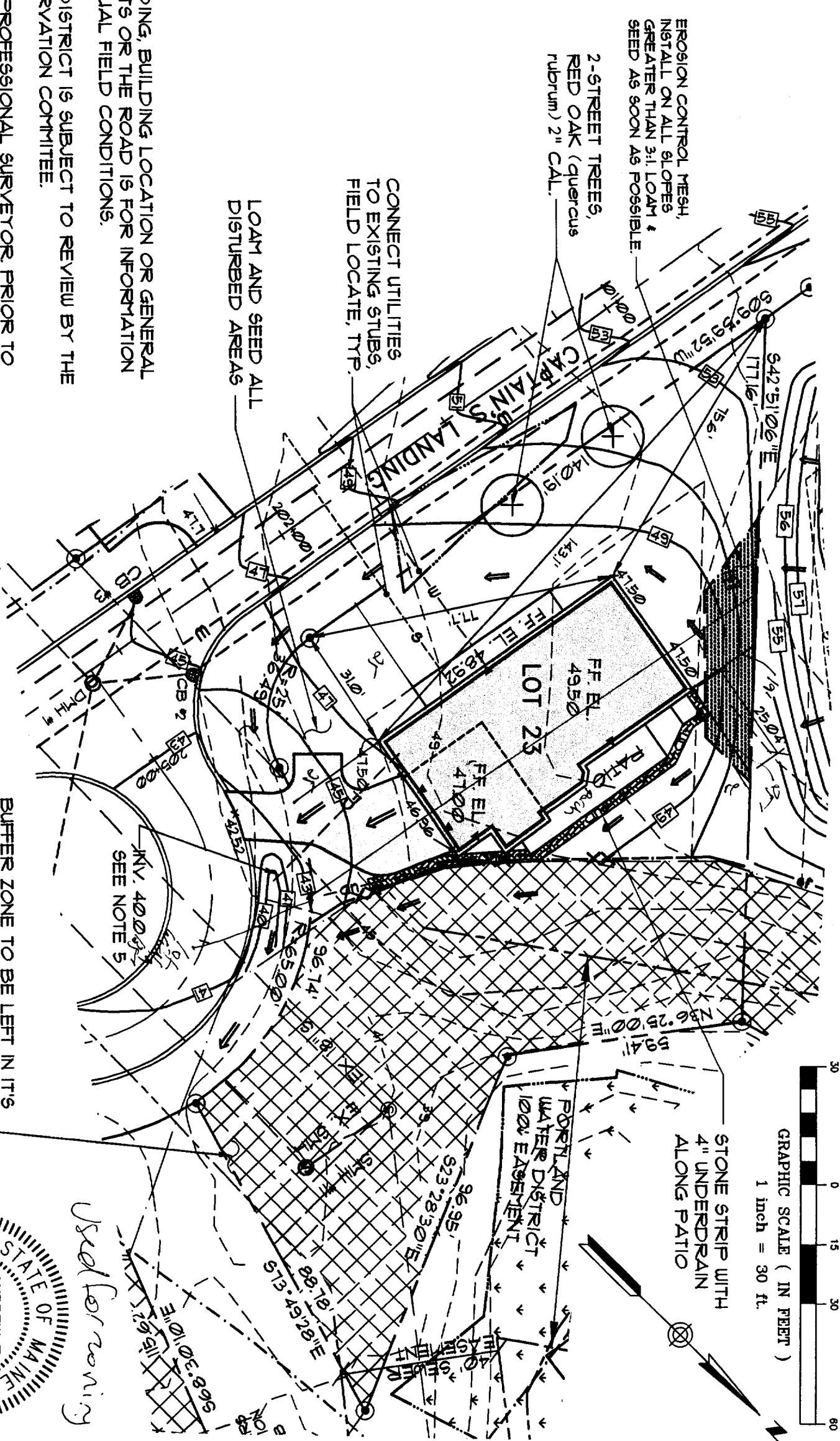


LEGEND

---	LOT LINES
---	BUILDING SETBACK
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	SPOT GRADE
---	WETLAND BOUNDARY
---	SHORELAND ZONE LIMIT
---	EASEMENT
---	BUFFER LINE
---	FLOOD HAZARD LINE
---	STREAM
---	EDGE OF PAVEMENT
---	VERTICAL GRANITE CURB
---	SLOPED BITUMINOUS CURB
---	18" SANITARY SEWER
---	8" SANITARY SEWER
---	4" MANHOLE
---	STORYDRAIN & MANHOLE
---	CATCH BASIN
---	8" WATER LINE
---	HYDRANT
---	CULVERT
---	FOUNDATION DRAIN
---	SEWER HOUSE SERVICE
---	WATER HOUSE SERVICE
---	BOUND FOUND
---	IRON PIPE FOUND
---	GRANITE MONUMENT SET
---	5/8" IRON PIPE SET
---	PATH OF SURFACE DRAINAGE
---	SILT FENCE
---	NATURAL CONDITION
---	BUFFER ZONE
---	DRIPSTRIP w/ UNDERDRAIN

NOTES:

1. THIS PLAN IS FOR LOT 23 ONLY. GRADING, BUILDING LOCATION OR GENERAL DRAINAGE SHOWN FOR ADJACENT LOTS OR THE ROAD IS FOR INFORMATION ONLY AND MAY NOT REPRESENT ACTUAL FIELD CONDITIONS.
2. DEVELOPMENT WITHIN THE HISTORIC DISTRICT IS SUBJECT TO REVIEW BY THE CITY OF PORTLAND AND HISTORIC PRESERVATION COMMITTEE.
3. FOUNDATIONS TO BE LAID OUT BY A PROFESSIONAL SURVEYOR PRIOR TO CONSTRUCTION THE PERIMETER OF THE NO-CUT BUFFER IS TO BE RE-SURVEYED AND FLAGGED.
4. SILT FENCE IS TO BE INSTALLED ALONG THE PERIMETER PRIOR TO CONSTRUCTION. ADDITIONALLY ANY ENCROACHMENT OF THE NO-CUT BUFFER WILL REQUIRE A RESTORATION PLAN APPROVED BY THE CITY.
5. EXTERIOR FOUNDATION DRAIN INVERT IS AT OR ABOVE BASEMENT SLAB HEIGHT. INTERIOR FOUNDATION DRAIN WILL REQUIRE A SUMP PUMP.
6. EROSION CONTROL MESH, INSTALL ON ALL SLOPES GREATER THAN 3:1. LOAM & SEED AS SOON AS POSSIBLE.
- 7.
- 8.



OWNER:
PHILIP & ELAINE HASKELL
7541 CHERRY TREE DRIVE
FULTON, MARYLAND 20759

BUILDER:
EG. JOHNSON CO.
3 CLIFF STREET
PORTLAND, MAINE 04102

ENGINEER:
PINKHAM & GREER
CONSULTING ENGINEERS
FALMOUTH, MAINE 04105

BUFFER ZONE TO BE LEFT IN ITS NATURAL CONDITION EXCEPT THAT CLEARING OF THE UNDER STORY FOR A 5' WIDE WALKING TRAIL IS PERMITTED.

SITE PLAN LOT 23

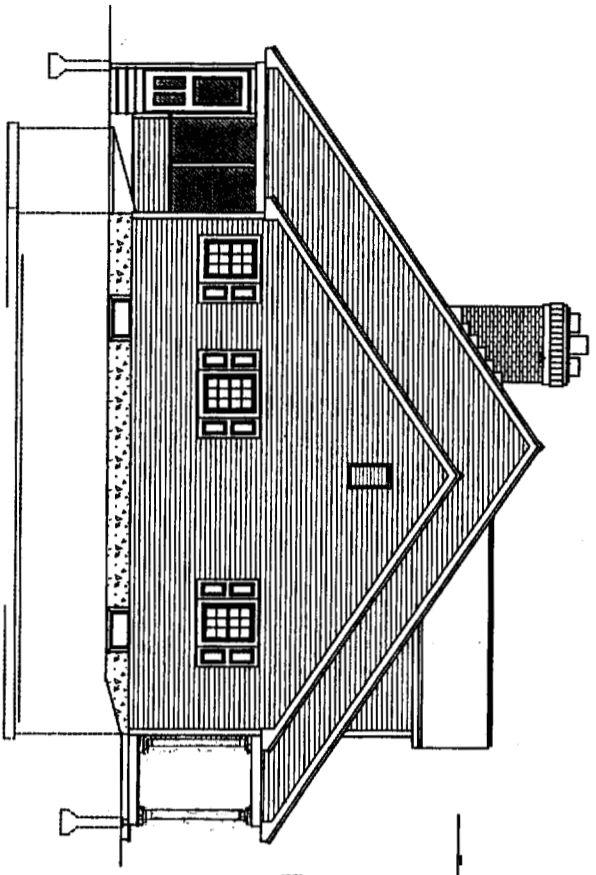
RIVER'S EDGE
CAPTAIN'S LANDING DRIVE

SCALE: 1"=30'
DATE: AUG. 17, 2006
DESG BY: TSG
PROJECT: 021110

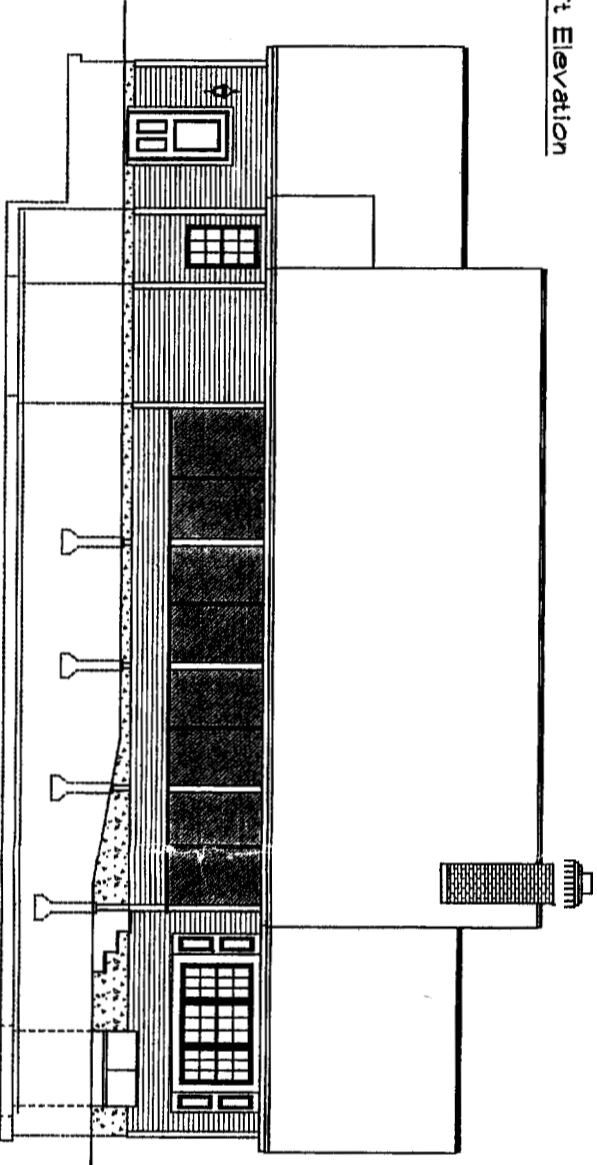


RECEIVED
AUG 20 2006
01

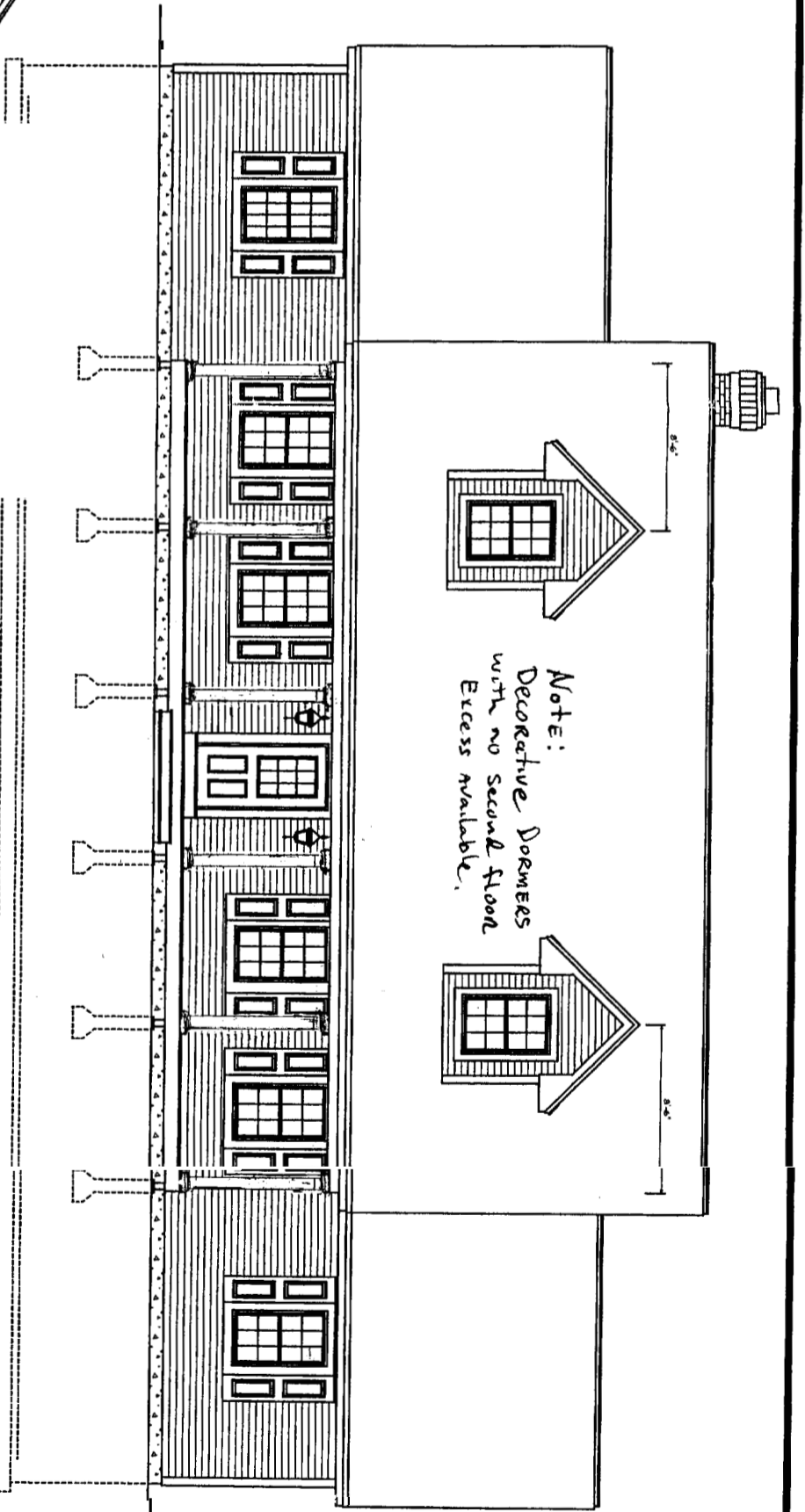
Plus Approval of 5th columns
 Colors Approved 8/19/06
 K. Muller



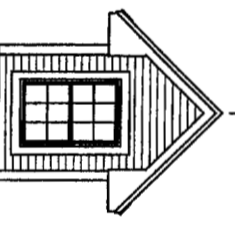
Left Elevation



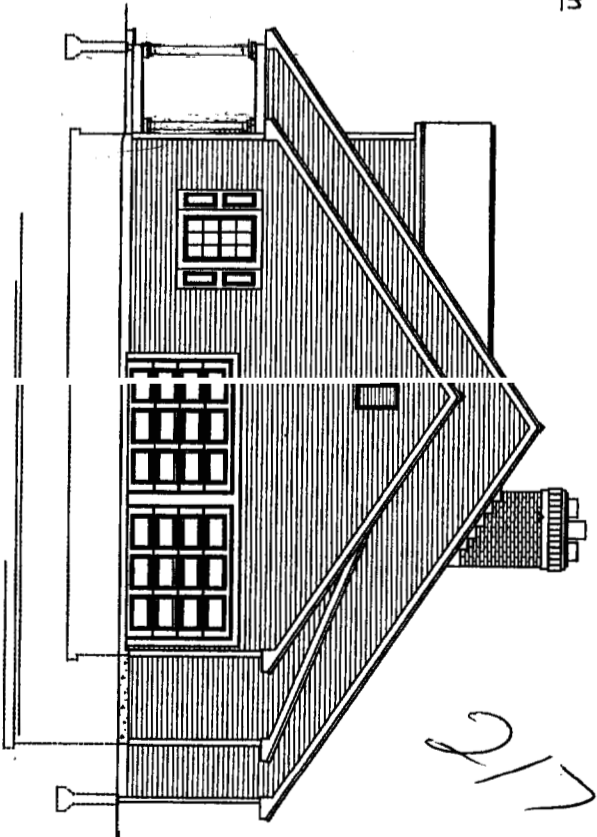
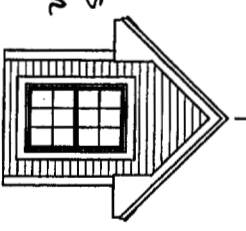
Rear Elevation
 1/8" = 1'-0"



Front Elevation
 3/16" = 1'-0"



Note:
 Decorative Dormers
 with no second floor
 Egress available.



Right Elevation

7/17/06

CONTRACTING BUILDING
 EST. 1869
 INC. 1908

E. G. JOHNSON CO.
 3 Cliff Street
 Portland, Maine 04112

OFFICE # 77 .330

Revision # 1 Aug. 07, 2006
 Changes Window Grilles & Shutters
 Notes: Owner to check plans for
 compliance with all applicable codes

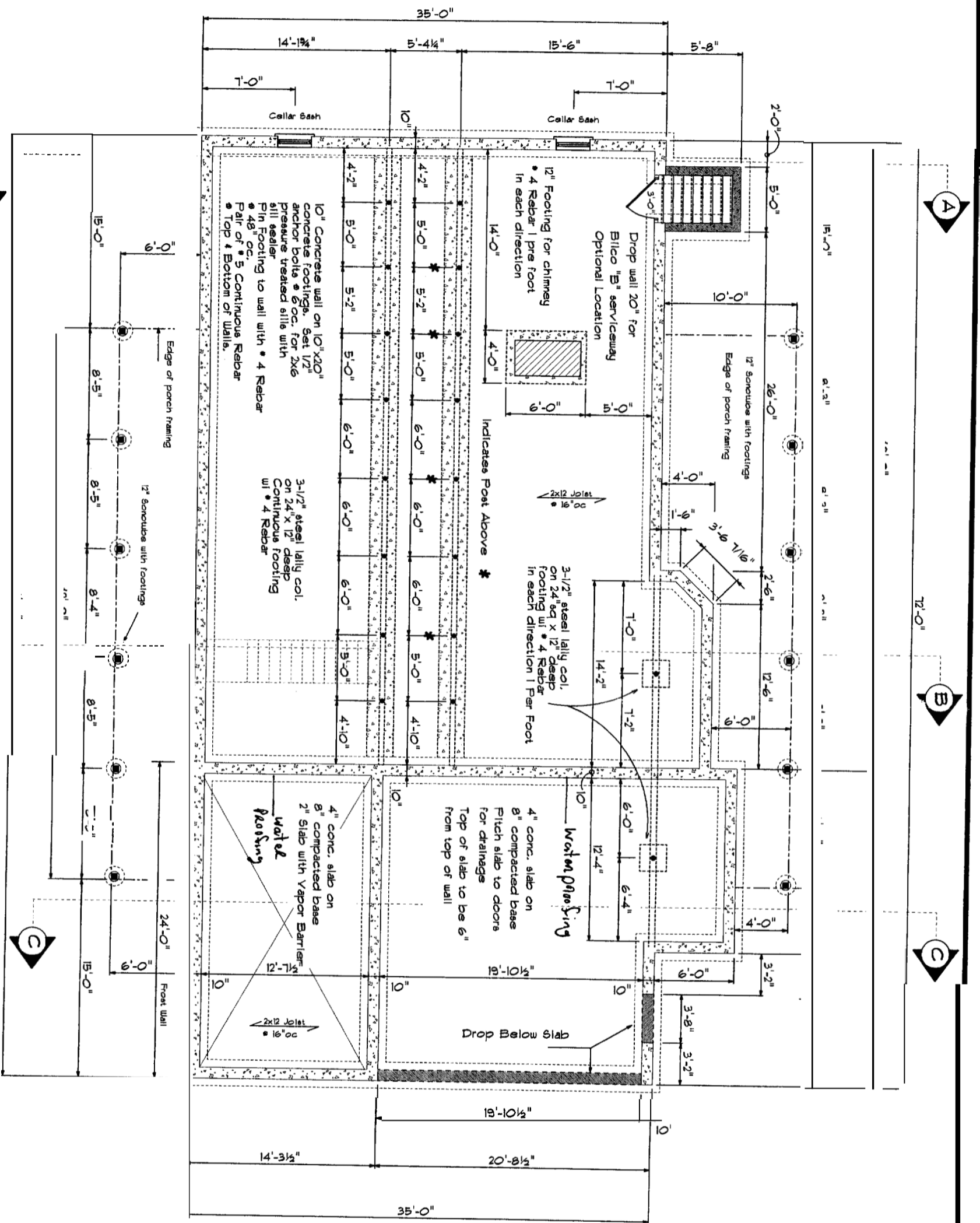
Elevations 2200 of Custom Ranch

Plan For:

Phillip & Elaine Haskell

1
 7

Drawn by: Wayne Parachis Jun. 18, 2006



Lower Floor Plan
3/16" = 1'-0"

ENGINEERING BUILDING
EST. 1869
INC. 1908

E. G. JOHNSON CO.
3 Cliff Street
Portland, Maine 04102

OFFICE # 71 30

Notes: Owner to check plans for compliance with all applicable codes

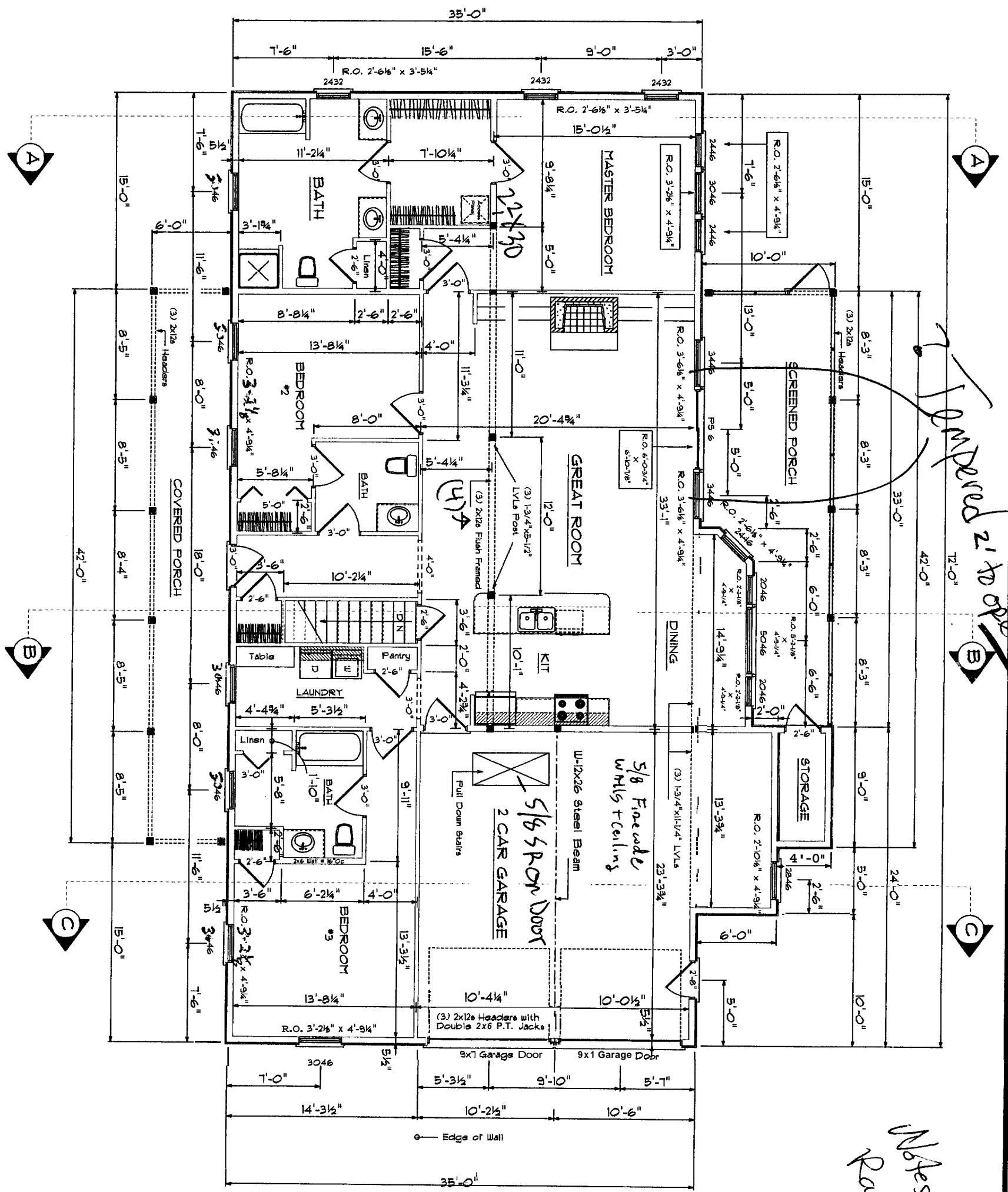
Foundation Plan 2200 sf Custom Ranch

Plan For:	Phillip & Elaine Haskell
Drawn by:	
Wayne Paradis	2 7
Jul. 19, 2006	

Temporarily removed 2' to open cable panel

Notes Per Telcom
Rampy J.
9/19/06

Window UFactor
to meet EERC



Lower Floor Plan
3/16" = 1'-0"

CONTRACTOR'S BUILDING
EST. 1869
INC. 1908

E. G. JOHNSON CO.
3 Cliff Street
Portland, Maine 04102

OFFICE # 773-1630

Notes: Owner to check plans for compliance with all applicable codes

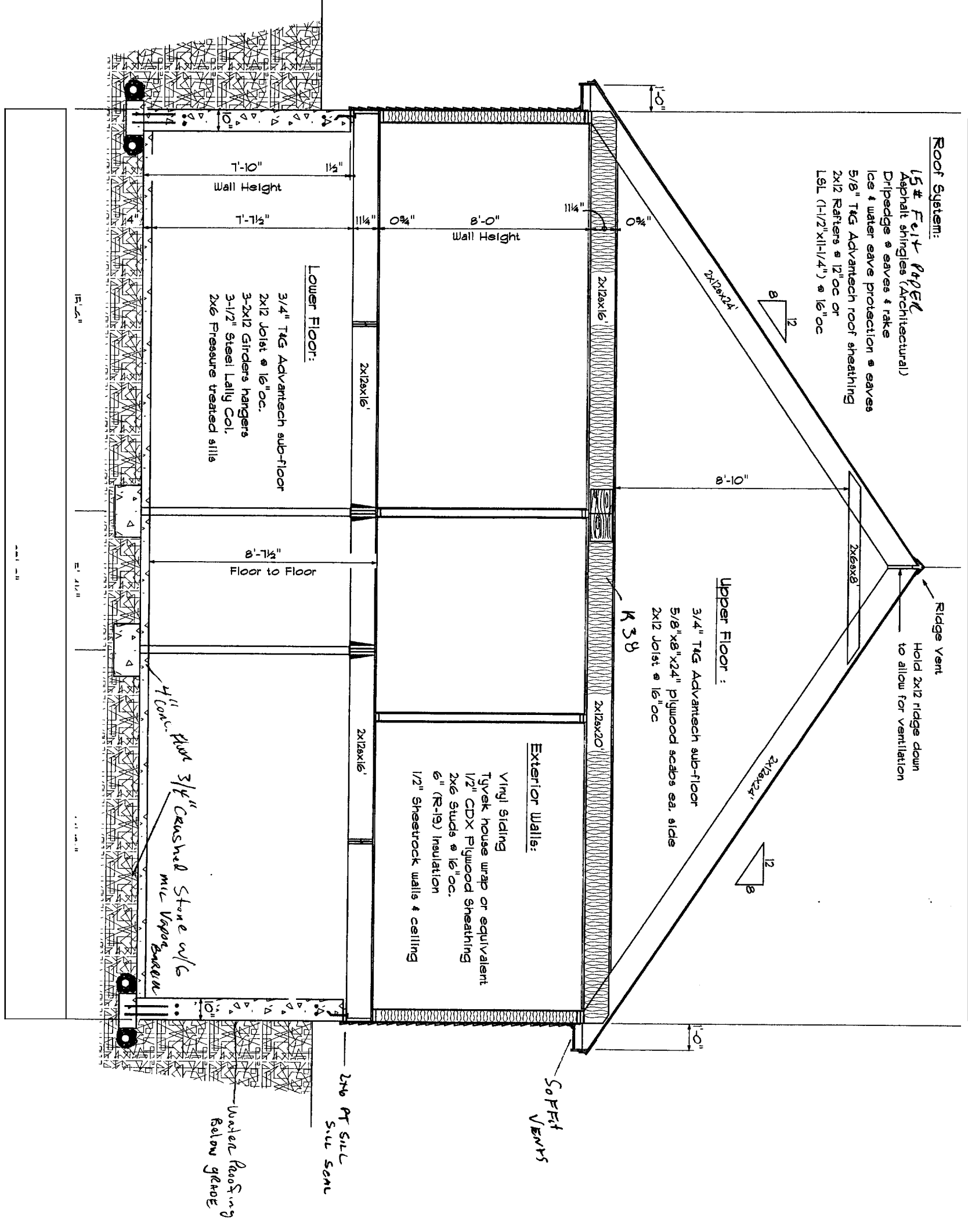
Floor Plan 2200 of Custom Ranch

Plan For: Phillip & Elaine Haskell

3/7

Drawn by: Wayne Paradis Jul. 9, 2006

Roof System:
 15# Felt Paper
 Asphalt shingles (Architectural)
 Dripedge @ eaves & rake
 Ice & water eave protection @ eaves
 5/8" T&G Advantech roof sheathing
 2x12 Rafters @ 12" oc or
 LSL (1-1/2"x11-1/4") @ 16" oc



Section " A "
 3/8" = 1'-0"

CONTRACTING BUILDING
 EST. 1869
 INC. 1908

E. G. JOHNSON CO.
 3 Cliff Street
 Portland, Maine 04102

OFFICE # 773-1630

Notes: Owner to check plans for compliance with all applicable codes

Section " A " 2200 of Custom Ranch

Plan For:

Phillip & Elaine Haskell

Drawn by:

Wayne Parcells

Jul. 8, 2006

4
 7

Roof System:
 15# Felt Paper
 Asphalt shingles (Architectural)
 Dripedge & eaves & rake
 Ice & water save protection & eaves
 5/8" T&G Advantech roof sheathing
 2x12 Rafters @ 12" oc or
 LSL (1-1/2"x11-1/4") @ 16" oc.

Ridge Vent
 5/8" Plywood Scabs
 Each side of (4) 2x12s

Upper Floor:

3/4" T&G Advantech sub-floor
 5/8"x8"x24" plywood scabs ea. side
 2x12 Joist @ 16" oc

2x4 wall continuous
 to rafters

Exterior Walls:

Vinyl Siding
 Tyvek house wrap or equivalent
 1/2" CDX Plywood Sheathing
 2x6 Studs @ 16" oc.
 6" (R-19) Insulation
 1/2" Sheetrock walls & ceiling

Lower Floor:

3/4" T&G Advantech sub-floor
 2x12 Joist @ 16" oc.
 3-2x12 Girders hangers
 3-1/2" Steel Lally Col.
 2x6 Pressure treated sills

Stairs:

3-2x12 Stringers
 14 Risers @ 7-3/8"
 13 Treads @ 10"
 1-1/4" Finish Treads

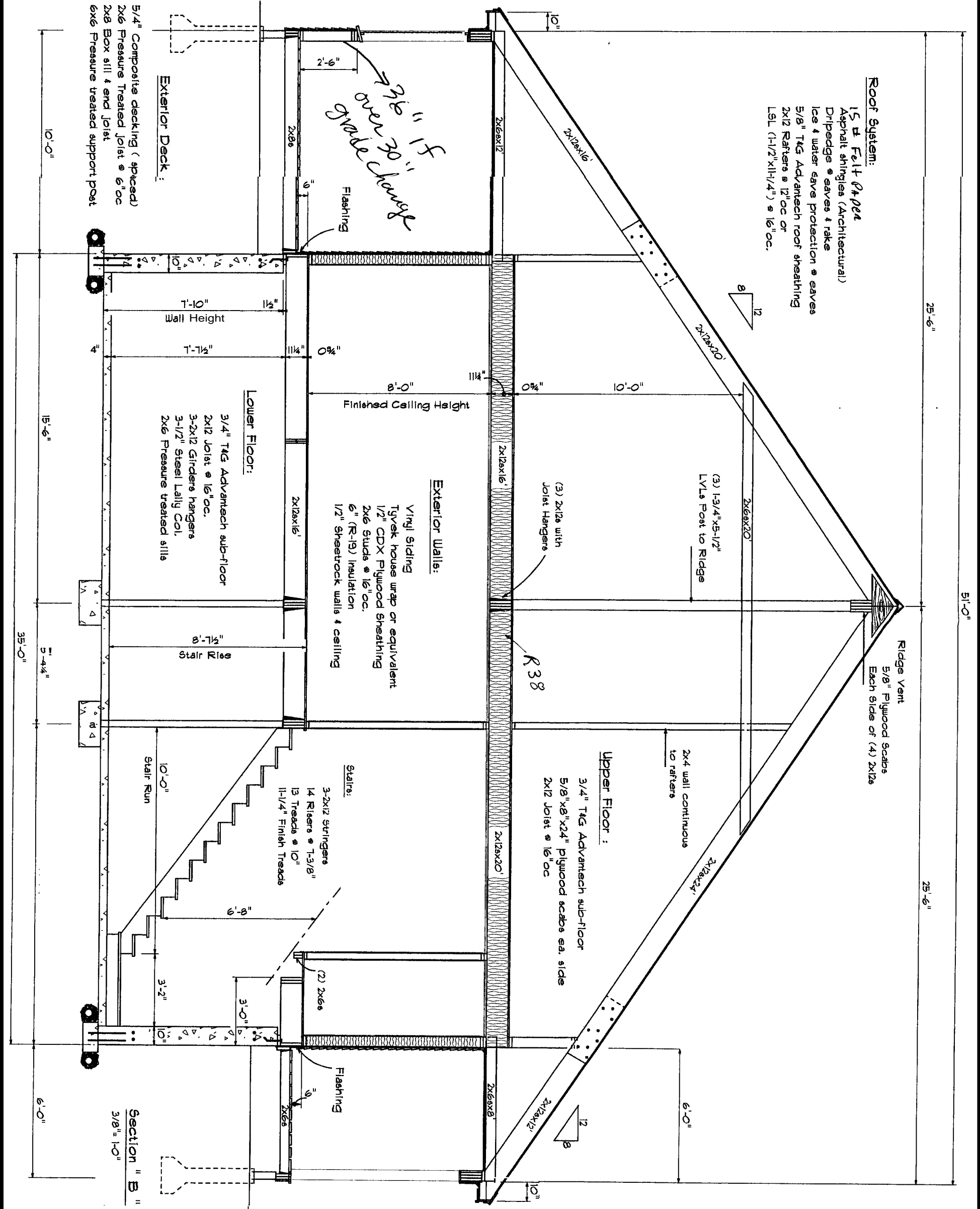
Stair Rise

Stair Run

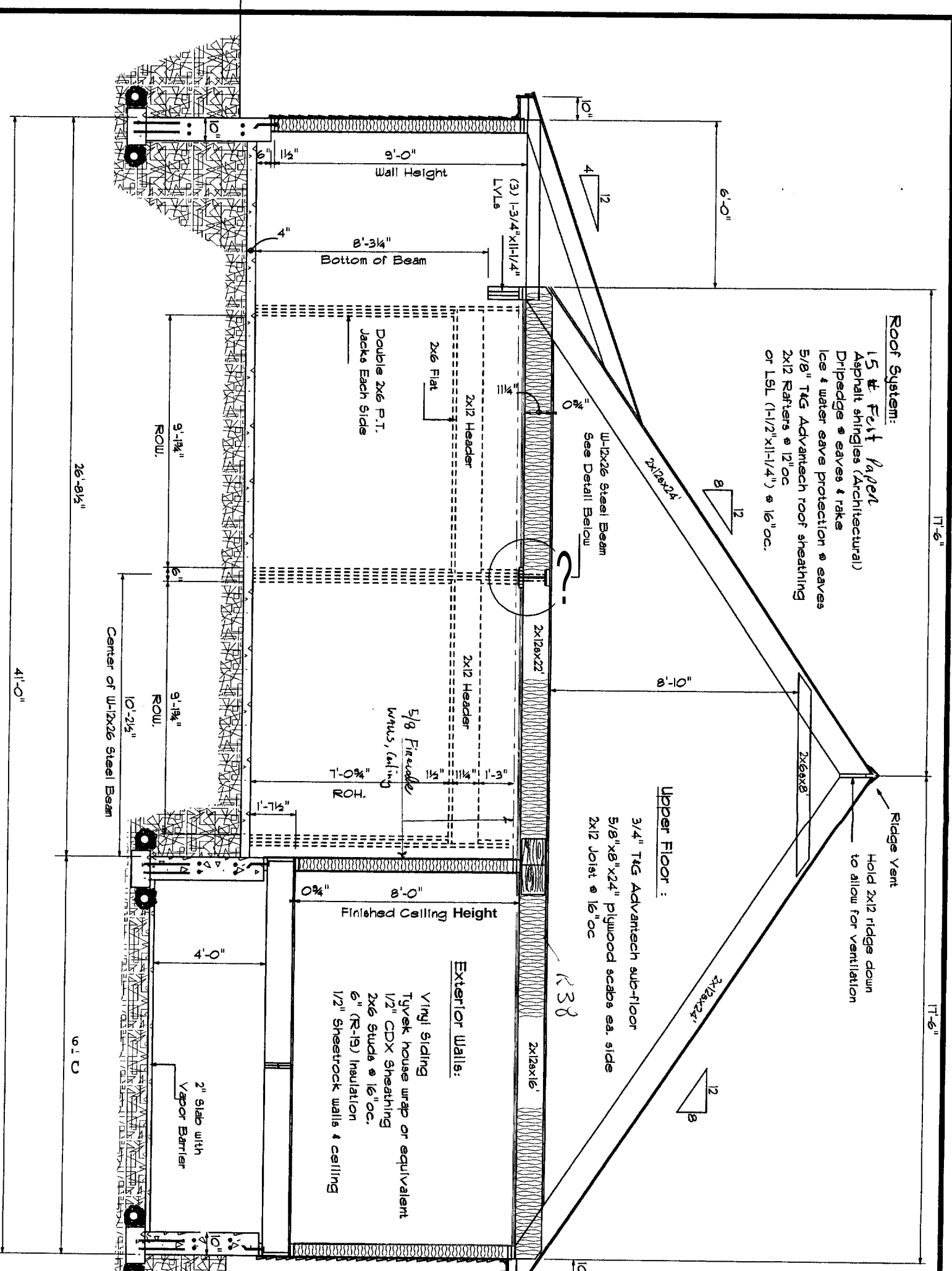
Exterior Deck:

5/4" Composite decking (spaced)
 2x6 Pressure Treated Joist @ 6" oc
 2x8 Box sill & end joist
 6x6 Pressure treated support post

*36" F
 over 30" F
 grade change*



Section "B"
 3/8" = 1'-0"



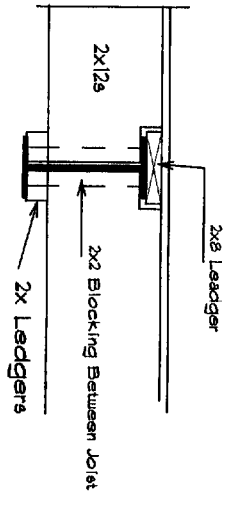
Roof System:
 1.5# Felt Paper
 Asphalt shingles (Architectural)
 Dripedge @ eaves & rake
 Ice & water eave protection @ eaves
 5/8" T&G Advantech roof sheathing
 2x12 Rafters @ 12"oc
 or LSL (1-1/2"x11-1/4") @ 16"oc.

Upper Floor:
 3/4" T&G Advantech sub-floor
 5/8"x8"x24" plywood scraps ea. side
 2x12 Joist @ 16"oc

Exterior Walls:
 Vinyl siding
 Tyvek house wrap or equivalent
 1/2" CDX Sheathing
 2x6 Studs @ 16"oc.
 6" (R-19) Insulation
 1/2" Sheetrock walls & ceiling

Lower Floor:
 3/4" T&G Advantech sub-floor
 2x12 Joist @ 16"oc.
 3-2x12 Girders hangers
 3-1/2" Steel Lally Col.
 2x6 Pressure treated sills

Section " C "
 3/8" = 1'-0"

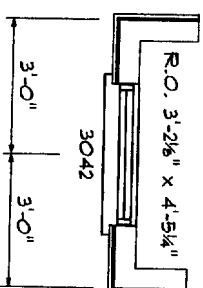
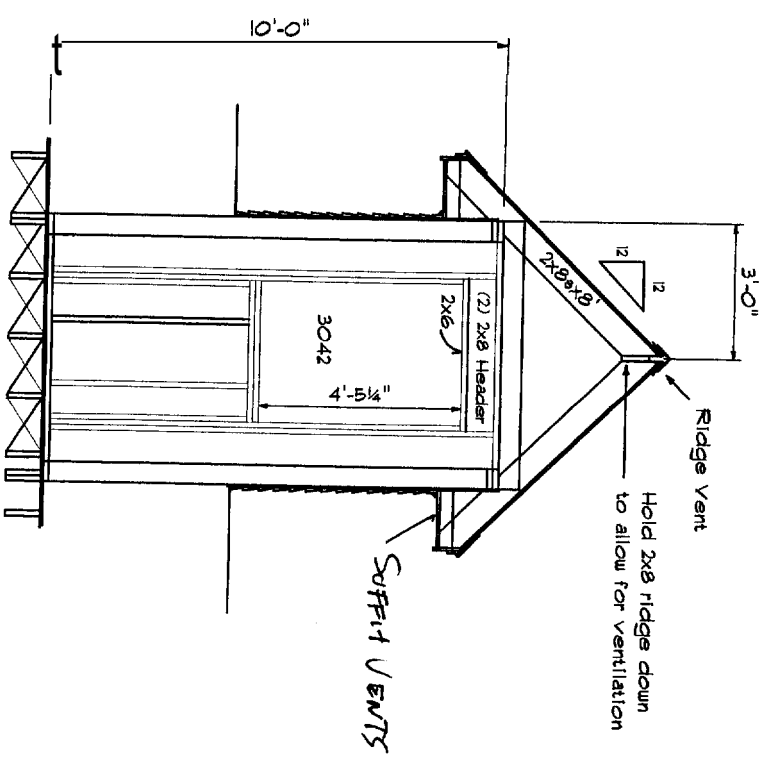
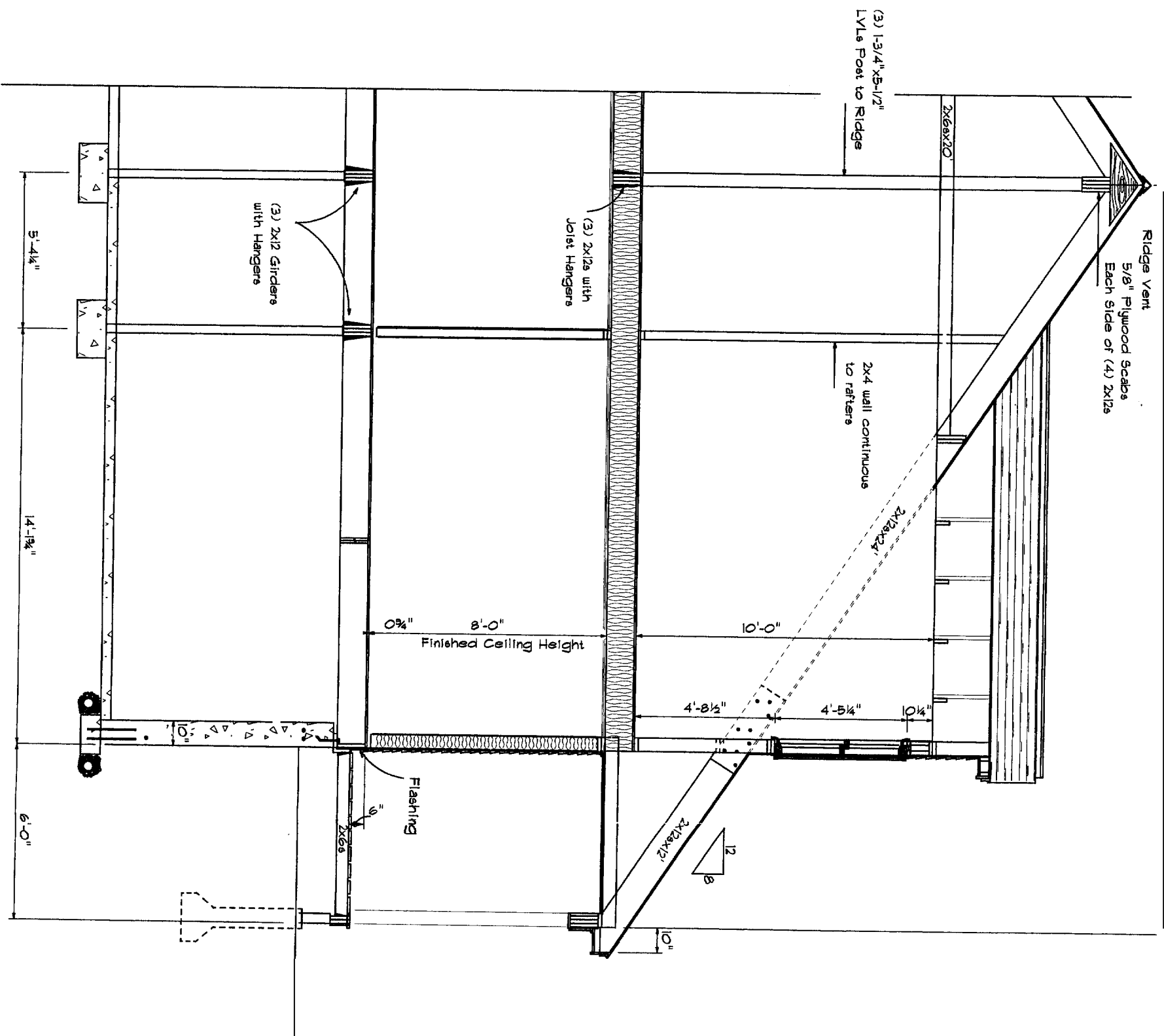


W-12x26 Steel Beam
 1" = 1'-0"

CONTRACTING BUILDING
 EST. 199
 INC. 199

E. G. JOHNSON CO.
 3 Cliff Street
 Portland, Maine 04102
 OFFICE # 773-1630

Notes: Owner to check plans for compliance with all applicable codes	
Section " C "	2200 of Custom Ranch
Plan For:	Phillip & Elaine Haskell
Drawn By:	Wayne Paradis
	67
	Jul. 18, 2006



Eye Dormer Section
3/8" = 1'-0"

Notes: Owner to check plans for compliance with all applicable codes

Eye Dormers 2200 sq Custom Ranch

Plan For:

Phillip & Elaine Haskell

Drawn by: Wayne Paradis

Jul. 18, 2006

CONTRACTING BUILDING
EST. 1869
INC. 1908

E. G. JOHNSON CO

3 Cliff Street
Portland, Maine 04119

OFFICE # 7