

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2006-0164

Application I. D. Number

8/23/2006

Application Date

Single Family Home lot#23

Project Name/Description

E.G. Johnson Co.

Applicant

3 Cliff Street, Portland, ME 04102

Applicant's Mailing Address

Randy Johnson

Consultant/Agent

Applicant Ph: (207) 773-1630 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Captains Landing, Portland, Maine

Address of Proposed Site

217 B053001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

Proposed Building square Feet or # of Units _____ Acreage of Site 20055 Zoning _____

Check Review Required:

- Site Plan (major/minor)
- Flood Hazard
- Zoning Conditional Use (ZBA/PB)
- Subdivision # of lots _____
- Shoreland
- Zoning Variance
- PAD Review
- Historic Preservation
- 14-403 Streets Review
- DEP Local Certification
- Other _____

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$250.00 Date 8/23/2006

Reviewer Jay Reynolds

DRC Approval Status:

- Approved
 - Approved w/Conditions See Attached
 - Denied
- Approval Date 9/1/2006 Approval Expiration 9/1/2007 Extension to _____ Additional Sheets Attached
- Condition Compliance Jay Reynolds 9/1/2006
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input checked="" type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input checked="" type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input checked="" type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input checked="" type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2006-0164

Application I. D. Number

8/23/2006

Application Date

Single Family Home lot#23

Project Name/Description

E.G. Johnson Co.

Applicant

3 Cliff Street, Portland, ME 04102

Applicant's Mailing Address

Randy Johnson

Consultant/Agent

Applicant Ph: (207) 773-1630 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Captains Landing , Portland, Maine

Address of Proposed Site

217 B053001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of DRC

- 1 All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.
- 2 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 4 A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 5 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy

2006-0164
Application I. D. Number
8/23/2006
Application Date
Single Family Home lot#23
Project Name/Description

E.G. Johnson Co.
Applicant
3 Cliff Street, Portland, ME 04102
Applicant's Mailing Address
Randy Johnson
Consultant/Agent
Applicant Ph: (207) 773-1630 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

Jay Reynolds
AMENDMENT

Captains Landing, Portland, Maine
Address of Proposed Site
217 B053001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

Proposed Building square Feet or # of Units _____ 20055 Acreage of Site _____ Zoning _____

Check Review Required:

Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Pla \$50.00 Subdivision _____ Engineer Review \$250.00 Date 8/23/2006

DRC Approval Status:

Approved Approved w/Conditions See Attached Denied
Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached
 Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____ date	_____ amount	_____ expiration date
<input type="checkbox"/> Inspection Fee Paid	_____ date	_____ amount	
<input type="checkbox"/> Building Permit Issue	_____ date		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date	_____ remaining balance	_____ signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date
<input type="checkbox"/> Final Inspection	_____ date	_____ signature	
<input type="checkbox"/> Certificate Of Occupancy	_____ date		
<input type="checkbox"/> Performance Guarantee Released	_____ date	_____ signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date	_____ amount	_____ expiration date
<input type="checkbox"/> Defect Guarantee Released	_____ date	_____ signature	



PORTLAND, MAINE

Strengthening a Remarkable City, Building a Community for Life www.portlandmaine.gov

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

Mr. Randy Johnson
E.G. Johnson Co.
3 Cliff Street
Portland, ME 04102

August 25, 2006

Dear Mr. Johnson:

RE: Application for single family house, Captain's Landing

Upon review of the site plan, the City's Planning Division has the following comments:

1. Please remove the driveway culvert and associated grading from your site plan. It appears that this feature is not necessary and would only create a drainage concern at #29 Captain's Landing. The lot can be graded to sheet flow drainage to the street effectively.
2. Please note that the construction is shown up against a no-cut buffer zone. Because of the proximity, the City requests that this area be re-surveyed and flagged/staked prior to construction.
3. Also note that any encroachment of the no-cut buffer zone will require a restoration plan approved by the City.

Please resubmit 4 copies of the revised site plan to my attention.

Sincerely,

Jay Reynolds
Development Review Coordinator

cc: Sarah Hopkins, Development Review Services Manager

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

DRC Copy

Jay Reynolds

2006-0164

Application I. D. Number

8/23/2006

Application Date

Single Family Home lot#23

Project Name/Description

E.G. Johnson Co.

Applicant

3 Cliff Street, Portland, ME 04102

Applicant's Mailing Address

Randy Johnson

Consultant/Agent

Applicant Ph: (207) 773-1630 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Captains Landing , Portland, Maine

Address of Proposed Site

217 B053001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

Proposed Building square Feet or # of Units 20055 Acreage of Site _____ Zoning _____

Check Review Required:

- Site Plan (major/minor)
- Flood Hazard
- Zoning Conditional Use (ZBA/PB)
- Subdivision # of lots _____
- Shoreland
- Zoning Variance
- PAD Review
- Historic Preservation
- 14-403 Streets Review
- DEP Local Certification
- Other _____

Fees Paid: Site Pla \$50.00 Subdivision _____ Engineer Review \$250.00 Date 8/23/2006

DRC Approval Status:

Approved Approved w/Conditions See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life ® www.portlandmaine.gov

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

Mr. Randy Johnson
E.G. Johnson Co.
3 Cliff Street
Portland, ME 04102

August 25, 2006

Dear Mr. Johnson:

RE: Application for single family house, Captain's Landing

Upon review of the site plan, the City's Planning Division has the following comments:

1. Please remove the driveway culvert and associated grading from your site plan. It appears that this feature is not necessary and would only create a drainage concern at #29 Captain's Landing. The lot can be graded to sheet flow drainage to the street effectively.
2. Please note that the construction is shown up against a no-cut buffer zone. Because of the proximity, the City requests that this area be re-surveyed and flagged/staked prior to construction.
3. Also note that any encroachment of the no-cut buffer zone will require a restoration plan approved by the City.

Please resubmit 4 copies of the revised site plan to my attention.

Sincerely,

Jay Reynolds
Development Review Coordinator

cc: Sarah Hopkins, Development Review Services Manager

TO: Inspections Department

FROM: Philip DiPierro, Development Review Coordinator

DATE: May 29, 2007

RE: C. of O. for #16 Captains Lane, Lot #23 Rivers Edge
(Id#2006-0164) (CBL 217 B 5300)

After visiting the site, I have the following comments:

Site work complete

At this time, **I recommend issuing a permanent Certificate of Occupancy.**

Cc: Barbara Barhydt, Development Review Services Manager
Jeanie Bourke, Inspection Services Manager
File: Urban Insight

From: Lannie Dobson
To: C of O; tmm
Date: 5/4/2007 12:39:29 PM
Subject: Certificate of Occupancy/Final Scheduled. Property Addr: 0 CAPTAINS LANDING
Parcel ID: 217 B05300

Date: 5/9/2007 **Time:** 6:00:00 AM

Note: 233-0052 Randy Property Addr: 0 CAPTAINS LANDING Parcel ID: 217 B053001

Application Type: Prmt
Application ID: 61234

Contact:
Phone1: Phone2:

Owner Name: HASKELL PHILIP J &
Owner Addr: 7541 CHERRY TREE DR
FULTON, MD 20759

5/9/07
3:30-4:00

- NO street trees
- Curb cut not repaired
- lawn - no grass fetch
- D/W not paved

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1234	Issue Date: SEP 21 2006	CBL: B053001
-----------------------	----------------------------	-----------------

Location of Construction: Lot 23 0 CAPTAINS LANDING #23 (#29)	Owner Name: Haskell, Philip & Elaine	Owner Address: 7541 Cherry Tree Drive	Phone: 301-490-9762
Business Name:	Contractor Name: Randy Johnson E.G. Johnson & Company	Contractor Address: CITY OF PORTLAND 3 Cliff Street Portland	Phone: 2077731630
Lessee/Buyer's Name	Phone: 773-1630 office	Permit Type: Single Family	Zone: C8 (R3)

Past Use: Vacant Land	Proposed Use: Single Family Home - Build a new 2,200 sq ft home w/2 car garage	Permit Fee: \$2,795.00	Cost of Work: \$270,000.00	CEO District: 3
--------------------------	--	---------------------------	-------------------------------	--------------------

Proposed Project Description: Build a new 2,200 sq ft home w/2 car garage	FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRC-2003 Signature: AMB 9/20/06
--	--	---

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____
---	--	------------------------------

Permit Taken By: Idobson	Date Applied For: 08/23/2006	Zoning Approval	
-----------------------------	---------------------------------	------------------------	--

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland N/A <input type="checkbox"/> Wetland N/A <input type="checkbox"/> Flood Zone panel 12-zone X <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan 2006 - 0164 Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM OK in accordance Date: 8/30/06 ABN	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation yu <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
--	--	---	---

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
------------------------	---------	------	-------

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
---	------	-------

LEGEND

- LOT LINES
- BUILDING SETBACK
- - - EXISTING CONTOUR
- - - PROPOSED CONTOUR
- 100 x 100.5 SPOT GRADE
- WETLAND BOUNDARY
- SHORELAND ZONE LIMIT
- EASEMENT
- BUFFER LINE
- FLOOD HAZARD LINE
- STREAM
- EDGE OF PAVEMENT
- VERTICAL GRANITE CURB
- SLOPED BITUMINOUS CURB
- 12" SANITARY SEWER
- 8" SANITARY SEWER & MANHOLE
- STORM DRAIN & MANHOLE
- CATCH BASIN
- 8" WATER LINE
- HYDRANT
- CULVERT
- FOUNDATION DRAIN
- SEWER HOUSE SERVICE
- WATER HOUSE SERVICE
- BOUND FOUND
- IRON PIPE FOUND
- GRANITE MONUMENT SET
- 5/8" IRON PIPE SET
- PATH OF SURFACE DRAINAGE
- SILT FENCE
- NATURAL CONDITION BUFFER ZONE
- DRIPSTRIP W/ UNDERDRAIN

NOTES:

1. THIS PLAN IS FOR LOT 23 ONLY. GRADING, BUILDING LOCATION OR GENERAL DRAINAGE SHOWN FOR ADJACENT LOTS OR THE ROAD IS FOR INFORMATION ONLY AND MAY NOT REPRESENT ACTUAL FIELD CONDITIONS.
2. DEVELOPMENT WITHIN THE HISTORIC DISTRICT IS SUBJECT TO REVIEW BY THE CITY OF PORTLAND HISTORIC PRESERVATION COMMITTEE.
3. FOUNDATIONS TO BE LAID OUT BY A PROFESSIONAL SURVEYOR PRIOR TO CONSTRUCTION THE PERIMETER OF THE NO-CUT BUFFER IS TO BE RE-SURVEYED AND FLAGGED.
4. SILT FENCE IS TO BE INSTALLED ALONG THE PERIMETER PRIOR TO CONSTRUCTION. ADDITIONALLY ANY ENCROUCHMENT OF THE NO-CUT BUFFER WILL REQUIRE A RESTORATION PLAN APPROVED BY THE CITY.
5. EXTERIOR FOUNDATION DRAIN INVERT IS AT OR ABOVE BASEMENT SLAB HIGHT. INTERIOR FOUNDATION DRAIN WILL REQUIRE A SUMP PUMP.
6. EROSION CONTROL MESH, INSTALL ON ALL SLOPES GREATER THAN 3:1. LOAM & SEED AS SOON AS POSSIBLE.
7. DRIVEWAY IN FRONT OF GARAGE IS GRADED AT 6%.
8. GRADE FROM NW CORNER AROUND BUILDING TO DRAIN.

REV. 2	3/26/07	REV'D DRIVEWAY LAYOUT
REV. 1	8/29/06	REV'D PER CITY REVIEW

EROSION CONTROL MESH, INSTALL ON ALL SLOPES GREATER THAN 3:1. LOAM & SEED AS SOON AS POSSIBLE.

2-STREET TREES, RED OAK (quercus rubrum) 2" CAL.

CONNECT UTILITIES TO EXISTING STUBS, FIELD LOCATE, TYP.

LOAM AND SEED ALL DISTURBED AREAS

PLANT BED IN BARKMULCH ON SLOPE

PLANT BED IN BARKMULCH ON SLOPE

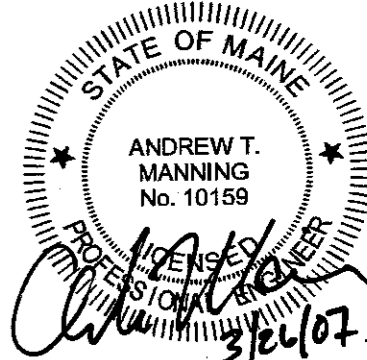
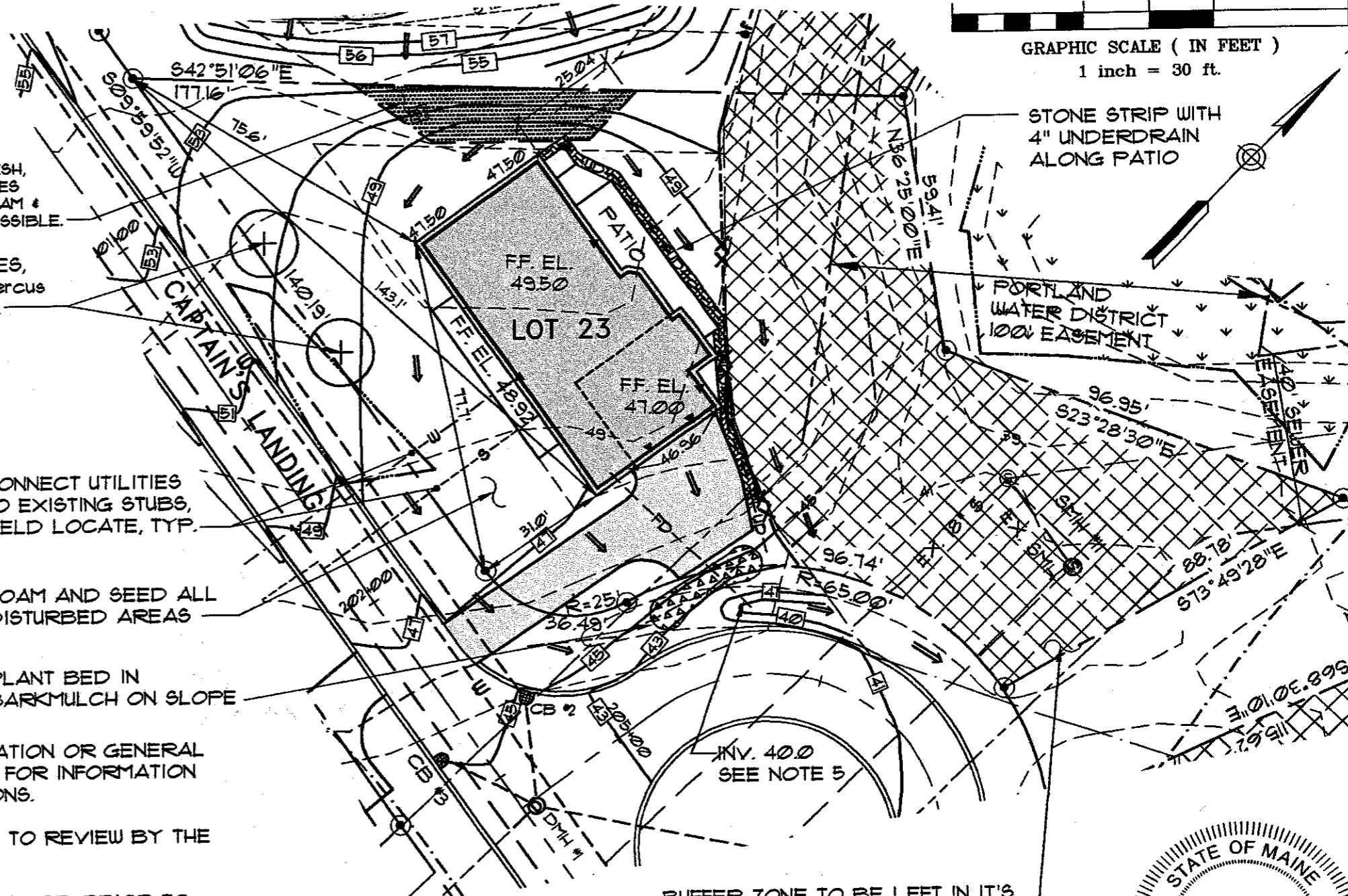
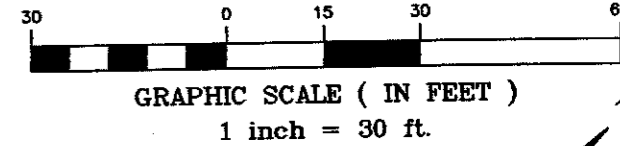
OWNER:
PHILIP & ELAINE HASKELL
1541 CHERRY TREE DRIVE
FULTON, MARYLAND 20759

BUILDER:
E.G. JOHNSON CO.
3 CLIFF STREET
PORTLAND, MAINE 04102

ENGINEER:
PINKHAM & GREER
CONSULTING ENGINEERS
FALMOUTH, MAINE 04105

TOPOGRAPHY & BOUNDARY:
OWEN HASKELL ASSOC.
PORTLAND, MAINE 04101

BUFFER ZONE TO BE LEFT IN IT'S NATURAL CONDITION EXCEPT THAT CLEARING OF THE UNDER STORY FOR A 5' WIDE WALKING TRAIL IS PERMITTED.



SITE PLAN LOT 23

RIVER'S EDGE
CAPTAIN'S LANDING DRIVE



SCALE: 1"=30'
DATE: AUG. 17, 2006
DESG BY: TSG
PROJECT: 02110

LEGEND

- LOT LINES
- BUILDING SETBACK
- - - EXISTING CONTOUR
- - - PROPOSED CONTOUR
- x100.5 SPOT GRADE
- WETLAND BOUNDARY
- SHORELAND ZONE LIMIT
- EASEMENT
- BUFFER LINE
- FLOOD HAZARD LINE
- STREAM
- EDGE OF PAVEMENT
- VERTICAL GRANITE CURB
- SLOPED BITUMINOUS CURB
- 18" SANITARY SEWER
- 8" SANITARY SEWER & MANHOLE
- STORMDRAIN & MANHOLE
- CATCH BASIN
- 8" WATER LINE
- HYDRANT
- CULVERT
- FOUNDATION DRAIN
- SEWER HOUSE SERVICE
- WATER HOUSE SERVICE
- BOUND FOUND
- IRON PIPE FOUND
- GRANITE MONUMENT SET
- 5/8" IRON PIPE SET
- PATH OF SURFACE DRAINAGE
- SILT FENCE
- NATURAL CONDITION
- BUFFER ZONE
- DRIPSTRIP W/ UNDERDRAIN

NOTES:

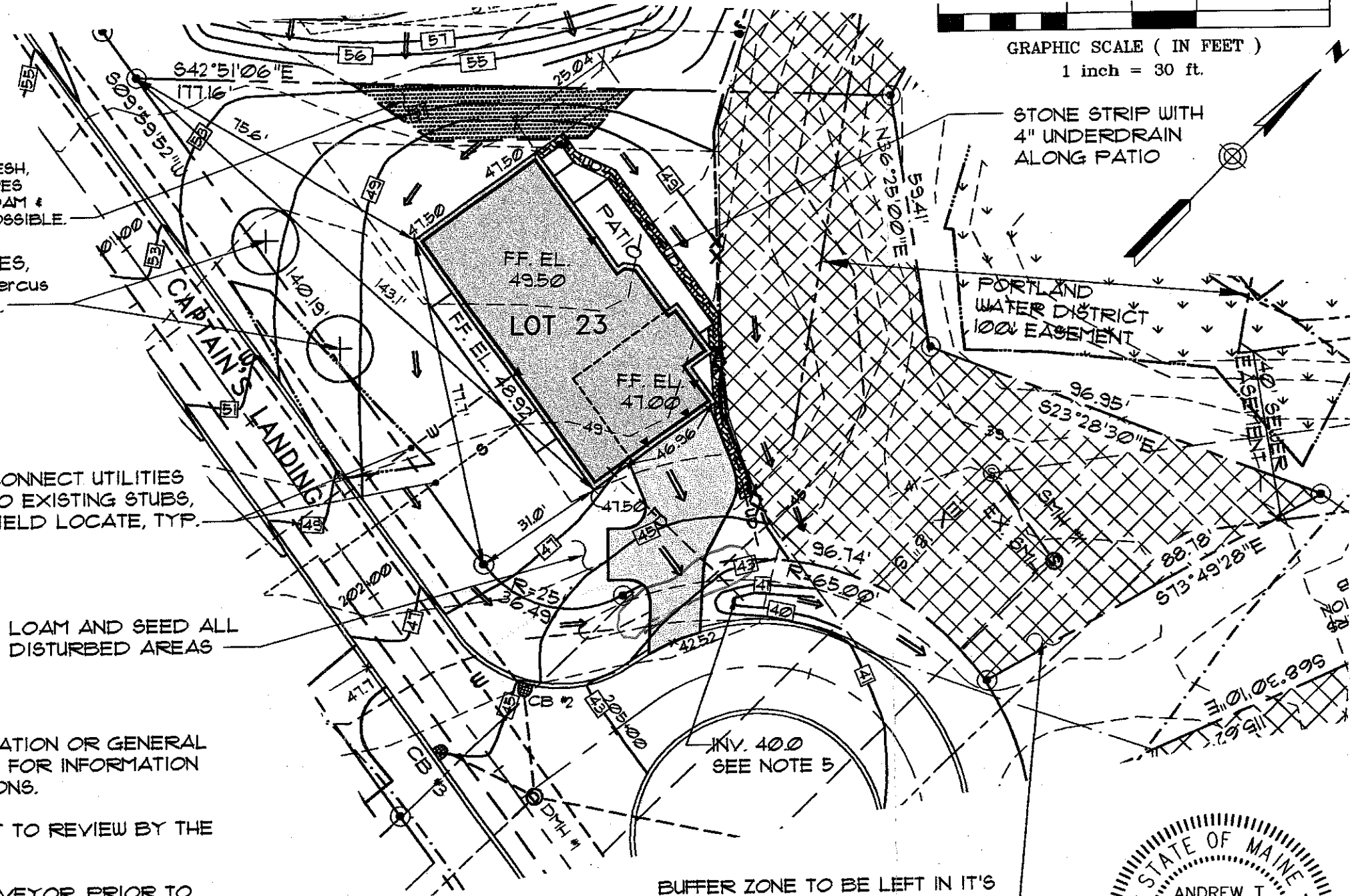
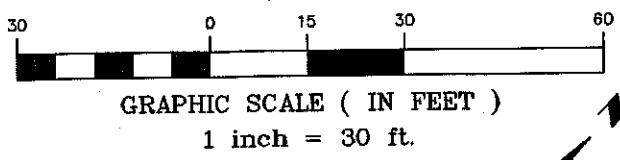
1. THIS PLAN IS FOR LOT 23 ONLY. GRADING, BUILDING LOCATION OR GENERAL DRAINAGE SHOWN FOR ADJACENT LOTS OR THE ROAD IS FOR INFORMATION ONLY AND MAY NOT REPRESENT ACTUAL FIELD CONDITIONS.
2. DEVELOPMENT WITHIN THE HISTORIC DISTRICT IS SUBJECT TO REVIEW BY THE CITY OF PORTLAND HISTORIC PRESERVATION COMMITTEE.
3. FOUNDATIONS TO BE LAID OUT BY A PROFESSIONAL SURVEYOR. PRIOR TO CONSTRUCTION THE PERIMETER OF THE NO-CUT BUFFER IS TO BE RE-SURVEYED AND FLAGGED.
4. SILT FENCE IS TO BE INSTALLED ALONG THE PERIMETER PRIOR TO CONSTRUCTION. ADDITIONALLY ANY ENCROUCHMENT OF THE NO-CUT BUFFER WILL REQUIRE A RESTORATION PLAN APPROVED BY THE CITY.
5. EXTERIOR FOUNDATION DRAIN INVERT IS AT OR ABOVE BASEMENT SLAB HEIGHT. INTERIOR FOUNDATION DRAIN WILL REQUIRE A SUMP PUMP.
6. EROSION CONTROL MESH, INSTALL ON ALL SLOPES GREATER THAN 3:1. LOAM & SEED AS SOON AS POSSIBLE.
7. DRIVEWAY GRADED AT 10%.
8. GRADE FROM NW CORNER AROUND BUILDING TO DRAIN.

EROSION CONTROL MESH, INSTALL ON ALL SLOPES GREATER THAN 3:1. LOAM & SEED AS SOON AS POSSIBLE.

2-STREET TREES, RED OAK (quercus rubrum) 2" CAL.

CONNECT UTILITIES TO EXISTING STUBS, FIELD LOCATE, TYP.

LOAM AND SEED ALL DISTURBED AREAS



STONE STRIP WITH 4" UNDERDRAIN ALONG PATIO

PORTLAND WATER DISTRICT 100% EASEMENT

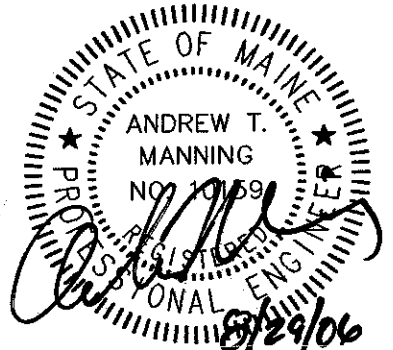
BUFFER ZONE TO BE LEFT IN IT'S NATURAL CONDITION EXCEPT THAT CLEARING OF THE UNDER STORY FOR A 5' WIDE WALKING TRAIL IS PERMITTED.

OWNER:
PHILIP & ELAINE HASKELL
1541 CHERRY TREE DRIVE
FULTON, MARYLAND 207159

BUILDER:
E.G. JOHNSON CO.
3 CLIFF STREET
PORTLAND, MAINE 04102

ENGINEER:
PINKHAM & GREER
CONSULTING ENGINEERS
FALMOUTH, MAINE 04105

TOPOGRAPHY & BOUNDARY:
OWEN HASKELL ASSOC.
PORTLAND, MAINE 04101



SITE PLAN LOT 23

RIVER'S EDGE
CAPTAIN'S LANDING DRIVE

SCALE: 1"=30'
DATE: AUG. 17, 2006
DESIGNED BY: TSG
PROJECT: 02110



New

REV. 1	8/29/06	REV'D PER CITY REVIEW
--------	---------	-----------------------

LEGEND

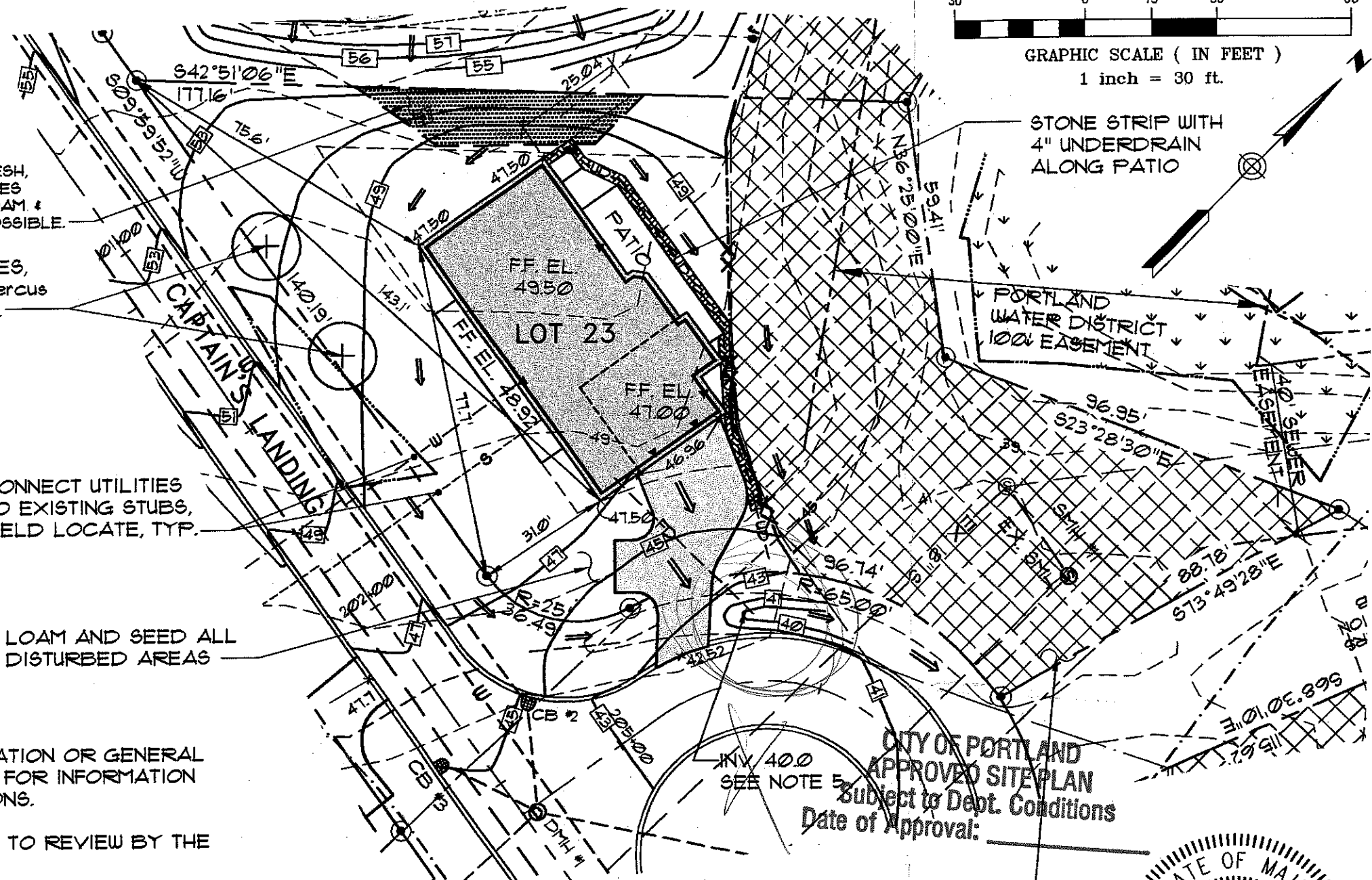
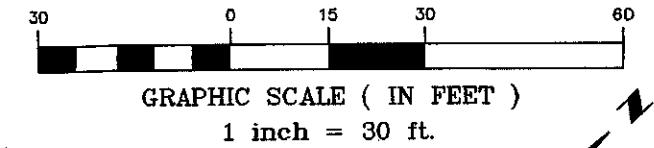
- LOT LINES
- BUILDING SETBACK
- - - - - EXISTING CONTOUR
- - - - - PROPOSED CONTOUR
- ×100.5 SPOT GRADE
- WETLAND BOUNDARY
- SHORELAND ZONE LIMIT
- EASEMENT
- BUFFER LINE
- FLOOD HAZARD LINE
- STREAM
- EDGE OF PAVEMENT
- VERTICAL GRANITE CURB
- SLOPED BITUMINOUS CURB
- 18" SANITARY SEWER
- 8" SANITARY SEWER
- & MANHOLE
- STORMDRAIN & MANHOLE
- CATCH BASIN
- 8" WATER LINE
- HYDRANT
- CULVERT
- FOUNDATION DRAIN
- SEWER HOUSE SERVICE
- WATER HOUSE SERVICE
- BOUND FOUND
- IRON PIPE FOUND
- GRANITE MONUMENT SET
- 5/8" IRON PIPE SET
- PATH OF SURFACE DRAINAGE
- SILT FENCE
- NATURAL CONDITION
- BUFFER ZONE
- DRIPSTRIP W/ UNDERDRAIN

EROSION CONTROL MESH, INSTALL ON ALL SLOPES GREATER THAN 3:1. LOAM & SEED AS SOON AS POSSIBLE.

2-STREET TREES, RED OAK (*quercus rubrum*) 2" CAL.

CONNECT UTILITIES TO EXISTING STUBS, FIELD LOCATE, TYP.

LOAM AND SEED ALL DISTURBED AREAS



NOTES:

1. THIS PLAN IS FOR LOT 23 ONLY. GRADING, BUILDING LOCATION OR GENERAL DRAINAGE SHOWN FOR ADJACENT LOTS OR THE ROAD IS FOR INFORMATION ONLY AND MAY NOT REPRESENT ACTUAL FIELD CONDITIONS.
2. DEVELOPMENT WITHIN THE HISTORIC DISTRICT IS SUBJECT TO REVIEW BY THE CITY OF PORTLAND HISTORIC PRESERVATION COMMITTEE.
3. FOUNDATIONS TO BE LAID OUT BY A PROFESSIONAL SURVEYOR. PRIOR TO CONSTRUCTION THE PERIMETER OF THE NO-CUT BUFFER IS TO BE RE-SURVEYED AND FLAGGED.
4. SILT FENCE IS TO BE INSTALLED ALONG THE PERIMETER PRIOR TO CONSTRUCTION. ADDITIONALLY ANY ENCROUCHMENT OF THE NO-CUT BUFFER WILL REQUIRE A RESTORATION PLAN APPROVED BY THE CITY.
5. EXTERIOR FOUNDATION DRAIN INVERT IS AT OR ABOVE BASEMENT SLAB HIGHT. INTERIOR FOUNDATION DRAIN WILL REQUIRE A SUMP PUMP.
6. EROSION CONTROL MESH, INSTALL ON ALL SLOPES GREATER THAN 3:1. LOAM & SEED AS SOON AS POSSIBLE.
7. DRIVEWAY GRADED AT 10%.
8. GRADE FROM NW CORNER AROUND BUILDING TO DRAIN.

REV. 1	8/29/06	REV'D PER CITY REVIEW
--------	---------	-----------------------

OWNER:
PHILIP & ELAINE HASKELL
1541 CHERRY TREE DRIVE
FULTON, MARYLAND 20759

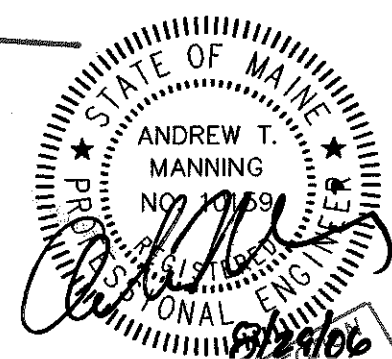
BUILDER:
E.G. JOHNSON CO.
3 CLIFF STREET
PORTLAND, MAINE 04102

ENGINEER:
PINKHAM & GREER
CONSULTING ENGINEERS
FALMOUTH, MAINE 04105

TOPOGRAPHY & BOUNDARY:
OWEN HASKELL ASSOC.
PORTLAND, MAINE 04101

BUFFER ZONE TO BE LEFT IN IT'S NATURAL CONDITION EXCEPT THAT CLEARING OF THE UNDER STORY FOR A 5' WIDE WALKING TRAIL IS PERMITTED.

CITY OF PORTLAND APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval:



SITE PLAN LOT 23

PINKHAM & GREER
CONSULTING ENGINEERS

RIVER'S EDGE
CAPTAIN'S LANDING DRIVE

SCALE: 1"=30'
DATE: AUG. 17, 2006
DESG BY: TSG
PROJECT: 02110

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
AUG 30 2006

RECEIVED

01

LEGEND

- LOT LINES
- BUILDING SETBACK
- - - EXISTING CONTOUR
- - - PROPOSED CONTOUR
- × 100.5 SPOT GRADE
- WETLAND BOUNDARY
- SHORELAND ZONE LIMIT
- EASEMENT
- BUFFER LINE
- FLOOD HAZARD LINE
- STREAM
- EDGE OF PAVEMENT
- VERTICAL GRANITE CURB
- SLOPED BITUMINOUS CURB
- 18" SANITARY SEWER
- 8" SANITARY SEWER & MANHOLE
- STORMDRAIN & MANHOLE
- CATCH BASIN
- 8" WATER LINE
- HYDRANT
- CULVERT
- FOUNDATION DRAIN
- SEWER HOUSE SERVICE
- WATER HOUSE SERVICE
- BOUND FOUND
- IRON PIPE FOUND
- GRANITE MONUMENT SET
- 5/8" IRON PIPE SET
- PATH OF SURFACE DRAINAGE
- SILT FENCE
- NATURAL CONDITION
- BUFFER ZONE

NOTES:

1. THIS PLAN IS FOR LOT 23 ONLY. GRADING, BUILDING LOCATION OR GENERAL DRAINAGE SHOWN FOR ADJACENT LOTS OR THE ROAD IS FOR INFORMATION ONLY AND MAY NOT REPRESENT ACTUAL FIELD CONDITIONS.
2. DEVELOPMENT WITHIN THE HISTORIC DISTRICT IS SUBJECT TO REVIEW BY THE CITY OF PORTLAND HISTORIC PRESERVATION COMMITTEE.
3. FOUNDATIONS TO BE LAID OUT BY A PROFESSIONAL SURVEYOR.
4. EXTERIOR FOUNDATION DRAIN INVERT IS AT OR ABOVE BASEMENT SLAB HIGHT. INTERIOR FOUNDATION DRAIN WILL REQUIRE A SUMP PUMP.
5. EROSION CONTROL MESH, INSTALL ON ALL SLOPES GREATER THAN 3:1. LOAM & SEED AS SOON AS POSSIBLE.
6. DRIVEWAY GRADED AT 10%.
7. GRADE FROM NW CORNER AROUND BUILDING TO DRAIN.

EROSION CONTROL MESH, INSTALL ON ALL SLOPES GREATER THAN 3:1. LOAM & SEED AS SOON AS POSSIBLE.

2-STREET TREES, RED OAK (quercus rubrum) 2" CAL.

CONNECT UTILITIES TO EXISTING STUBS, FIELD LOCATE. SEWER MAY REQUIRE A PUMP, VERIFY IN FIELD.

LOAM AND SEED ALL DISTURBED AREAS

28 L.F. @ 0.035'/' 12" PCP DRIVEWAY CULVERT
INV. IN = 41.00
INV. OUT = 40.00'

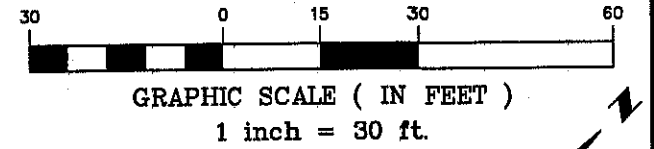
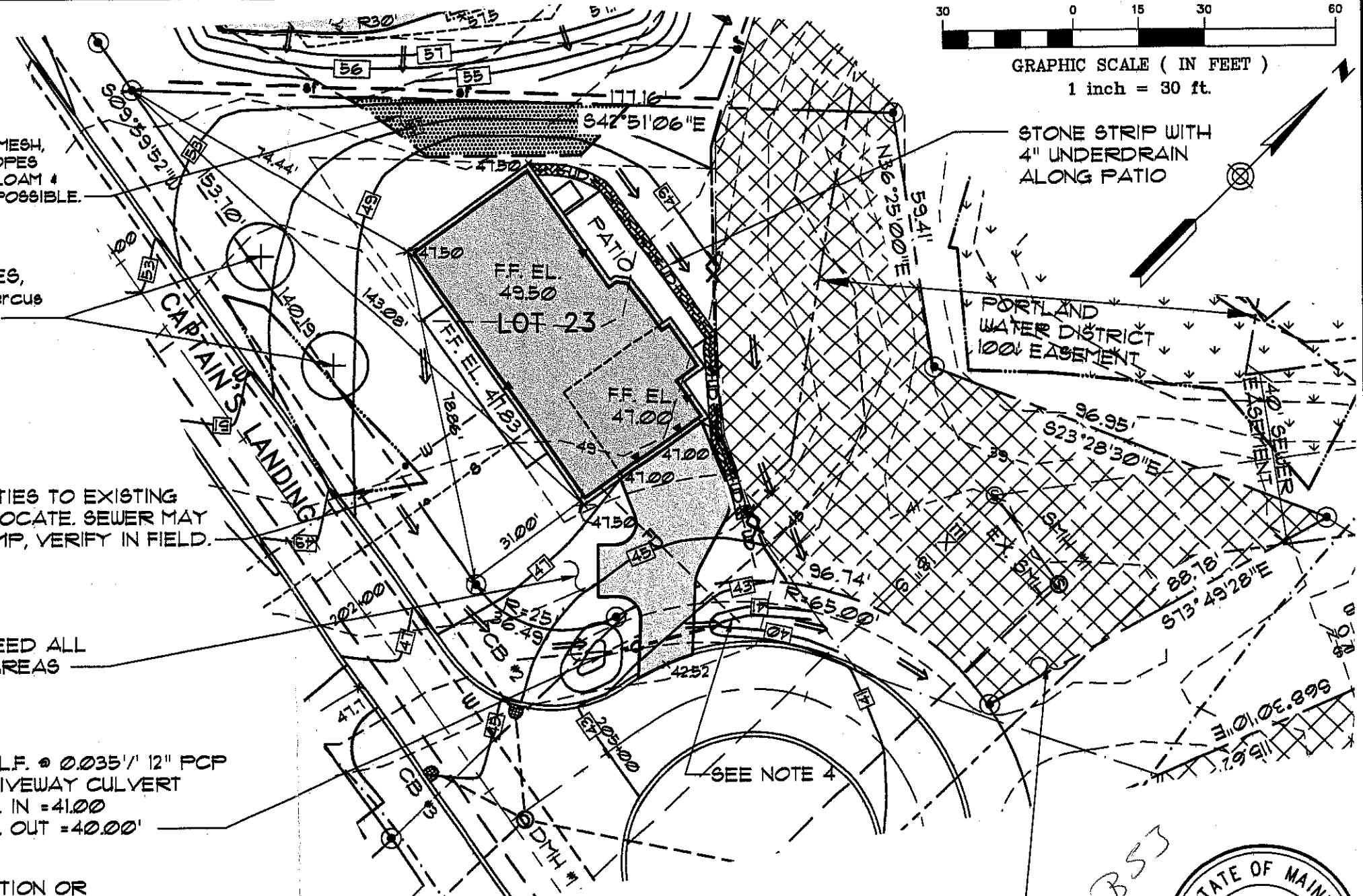
OWNER:
PHILIP & ELAINE HASKELL
1541 CHERRY TREE DRIVE
FULTON, MARYLAND 20759

BUILDER:
E.G. JOHNSON CO.
3 CLIFF STREET
PORTLAND, MAINE 04102

ENGINEER:
PINKHAM & GREER
CONSULTING ENGINEERS
FALMOUTH, MAINE 04105

TOPOGRAPHY & BOUNDARY:
OWEN HASKELL ASSOC.
PORTLAND, MAINE 04101

BUFFER ZONE TO BE LEFT IN IT'S NATURAL CONDITION EXCEPT THAT CLEARING OF THE UNDER STORY FOR A 5' WIDE WALKING TRAIL IS PERMITTED.

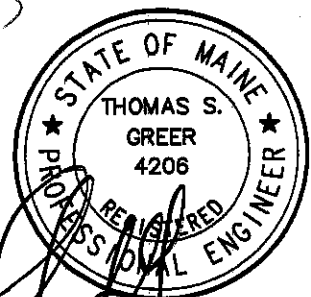


STONE STRIP WITH 4" UNDERDRAIN ALONG PATIO

PORTLAND WATER DISTRICT 100' EASEMENT

SEE NOTE 4

217 B53

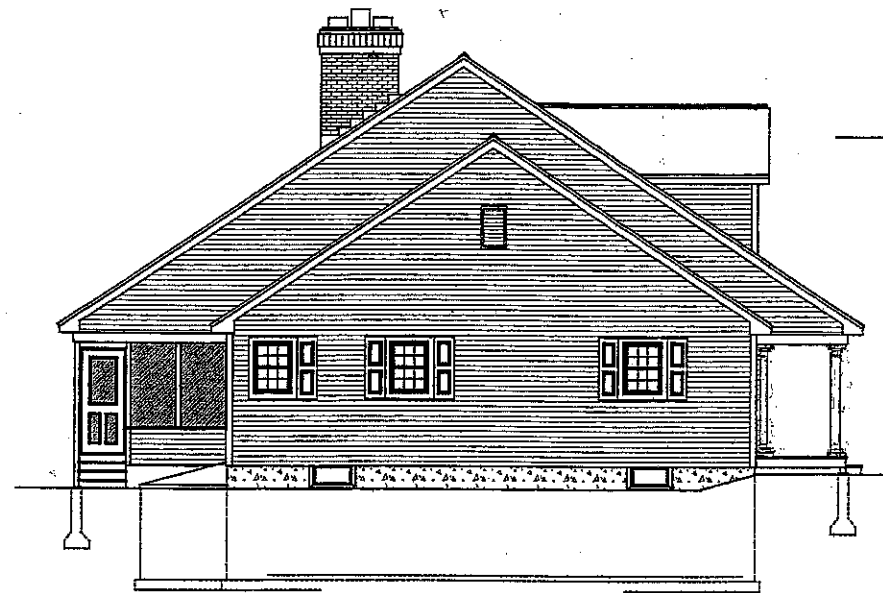


SITE PLAN LOT 23

RIVER'S EDGE
CAPTAIN'S LANDING DRIVE



SCALE: 1"=30'
DATE: AUG. 17, 2006
DESIGNED BY: TSG
PROJECT: 02110

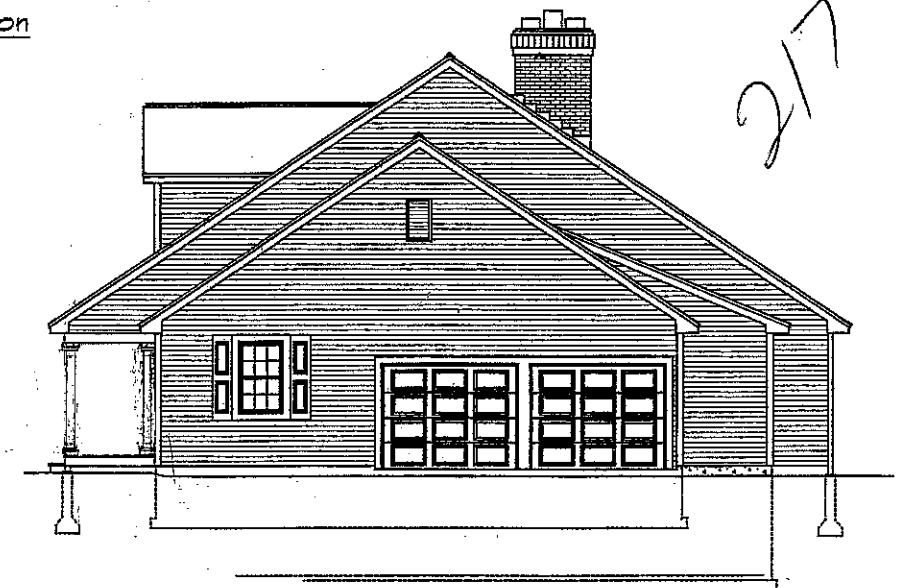


Left Elevation

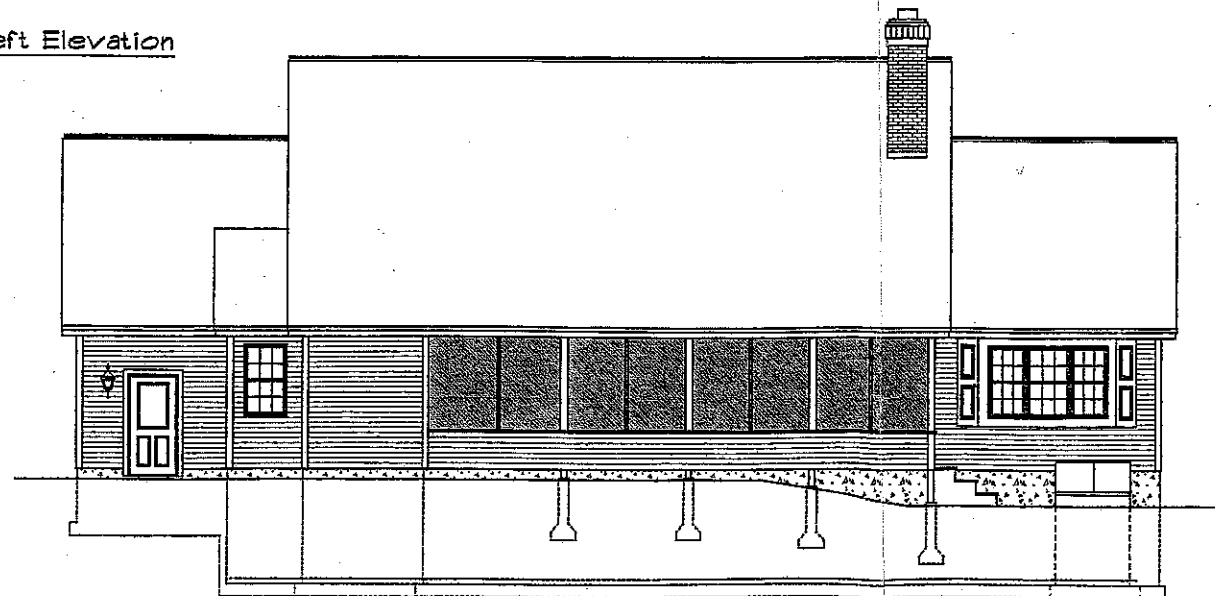


NOTE:
Decorative DORMERS
with no second floor
Excess Available.

Front Elevation
3/16" = 1'-0"



Right Elevation



Rear Elevation
1/8" = 1'-0"

Plans Approved 5/19/06
Colors Approved 5/19/06
K. MULL

217 BSB

CONTRACTING BUILDING
EST. 1869
INC. 1908

E. G. JOHNSON CO.

3 Cliff Street
Portland, Maine 04102

OFFICE # 773-1630

Revision # 1 Aug. 07, 2006
Change Window Grills & Shutters

Note: Owner to check plans for
compliance with all applicable codes

Elevations 2200 of Custom Ranch

Plan For:
Phillip & Elaine Haskell

1
7

Drawn by: Wayne Parada Jun. 18, 2006