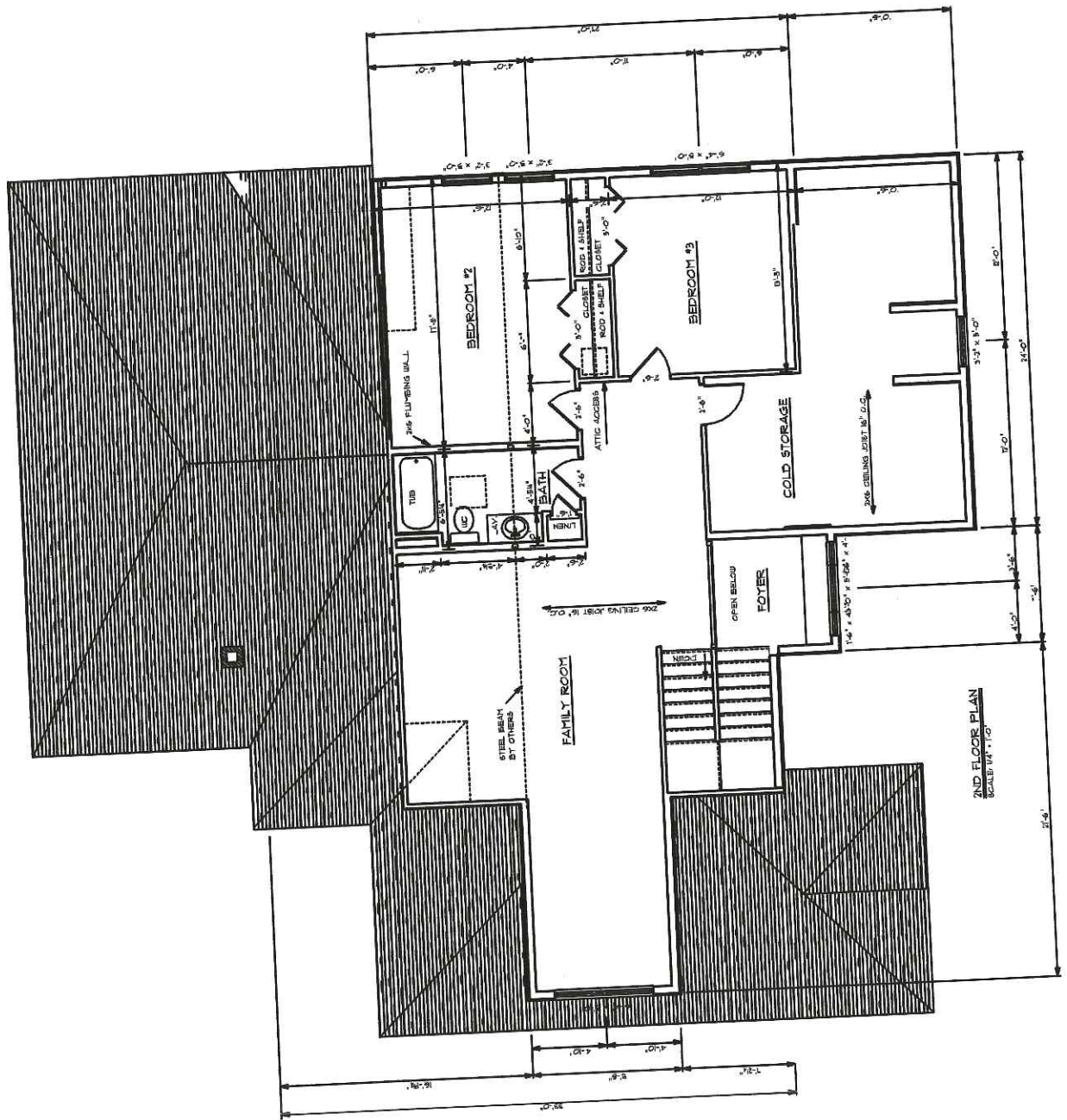


CROSS SECTION B-B
SCALE 1/4" = 1'-0"

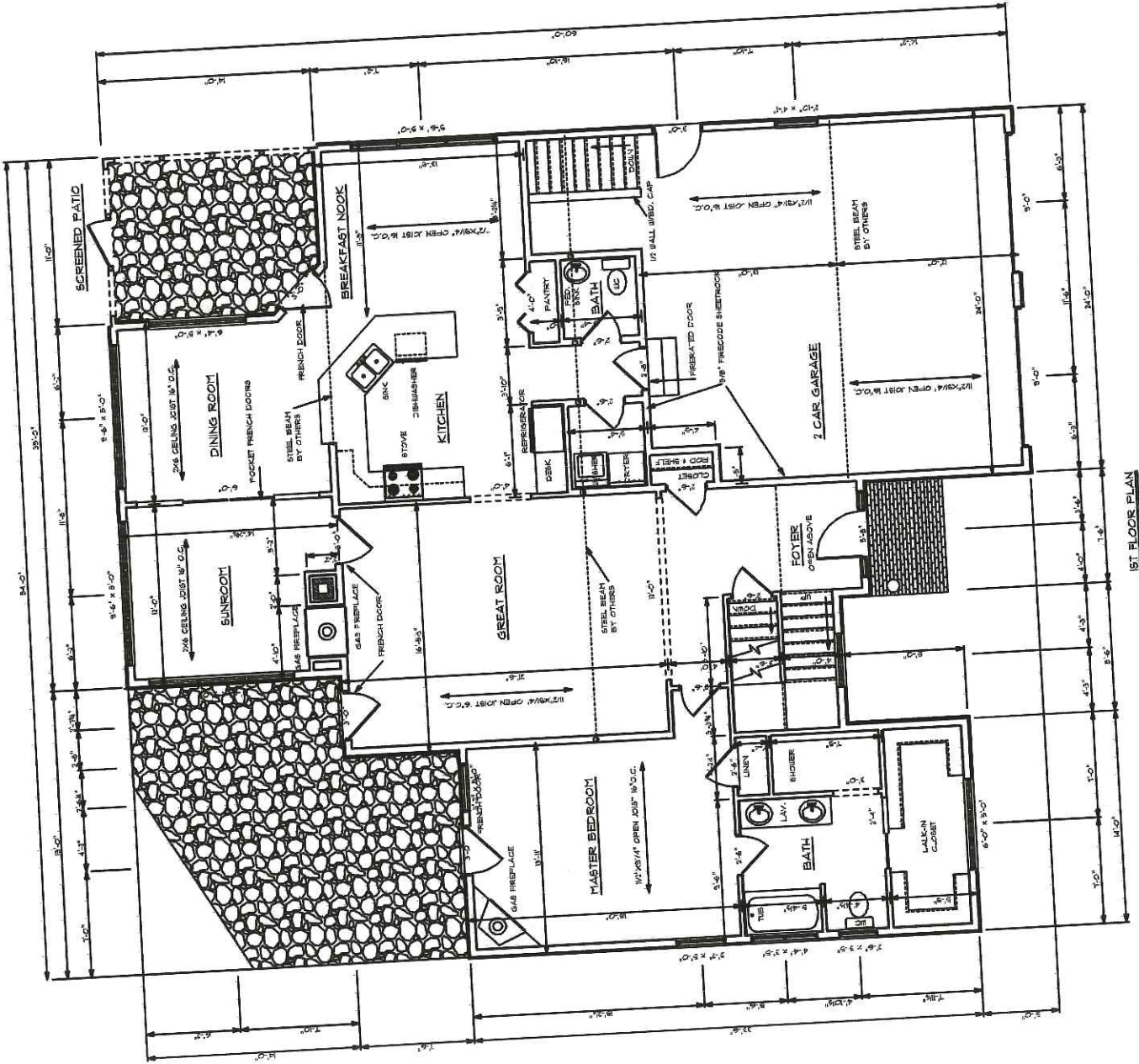




CROSS SECTION C-C
SCALE: 1/4" = 1'-0"



2ND FLOOR PLAN
 SCALE: 1/4" = 1'-0"



1ST FLOOR PLAN
SCALE 1/4" = 1'-0"

From:

09/15/2004 12:47 #019 P.002/009

PURCHASE AND SALE AGREEMENT - LAND ONLY

September 14, 2004

<u>9-15-04</u>	Effective Date
Effective Date is defined in Paragraph 20 of this Agreement.	

1. PARTIES: This Agreement is made between Janet A. Milliken, Robert G. Milliken (hereinafter called "Buyer") and Chase Custom Homes and Finance, Inc. (hereinafter called "Seller").

2. DESCRIPTION: Subject to the terms and conditions hereinafter set forth, Seller agrees to sell and Buyer agrees to buy (all part of ; If "part of" see paragraph 22 for explanation) the property situated in municipality of Portland, County of Cumberland, State of Maine, located at 7 Alice Court and described in deed(s) recorded at said County's Registry of Deeds Book(s) 20917, Page(s) 086

3. CONSIDERATION: For such Deed and conveyance Buyer is to pay the sum of PRICE \$ 130,000.00
of which DEPOSIT \$ 1,000.00
is included herewith as an earnest money deposit, and an additional amount of DEPOSIT \$
will be paid BALANCE DUE \$ 129,000.00
The balance due amount is to be paid by certified or bank check, upon delivery of the Deed.

This Purchase and Sale Agreement is subject to the following conditions:

4. EARNEST MONEY/ACCEPTANCE: Keller Williams Realty ("Agency") shall hold said earnest money and act as escrow agent until closing; this offer shall be valid until September 15, 2004 (date) 5:00 AM PM; and, in the event of non-acceptance, this earnest money shall be returned promptly to Buyer. Withdrawals of offers and counteroffers will be effective upon communication, verbally or in writing, to the other party or their agents. In the event that the Agency is made a party to any lawsuit by virtue of acting as escrow agent, Agency shall be entitled to recover reasonable attorney's fees and costs which shall be assessed as court costs in favor of the prevailing party.

5. TITLE AND CLOSING: A deed, conveying good and merchantable title in accordance with the Standards of Title adopted by the Maine Bar Association shall be delivered to Buyer and this transaction shall be closed and Buyer shall pay the balance due and execute all necessary papers on October 15, 2004 (closing date) or before, if agreed in writing by both parties. If Seller is unable to convey in accordance with the provisions of this paragraph, then Seller shall have a reasonable time period, not to exceed 30 days, from the time Seller is notified of the defect, unless otherwise agreed to by both Buyer and Seller, to remedy the title, after which time, if such defect is not corrected so that there is a merchantable title, Buyer may, at Buyer's option, withdraw said earnest money and be relieved from all obligations. Seller hereby agrees to make a good-faith effort to cure any title defect during such period.

6. DEED: The property shall be conveyed by a Warranty deed, and shall be free and clear of all encumbrances except covenants, conditions, easements and restrictions of record which do not materially and adversely affect the continued current use of the property.

7. POSSESSION: Possession of premises shall be given to Buyer immediately at closing unless otherwise agreed in writing.

8. RISK OF LOSS: Until the closing, the risk of loss or damage to said premises by fire or otherwise, is assumed by Seller. Buyer shall have the right to view the property within 24 hours prior to closing for the purpose of determining that the premises are in substantially the same condition as on the date of this Agreement.

9. PRORATIONS: The following items, where applicable, shall be prorated as of the date of closing: rent, association fees, (other) none. Real estate taxes shall be prorated as of the date of closing (based on municipality's fiscal year). Seller is responsible for any unpaid taxes for prior years. If the amount of said taxes is not known at the time of closing, they shall be apportioned on the basis of the taxes assessed for the preceding year with a reapportionment as soon as the new tax rate and valuation can be ascertained, which latter provision shall survive closing. Buyer and Seller will each pay their transfer tax as required by State of Maine.

10. PROPERTY DISCLOSURE FORM: Buyer acknowledges receipt of Seller's Property Disclosure Form and is encouraged to seek information from professionals regarding any specific issue or concern.

11. INSPECTIONS: Buyer is encouraged to seek information from professionals regarding any specific issue or concern.

Rev. 2004
Prudential Northeast Properties 23 Main Street, Camden ME 04843
Phone: (207) 772-5222

Page 1 of 4 - P&S-LO Buyer(s) Initials JAM Seller(s) Initials 700
Fax: (207) 879-6359 Kimberly Wilson

Produced with ZipForm™ by RE FormsNet, LLC 18025 E. Green Mile Road, Giron Township, Michigan 48036, (800) 383-8803

T8304345.ZFX

From:

Agent makes no warranties regarding the condition, permitted use or value of Sellers' real property. This Agreement is subject to the following contingencies, with results being satisfactory to Buyer:

CONTINGENCY	YES	NO	DAYS FOR COMPLETION	OBTAINED BY	TO BE PAID FOR BY
1. SURVEY Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
2. SOILS TEST Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
3. SEPTIC SYSTEM DESIGN Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
4. LOCAL PERMITS Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
5. HAZARDOUS WASTE REPORTS Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
6. UTILITIES Purpose: <u>written confirm. from FWD that water and sewer lines are stubbed on lot</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>5</u>	<u>Seller</u>	_____
7. WATER Purpose: <u>see above</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	_____	_____	_____
8. SUB-DIVISION APPROVAL Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
9. DEPLURC APPROVALS Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
10. ZONING VARIANCE Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
11. MDOT DRIVEWAY/ ENTRANCE PERMIT Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
12. DEED RESTRICTION Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
13. TAX EXEMPT STATUS Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____
14. OTHER Purpose: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____	_____	_____

Further specifications regarding any of the above:

Unless otherwise specified above, all of the above will be obtained and paid for by Buyer. If the result of any inspection or other condition specified herein is unsatisfactory to Buyer, Buyer will declare the Agreement null and void by notifying Seller in writing within the specified number of days, and any earnest money shall be returned to Buyer. If the result of any inspection or other condition specified herein is unsatisfactory to Buyer, and Buyer wishes to pursue remedies other than voiding the Agreement, Buyer must do so to full resolution within the time period set forth above; otherwise this contingency is waived. If Buyer does not notify Seller that an inspection is unsatisfactory within the time period set forth above, this contingency is waived by Buyer. In the absence of inspection(s) mentioned above, Buyer is relying completely upon Buyer's own opinion as to the condition of the property.

Page 2 of 4 - P&S-LO Buyer(s) Initials [Signature] Seller(s) Initials [Signature]

From:

12. FINANCING: This Agreement is is not subject to Financing. If subject to Financing:
- a. This Agreement is subject to Buyer obtaining a conventional loan of 80 % of the purchase price, at an interest rate not to exceed prevailing % and amortized over a period of 20 years.
 - b. Buyer to provide Seller with letter from lender showing that Buyer has made application and, subject to verification of information, is qualified for the loan requested within 5 days from the Effective Date of the Agreement. If Buyer fails to provide Seller with such letter within said time period, Seller may terminate this Agreement and the earnest money shall be returned to Buyer.
 - c. Buyer to provide Seller with loan commitment letter from lender showing that Buyer has secured the loan commitment within 21 days of the Effective Date of the Agreement. If Buyer fails to provide Seller with this loan commitment letter within said time period, Seller may deliver notice to Buyer that this Agreement is terminated three business days after delivery of such notice unless Buyer delivers the loan commitment letter before the end of the three-day period. If the Agreement is terminated under the provision of this sub-paragraph, the earnest money shall be returned to Buyer.
 - d. Buyer hereby authorizes, instructs and directs its lender to communicate the status of the Buyer's loan application to Seller or Seller's agent.
 - e. After (b) and (c) are met, Buyer is obligated to notify Seller in writing if the lender notifies Buyer that it is unable or unwilling to proceed under the terms of the loan commitment. Any failure by Buyer to notify Seller within 48 hours of receipt by Buyer of notice from the lender shall be a default under this Agreement.
 - f. Buyer agrees to pay no more than 0 points. Seller agrees to pay \$ -0- toward Buyer's pre-pays.
 - g. Buyer's ability to obtain financing is is not subject to the sale of another property. See addendum Yes No .
 - h. Buyer may choose to pay cash instead of obtaining financing. If so, buyer shall notify seller in writing and the Agreement shall no longer be subject to financing, and Seller's right to terminate pursuant to the provisions of paragraph 15 shall be void.

13. AGENCY DISCLOSURE: Buyer and Seller acknowledge they have been advised of the following relationships:

Lesna Barschdorf of Keller Williams Realty Agency is a Seller Agent Buyer Agent
 Disc Dual Agent Transaction Broker
 Licensee

Rin Watson of Prudential Northeast Prop. Agency is a Seller Agent Buyer Agent
 Disc Dual Agent Transaction Broker
 Licensee

If this transaction involves Disclosed Dual Agency, the Buyer and Seller acknowledge the limited fiduciary duties of the agents and hereby consent to this arrangement. In addition, the Buyer and Seller acknowledge prior receipt and signing of a Disclosed Dual Agency Consent Agreement.

14. MEDIATION: Any dispute or claim arising out of or relating to this Agreement or the property addressed in this Agreement shall be submitted to mediation in accordance with the Maine Residential Real Estate Mediation Rules. Buyer and Seller are bound to mediate in good faith and pay their respective mediation fees. If a party does not agree first to go to mediation, then that party will be liable for the other party's legal fees in any subsequent litigation regarding that same matter in which the party who refused to go to mediation loses in that subsequent litigation. This clause shall survive the closing of the transaction. Earnest money disputes are subject to release options in license law and the default clause contained herein.

15. DEFAULT: In the event of default by the Buyer, Seller may employ all legal and equitable remedies, including without limitation, termination of this Agreement and forfeiture by Buyer of the earnest money. In the event of a default by Seller, Buyer may employ all legal and equitable remedies, including without limitation, termination of this Agreement and return to Buyer of the earnest money. Agency acting as escrow agent has the option to require written releases from both parties prior to disbursing the earnest money to either Buyer or Seller. In the absence of signed releases, earnest money deposit disputes will be submitted to small claims court if the dispute meets the criteria for being handled by that jurisdiction.

16. PRIOR STATEMENTS: Any representations, statements and agreements are not valid unless contained herein. This Agreement completely expresses the obligations of the parties.

17. HEIRS/ASSIGNS: This Agreement shall extend to and be obligatory upon heirs, personal representatives, successors, and assigns of the Seller and the assigns of the Buyer.

18. COUNTERPARTS: This Agreement may be signed on any number of identical counterparts, such as a faxed copy, with the same binding effect as if the signatures were on one instrument. Original or faxed signatures are binding.

19. ADDENDA: Yes Explain: _____ No

20. EFFECTIVE DATE: This Agreement is a binding contract when signed by both Buyer and Seller and when that fact has been communicated to Buyer and Seller or to their agents. Agent is authorized to complete Effective Date on Page 1 of this Agreement. Except as expressly set forth to the contrary, the use of "by (date)" or "within x days" shall refer to calendar days being counted from the Effective Date as noted on Page 1 of the Agreement, beginning with the first day after the Effective Date and ending at 5:00 p.m. Eastern Time on the last day counted.

21. CONFIDENTIALITY: Buyer and Seller understand that the terms of this Agreement are confidential but authorize the disclosure of the information herein to the agents, attorneys, lenders, appraisers, inspectors and others involved in the transaction necessary for the purpose of closing this transaction. Buyer and Seller authorize the lender and/or closing agent preparing the entire closing statement to release a copy of the closing statement to the parties and their agents prior to, at and after the closing.

Page 3 of 4 - P&S-LO Buyer(s) Initials

Seller(s) Initials

09/15/2004 12:50 #019 P.005/009

From:

22. OTHER CONDITIONS:

A copy of this Agreement is to be received by all parties and, by signature, receipt of a copy is hereby acknowledged. If not fully understood, contact an attorney. This is a Maine contract and shall be construed according to the laws of Maine.

Seller acknowledges that State of Maine law requires buyers of property owned by non-resident sellers to withhold a prepayment of capital gains tax unless a waiver has been obtained by Seller from the State of Maine Bureau of Taxation.

Buyer acknowledges that Maine law requires continuing interest in the property and any back up offers to be communicated by the listing agent to the Seller.

BUYER Janet A. Milliken
Janet A. Milliken

SS# OR TAXPAYER ID#
005-50-9294
SS# OR TAXPAYER ID#

BUYER Robert G. Milliken
Robert G. Milliken

Buyer's Mailing address is 1951 Washington Ave. Extension, Portland, ME 04103

Seller accepts the offer and agrees to deliver the above-described property at the price and upon the terms and conditions set forth and agrees to pay Agency a commission for services as specified in the listing agreement.

Seller's Mailing address is 1 Perry Hawkes Rd, Windham, ME 04062

SS# OR TAXPAYER ID#
010507636
SS# OR TAXPAYER ID#

for Thomas D. Bentley
SELLER Chase Custom Home and Finance DATE

SELLER _____ DATE _____

SS# OR TAXPAYER ID#

Offer reviewed and refused on _____ day of _____

SELLER _____ SELLER _____

COUNTER-OFFER: Seller agrees to sell on the terms and conditions as detailed herein with the following changes and/or conditions:

The parties acknowledge that until signed by Buyer, Seller's signature constitutes only an offer to sell on the above terms and the offer will expire unless accepted by Buyer's signature with communication of such signature to Seller by (date) _____ (time) _____ AM _____ PM.

SELLER _____ DATE _____ SELLER _____ DATE _____

The Buyer hereby accepts the counter offer set forth above.

BUYER _____ DATE _____ BUYER _____ DATE _____

EXTENSION: The time for the performance of this Agreement is extended until _____ DATE _____

BUYER _____ DATE _____ SELLER _____ DATE _____

BUYER _____ DATE _____ SELLER _____ DATE _____

OWNER/BUILDER:
EAST COAST DEVELOPMENT
P.O. BOX 3561
PORTLAND, MAINE 04101

ENGINEER: PINKHAM & GREER
CONSULTING ENGINEERS
FALMOUTH, MAINE

TOPOGRAPHY & BOUNDARY:
OWEN HASKELL ASSOC.
PORTLAND, MAINE

LEGEND

- LOT LINES
- - - BUILDING SETBACK
- - - EXISTING CONTOUR
- - - PROPOSED CONTOUR
- SPOT GRADE
- WETLAND BOUNDARY
- SHORELAND ZONE LIMIT
- - - EASEMENT
- - - BUFFER LINE
- - - FLOOD HAZARD LINE
- STREAM
- EDGE OF PAVEMENT
- VERTICAL GRANITE CURB
- SLOPED BITUMINOUS CURB
- 18" SANITARY SEWER
- 8" SANITARY SEWER & MANHOLE
- STORMDRAIN & MANHOLE
- CATCH BASIN
- 8" WATER LINE
- HYDRANT
- UNDERDRAIN
- FOUNDATION DRAIN
- SEWER HOUSE SERVICE
- WATER HOUSE SERVICE
- BOUND FOUND
- IRON PIPE FOUND
- GRANITE MONUMENT SET
- 5/8" IRON PIPE SET
- PATH OF SURFACE DRAINAGE
- SILT FENCE
- NATURAL CONDITION
- BUFFER ZONE

CONNECT UTILITIES TO EXISTING STUBS, FIELD LOCATE.

NOTES:

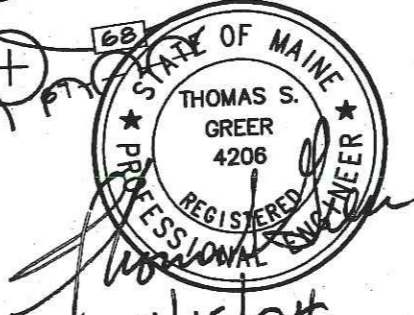
1. THIS PLAN IS FOR LOT 2 ONLY. GRADING OR GENERAL DRAINAGE SHOWN FOR ADJACENT ROAD OR LOTS IS FOR INFORMATION ONLY AND MAY NOT REPRESENT ACTUAL FIELD CONDITIONS.
2. DEVELOPMENT WITHIN THE HISTORIC DISTRICT IS SUBJECT TO REVIEW BY THE CITY OF PORTLAND HISTORIC PRESERVATION COMMITTEE.
3. FOUNDATIONS TO BE LAID OUT BY A PROFESSIONAL SURVEYOR

SITE PLAN LOT 2

RIVER'S EDGE
HERITAGE COURT

SCALE: 1"=30'
DATE: NOVEMBER 15, 2004
DESIGNED BY: TSG
PROJECT: 02110

PINKHAM & GREER
CONSULTING ENGINEERS, INC.
FALMOUTH, MAINE



11/15/04

2-STREET TREES, RED MAPLE (*acer rubrum*) 2 1/2" CAL.

CONGRESS STREET RIGHT-OF-WAY PRIOR TO RECONSTRUCTION

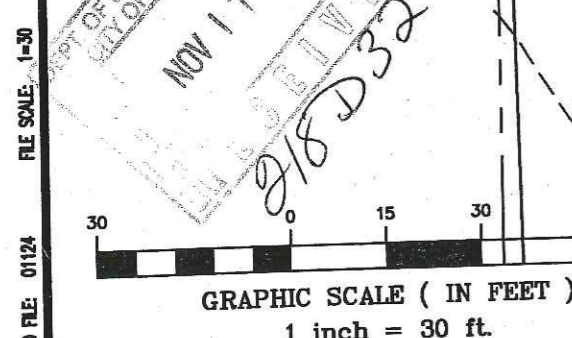
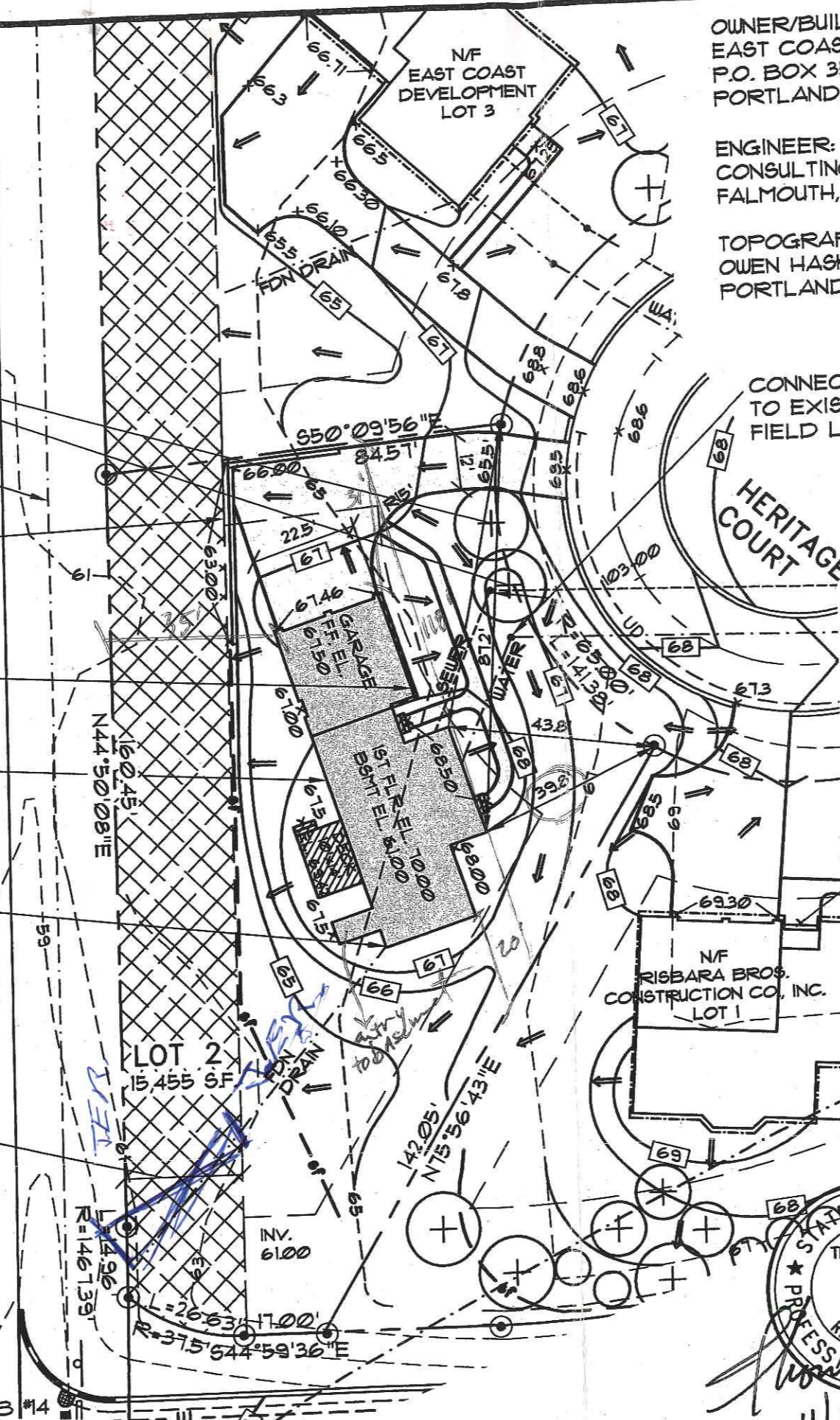
RETAINING WALL TOP OF WALL EL. 66.00, IF MODULAR BLOCK IS USED WALL MAY NOT BE TALLER THAN 4'.

TOP OF FDN WALL ALONG FRONT OF GARAGE TO BE EL. 68.50 MIN.

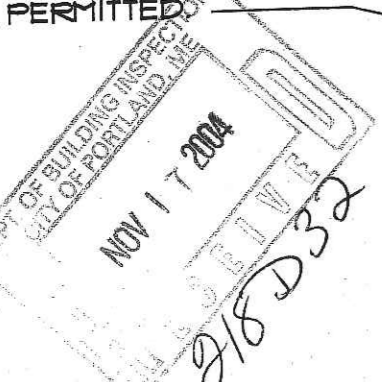
EDGE OF FOUNDATION

INV. 62.5±, SUMP PUMP & BACKFLOW PREVENTOR FOR FDN DRAIN REQ'D

BUFFER ZONE TO BE LEFT IN IT'S NATURAL CONDITION EXCEPT THAT CLEARING OF THE UNDERSTORY FOR A 5' WIDE WALKING TRAIL IS PERMITTED.



CAD FILE: 01124
FILE SCALE: 1"=30'



Approval based on these plans

THESE PLANS AND SPECIFICATIONS HAVE NOT BEEN PREPARED BY A REGISTERED ARCHITECT OR ENGINEER. THESE PLANS ARE PROVIDED AS A SERVICE TO THE CLIENT AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE. THE CLIENT ASSUMES ALL LIABILITY FOR THE ACCURACY AND COMPLETENESS OF THESE PLANS AND SPECIFICATIONS. THE ARCHITECT OR ENGINEER DOES NOT WARRANT OR GUARANTEE THE ACCURACY OR COMPLETENESS OF THESE PLANS AND SPECIFICATIONS. THE ARCHITECT OR ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR OMISSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACTUAL CONSTRUCTION OF THE PROJECT. THE ARCHITECT OR ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CHANGES OR MODIFICATIONS TO THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACTUAL CONSTRUCTION OF THE PROJECT.

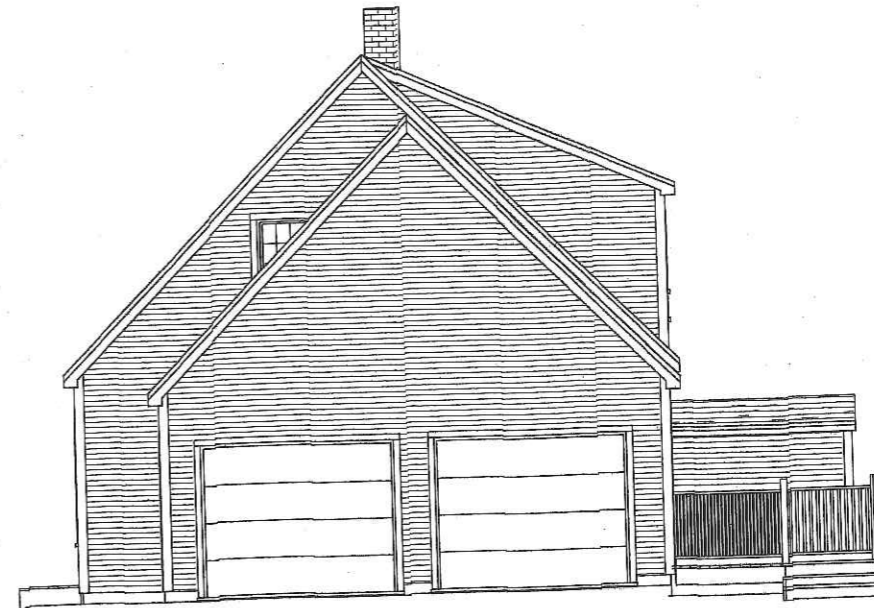


OWENS CORNING PRO 30
ESTATE GRAY
ROOF SHINGLES

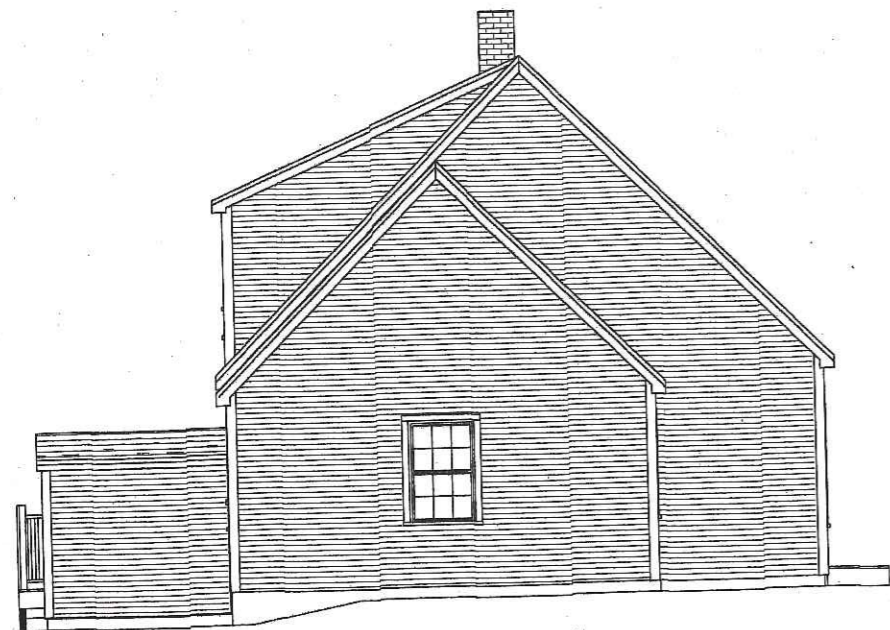
INSULATED GLASS
VINYL CLAD
1/2 SCREEN
B.F. RICH WINDOWS

METAL INSULATED
DOORS

RESTORATION CLASSIC TRIPLE 3"
VINYL SIDING SMOOTH FINISH
GRANITE GRAY



RIGHT ELEVATION



LEFT ELEVATION



REAR ELEVATION

LOT 2
RIVERS
EDGE

PROJECT NAME:

MARDIGAN
SPEC HOUSE

REVISIONS

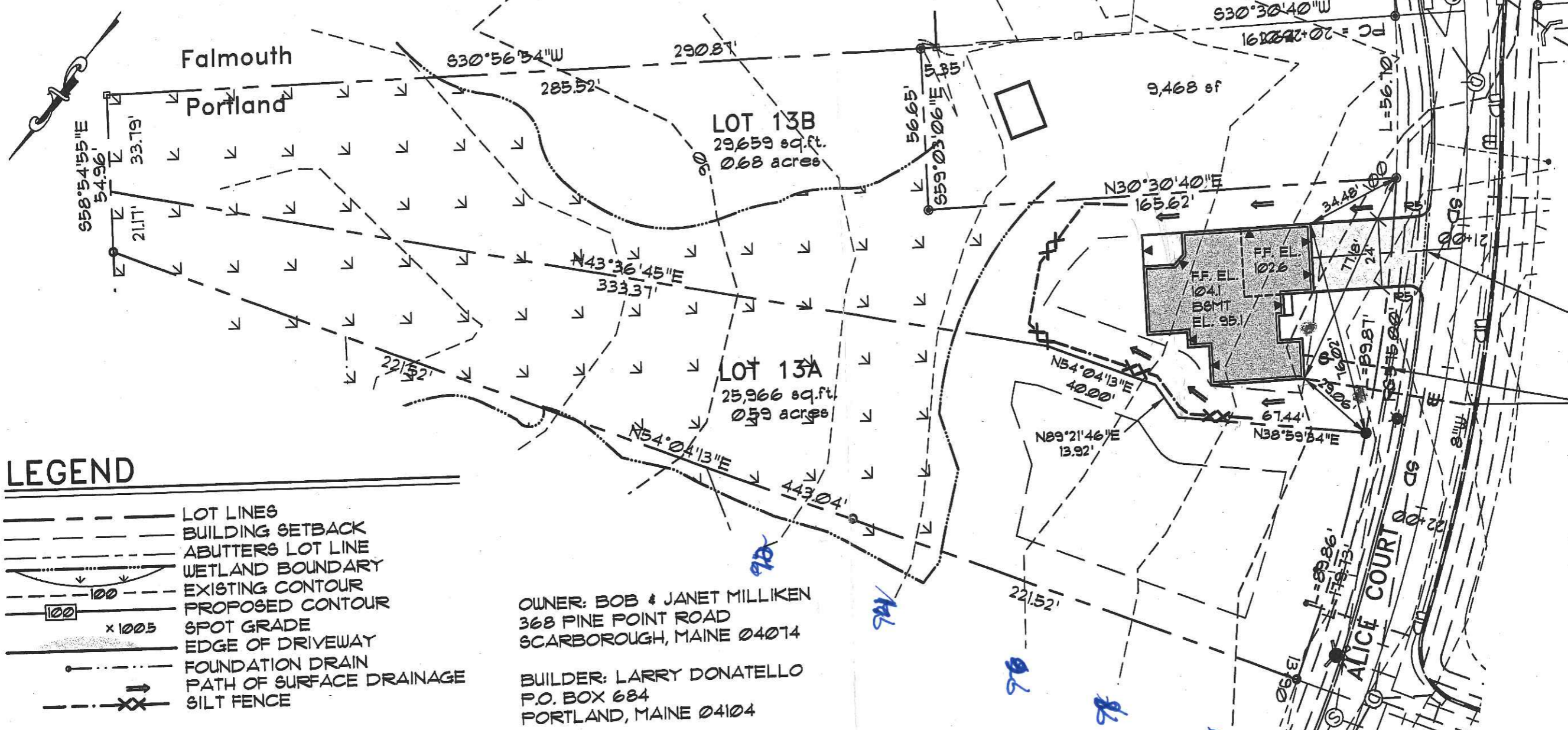
DATE:

SCALE: AS NOTED

DRAWN

FILE:

SHEET OF



LEGEND

- LOT LINES
- BUILDING SETBACK
- ABUTTERS LOT LINE
- WETLAND BOUNDARY
- EXISTING CONTOUR
- PROPOSED CONTOUR
- SPOT GRADE
x 100.5
- EDGE OF DRIVEWAY
- FOUNDATION DRAIN
- PATH OF SURFACE DRAINAGE
- SILT FENCE

NOTES

1. THIS PLAN IS FOR LOT 13B. GRADING, BUILDING LOCATION OR GENERAL DRAINAGE FOR ADJACENT LOTS IS NOT INCLUDED.
2. EROSION CONTROL MESH, INSTALL ON ALL SLOPES GREATER THAN 3:1. LOAM & SEED AS SOON AS POSSIBLE.
3. A SUMP PUMP FOR THE FOUNDATION DRAIN WILL BE REQUIRED IF A DAYLIGHT BASEMENT IS INCLUDED.
4. CONNECT WATER AND SEWER TO EXISTING STUBS.
5. LOAM & SEED ALL DISTURBED AREAS.

OWNER: BOB & JANET MILLIKEN
368 PINE POINT ROAD
SCARBOROUGH, MAINE 04014

BUILDER: LARRY DONATELLO
P.O. BOX 684
PORTLAND, MAINE 04104

ENGINEER: PINKHAM & GREER
CONSULTING ENGINEERS
FALMOUTH, MAINE

TOPOGRAPHIC AND BOUNDARY INFORMATION PROVIDED BY TITCOMB & ASSOCIATES, FALMOUTH, MAINE. Elevations are referenced to NAVD datum. Location of benchmark: Standard disk Auburn RM-1 set flush in a 2' X 4' boulder between two pine trees 10 feet into woods from the woods line, 198 feet southeasterly from the centerline of the Falmouth Spur eastbound, 83.95 feet southeast of the station mark, 84.25 feet northeast of RM-2, 25 feet southeast of the right-of-way fence, 61 feet southwest of granite town line monument. Elevation = 122.31 feet.

TOPOGRAPHIC DATA IS BASED ON DESIGN DRAWINGS. ACTUAL TOPO WILL VARY. ADJUST GRADES TO MATCH EXISTING CONDITIONS.

REMOVE CURB AND MATCH TO EXISTING PAVING

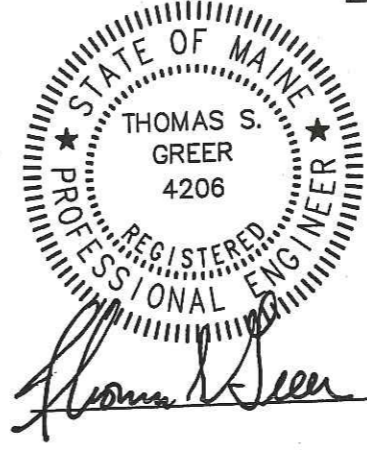
FIELD LOCATE ACTUAL STUBS

trees

GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.



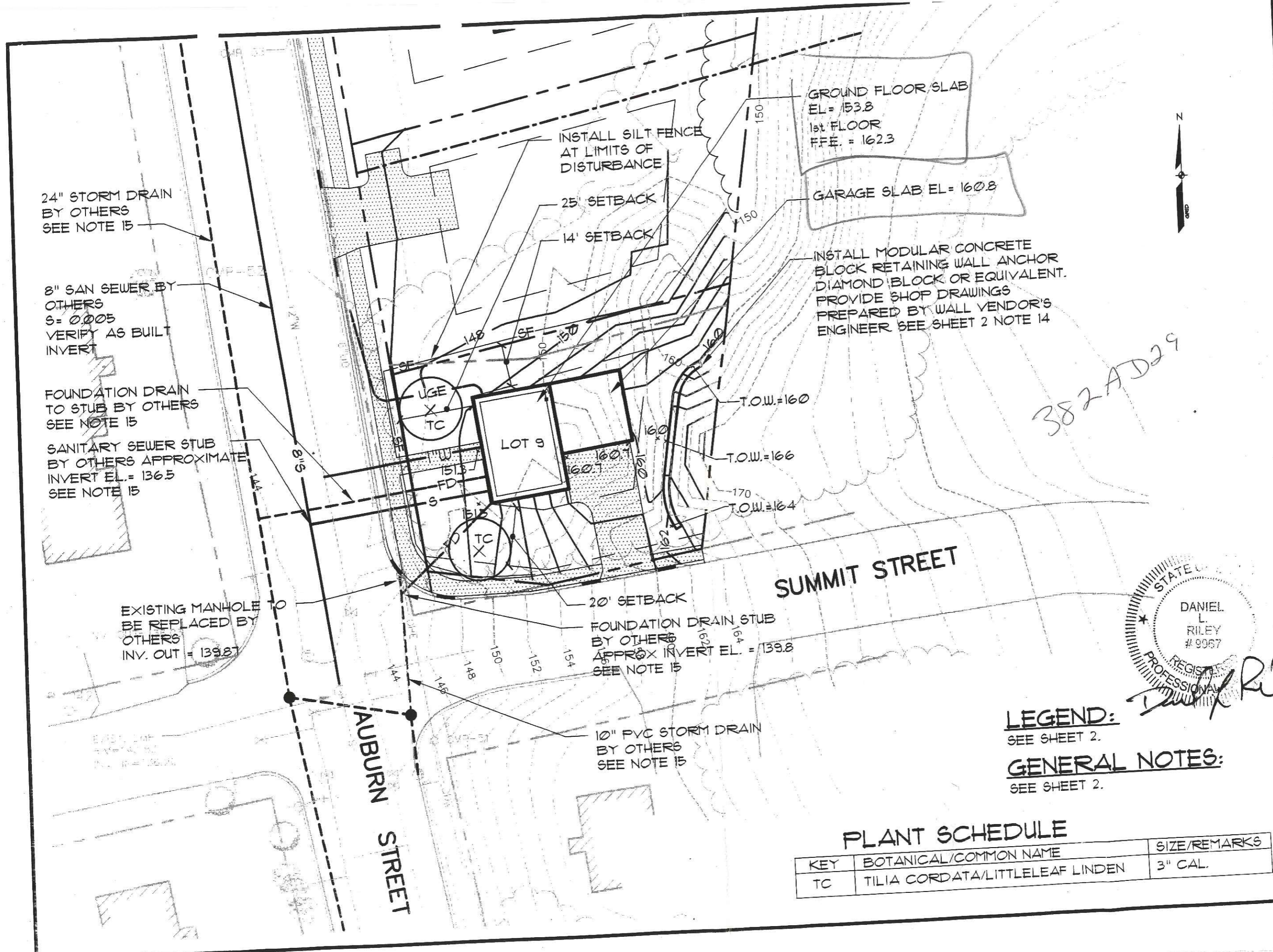
AUBURN PINES

ALICE COURT
LOT 13B, PORTLAND, MAINE

SCALE: 1"=40'
DATE: FEB. 22, 2005
DESIGNED BY: TSG
PROJECT: 04155

PINKHAM & GREER
CONSULTING ENGINEERS, INC.
FALMOUTH, MAINE

CAD FILE: 04155
FILE SCALE: 1"=40'



24" STORM DRAIN
BY OTHERS
SEE NOTE 15

8" SAN SEWER BY
OTHERS
S = 0.005
VERIFY AS BUILT
INVERT

FOUNDATION DRAIN
TO STUB BY OTHERS
SEE NOTE 15

SANITARY SEWER STUB
BY OTHERS APPROXIMATE
INVERT EL. = 136.5
SEE NOTE 15

EXISTING MANHOLE TO
BE REPLACED BY
OTHERS
INV. OUT = 139.87

INSTALL SILT FENCE
AT LIMITS OF
DISTURBANCE

25' SETBACK

14' SETBACK

GROUND FLOOR SLAB
EL = 153.8
1st FLOOR
FFE = 162.3

GARAGE SLAB EL = 160.8

INSTALL MODULAR CONCRETE
BLOCK RETAINING WALL ANCHOR
DIAMOND BLOCK OR EQUIVALENT.
PROVIDE SHOP DRAWINGS
PREPARED BY WALL VENDOR'S
ENGINEER SEE SHEET 2 NOTE 14

LOT 9

SUMMIT STREET

AUBURN STREET

20' SETBACK
FOUNDATION DRAIN STUB
BY OTHERS
APPROX INVERT EL. = 139.8
SEE NOTE 15

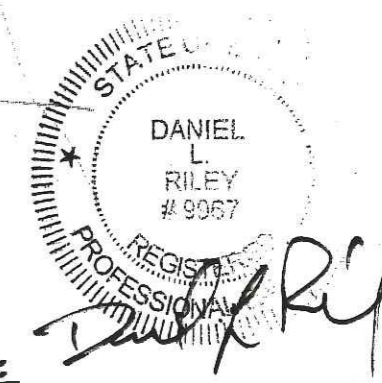
10" PVC STORM DRAIN
BY OTHERS
SEE NOTE 15

LEGEND:
SEE SHEET 2.

GENERAL NOTES:
SEE SHEET 2.

PLANT SCHEDULE

KEY	BOTANICAL/COMMON NAME	SIZE/REMARKS
TC	TILIA CORDATA/LITTLELEAF LINDEN	3" CAL.



GRADING PLAN LOT 9
OF:
AUBURN ESTATES
AUBURN STREET/LONGVIEW DRIVE
PORTLAND, MAINE
FOR:
NIAL CONSTRUCTION

DESIGN BY:
DRAWN BY:
CHECKED BY:
DATE: 11-1
SCALE: 1
FIELD BK:
PROJ. NO:
DRAWING: 03
SHEET 1 OF

Sebago Technics
Engineering Expertise You Can Build On
One Chabot Street
Westbrook, Me 04098-1339
Tel (207) 856-0277

GENERAL NOTES

1. APPLICANT: LAWRENCE STURDIVANT
NAIL CONSTRUCTION, INC.
191 STATE ROAD, SUITE 2
KITTERY, ME 03904
2. THE PROPERTY IS SHOWN AS LOT 9 OF THE AUBURN ESTATES SUBDIVISION APPROVED BY THE CITY OF PORTLAND PLANNING BOARD AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 204 PAGE 665.
3. TOTAL AREA OF PARCEL: 8,383 SQUARE FEET (0.19 ACRES).
4. BEARINGS SHOWN ARE REFERENCED TO GRID NORTH. HORIZONTAL CONTROL REFERENCED TO MAINE STATE PLANE COORDINATES, WEST ZONE, NAD 83.
5. TOPOGRAPHIC INFORMATION SHOWN HEREON IS PROVIDED BY GROUND SURVEY PERFORMED BY SEBAGO TECHNICS, INC. ON JANUARY 17, 2004. VERTICAL DATUM IS BASED ON CITY OF PORTLAND VERTICAL CONTROL DATUM (NGVD 1929). VERTICAL CONTROL ESTABLISHED BY LEVEL LOOP ORIGINATING FROM CITY OF PORTLAND BENCHMARK CONSISTING OF A 6"x6" GRANITE MONUMENT WITH DRILL HOLE LOCATED FLUSH IN SIDEWALK ON THE EASTERLY SIDE OF AUBURN STREET 23 FT NORTH OF THE NORTHERLY PAYEMENT LINE OF THE LYSETH MOORE ELEMENTARY SCHOOL DRIVEWAY AT ELEVATION 108.86 FEET.
6. PLAN REFERENCES:
A. SUBDIVISION PLAN OF "AUBURN ESTATES" FOR NIAL CONSTRUCTION BY SEBAGO TECHNICS, INC., DATED JULY 22, 2004, RECORDED SEPTEMBER 15, 2004 IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 204, PAGE 665.
7. THE PROPERTY IS LOCATED IN THE CITY OF PORTLAND R-2 ZONE. THE SPACE AND BULK REQUIREMENTS ARE AS FOLLOWS:

	R-3 ZONE
MIN. LOT SIZE	6,500 SF.
MIN. AREA PER DWELLING UNIT	6,500 SF.
MIN. STREET FRONTAGE	50 FT.
MIN. FRONT YARD SETBACK	25 FT.
MIN. REAR YARD SETBACK	25 FT.
MIN. SIDE YARD SETBACK	
1 STORY	8 FT.
1 1/2 STORY	8 FT.
2 STORY	14 FT.
2 1/2 STORY	16 FT.
MIN. SIDE YARD SETBACK ON SIDE STREET	20 FT.
MAX. LOT COVERAGE (BLDG. FOOTPRINT)	25%
MIN. LOT WIDTH	75 FT.
MAX. BLDG. HEIGHT (PRINCIPAL)	35 FT.
MAX. BLDG. HEIGHT (DETACHED ACCESSORY)	18 FT.

NOTE: THE WIDTH OF (1) SIDE YARD MAY BE REDUCED BY ONE FOOT FOR EVERY ONE FOOT THAT OTHER SIDE SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET.

8. THE UTILITY LOCATIONS SHOWN IN LONGVIEW DRIVE ARE APPROXIMATE AND ARE BASED ON THE DESIGN PLANS REFERENCED IN NOTE 6. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
9. ALL WATER MAIN SERVICE CONNECTIONS SHALL BE MADE UNDER THE SUPERVISION AND INSPECTION OF THE PORTLAND WATER DISTRICT.
10. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.

11. ALL ELECTRIC, TELEPHONE AND CABLE T.V. SERVICES SHALL BE UNDERGROUND AND IN CONFORMANCE WITH CENTRAL MAINE POWER CO., BELL ATLANTIC TELEPHONE CO. AND TIME WARNER CABLE T.V. CO. STANDARDS.

12. THIS PLAN IS NOT A BOUNDARY SURVEY. THE BOUNDARIES SHOWN HEREON ARE BASED SOLELY ON THE PLAN REFERENCED IN NOTE 6.

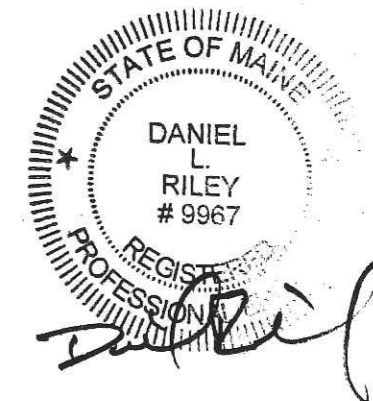
13. THE LANDSCAPING INDICATED ON THIS PLAN REPRESENTS THE MINIMUM REQUIREMENTS AND IS CONSISTENT WITH THE LANDSCAPE PLAN APPROVED AS PART OF THE AUBURN ESTATES SUBDIVISION. TREE PLANTINGS SHALL MEET THE CITY OF PORTLAND'S ARBORICULTURAL SPECIFICATION AND STANDARDS OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES. DEVELOPER MAY CONTRACT FOR THE PLACEMENT OF LANDSCAPING, BUT SHALL REMAIN LIABLE TO THE CITY OF PORTLAND FOR FINANCIAL OBLIGATION FOR COMPLIANCE WITH CITY ORDINANCES AND APPROVALS, SUCH FINANCIAL OBLIGATION SHALL BE NEITHER TRANSFERABLE NOR WAIVABLE BY THE DEVELOPER.

14. THE PROPOSED RETAINING WALL SHALL BE A MODULAR CONCRETE BLOCK WALL WITH GEOGRID REINFORCED BACKFILL. WALL SHALL BE "ANCHOR DIAMOND" AS MANUFACTURED BY ANCHOR RETAINING WALL SYSTEMS, INC. OR AN ENGINEER APPROVED EQUIVALENT. THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF THE PROPOSED WALL SYSTEM PROVIDING DETAILS OF THE WALL CONSTRUCTION, BACKFILL REINFORCEMENT AND DRAINAGE SYSTEM. SHOP DRAWINGS SHALL BE PREPARED BY THE WALL MANUFACTURER AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MAINE AND FAMILIAR WITH THE DESIGN OF MECHANICALLY STABILIZED EARTH RETAINING WALL SYSTEMS.

15. THE SANITARY SEWERS, STORM DRAINS, MANHOLES CATCH BASINS, AND FOUNDATION DRAIN STUBS IN AUBURN STREET ARE PROPOSED FOR CONSTRUCTION BY THE CITY OF PORTLAND AS PART OF THE AUBURN STREET COMBINED SEWER SEPARATION PROJECT. THE SERVICE STUB LOCATIONS AND ELEVATIONS SHOWN HEREON ARE BASED ON DESIGN PLANS AND DO NOT REFLECT THE AS BUILT CONDITION. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF THE SERVICE STUBS WITH THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT PRIOR TO THE CONSTRUCTION OF BUILDING FOUNDATIONS.

LEGEND

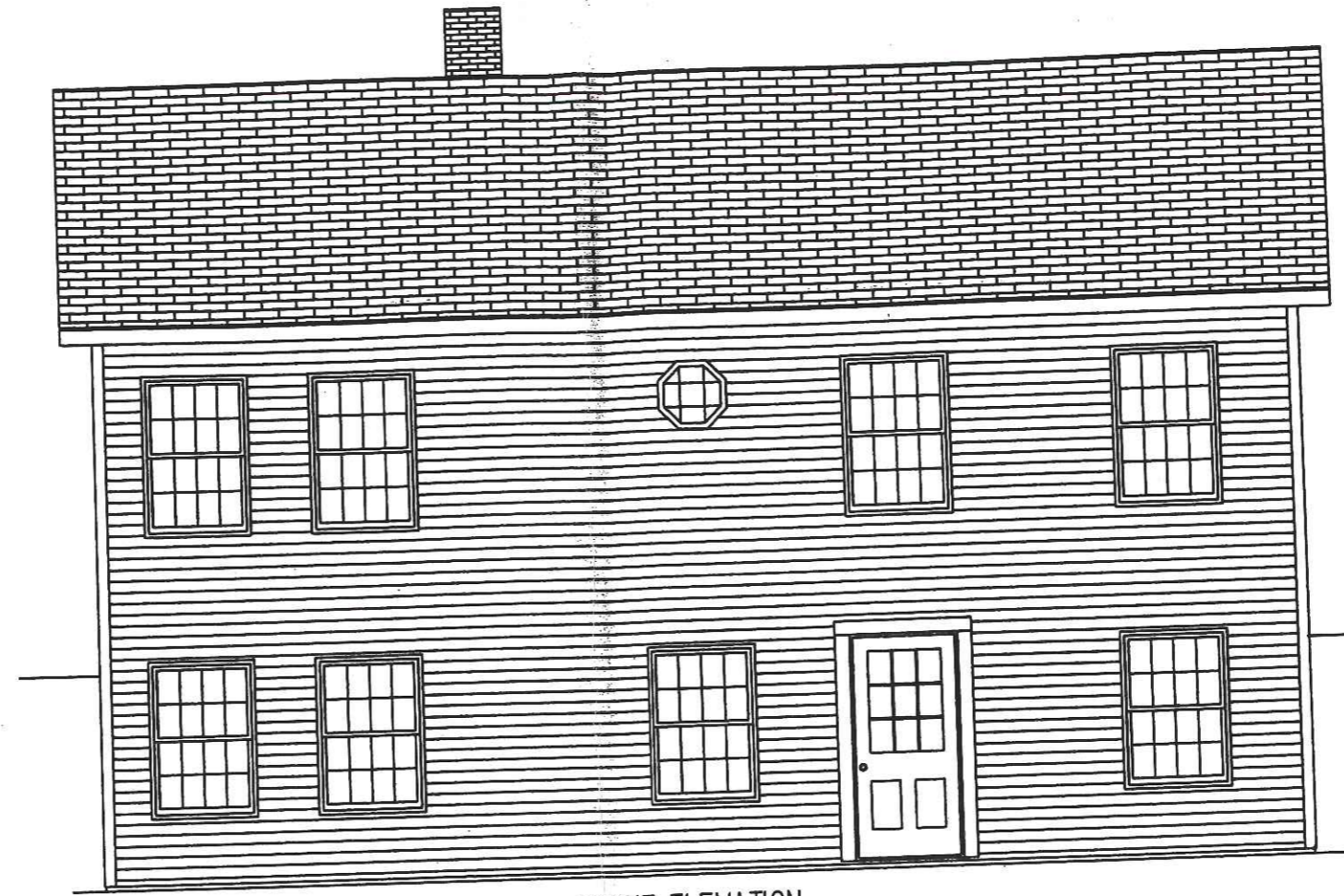
EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
	BUILDING	
+	SIGN	+
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	CURBLINE	---
~~~~~	TREELINE	~~~~~
---124---	CONTOURS	---124---
---W---	WATER	---W---
---	SEWER	---S---
---	STORM DRAIN	---SD---
---	FORCE MAIN	---FM---
---	UNDERDRAIN	---
---	UNDERGROUND	---
---	ELEC. & TEL.	---UG&T---
X	GATE VALVE	
☆	LIGHT POLE	
○	HYDRANT	
○	MANHOLE	
○	SPOT GRADE	+ 3020
○	DECIDUOUS TREE	
○	CONIFEROUS TREE	
---	ZONE LINE	



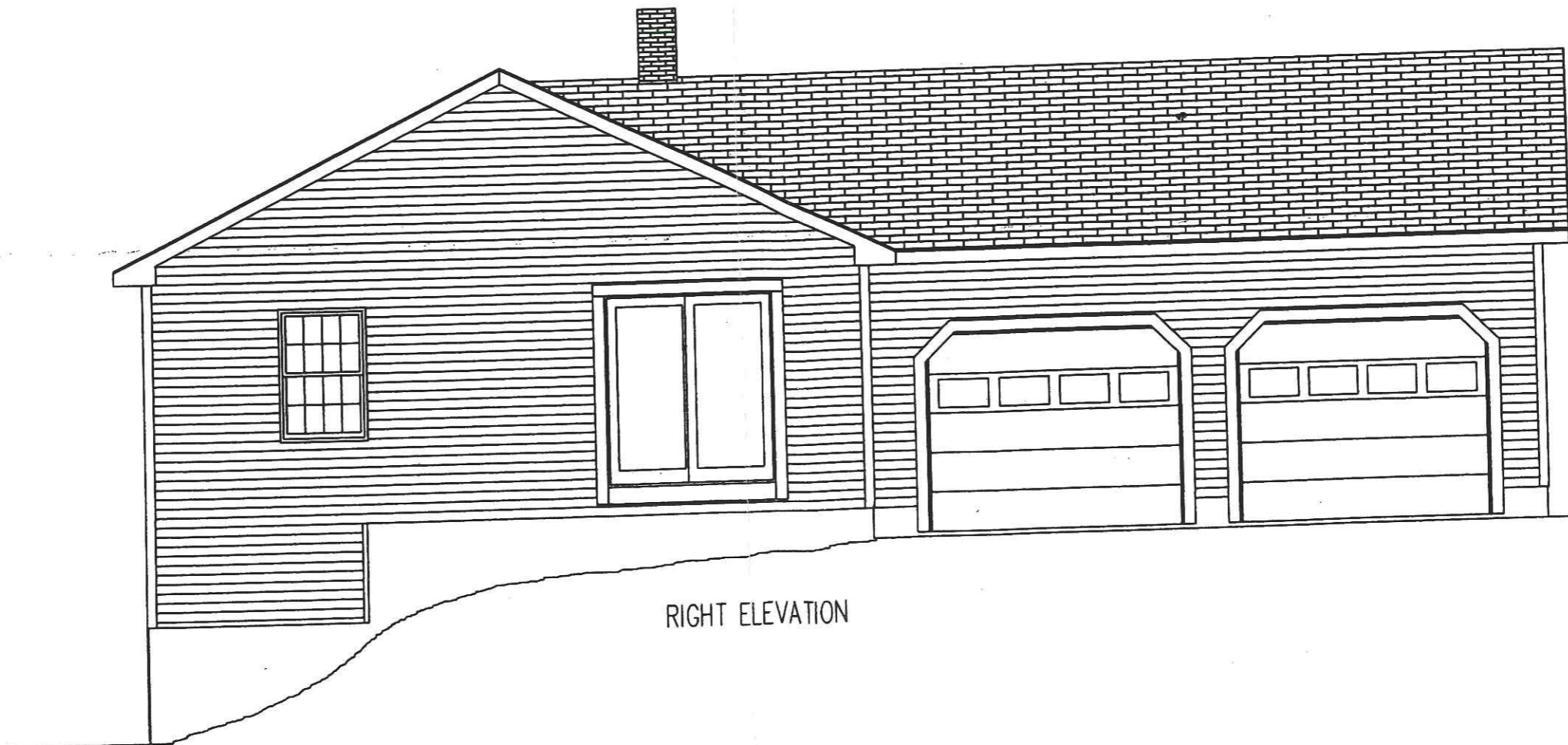
NOTES OF: **LOT 9 AUBURN ESTATES**  
AUBURN STREET/LONGVIEW DRIVE  
PORTLAND, MAINE  
FOR: **NIAL CONSTRUCTION**  
101 STATE ROAD SUITE 2

DESIGN BY:  
DRAWN BY:  
CHECKED BY:  
DATE: 11-10  
SCALE:  
FIELD BK:  
PROJ. NO: 03  
DRAWING: 0345306  
**SHEET 2 OF**

**Sebago Technics**  
Engineering Expertise You Can Build On  
One Chabot Street  
Westbrook, Me 04098-1339  
Tel (207) 856-0277

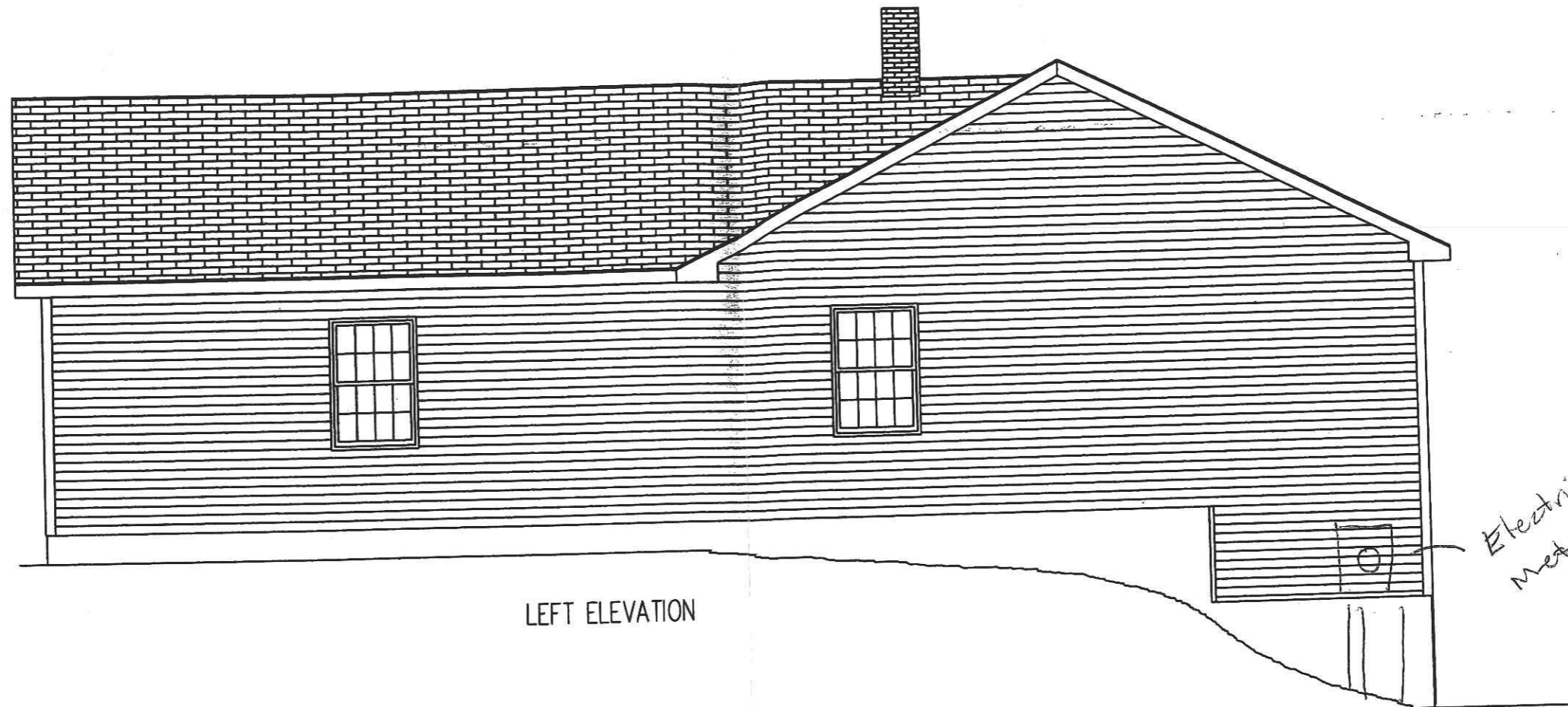


FRONT ELEVATION

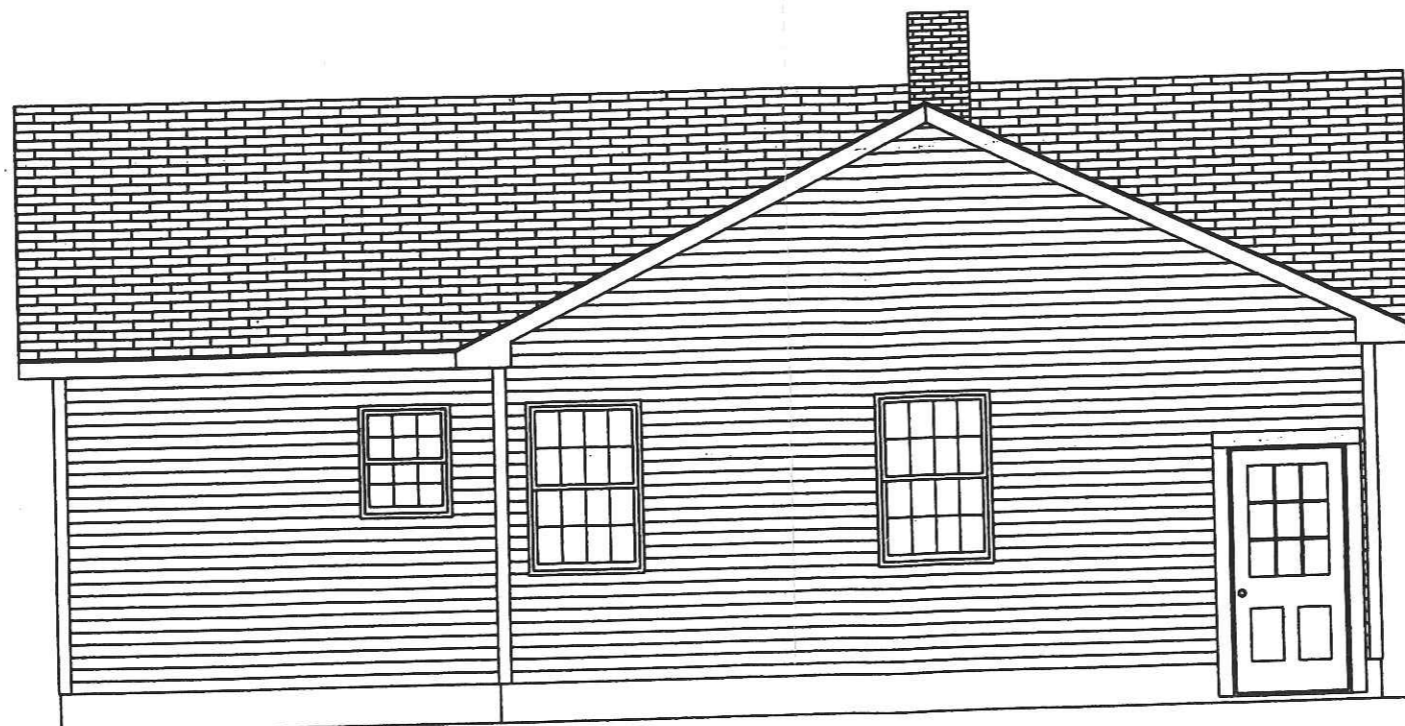


RIGHT ELEVATION

26'x36' RANCH W/24'x24' GARAGE  
HANCOCK LUMBER CASCO



LEFT ELEVATION

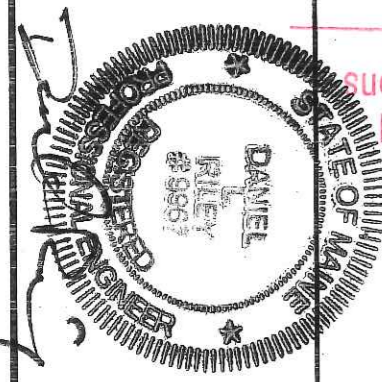


REAR ELEVATION

26'x36' RANCH W/24'x24' GARAGE  
HANCOCK LUMBER CASCO  
SCALE: 3/16"=1'-0" DATE: 8/04 DRAWN BY: MAC

SHEET 1 OF 2
DRAWING: 0345366
PROJ. NO: 03453
FIELD BK: 778
SCALE: 1"=30'
DATE: 4-28-05
CHECKED BY: DLR
DRAWN BY: MAL
DESIGN BY: DLR

FOR: **GRADING PLAN LOT 9**  
**AUBURN ESTATES**  
 AUBURN STREET/LONGVIEW DRIVE  
 PORTLAND, MAINE  
**FINAL CONSTRUCTION**  
 191 STATE ROAD, SUITE 2  
 KITTERY, MAINE 03904



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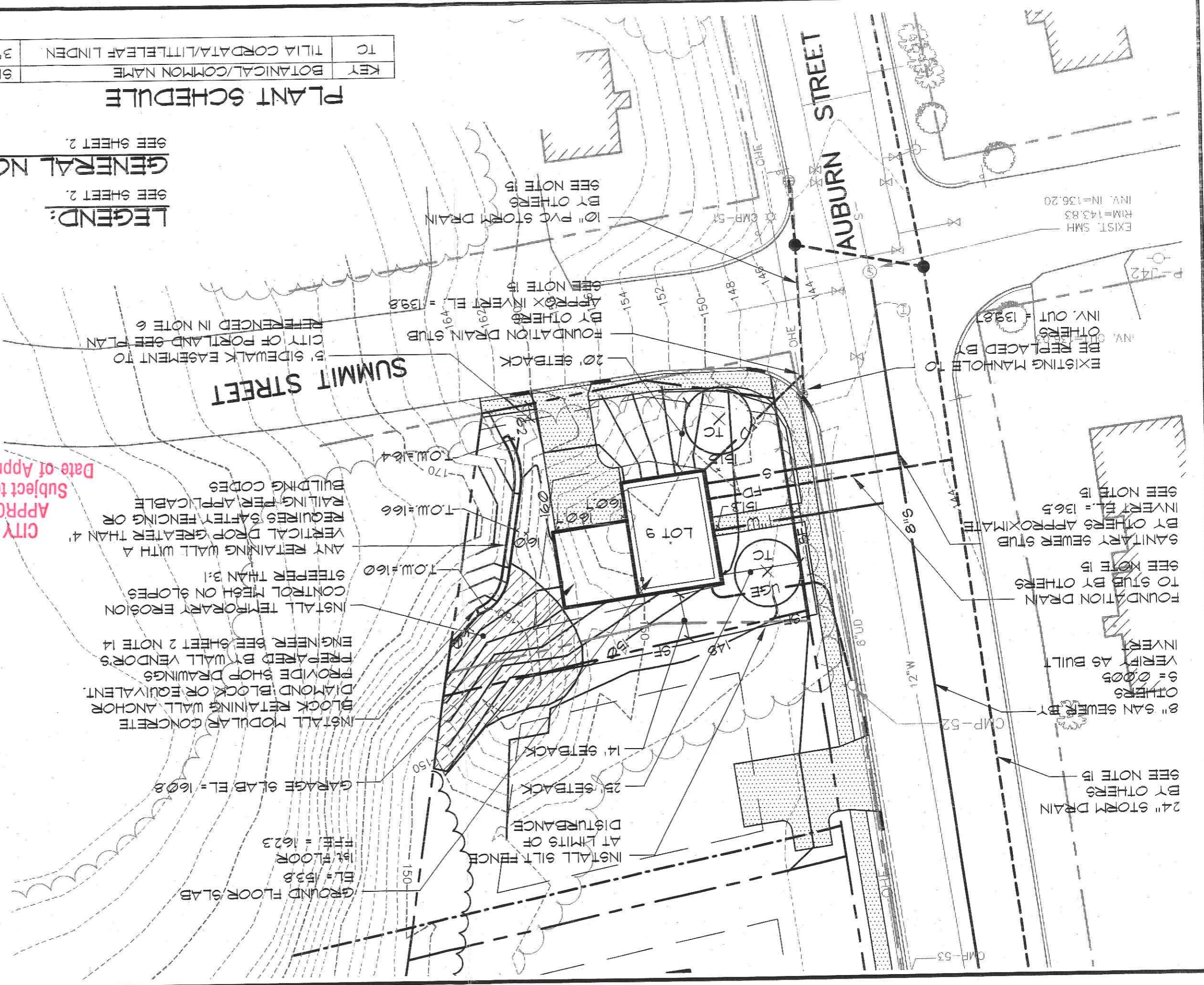
KEY	BOTANICAL/COMMON NAME	SIZE/REMARKS
TC	TILIA CORDATA/LITTLELEAF LINDEN	3" CAL.

**PLANT SCHEDULE**

**LEGEND:**  
 SEE SHEET 2.  
**GENERAL NOTES:**  
 SEE SHEET 2.

RECEIVED MAY 02 2005

**CITY OF PORTLAND**  
**APPROVED SITE PLAN**  
 Subject to Dept. Conditions  
 Date of Approval: 5-2



INSTALL TYPULAR CONCRETE BLOCK RETAINING WALL ANCHOR DIAGON BLOCK OR EQUIVALENT. PROVIDE SHOP DRAWINGS PREPARED BY WALL VENDORS. ENGINEER SEE SHEET 2 NOTE 14. INSTALL TEMPORARY EROSION CONTROL MESH ON SLOPES STEEPER THAN 3:1. ANY RETAINING WALL WITH A VERTICAL DROP GREATER THAN 4' REQUIRES SAFETY FENCING OR RAILING PER APPLICABLE BUILDING CODES.

GROUND FLOOR SLAB  
 EL = 153.8  
 1ST FLOOR  
 EL = 162.3



# GENERAL NOTES

1. APPLICANT: LAWRENCE STURDIVANT  
 NAIL CONSTRUCTION, INC.  
 191 STATE ROAD, SUITE 2  
 KITTERY, ME 03904

- THE PROPERTY IS SHOWN AS LOT 9 OF THE AUBURN ESTATES SUBDIVISION APPROVED BY THE CITY OF PORTLAND PLANNING BOARD AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 204 PAGE 665.
- TOTAL AREA OF PARCEL: ..... 8,383 SQUARE FEET (0.19 ACRES).
- BEARINGS SHOWN ARE REFERENCED TO GRID NORTH. HORIZONTAL CONTROL REFERENCED TO MAINE STATE PLANE COORDINATES, WEST ZONE, NAD 83.
- TOPOGRAPHIC INFORMATION SHOWN HEREON IS PROVIDED BY GROUND SURVEY PERFORMED BY SEBAGO TECHNICS, INC. ON JANUARY 17, 2004. VERTICAL DATUM IS BASED ON CITY OF PORTLAND VERTICAL CONTROL DATUM (NGVD 1929), VERTICAL CONTROL ESTABLISHED BY LEVEL LOOP ORIGINATING FROM CITY OF PORTLAND BENCHMARK CONSISTING OF A 6"x6" GRANITE MONUMENT WITH DRILL HOLE LOCATED FLUSH IN SIDEWALK ON THE EASTERN SIDE OF AUBURN STREET 23 FT NORTH OF THE NORTHERLY PAVEMENT LINE OF THE LYBETH MOORE ELEMENTARY SCHOOL DRIVEWAY AT ELEVATION 108.86 FEET.
- PLAN REFERENCES:  
 A. SUBDIVISION PLAN OF "AUBURN ESTATES" FOR NIAL CONSTRUCTION BY SEBAGO TECHNICS, INC., DATED JULY 22, 2004, RECORDED SEPTEMBER 15, 2004 IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 204, PAGE 665.  
 1. THE PROPERTY IS LOCATED IN THE CITY OF PORTLAND R-2 ZONE. THE SPACE AND BULK REQUIREMENTS ARE AS FOLLOWS:  
 R-3 ZONE  
 MIN. LOT SIZE 6,500 SF  
 MIN. AREA PER DWELLING UNIT 6,500 SF  
 MIN. STREET FRONTAGE 50 FT.  
 MIN. FRONT YARD SETBACK 25 FT.  
 MIN. REAR YARD SETBACK 25 FT.  
 MIN. SIDE YARD SETBACK 25 FT.  
 1 STORY 8 FT.  
 1 1/2 STORY 8 FT.  
 2 STORY 14 FT.  
 2 1/2 STORY 16 FT.  
 MIN. SIDE YARD SETBACK 20 FT.  
 ON SIDE STREET  
 MAX. LOT COVERAGE 25%  
 (BLDG. FOOTPRINT)  
 MIN. LOT WIDTH 75 FT.  
 MAX. BLDG. HEIGHT (PRINCIPAL) 35 FT.  
 MAX. BLDG. HEIGHT (DETACHED ACCESSORY) 18 FT.

- NOTE: THE WIDTH OF (1) SIDE YARD MAY BE REDUCED BY ONE FOOT FOR EVERY ONE FOOT THAT OTHER SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET.
- THE UTILITY LOCATIONS SHOWN IN LONGVIEW DRIVE ARE APPROXIMATE AND ARE BASED ON THE DESIGN PLANS REFERENCED IN NOTE 6. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
  - ALL WATER MAIN SERVICE CONNECTIONS SHALL BE MADE UNDER THE SUPERVISION AND INSPECTION OF THE PORTLAND WATER DISTRICT.
  - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL CONSTRUCTION. BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.

11. ALL ELECTRIC, TELEPHONE AND CABLE T.V. SERVICES SHALL BE UNDERGROUND AND IN CONFORMANCE WITH CENTRAL MAINE POWER CO., BELL ATLANTIC TELEPHONE CO. AND TIME WARNER CABLE T.V. CO. STANDARDS.

12. THIS PLAN IS NOT A BOUNDARY SURVEY. THE BOUNDARIES SHOWN HEREON ARE BASED SOLELY ON THE PLAN REFERENCED IN NOTE 6.

13. THE LANDSCAPING INDICATED ON THIS PLAN REPRESENTS THE MINIMUM REQUIREMENTS AND IS CONSISTENT WITH THE LANDSCAPE PLAN APPROVED AS PART OF THE AUBURN ESTATES SUBDIVISION. TREE PLANTINGS SHALL MEET THE CITY OF PORTLAND'S ARBORICULTURAL SPECIFICATION AND STANDARDS OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES. DEVELOPER MAY CONTACT FOR THE PLACEMENT OF LANDSCAPING, BUT SHALL REMAIN LIABLE TO THE CITY OF PORTLAND FOR FINANCIAL OBLIGATION FOR COMPLIANCE WITH CITY ORDINANCES AND APPROVALS, SUCH FINANCIAL OBLIGATION SHALL BE NEITHER TRANSFERABLE NOR WAIVABLE BY THE DEVELOPER.

14. THE PROPOSED RETAINING WALL SHALL BE A MODULAR CONCRETE BLOCK WALL WITH GEGRID REINFORCED BACKFILL. WALL SHALL BE "ANCHOR DIAMOND" AS MANUFACTURED BY ANCHOR RETAINING WALL SYSTEMS, INC. OR AN ENGINEER APPROVED EQUIVALENT. THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF THE PROPOSED WALL SYSTEM PROVIDING DETAILS OF THE WALL CONSTRUCTION, BACKFILL REINFORCEMENT AND DRAINAGE SYSTEM. SHOP DRAWINGS SHALL BE PREPARED BY THE WALL MANUFACTURER AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MAINE AND FAMILIAR WITH THE DESIGN OF MECHANICALLY STABILIZED EARTH RETAINING WALL SYSTEMS. ANY RETAINING WALL WITH A VERTICAL DROP GREATER THAN 4' REQUIRES SAFETY RAILING OR FENCING PER APPLICABLE BUILDING CODES.

15. THE SANITARY SEWERS, STORM DRAIN, MANHOLES CATCH BASINS, AND FOUNDATION DRAIN STUBS IN AUBURN STREET ARE PROPOSED FOR CONSTRUCTION BY THE CITY OF PORTLAND AS PART OF THE AUBURN STREET COMBINED SEWER SEPARATION PROJECT. THE SERVICE STUB LOCATIONS AND ELEVATIONS SHOWN HEREON ARE BASED ON DESIGN PLANS AND DO NOT REFLECT THE AS BUILT CONDITION. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF THE SERVICE STUBS WITH THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT PRIOR TO THE CONSTRUCTION OF BUILDING FOUNDATIONS.

## LEGEND

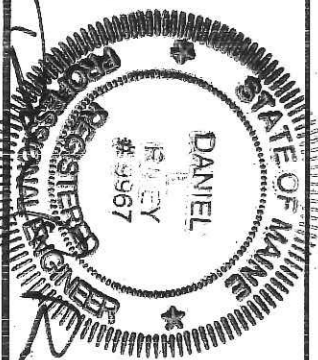
EXISTING	DESCRIPTION	PROPOSED
	BUILDING	
	SETBACK	
	PROPERTY/ROW	
	EDGE PAVEMENT	
	GRAVEL ROAD	
	CURBLINE	
	TREELINE	
	CONTOURS	
	WATER	
	SEWER	
	STORM DRAIN	
	FORCE MAIN	
	UNDERDRAIN	
	UNDERGROUND	
	ELEC. & TEL.	
	GATE VALVE	
	LIGHT POLE	
	HYDRANT	
	MANHOLE	
	SPOT GRADE	
	DECIDUOUS TREE	
	CONIFEROUS TREE	
	ZONE LINE	

**CITY OF PORTLAND**  
 APPROVED SITE PLAN  
 Subject to Dept. Conditions  
 Date of Approval: 5/7

RECEIVED MAY 02 2005

## NOTES

OF:  
**LOT 9 AUBURN ESTATES**  
 AUBURN STREET/LONGVIEW DRIVE  
 PORTLAND, MAINE  
 FOR:  
**NIAL CONSTRUCTION**  
 191 STATE ROAD, SUITE 2  
 PORTLAND, ME 03904



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 Westbrook, Me 04098-1339  
 Tel (207) 856-0277

DESIGN BY: DLR
DRAWN BY: FCL
CHECKED BY: DLR
DATE: 4-28-05
SCALE: -
FIELD BK: 778
PROJ. NO: 03453
DRAWING: 03453G6.DWG



KEY	BOTANICAL/Common Name	SIZE/REMARKS
TC	TILIA CORDATA/LITTLELEAF LINDEN	3" CAL.

### PLANT SCHEDULE

**GENERAL NOTES:**  
 SEE SHEET 2.  
 SEE SHEET 2.

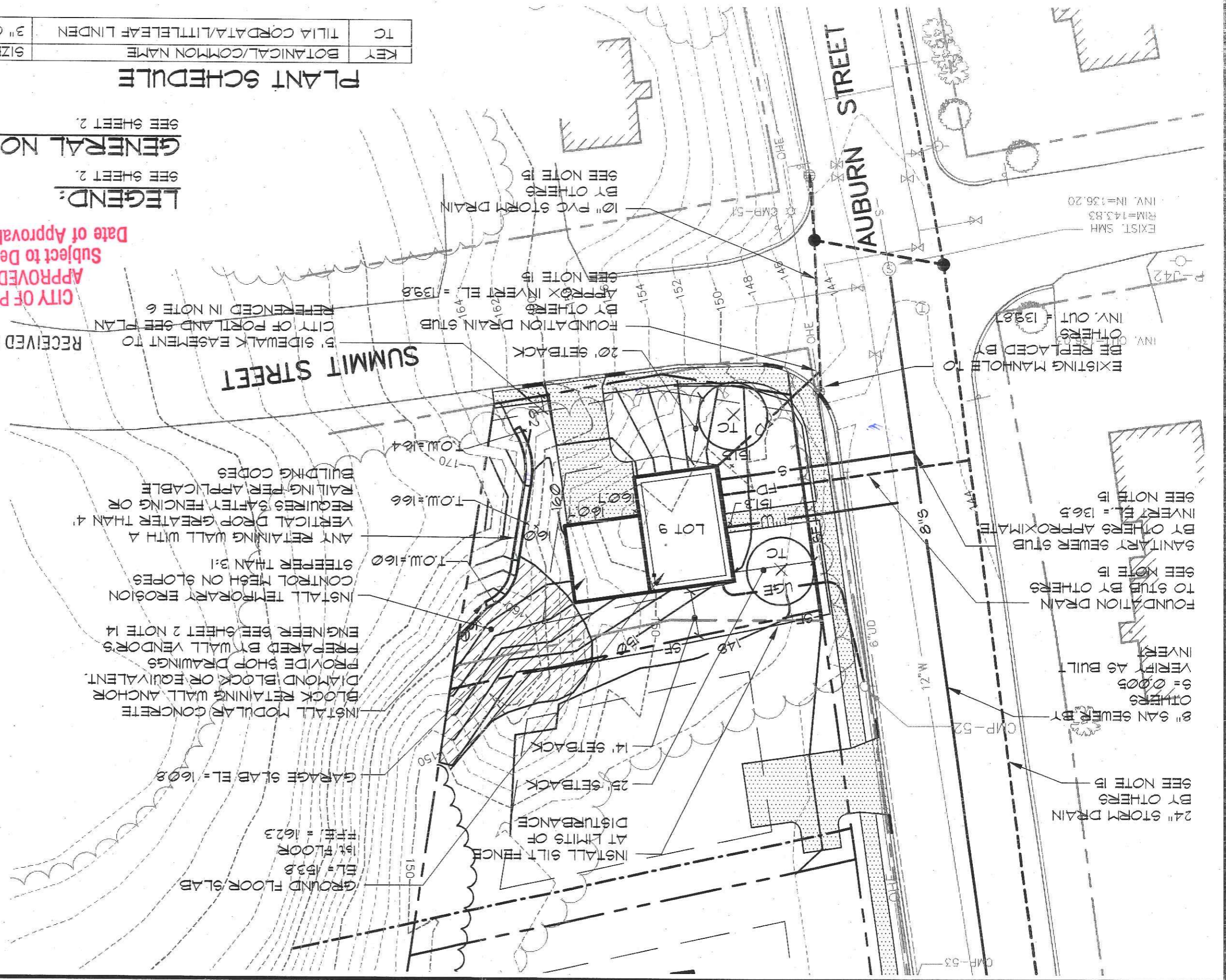
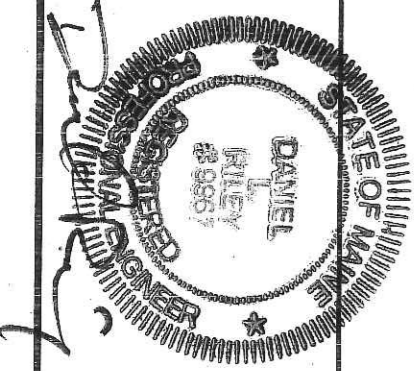
### LEGEND:

**CITY OF PORTLAND**  
**APPROVED SITE PLAN**  
 Subject to Dept. Conditions  
 Date of Approval: 5-2

RECEIVED MAY 02 2005  
 CITY OF PORTLAND AND SEE PLAN REFERENCED IN NOTE 6

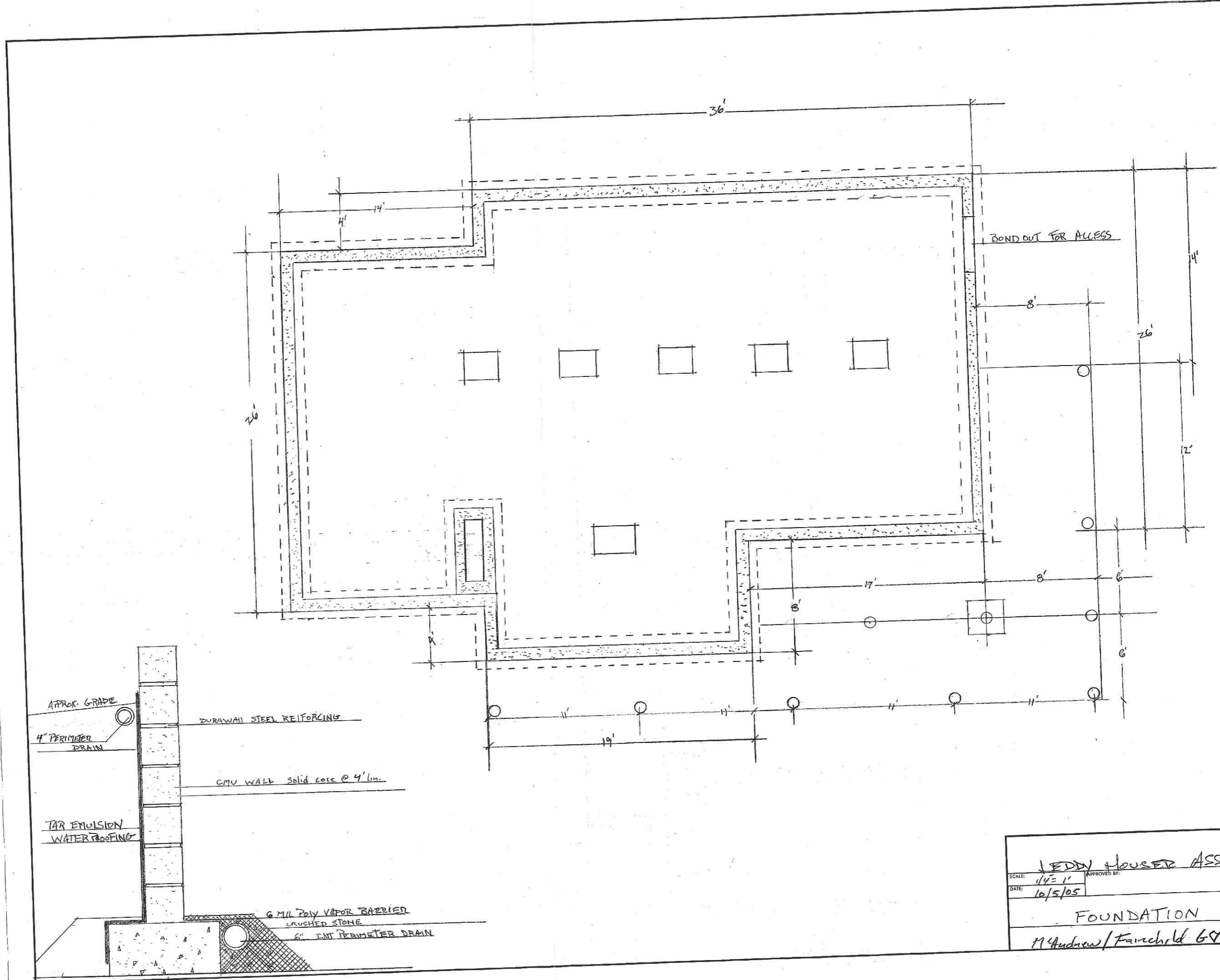
DESIGN BY:	DLR
DRAWN BY:	MAL
CHECKED BY:	DLR
DATE:	4-28-05
SCALE:	1"=30'
FIELD BK:	778
PROJ. NO:	03453
DRAWING:	03453G6

**GRADING PLAN LOT 9**  
 OF:  
**AUBURN ESTATES**  
 AUBURN STREET/LONGVIEW DRIVE  
 PORTLAND, MAINE  
 FOR:  
**FINAL CONSTRUCTION**  
 191 STATE ROAD, SUITE 2  
 KITTERY, MAINE 03904



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 Westbrook, Me 04098-1339  
 Tel (207) 856-0277





LEDDY HOUSER ASSOCIATES			
SCALE: 1/4" = 1'	APPROVED BY:	DRAWN BY: PA	REVISED:
DATE: 10/5/05			
FOUNDATION			
M. Andrew / Fairchild GPE			DRAWING NUMBER: 101

O:\Land Projects\2005\05117-MILLIKEN HOUSE-LOT 13B AUBURN PINES\dwg\LOT 13 REVISED HOUSE.dwg, 02-20, 4/8/2005 10:29:59 AM, jeady

CAD FILE 04155 FILE SCALE: 1"=1'

### LEGEND

- LOT LINES
- BUILDING SETBACK
- ABUTTERS LOT LINE
- WETLAND BOUNDARY
- 100- ORIGINAL EXISTING CONTOUR
- 102- ROAD DESIGN CONTOUR
- 100- PROPOSED CONTOUR
- x 100.5 SPOT GRADE
- EXISTING VERTICAL CURB
- EXISTING SLOPED CURB
- S- EXISTING SANITARY SEWER
- SD- EXISTING STORMDRAIN
- U- EXISTING WATER LINE
- UD- EXISTING UNDERDRAIN
- ⊙ EXISTING DRAIN MANHOLE
- EXISTING CATCH BASIN
- EDGE OF DRIVEWAY
- FD- HOUSE SERVICE, FOUNDATION
- S- HOUSE SERVICE, SEWER
- W- HOUSE SERVICE, WATER
- DIRECTION OF SURFACE DRAINAGE
- X- SILT FENCE

### GRAPHIC SCALE



**CITY OF PORTLAND**  
**APPROVED SITE PLAN**  
 Subject to Dept. Conditions  
 Date of Approval: 4-12-05

REV. 1	4/16/05	REV'D HOUSE FOOTPRINT
--------	---------	-----------------------

### SITE PLAN DETAIL

PINKHAM & GREER  
CONSULTING ENGINEERS, INC.  
FALMOUTH, MAINE

**ALICE COURT**

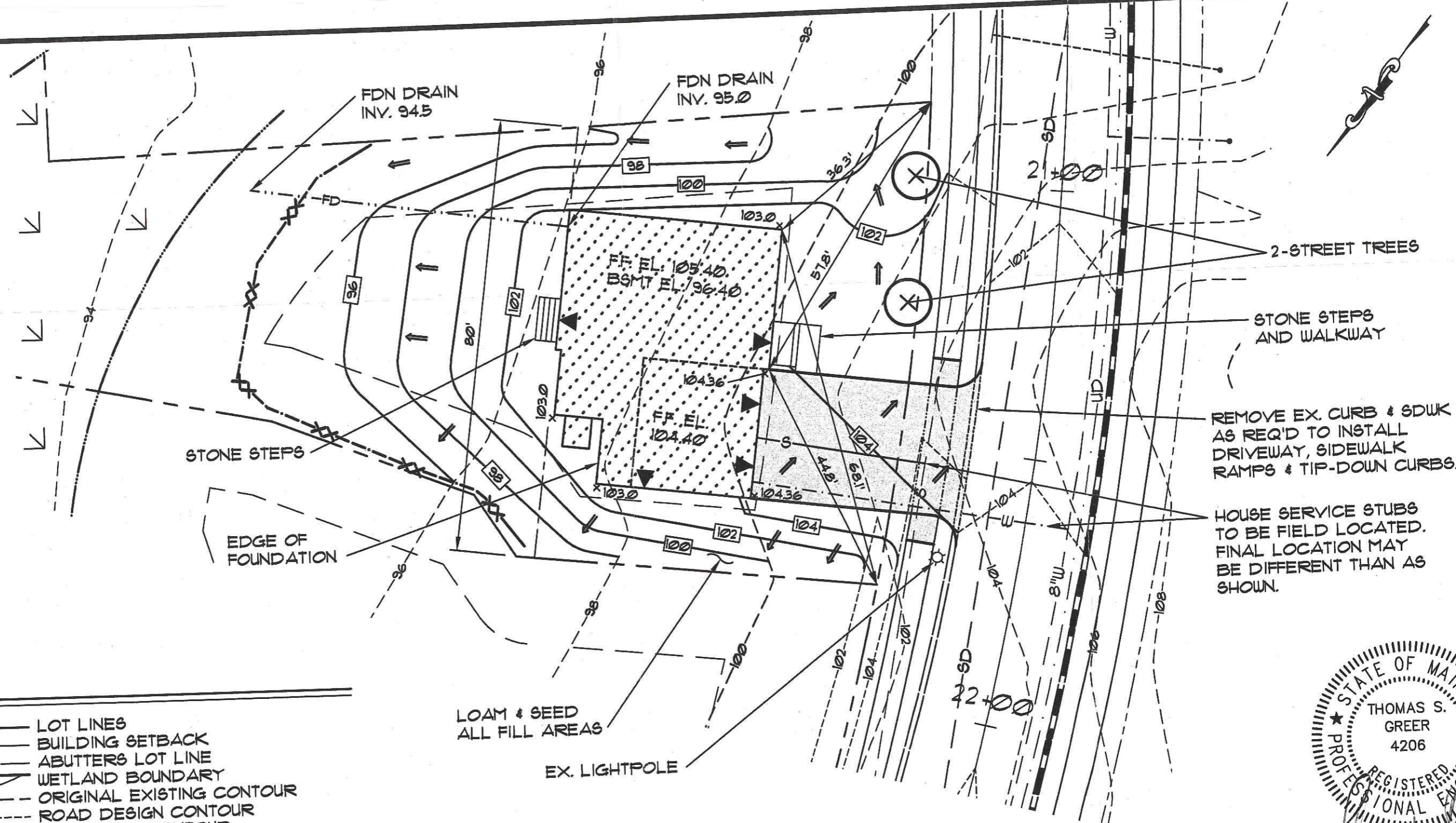
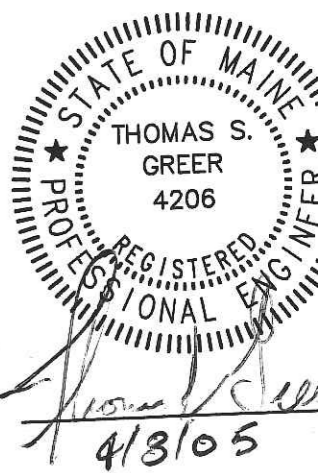
**LOT 13B, PORTLAND, MAINE**

SCALE: 1"=20'

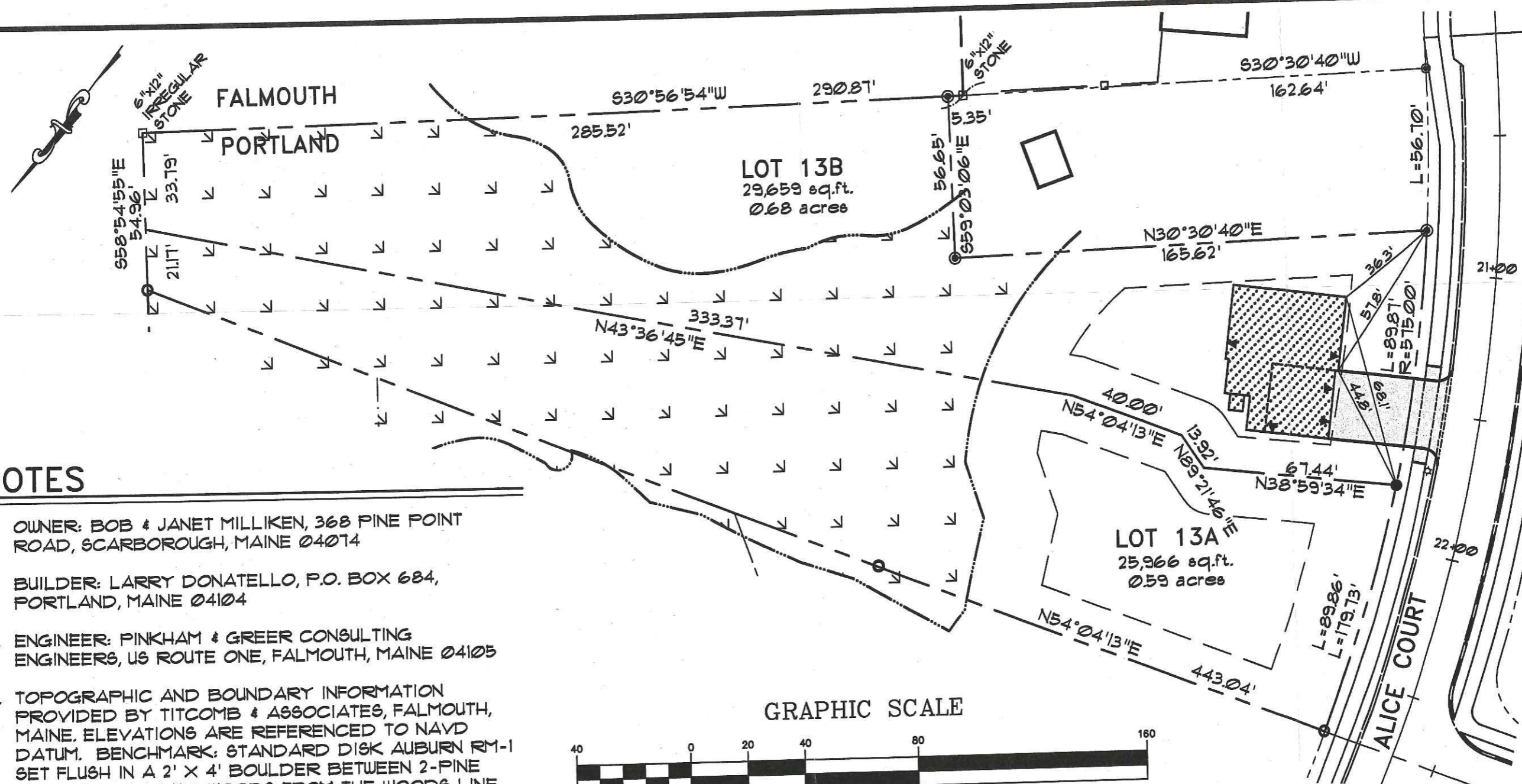
DATE: FEB. 22, 2005

DESG BY: TSG

PROJECT: 04155



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### NOTES

- OWNER: BOB & JANET MILLIKEN, 368 PINE POINT ROAD, SCARBOROUGH, MAINE 04074
- BUILDER: LARRY DONATELLO, P.O. BOX 684, PORTLAND, MAINE 04104
- ENGINEER: PINKHAM & GREER CONSULTING ENGINEERS, US ROUTE ONE, FALMOUTH, MAINE 04105
- TOPOGRAPHIC AND BOUNDARY INFORMATION PROVIDED BY TITCOMB & ASSOCIATES, FALMOUTH, MAINE. ELEVATIONS ARE REFERENCED TO NAVD DATUM. BENCHMARK: STANDARD DISK AUBURN RM-1 SET FLUSH IN A 2' X 4' BOULDER BETWEEN 2-PINE TREES 10 FEET INTO WOODS FROM THE WOODS LINE, 198 FEET SOUTHEASTERLY FROM THE CENTERLINE OF THE FALMOUTH SPUR EASTBOUND, 83.95 FEET SOUTHEAST OF THE STATION MARK, 84.25 FEET NORTHEAST OF RM-2, 25 FEET SOUTHEAST OF THE RIGHT-OF-WAY FENCE, 61 FEET SOUTHWEST OF GRANITE TOWN LINE MONUMENT. ELEVATION = 122.31 FEET.
- ROAD GRADES ARE BASED ON ALICE COURT DESIGN DRAWINGS. ACTUAL GRADES MAY VARY. ADJUST PROPOSED GRADES TO MATCH EXISTING CONDITIONS.
- THIS PLAN IS FOR LOT 13B. GRADING, BUILDING LOCATION OR GENERAL DRAINAGE FOR ADJACENT LOTS IS NOT INCLUDED.
- EROSION CONTROL MESH, INSTALL ON ALL SLOPES GREATER THAN 3:1. LOAM & SEED AS SOON AS POSSIBLE.

- A SUMP PUMP FOR THE FOUNDATION DRAIN WILL BE REQUIRED IF A DAYLIGHT BASEMENT IS INCLUDED.
- CONNECT WATER AND SEWER TO EXISTING STUBS.
- LOAM & SEED ALL DISTURBED AREAS.
- FOUNDATION TO BE LAID OUT BY A PROFESSIONAL SURVEYOR.

REV. 1	4/6/05	REV'D HOUSE FOOTPRINT
--------	--------	-----------------------

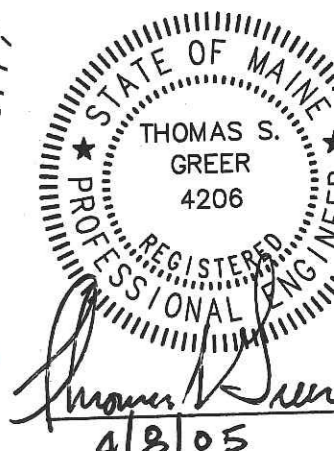
**CITY OF PORTLAND**  
**APPROVED SITE PLAN**  
 Subject to Dept. Conditions  
 Date of Approval: 4-12-05

### SITE PLAN

**ALICE COURT**  
**LOT 13B, PORTLAND, MAINE**

**SCALE:** 1"=40'  
**DATE:** FEB. 22, 2005  
**DESIGNED BY:** TSG  
**PROJECT:** 04155

**PINKHAM & GREER**  
CONSULTING ENGINEERS, INC.  
FALMOUTH, MAINE



# GENERAL NOTES

1. APPLICANT: LAWRENCE STURDIVANT  
NAIL CONSTRUCTION, INC.  
191 STATE ROAD, SUITE 2  
KITTEERY, ME 03904
2. THE PROPERTY IS SHOWN AS LOT 9 OF THE AUBURN ESTATES SUBDIVISION APPROVED BY THE CITY OF PORTLAND PLANNING BOARD AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 204 PAGE 665.
3. TOTAL AREA OF PARCEL: ..... 8,383 SQUARE FEET (0.19 ACRES).
4. BEARINGS SHOWN ARE REFERENCED TO GRID NORTH. HORIZONTAL CONTROL REFERENCED TO MAINE STATE PLANE COORDINATES, WEST ZONE, NAD 83.
5. TOPOGRAPHIC INFORMATION SHOWN HEREON IS PROVIDED BY GROUND SURVEY PERFORMED BY SEBAGO TECHNICS, INC. ON JANUARY 17, 2004. VERTICAL DATUM IS BASED ON CITY OF PORTLAND VERTICAL CONTROL DATUM (NGVD 1929). VERTICAL CONTROL ESTABLISHED BY LEVEL LOOP ORIGINATING FROM CITY OF PORTLAND BENCHMARK CONSISTING OF A 6"x6" GRANITE MONUMENT WITH DRILL HOLE LOCATED FLUSH IN SIDEWALK ON THE EASTERLY SIDE OF AUBURN STREET 23 FT NORTH OF THE NORTHERLY PAVEMENT LINE OF THE LYSETH MOORE ELEMENTARY SCHOOL DRIVEWAY AT ELEVATION 108.86 FEET.
6. PLAN REFERENCES:
  - A. SUBDIVISION PLAN OF "AUBURN ESTATES" FOR NIAL CONSTRUCTION BY SEBAGO TECHNICS, INC., DATED JULY 22, 2004, RECORDED SEPTEMBER 15, 2004 IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 204, PAGE 665.
7. THE PROPERTY IS LOCATED IN THE CITY OF PORTLAND R-2 ZONE. THE SPACE AND BULK REQUIREMENTS ARE AS FOLLOWS:

	R-3 ZONE
MIN. LOT SIZE	6,500 SF.
MIN. AREA PER DWELLING UNIT	6,500 SF.
MIN. STREET FRONTAGE	50 FT.
MIN. FRONT YARD SETBACK	25 FT.
MIN. REAR YARD SETBACK	25 FT.
MIN. SIDE YARD SETBACK	
1 STORY	8 FT.
1½ STORY	8 FT.
2 STORY	14 FT.
2½ STORY	16 FT.
MIN. SIDE YARD SETBACK ON SIDE STREET	20 FT.
MAX. LOT COVERAGE (BLDG. FOOTPRINT)	25%
MIN. LOT WIDTH	75 FT.
MAX. BLDG. HEIGHT (PRINCIPAL)	35 FT.
MAX. BLDG. HEIGHT (DETACHED ACCESSORY)	18 FT.

NOTE: THE WIDTH OF (1) SIDE YARD MAY BE REDUCED BY ONE FOOT FOR EVERY ONE FOOT THAT OTHER SIDE SIDE YARD IS CORRESPONDINGLY INCREASED, BUT NO SIDE YARD SHALL BE LESS THAN EIGHT (8) FEET.

8. THE UTILITY LOCATIONS SHOWN IN LONGVIEW DRIVE ARE APPROXIMATE AND ARE BASED ON THE DESIGN PLANS REFERENCED IN NOTE 6. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
9. ALL WATER MAIN SERVICE CONNECTIONS SHALL BE MADE UNDER THE SUPERVISION AND INSPECTION OF THE PORTLAND WATER DISTRICT.
10. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENTATION CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES" PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.


11. ALL ELECTRIC, TELEPHONE AND CABLE T.V. SERVICES SHALL BE UNDERGROUND AND IN CONFORMANCE WITH CENTRAL MAINE POWER CO., BELL ATLANTIC TELEPHONE CO. AND TIME WARNER CABLE T.V. CO. STANDARDS.
12. THIS PLAN IS NOT A BOUNDARY SURVEY. THE BOUNDARIES SHOWN HEREON ARE BASED SOLELY ON THE PLAN REFERENCED IN NOTE 6.
13. THE LANDSCAPING INDICATED ON THIS PLAN REPRESENTS THE MINIMUM REQUIREMENTS AND IS CONSISTENT WITH THE LANDSCAPE PLAN APPROVED AS PART OF THE AUBURN ESTATES SUBDIVISION. TREE PLANTINGS SHALL MEET THE CITY OF PORTLAND'S ARBORICULTURAL SPECIFICATION AND STANDARDS OF PRACTICE AND LANDSCAPE DESIGN GUIDELINES. DEVELOPER MAY CONTRACT FOR THE PLACEMENT OF LANDSCAPING, BUT SHALL REMAIN LIABLE TO THE CITY OF PORTLAND FOR FINANCIAL OBLIGATION FOR COMPLIANCE WITH CITY ORDINANCES AND APPROVALS, SUCH FINANCIAL OBLIGATION SHALL BE NEITHER TRANSFERABLE NOR WAIVABLE BY THE DEVELOPER.
14. THE PROPOSED RETAINING WALL SHALL BE A MODULAR CONCRETE BLOCK WALL WITH GEOGRID REINFORCED BACKFILL. WALL SHALL BE "ANCHOR DIAMOND" AS MANUFACTURED BY ANCHOR RETAINING WALL SYSTEMS, INC. OR AN ENGINEER APPROVED EQUIVALENT. THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF THE PROPOSED WALL SYSTEM PROVIDING DETAILS OF THE WALL CONSTRUCTION, BACKFILL REINFORCEMENT AND DRAINAGE SYSTEM. SHOP DRAWINGS SHALL BE PREPARED BY THE WALL MANUFACTURER AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MAINE AND FAMILIAR WITH THE DESIGN OF MECHANICALLY STABILIZED EARTH RETAINING WALL SYSTEMS. ANY RETAINING WALL WITH A VERTICAL DROP GREATER THAN 4' REQUIRES SAFETY RAILING OR FENCING PER APPLICABLE BUILDING CODES.
15. THE SANITARY SEWERS, STORM DRAINS, MANHOLES CATCH BASINS, AND FOUNDATION DRAIN STUBS IN AUBURN STREET ARE PROPOSED FOR CONSTRUCTION BY THE CITY OF PORTLAND AS PART OF THE AUBURN STREET COMBINED SEWER SEPARATION PROJECT. THE SERVICE STUB LOCATIONS AND ELEVATIONS SHOWN HEREON ARE BASED ON DESIGN PLANS AND DO NOT REFLECT THE AS BUILT CONDITION. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF THE SERVICE STUBS WITH THE CITY OF PORTLAND PUBLIC WORKS DEPARTMENT PRIOR TO THE CONSTRUCTION OF BUILDING FOUNDATIONS.

## LEGEND

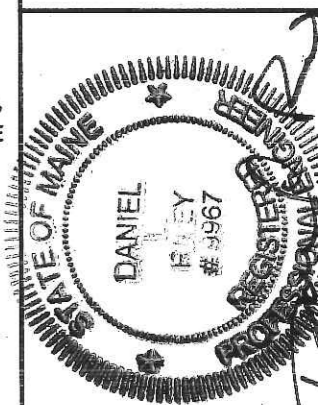
EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
	BUILDING	
+	SIGN	
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	CURBLINE	---
~~~~~	TREELINE	~~~~~
---124---	CONTOURS	---124---
---W---	WATER	---W---
---S---	SEWER	---S---
---SD---	STORM DRAIN	---SD---
---	FORCE MAIN	---FM---
---UD---	UNDERDRAIN	---
---UGE---	UNDERGROUND ELEC. & TEL.	---UGE&T---
⊗	GATE VALVE	
☆	LIGHT POLE	
⊙	HYDRANT	
⊙	MANHOLE	
30.20	SPOT GRADE	+ 30.20
○	DECIDUOUS TREE	
⊗	CONIFEROUS TREE	
====	ZONE LINE	

RECEIVED MAY 02 2005

**CITY OF PORTLAND
APPROVED SITE PLAN**
Subject to Dept. Conditions
Date of Approval: 5-2



Sebago Technics
Engineering Expertise You Can Build On
One Chabot Street
Westbrook, Me 04098-1339
Tel (207) 856-0277



NOTES OF:

LOT 9 AUBURN ESTATES
AUBURN STREET/LONGVIEW DRIVE
PORTLAND, MAINE

FOR:
NIAL CONSTRUCTION
191 STATE ROAD, SUITE 2
PORTLAND, ME 03904

DESIGN BY:	DLR
DRAWN BY:	FCL
CHECKED BY:	DLR
DATE:	4-28-05
SCALE:	
FIELD BK:	778
PROJ. NO:	03453
DRAWING:	03453G6.DWG

SHEET 2 OF 2