

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
 Application And
 Notes, If Any,
 Attached

BUILDING INSPECTION

PERMIT

Permit Number: 061234

PERMIT ISSUED

SEP 21 2006

This is to certify that Haskell, Philip & Elaine/E.C. Johnson & Companyhas permission to Build a new 2,200 sq ft home w/2 car garageAT 0 CAPTAINS LANDING #23

L 217 B053001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Classification of inspection must be given and when permission proceeds before this building or part thereof is used or service closed-in 4
 YOUR NOTICE REQUIRED

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Jamie Burke 9/20/06
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED

Permit No: 06-1234		Issue Date: SEP 21 2006		CBL: 217 3053001	
Location of Construction: Lot 25 0 CAPTAINS LANDING #23 (#24)		Owner Name: Haskell, Philip & Elaine		Owner Address: 7541 Cherry Tree Drive	
Business Name:		Contractor Name: E.G. Johnson & Company		Contractor Address: 3 Cliff Street Portland	
Lessee/Buyer's Name		Phone:		Permit Type: Single Family	
Past Use: Vacant Land		Proposed Use: Single Family Home - Build a new 2,200 sq ft home w/2 car garage		Permit Fee: \$2,795.00	
				Cost of Work: \$270,000.00	
				CEO District: 3	
Proposed Project Description: Build a new 2,200 sq ft home w/2 car garage		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: R3 Type: 5B	
		Signature:		Signature: AMB 9/20/06	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
		Signature:		Date:	

Permit Taken By: Idobson	Date Applied For: 08/23/2006	Zoning Approval		
<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland N/A <input type="checkbox"/> Wetland N/A <input type="checkbox"/> Flood Zone parcel 12 - zone X <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan 2006 - 0164 Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> OK with conditions Date: 8/31/06 ABH	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation y6 <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:	

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

OWEN HASKELL, INC.

Professional Land Surveyors

16 Casco Street • Portland, Maine 04101-2979 • 207/774-0424 • FAX: 774-0511 • ohi@owenhaskell.com

MEMO TO: City Inspectors office
City of Portland
Fax: 874-8716

Randy Johnson
E.G. Johnson Co.
Fax: 780-0646

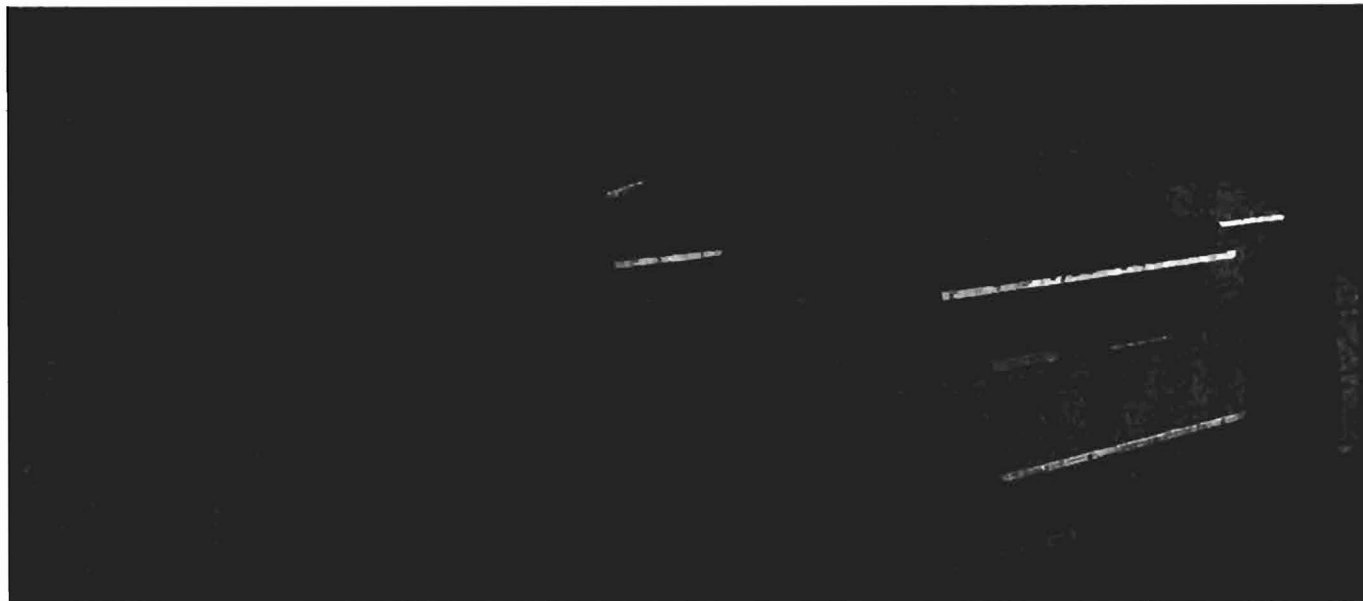
FROM: Ellen C. Brewer
Owen Haskell, Inc.
774-0424 fax 774-0511

DATE: November 14, 2006

RE: Lot 23 Rivers Edge, Portland, Maine

On October 13, 2006 Owen Haskell, Inc. laid out on the footing the proposed residence on Lot 23. The residence as laid out conforms to the setbacks as shown on "Final Subdivision Plan, Rivers Edge" approved by the City of Portland planning board 10/9/01 and recorded in the Cumberland County Registry of Deeds in Plan Book 201 Page 494.

If you have any further questions or need any additional information please do not hesitate to call.



ZIP System™ Roof Sheathing INSTALLATION MANUAL

*This Installation Guide is intended to provide general information for the designer and end-user.
For additional information contact Huber Engineered Woods LLC.*

ATTENTION: The following guidelines will help you safely and properly install the ZIP System™ Roof Sheathing. We urge you and anyone installing this product to read these guidelines in order to minimize any risk of safety hazards and to prevent voiding any applicable warranties.

This manual is a general installation guide and does not cover every installation condition or requirement. You acknowledge that it is solely your obligation for all safety requirements and code compliance. As with any roof installation wear fall protection per OSHA Installation Guidelines.



ZIP SYSTEM ROOF SHEATHING PANEL 30-YEAR LIMITED WARRANTY*

Huber warrants that, for 30 years from the manufacturing date, the panels will not delaminate or have manufacturing defects. Delamination is defined as the visible separation of layers within the panel that would normally receive adhesives and/or resins and be firmly contacted during the manufacturing process, and that results in the reduction of the panel's structural strength. Minor surface characteristics such as loose or folded surface flakes or minor localized edge checking or cosmetic imperfections do not qualify as delamination.

**Limitations and restrictions apply. See warranty for complete details.*

ZIP System™ Safety Guidelines:

- Follow all OSHA regulations and any other safety guidelines and safety practices (i.e. the American Plywood Association's Basic Roof Safety Tips) for roof installation and construction. Use a ZIP System™ Tape Gun to apply ZIP System™ Tape.
- Use approved safety belts and/or harnesses or other fall protection equipment.
- Install ZIP System panels and tape only in dry conditions and on dry surfaces. Do not install in rain, snow, frost or other slippery conditions.
- Wear rubber soled or other high traction footwear while installing ZIP System roof products. Do not wear footwear with worn soles or heels.
- Ensure that the roofing surface is free from oil or chemical stains, sawdust, dirt, tape release liner and other debris and is free from all tools, electric cords, clothing, etc., that might create a tripping hazard.
- Install temporary 2x4 toeboards along the ZIP System roof surface.

What Is ZIP System™ Roof Sheathing?

ZIP System Roof Sheathing is an innovative product that can be used as a combination roof sheathing and roof underlayment. ZIP System Roof Sheathing has a built in moisture barrier that lets you say goodbye to felt forever. Simply install the panels, tape the seams, and you have a roof that is completely rough dried-in.

The ZIP System Includes:

- 1/2" ZIP System™ Roofing Sheathing panels with built in Precipitek™ Moisture Barrier
- ZIP System™ Tape
- ZIP System™ Tape Gun
- ZIP System™ Corner / Valley Tool

Storage and Handling:

- Set panel stack on three supports to keep off the ground.
- Outdoors, cover panels loosely with waterproof protective material.
- Anchor covers on top of the stack, but keep away from sides and bottom to assure good air circulation.
- When high moisture exists, cut banding on the panel stack to prevent edge damage.

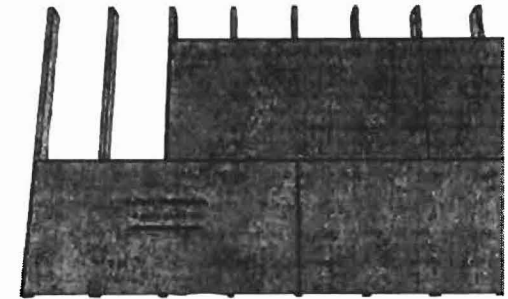
Do not use the ZIP System Roof Sheathing in the following situations:

- **Do not use the ZIP System Roof Sheathing** on walls.
- **Do not use the ZIP System Roof Sheathing** on roofs with slopes less than 2/12
- **Do not use ZIP System Tape** in place of flashing on masonry.
- **Do not install ZIP System Roof Sheathing** panels with edges against masonry or brick- provide a 1/2" gap.
- **Do not use H-Clips with ZIP System Roof Sheathing.** They are not required by code with this 1/2" product and they may interfere with the tape seal. Check local building code requirements for roof sheathing fastening details in high-wind regions.
- **Do not use the ZIP System Tape** to permanently seal around circular projections, (plumbing vents, pipes, curved walls, etc).

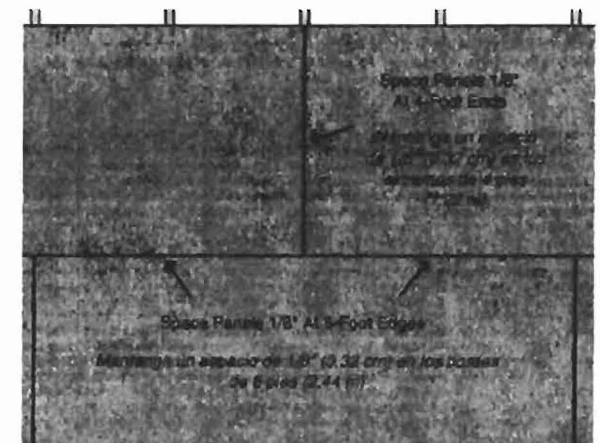
ZIP System Roof Sheathing Installation:

Overview: The ZIP System is composed of ZIP System Roof panels and ZIP System seam sealing tape. The entire roof-framing surface should be sheathed with the ZIP System roofing panels before the seam sealing tape is applied. In general, the ZIP System Roof Sheathing panels should be installed from the lowest point on the roof to the highest. The ZIP System Tape is best installed from the highest portion of the roof to the lowest. The following installation steps are presented as a general outline of the installation process. These are only manufacturer recommendations and you are fully and solely responsible for all safety requirements. Good construction and safety practices should be followed at all times.

- Step 1.** Using a chalk line tool, snap a reference line across the framing members 4 ft. up from the tails.
- Step 2.** After ensuring compliance with ZIP System, and all OSHA and local code safety guidelines, install ZIP System Roof Sheathing panels with the sienna red, imprinted screen surface up. The long edge (8 ft) should be oriented perpendicular to the framing members.
- Step 3.** Ensure that ZIP System panels span at least three framing members and a framing member supports the entire 4-foot edge of the panels. Fasten the ZIP System roofing panel to the framing members with code approved fasteners spaced at the appropriate edge and intermediate spacing. Apply the fasteners 3/8" from the ends and corners. (Fastening requirements for wood structural panels vary in different areas. Please check with local code officials for any specific fastening requirements.) When using a pneumatic nail gun, ensure that the pressure setting is such that the nail head remains flush with the panel surface when fastening.



- Step 4.** Apply the panels to the framing members and maintain 1/8" spacing between adjacent panel edges.
- Step 5.** Install temporary 2x4 toe boards as necessary when applying the ZIP System roof panels up the slope of the roof planes.
- Step 6.** Ensure that roof panel surface is dry and clean of any nails, sawdust, or other debris or protrusions prior to walking on the panels or installing the ZIP System Tape.

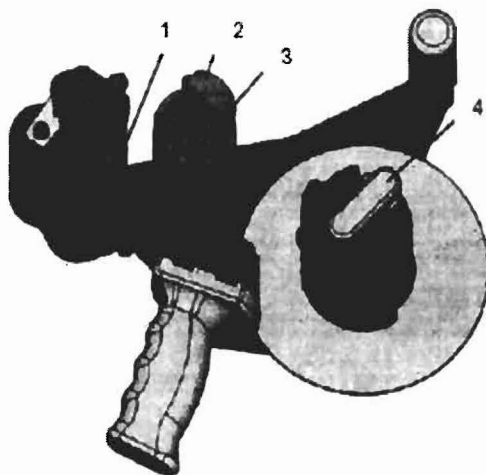


Do Not Use ZIP System™ Tape in the Following Situations:

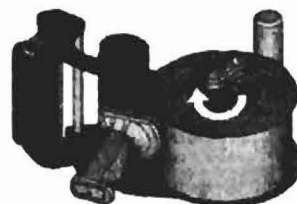
- As flashing material
- On non-wood surfaces
- With other sheathing products

ZIP System Tape Gun Loading:

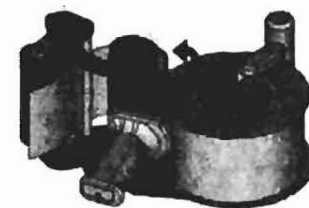
Tape Gun Loading



1. Tension Rod
2. Take-up Reel
3. Tension Adjustment Knob
4. Loading Handle



Place roll of tape on green spool, unwinding in a clockwise direction. Turn gray loading handle clockwise to secure tape.



With liner facing down, feed tape over orange liner take-up reel.



Pull up orange take-up reel handle. Separate liner from tape and slide liner into the furthest slot, in the orange take-up reel. Then push handle back in place to secure.



Turn take-up reel counter-clockwise to take up slack. You're ready to tape.

Tape Application & Cutting



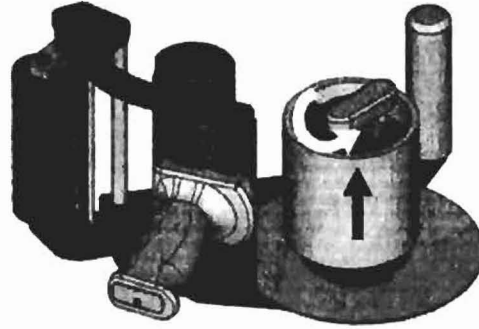
ZIP System Tape is a contact tape that requires pressure to form an adequate seal. When taping, if pressure is inadequate, you will hear a clicking sound. Use a utility knife to cut the tape.

Tape Gun Tension Adjustment

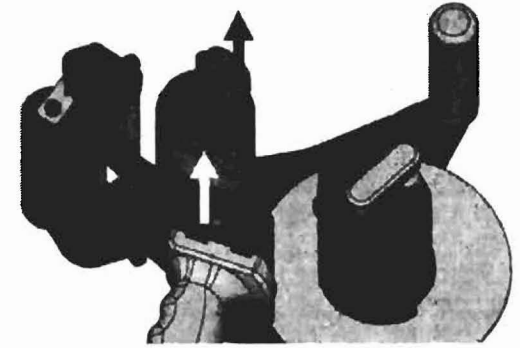


If liner tension needs adjustment, turn the knob clockwise.

Tape Gun Unloading



To remove empty tape spool, turn gray loading handle counter-clockwise and pull off spool.



To remove liner, pull out handle of orange liner take-up reel and pull off liner.

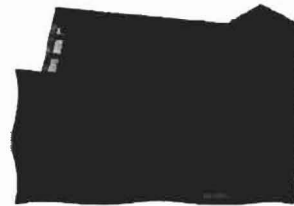
ZIP System Tape Installation - Panel Seams:

Apply ZIP System Tape after all ZIP System Roof Sheathing panels are fully fastened to roof-framing members. Ensure that the panel surfaces are dry and free of any nails, sawdust or other debris or protrusions. Avoid stepping on tape in high temperature environments. **ZIP System Tape is a contact tape that requires pressure for an adequate seal. Use tape gun for tape application.**

ZIP System Tape Gun Use / *Cómo usar la pistola precintadora ZIP*

- Hold the tape gun by the handle. Place the application roller against the ZIP System roof panel surface for taping with the gun oriented at a 75-degree angle with the surface.
- Pull the tape gun toward you maintaining the 75-degree angle while dispensing the tape.
- While applying the tape if you hear a clicking noise, you need to apply more pressure. The clicking sound will not occur if adequate pressure is applied.
- To cut tape use your utility knife.

Step 1. Use the ZIP System Tape Gun to apply the ZIP System Tape to each of the vertical 4 foot seams, starting from the highest portions of the roof and moving to the lowest.



Step 2. Working from the highest sections of the roof, install ZIP System tape along the horizontal seams (8 foot), taking care to ensure that tape lengths are continuous across the 8 ft edge of the panels. If splices are unavoidable, overlap the splice by at least 3 inches. Apply moderate pressure onto the surface of the tape to ensure a secure bond between the panel and the tape. Take special care to remove any voids and/or trapped air at splice areas and T-joints. **All horizontal tape laps should shingle-lap in the direction of water drainage and should overlap 4' taped edges.**



Step 3. For valley areas of framing, use two continuous pieces of tape over the entire length of the valley seam. Starting from the bottom of the valley, place the first piece of ZIP System Tape with approximately 1 inch of the tape width overlapping the valley seam on the right and 3 inches of the tape width overlapping the seam on the left. Use the corner tool to smooth the tape into the right side of the valley, pressing into the center to ensure the tape is tightly pressed into the valley. Repeat on the right side, starting at the center of the valley and moving right. If able, apply pressure over tape with tape gun roller. If you do not run a continuous piece of tape, make sure the tape laps shingle-lap in the direction of water drainage and should overlap 4 inches. Take the second piece of tape starting from the bottom of the valley, place 1 inch of the tape width on the left side of the valley seam overlapping the first piece of tape. Repeat use of the corner/valley tool to make sure the tape is smoothed into place and the tape is tightly pressed into the valley. If able, apply pressure over tape with tape gun roller to ensure an adequate seal.

Step 4. To provide **temporary** weather protection to areas such as dormers or other wood-sheathed projections, apply 2" of the ZIP System Tape wide up the projection from where it intersects with the roof. The remaining tape width can be adhered to the ZIP System Roof Sheathing. Use the corner/valley tool to apply pressure to the tape and smooth onto the panel surface. **ZIP System Tape is not to be used as a substitute for conventional flashing.**

Step 5. Install ZIP System Tape over hips and ridges by centering the tape over the peak seam. Apply tape in sufficient length to completely extend the length of the hip or ridge. Starting from the lowest point of the hip and working up, press tape into place keeping tape centered over the hip. Apply moderate pressure onto the surface of the tape to ensure a secure bond between the panel and the tape. **(Tape horizontal ridges located in the highest areas last.)** Take special care to remove any voids and/or trapped air at splice areas and T-joints. Be sure to cut out tape on ridges for ventilation prior to adding ridge vent.

Step 6. Tape over toeboard nail holes once the toeboards are removed, working from the highest toeboards to the lowest.

ZIP System™ Roof Sheathing Specifications			
ZIP System™ Roof Sheathing		ZIP System™ Tape	
Thickness	1/2"	Roll Length	90'
App weight per panel	53lbs	Nominal Width	3.75"
Panels per unit	70		
Size	4' x 8'		
ZIP System Testing/Code Approval			
ZIP System Roof Sheathing passed the following tests to achieve recognition by the IBC and IRC. (ESR 1473)			
1. Water penetration [ASTM E331]			
2. Wind driven rain [FLORIAD TAS 100]			
3. Skid resistance [ENGLISH XL TRIBOMETER]			
4. Fire protection [ASTM 108]*			
*Achieved class A fire assembly, contact Huber Engineered Woods LLC for more information			

Sales Office: 10925 David Taylor Drive • Suite 300 • Charlotte, NC 28262 • Telephone: 800-933-9220 • Facsimile: 704-547-9228 • huberwood.com

another innovation from



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Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

[Signature]
Signature of Applicant/Designee

9-21-06
Date

[Signature]
Signature of Inspections Official

9/21/06
Date

CBL: 217-B-53 Building Permit #: 06-1234

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1234	Date Applied For: 08/23/2006	CBL: 217 B053001
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Location of Construction: 29 CAPTAINS LANDING (Lot 23,	Owner Name: Haskell, Philip & Elaine	Owner Address: 7541 Cherry Tree Drive	Phone: 301-490-9762
Business Name:	Contractor Name: E.G. Johnson & Company	Contractor Address: 3 Cliff Street Portland	Phone: (207) 773-1630
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family Home - Build a new 2,200 sq ft home w/2 car garage	Proposed Project Description: Build a new 2,200 sq ft home w/2 car garage
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 08/30/2006

Note: **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 09/20/2006

Note: **Ok to Issue:**

- 1) The attic scuttle opening must be 22" x 30".
- 2) There must be a 2" clearance maintained between the chimney and any combustible material, with draft stopping per code at each level
- 3) As discussed, hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 4) A copy of the enclosed chimney disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy.
- 5) This permit is issued based on the plans submitted. Variations in actual construction that effect grades may change the requirements for handrails and guards.
- 6) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 7) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.

Dept: DRC **Status:** Approved with Conditions **Reviewer:** Jay Reynolds **Approval Date:** 09/01/2006

Note: **Ok to Issue:**

- 1) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.
- 2) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 3) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 4) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

Location of Construction: 29 CAPTAINS LANDING (Lot 23,	Owner Name: Haskell, Philip & Elaine	Owner Address: 7541 Cherry Tree Drive	Phone: 301-490-9762
Business Name:	Contractor Name: E.G. Johnson & Company	Contractor Address: 3 Cliff Street Portland	Phone: (207) 773-1630
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

5) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

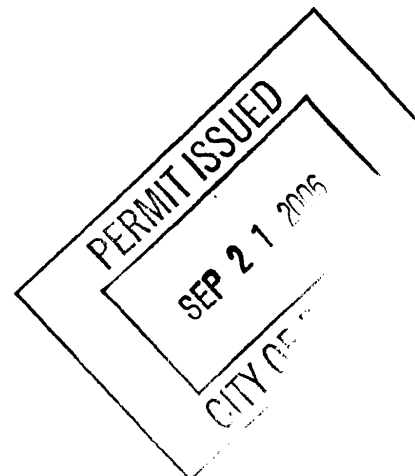
Dept: Planning **Status:** Not Applicable **Reviewer:** Jay Reynolds **Approval Date:** 09/01/2006
Note: **Ok to Issue:**

Comments:

08/29/2006-amachado: Left message with Randy Johnson. Need scalable elevation plans, rear setback of left corner of house is 24' and it needs to be 25' and the location of the bulkhead is different between the site plan & building plans.

08/30/2006-ldobson: Randy brought in additional information rerouted to ANN also routed new site plan to the appropriate departments ljd

09/19/2006-jmb: Spoke w/Randy J., for details per the review checklist as noted on plans, need ufactor of windows



Randy Johnson 773-1630
233-0052

29 Captains Landing

Lot 23

06-1234

CBL: 217-13-53

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1) _____		
Component	Submitted Plan	Findings Revisions Date
STRUCTURAL		
Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	16" x 20" 10" wall 24" x 12" Cont Footing (2)	JK
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	Bituminous, drain pipe	JK per Round Y.J. 9/19/06
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	? Area next to Garage open	will be opening into basement 4' x 6' ✓
Anchor Bolts/Straps, spacing (Section R403.1.6)	1/2" @ 6' O.C.	OK
Lally Column Type (Section R407)	3/2" steel	
Girder & Header Spans (Table R 502.5(2))		
Built-Up Wood Center Girder Dimension/Type	3-2x12 1 st FL 6'0" span ok 2 nd FL 12' span for 23' ? 2 nd FL Beam 4-2x12	✓
Sill/Band Joist Type & Dimensions	2x6 PT 2x12	JK
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x12 @ 16" O.C. 17' 10" ^{max} span	OK
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x12 @ 16" O.C. per Eng.	
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	Collar ties 2x6 @ 8' & 20'	OK

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	8:12 2x12 @ 12" O.C. OR LSL 1 1/2 x 11 1/4 per Eng stamp 4x12 Ridge Beam main	" " OK	OK
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	3/4 T&G, 1/2" CDX, 5/8 Adv	OK	
Fastener Schedule (Table R602.3(1) & (2))	IRC - 2003	OK	
Private Garage (Section R309) Living Space? (Above or beside)			
Fire separation (Section R309.2)	1/2" walls & ceiling →	steel Door	
Opening Protection (Section R309.1)	? Door & pull down →	will 5/8 Door	⊗
Emergency Escape and Rescue Openings (Section R310)		condition	
Roof Covering (Chapter 9)	Asphalt Architect	OK	
Safety Glazing (Section R308)	? Either side of slider	will be tempered	⊗
Attic Access (Section R807)	In Master Bath	OK	
Chimney Clearances/Fire Blocking (Chap. 10)		Chimney disclosure condition	
Header Schedule (Section 502.5(1) & (2))	in porch beams porch Beams 3-2x12	OK	
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	walls R-19, 2nd FL R-38 ? Basement ? U Factor R-19	Floor R-19 Paradigm will meet code	⊗

Type of Heating System	FH:W oil	OK	ⓧ
Means of Egress (Sec R311 & R312) Basement	Bulkhead OK		
Number of Stairways	2		
Interior	1		
Exterior	1		
Treads and Risers (Section R311.5.3)	73/8 R & 10T		
Width (Section R311.5.1)	3'		
Headroom (Section R311.5.2)	6'8"		
Guardrails and Handrails (Section R312 & R311.5.6 – R311.5.6.3)	?	34-38" returned	ⓧ
Smoke Detectors (Section R313) Location and type/Interconnected		condition	
Draftstopping (Section R502.12) and Fireblocking (Section (R602.8)			
Dwelling Unit Separation (Section R317) and IBC – 2003 (Section 1207)	N/A		
Deck Construction (Section R502.2.1)	Rear 2x8 Joist Front 2x6 joist		



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>Lot 23 Captain's Landing Dr. River's Edge</u>		
Total Square Footage of Proposed Structure <u>2,200 SF</u>	Square Footage of Lot <u>20,055 SF</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>217</u> Block# <u>B</u> Lot# <u>S3</u>	Owner: <u>Philip + Elaine Haskell</u> <u>7541 Cherry Tree Dr.</u> <u>Fulton, Maryland 20752</u>	Telephone: <u>301-490-9762</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>E.G. Johnson Co.</u> <u>3 Cliff St.</u> <u>Portland, Me. 04102</u> <u>773-1630</u>	Cost Of Work: <u>\$270,000.-</u> Fee: \$ _____ C of O Fee: \$ _____
Current Specific use: <u>Vacant Lot</u> If vacant, what was the previous use? _____ Proposed Specific use: _____	Project description: <u>Construct a 2,200 SF Home</u>	
Contractor's name, address & telephone: <u>E.G. Johnson Co.</u> Who should we contact when the permit is ready: <u>Randy Johnson</u> Mailing address: <u>3 Cliff St.</u> <u>Portland, Me 04102</u> Phone: <u>773-1630 Cell 233-0052</u>		

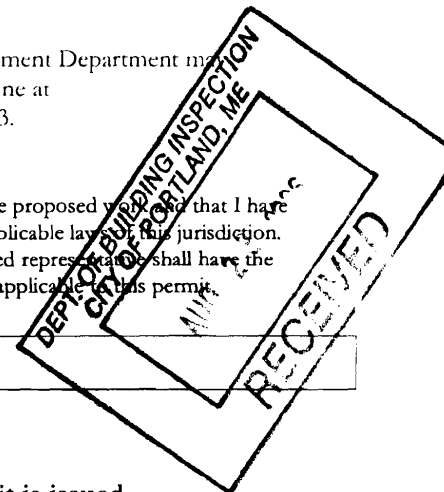
\$2720
'300
75
\$3095

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: E.G. Johnson Co. Randy Johnson Date: _____



This is not a permit; you may not commence ANY work until the permit is issued.

Applicant: Philip & Elaine Haskell

Date: 8/29/06

Address: ²⁹ Captains Landing - River's Edge #23 ^{lot 23}

C-B-L: 217-B-053

permit: 06-1234

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

Zone Location - C-8 (R-3)

Interior or ~~corner~~ lot -

Proposed Use/Work - Construct new singlefamily house - 1 story w/ attached garage

Sewage Disposal - City

Lot Street Frontage - 50' min - 273.42' given

Front Yard - 25' min - 25' scaled ^{from} porch

Rear Yard - 25' min - ~~25'~~ 25' scaled ^{from} to back left corner

Side Yard - ^{1 1/2 stories 8'} right 25' scaled (front corner)
^{2 stories 14'} left 18' scaled (rear corner)

Projections - bulkhead 5.5x5 ^{front}, porch 6'x42', back porch 10'x42'

Width of Lot - 65' min - 135' scaled

Height - 35' max - 19.5

Lot Area - 6,500 sq ft min - 29,055 given

Lot Coverage Impervious Surface - 35% = 7019.25

Area per Family - 6,500

Off-street Parking - 2 spaces required - 2 car garage

Loading Bays - N/A

Site Plan - minor/minor 2006-0164

Shoreland Zoning/Stream Protection - N/A

Flood Plains - panel 12 - zone X

* no daylight basement.

~~1/2(25x25)~~

~~1/2(25x25)~~

25x29

6x14

35x72 = 2520

6x5 = 30

10x42 = 420

6x42 = 252

5.5x5 = 27.5

3249.5

OK

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

Zoning Copy

2006-0164

Application I. D. Number

8/23/2006

Application Date

E.G. Johnson Co.

Applicant

3 Cliff Street, Portland, ME 04102

Applicant's Mailing Address

Randy Johnson

Consultant/Agent

Applicant Ph: (207) 773-1630 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Marge Schmuckal

Captains Landing , Portland, Maine

Address of Proposed Site

217 B053001

Assessor's Reference: Chart-Block-Lot

Single Family Home lot#23

Project Name/Description

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

Proposed Building square Feet or # of Units	Acreage of Site	Zoning
	20055	

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Pla **\$50.00** Subdivision _____ Engineer Review **\$250.00** Date **8/23/2006**

Zoning Approval Status:

Reviewer _____

- Approved Approved w/Conditions
See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets
Attached

Condition Compliance _____
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

Zoning Copy

2006-0164

Application I. D. Number

8/23/2006

Application Date

E.G. Johnson Co.

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3 Cliff Street, Portland, ME 04102

Applicant's Mailing Address

Randy Johnson

Consultant/Agent

Applicant Ph: (207) 773-1630 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

**Marge Schmuckal
AMENDMENT**

Captains Landing , Portland, Maine

Address of Proposed Site

217 B053001

Assessor's Reference: Chart-Block-Lot

Single Family Home lot#23

Project Name/Description

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

Proposed Building square Feet or # of Units _____ **20055** _____
Acreage of Site _____ Zoning _____

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Pla **\$50.00** Subdivision _____ Engineer Review **\$250.00** Date **8/23/2006**

Zoning Approval Status:

Reviewer _____

- Approved** **Approved w/Conditions** **Denied**
See Attached

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached
 Condition Compliance _____ signature _____ date _____

Performance Guarantee **Required*** **Not Required**

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |



Strengthening a Remarkable City, Building a Community for Life www.portlandmaine.gov

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

Mr. Randy Johnson
E.G. Johnson Co.
3 Cliff Street
Portland, ME 04102

August 25, 2006

Dear Mr. Johnson:

RE: Application for single family house, Captain's Landing

Upon review of the site plan, the City's Planning Division has the following comments:

1. Please remove the driveway culvert and associated grading from your site plan. It appears that this feature is not necessary and would only create a drainage concern at #29 Captain's Landing. The lot can be graded to sheet flow drainage to the street effectively.
2. Please note that the construction is shown up against a no-cut buffer zone. Because of the proximity, the City requests that this area be re-surveyed and flagged/staked prior to construction.
3. Also note that any encroachment of the no-cut buffer zone will require a restoration plan approved by the City.

Please resubmit 4 copies of the revised site plan to my attention.

Sincerely,

Jay Reynolds
Development Review Coordinator

cc: Sarah Hopkins, Development Review Services Manager

E. G. JOHNSON Co.

Contracting Builders

Established 1869 - Incorporated 1908

THREE CLIFF STREET

PORTLAND, MAINE 04102

(207) 773-1630

(207) 780-0646 (fax)

FAX TRANSMISSION COVER SHEET

DATE 8-23-06 FROM Randy Johnson
 SEND TO: Lannie Dobson Administrative
Assistant

RE: Deed for House Permit Application

DESTINATION FAX NUMBER: 874-8716

NUMBER OF PAGES INCLUDING THIS COVER SHEET: 3

MESSAGE: info you need for the
Haskell Permit @ Rivers Edge Lot 23
Captains Landing

ORIGINAL TO BE SENT BY MAIL: YES No NO

FAX OPERATOR: R Johnson Cell # 233-0052

Warranty Deed

(Maine Statutory Short Form)

Nicholas B. Finia f/k/a Bahman N. Najafinia and Astrid M. Sinram of Portland, Maine, for consideration paid, grant to **Philip J. Haskell and Elaine W. Haskell** as Joint Tenants, with a mailing address of 7541 Cherry Tree Drive, Fulton, Maryland 20759 with WARRANTY COVENANTS, the following described real property situated at **Captain's Landing, Portland, Cumberland County, Maine**

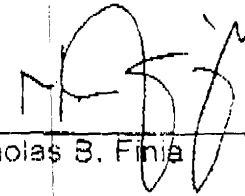
A certain lot or parcel of land with the buildings thereon, situated in said Portland, and being more particularly described on Exhibit A attached hereto and made a part hereof.

Meaning and intending to convey and hereby conveying the same premises described in a deed from Bahman N. Najafinia, dated January 28, 2004, and recorded in the Cumberland County Registry of Deeds in Book 20817, Page 350. Reference is also made to deed dated July 28, 2003 and recorded in Book 19857, Page 198. Reference is also hereby made to a Certificate of Name Change dated September 2, 2005 and filed in the Cumberland County Probate Court, Docket No. 2005-0967.

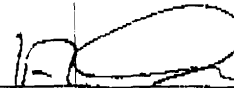
Witness our hands this 23rd day of June, 2006.



Witness to all



Nicholas B. Finia



Astrid M. Sinram

State of Maine
County of Cumberland, ss

June 23, 2006

Personally appeared the above named Nicholas B. Finia and Astrid M. Sinram and acknowledged the foregoing instrument to be their free act and deed.

Before me,



Notary Public/Attorney at Law

Printed Name:

Comm. Exp:

ELISABETH A. PICKLE
MAINE ATTORNEY AT LAW

2006-103

EXHIBIT A

A certain lot or parcel of and, with the improvements thereon, situated in the City of Portland, County of Cumberland and State of Maine, bounded and described as follows:

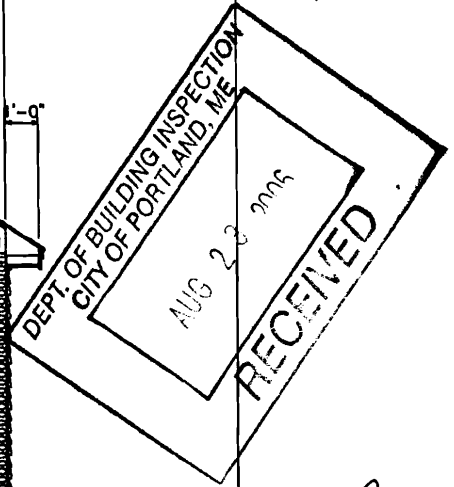
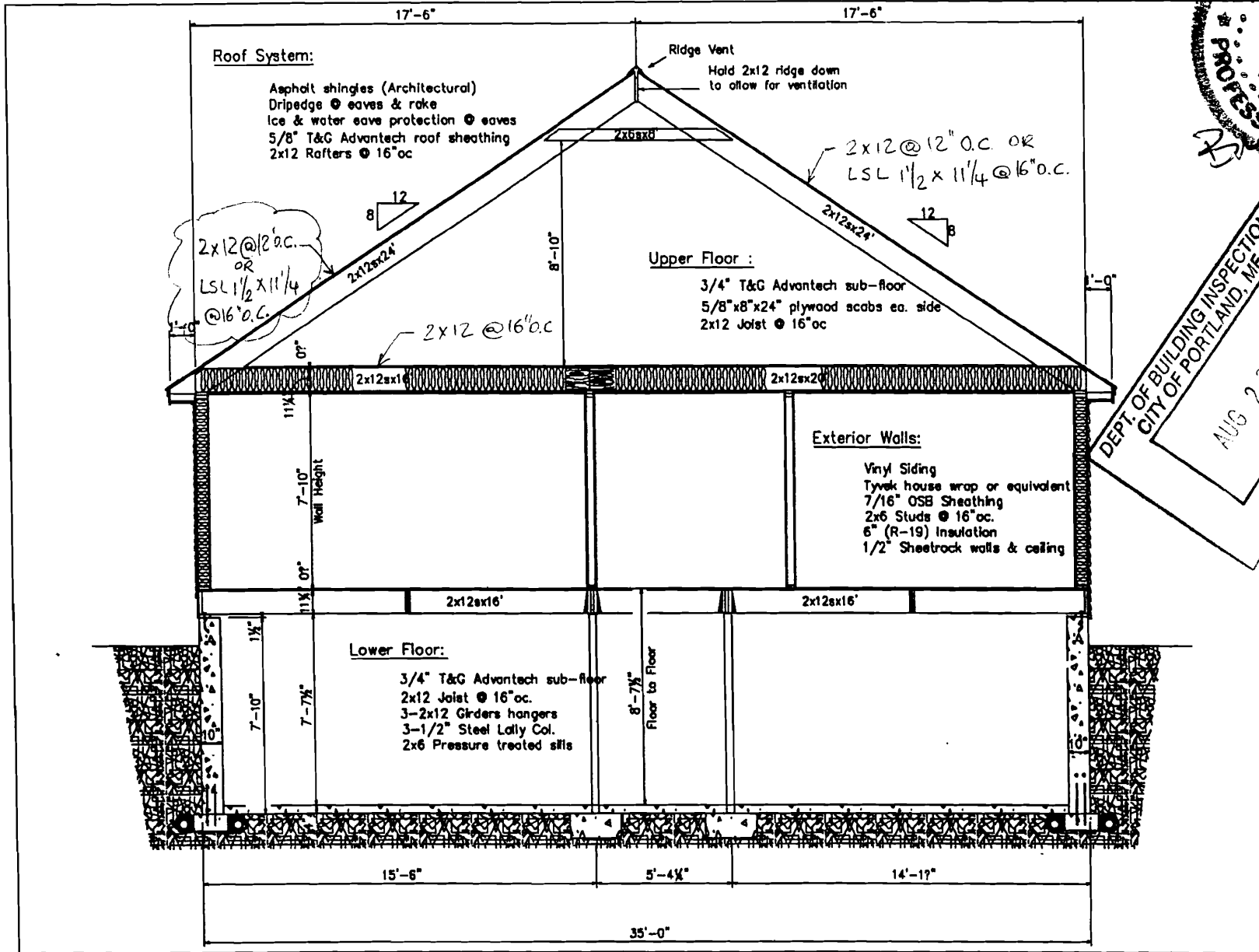
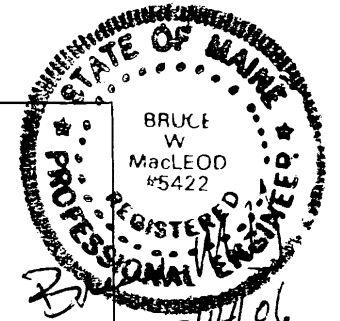
Being Lot No. 23 as shown on a plan entitled "Final Subdivision Plan, River's Edge, Congress Street, Portland, Maine made for Stroudwater Farms Associates," by Owen Haskell, Inc. dated April 10, 2001, revised July 9, 2001 and recorded in Plan Book 201, Page 494 (the "Plan").

Together with the right in common with all other lot owners in and to the use of all streets and ways as shown on said plan for the purpose of ingress and egress.

Together with a Recreational and River Easement as reserved in a deed from Stroudwater Farms Associates to Portland Trails dated June 15, 1994, recorded in Book 11498, Page 24 and together with all other appurtenant easements shown on the Plan.

This conveyance is subject to and benefitted by the Declaration of Protective Covenants for River's Edge Subdivision dated September 30, 2002, recorded in Book 18187, Page 320, and the By-Laws, Rules and Regulation of Stroudwater Farms Homeowners Association dated October 3, 2002 and recorded in Book 18187, Page 329.

ENGINEER'S Stamp is for
Members sizes only



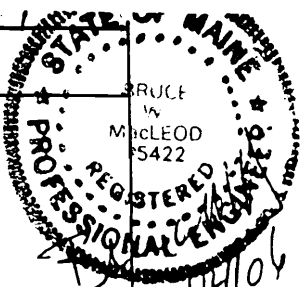
217853

"A"

51'-0"

25'-6"

25'-6"



Roof System:

- Asphalt shingles (Architectural)
- Dripedge @ eaves & rake
- Ice & water save protection @ eaves
- 5/8" T&G Advantech roof sheathing
- 2x12 Rafters @ 16" oc

Beam

Ridge Vent
5/8" Plywood-Scabs
Each Side

RIDGE: (4) 2x12 OR
3 1/2 x 9 1/4 LVL

2x12 @ 12" OC
OR TIMBER STRAND
LSL 1 1/2" x 11 1/4" @ 16" OC

2x12 @ 16" OC

5 1/4 x 5 1/2 LVL

2x4 continuous post
to ridge. Align post with
post below.

Typ. All Posts @ Roof

Flush Frame
Beam

2x4 wall continuous
to rafters

Upper Floor :

- 3/4" T&G Advantech sub-floor
- 5/8" x 8" x 24" plywood scabs ea. side
- 2x12 Joist @ 16" oc

2x12 @ 16" O.C.

Exterior Walls:

- Vinyl Siding
- Tyvek house wrap or equivalent
- 7/16" OSB Sheathing
- 2x8 Studs @ 16" oc.
- 6" (R-19) Insulation
- 1/2" Sheetrock walls & ceiling

Stairs:

- 3-2x12 Stringers
- 14 Risers @ 7-3/8"
- 13 Treads @ 10"
- 11-1/4" Finish Treads

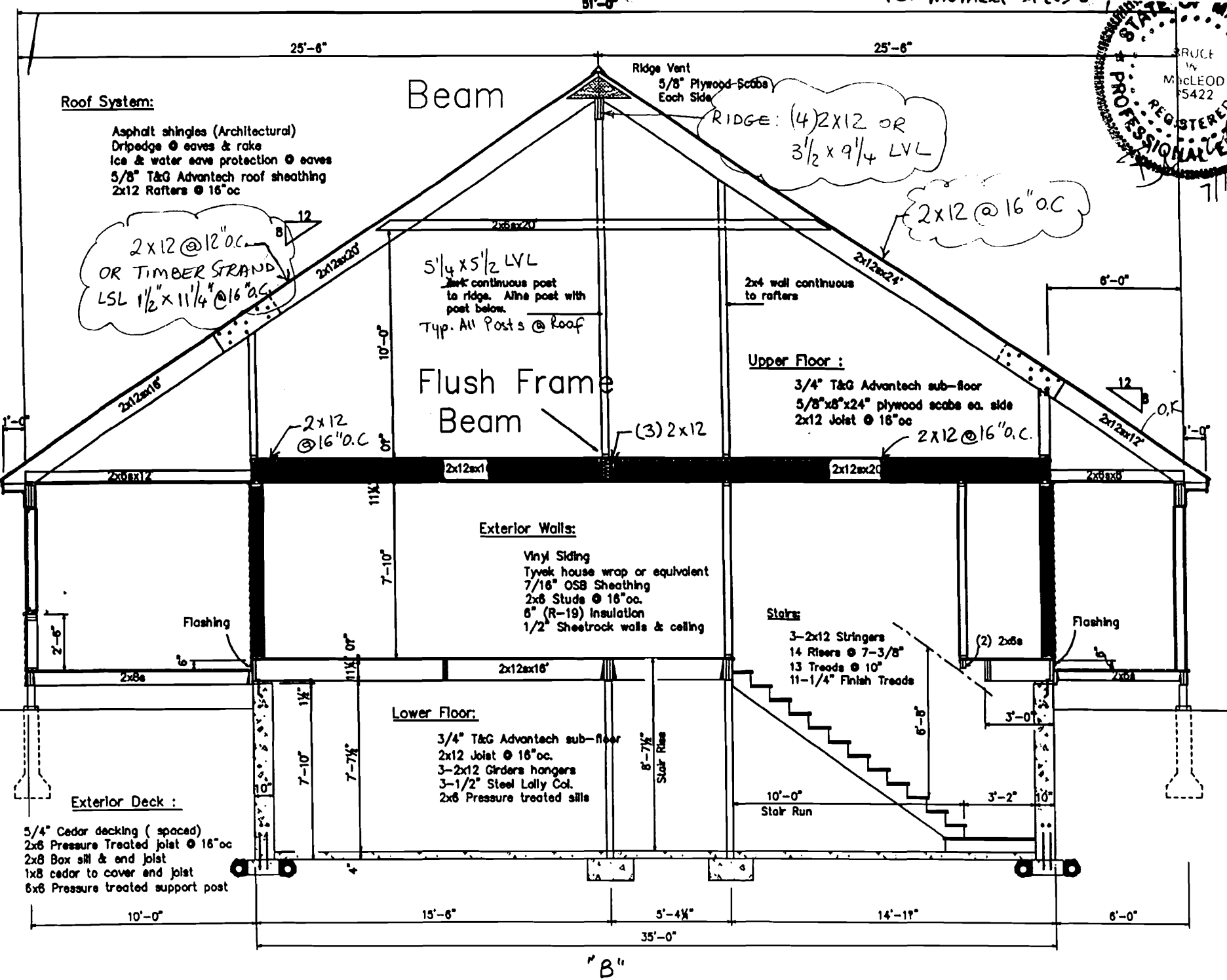
Lower Floor:

- 3/4" T&G Advantech sub-floor
- 2x12 Joist @ 16" oc.
- 3-2x12 Girders hangers
- 3-1/2" Steel Lolly Col.
- 2x8 Pressure treated sills

8'-7 1/2" Stair Rise

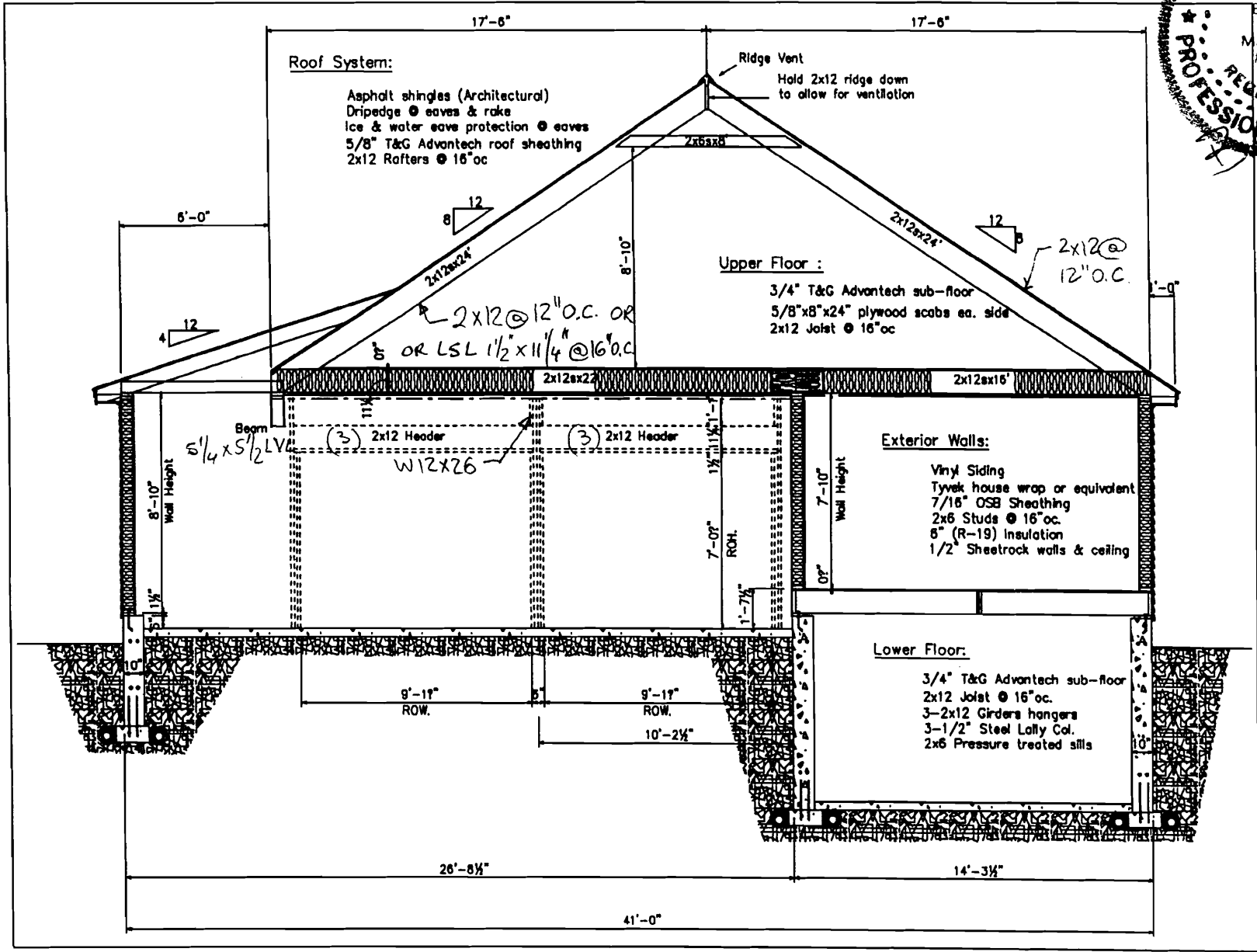
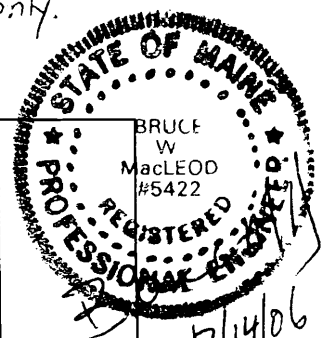
Exterior Deck :

- 5/4" Cedar decking (spaced)
- 2x6 Pressure Treated joist @ 16" oc
- 2x8 Box sill & end joist
- 1x8 cedar to cover end joist
- 6x6 Pressure treated support post



"B"

Member sizes only.



1" C"

LEGEND

	LOT LINES
	BUILDING SETBACK
	EXISTING CONTOUR
	PROPOSED CONTOUR
	SPOT GRADE
	WETLAND BOUNDARY
	SHORELAND ZONE LIMIT
	EASEMENT
	BUFFER LINE
	FLOOD HAZARD LINE
	STREAM
	EDGE OF PAVEMENT
	VERTICAL GRANITE CURB
	SLOPED BITUMINOUS CURB
	18" SANITARY SEWER
	8" SANITARY SEWER & MANHOLE
	STORMDRAIN & MANHOLE
	CATCH BASIN
	8" WATER LINE
	HYDRANT
	CULVERT
	FOUNDATION DRAIN
	SEWER HOUSE SERVICE
	WATER HOUSE SERVICE
	BOUND FOUND
	IRON PIPE FOUND
	GRANITE MONUMENT SET
	5/8" IRON PIPE SET
	PATH OF SURFACE DRAINAGE
	SILT FENCE
	NATURAL CONDITION
	BUFFER ZONE
	DRIPSTRIP W/ UNDERDRAIN

NOTES:

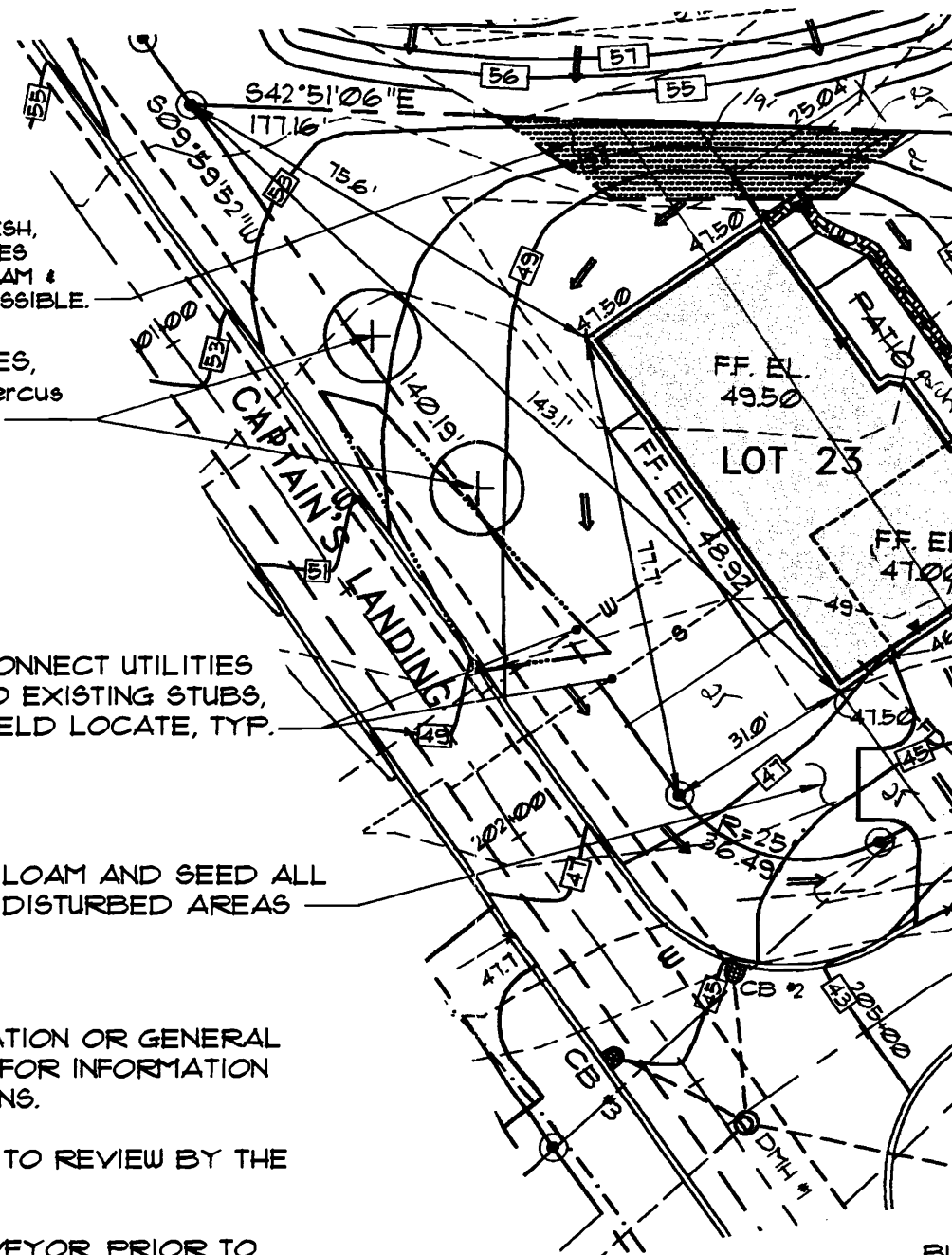
1. THIS PLAN IS FOR LOT 23 ONLY. GRADING, BUILDING LOCATION OR GENERAL DRAINAGE SHOWN FOR ADJACENT LOTS OR THE ROAD IS FOR INFORMATION ONLY AND MAY NOT REPRESENT ACTUAL FIELD CONDITIONS.
2. DEVELOPMENT WITHIN THE HISTORIC DISTRICT IS SUBJECT TO REVIEW BY THE CITY OF PORTLAND HISTORIC PRESERVATION COMMITTEE.
3. FOUNDATIONS TO BE LAID OUT BY A PROFESSIONAL SURVEYOR PRIOR TO CONSTRUCTION THE PERIMETER OF THE NO-CUT BUFFER IS TO BE RE-SURVEYED AND FLAGGED.
4. SILT FENCE IS TO BE INSTALLED ALONG THE PERIMETER PRIOR TO CONSTRUCTION. ADDITIONALLY ANY ENCROUCHMENT OF THE NO-CUT BUFFER WILL REQUIRE A RESTORATION PLAN APPROVED BY THE CITY.
5. EXTERIOR FOUNDATION DRAIN INVERT IS AT OR ABOVE BASEMENT SLAB HIGHT. INTERIOR FOUNDATION DRAIN WILL REQUIRE A SUMP PUMP.
6. EROSION CONTROL MESH, INSTALL ON ALL SLOPES GREATER THAN 3:1. LOAM & SEED AS SOON AS POSSIBLE.
7. DRIVEWAY GRADED AT 10%.
8. GRADE FROM NW CORNER AROUND BUILDING TO DRAIN.

EROSION CONTROL MESH,
INSTALL ON ALL SLOPES
GREATER THAN 3:1. LOAM &
SEED AS SOON AS POSSIBLE.

2-STREET TREES,
RED OAK (*quercus*
rubrum) 2" CAL.

CONNECT UTILITIES
TO EXISTING STUBS,
FIELD LOCATE, TYP.

LOAM AND SEED ALL
DISTURBED AREAS



OWNER:
PHILIP & ELAINE HASKELL
7541 CHERRY TREE DRIVE
FULTON, MARYLAND 20759

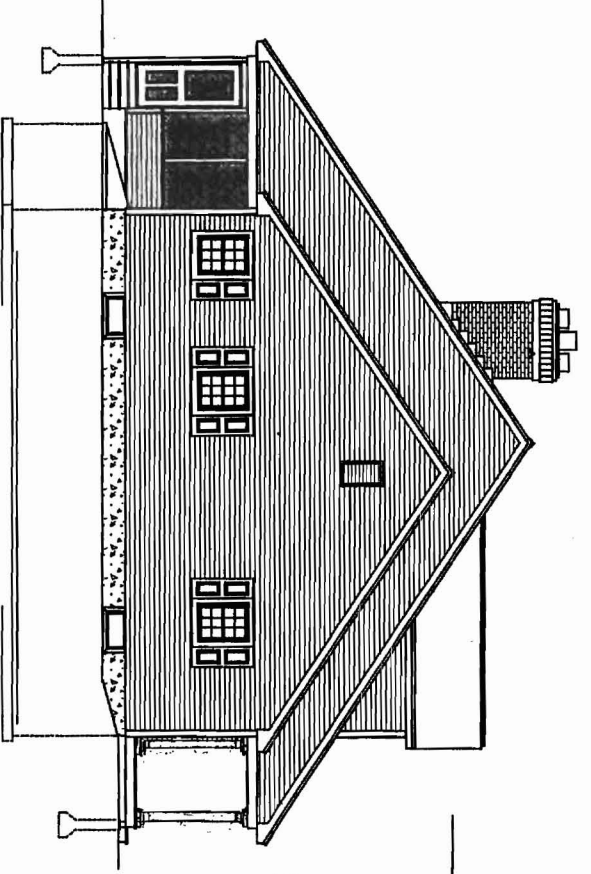
BUILDER:
E.G. JOHNSON CO.
3 CLIFF STREET
PORTLAND, MAINE 04102

ENGINEER:
PINKHAM & GREER
CONSULTING ENGINEERS
FALMOUTH, MAINE 04105

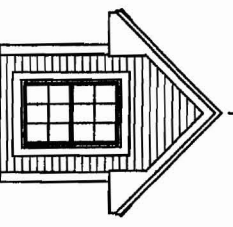
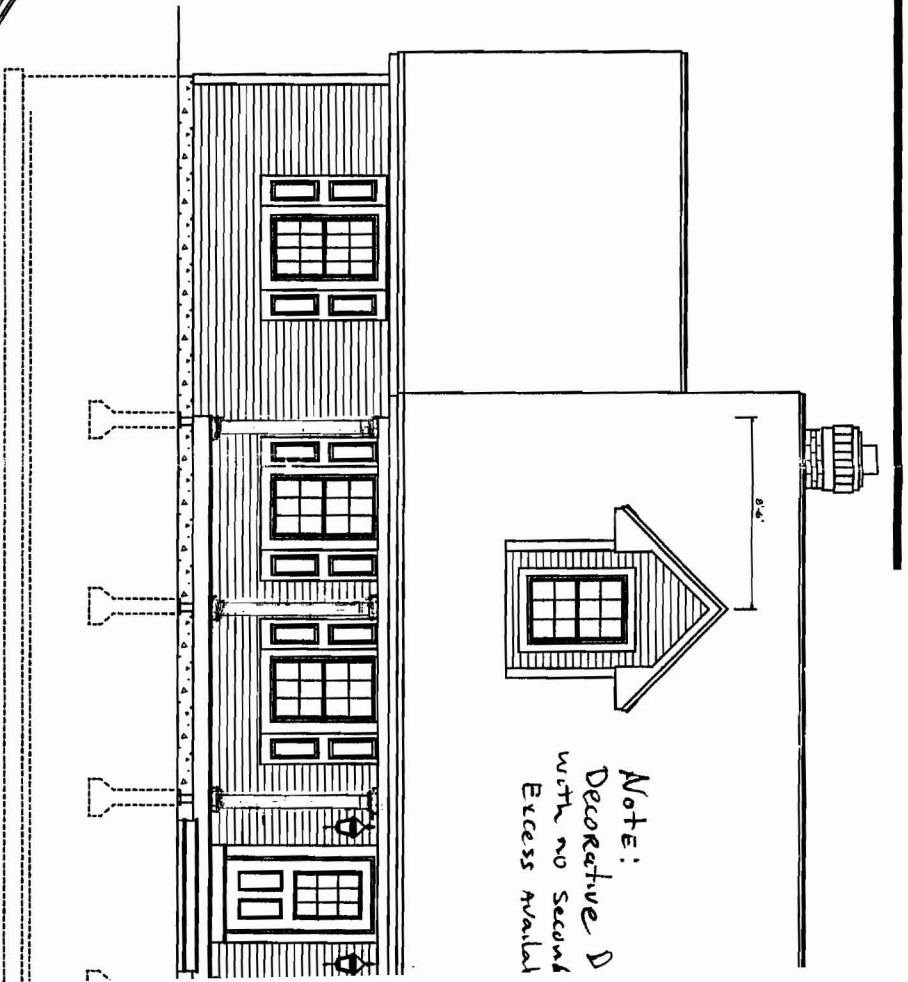
TOPOGRAPHY & BOUNDARY:
OWEN HASKELL ASSOC.
PORTLAND, MAINE 04101

REV. 1 8/29/06 REV'D PER CITY REVIEW

Plus Approval of 5" Columns
Colors 8/9/66
Approved 5/9/66
K. MULL

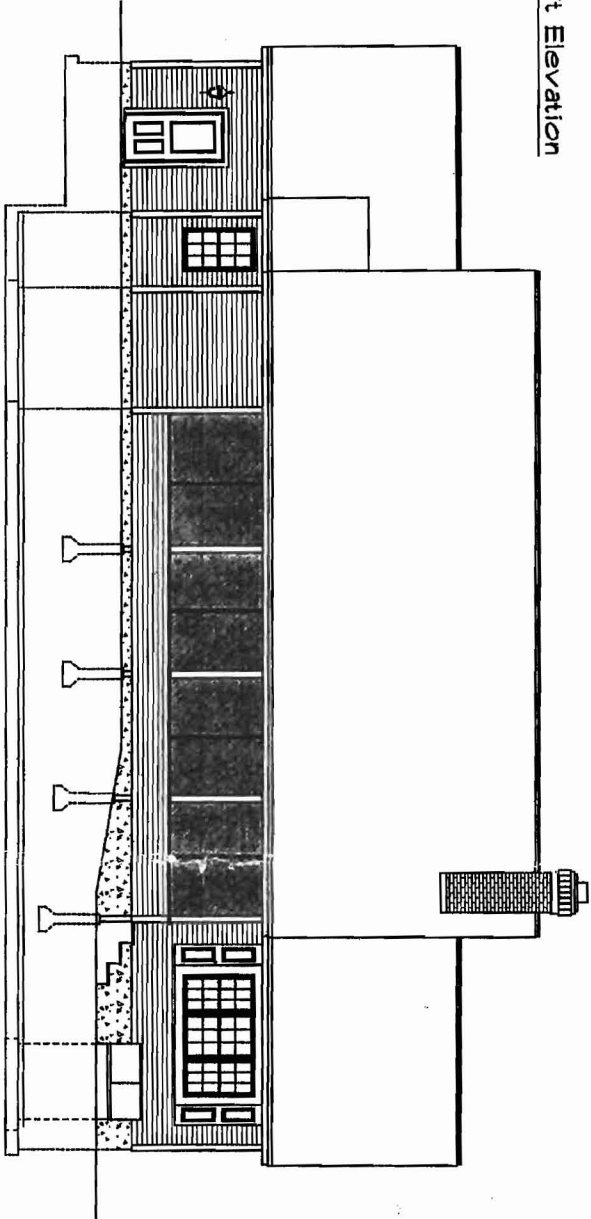


Left Elevation

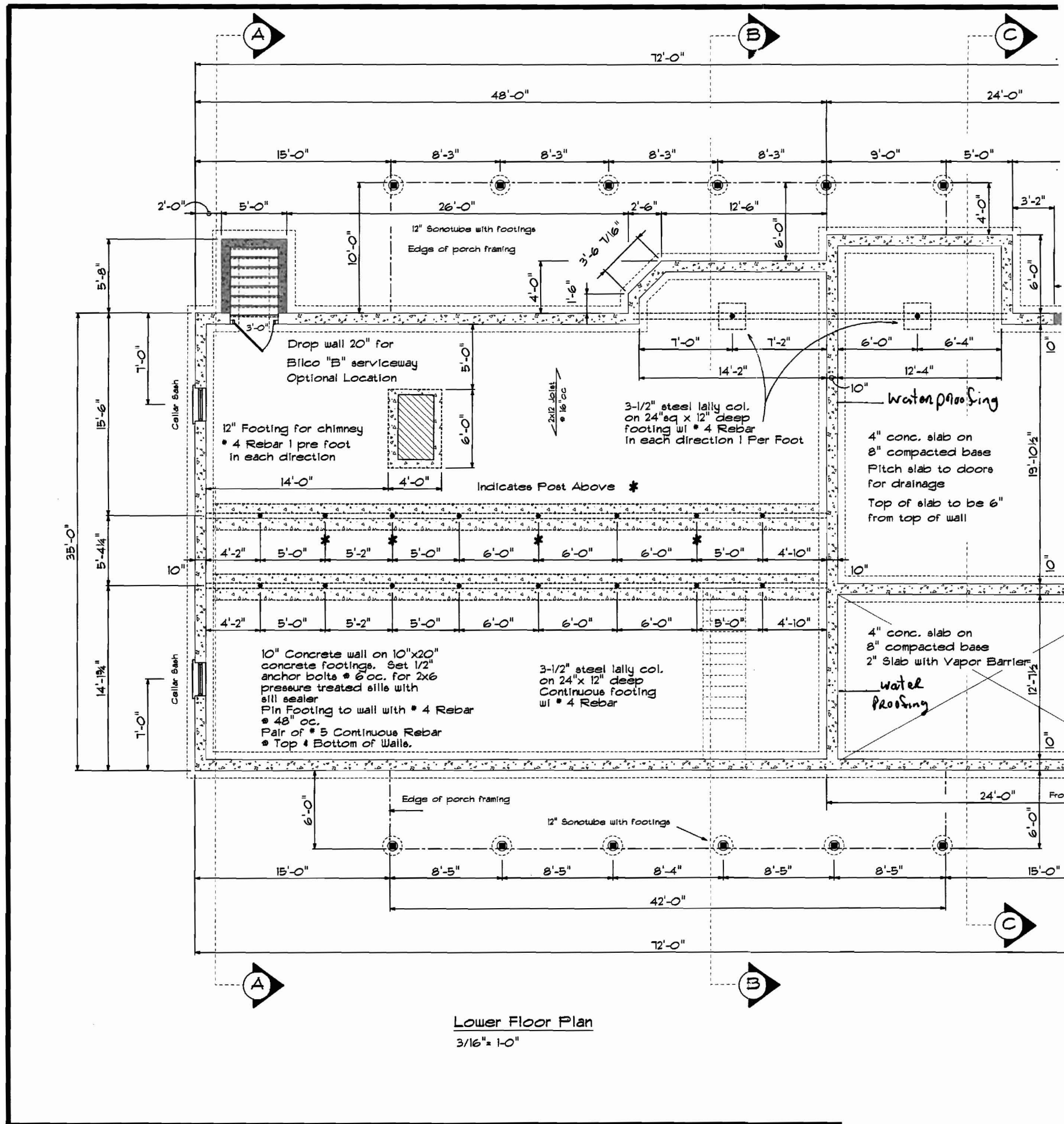


Note:
Decorative D
with no second
Excess Availd

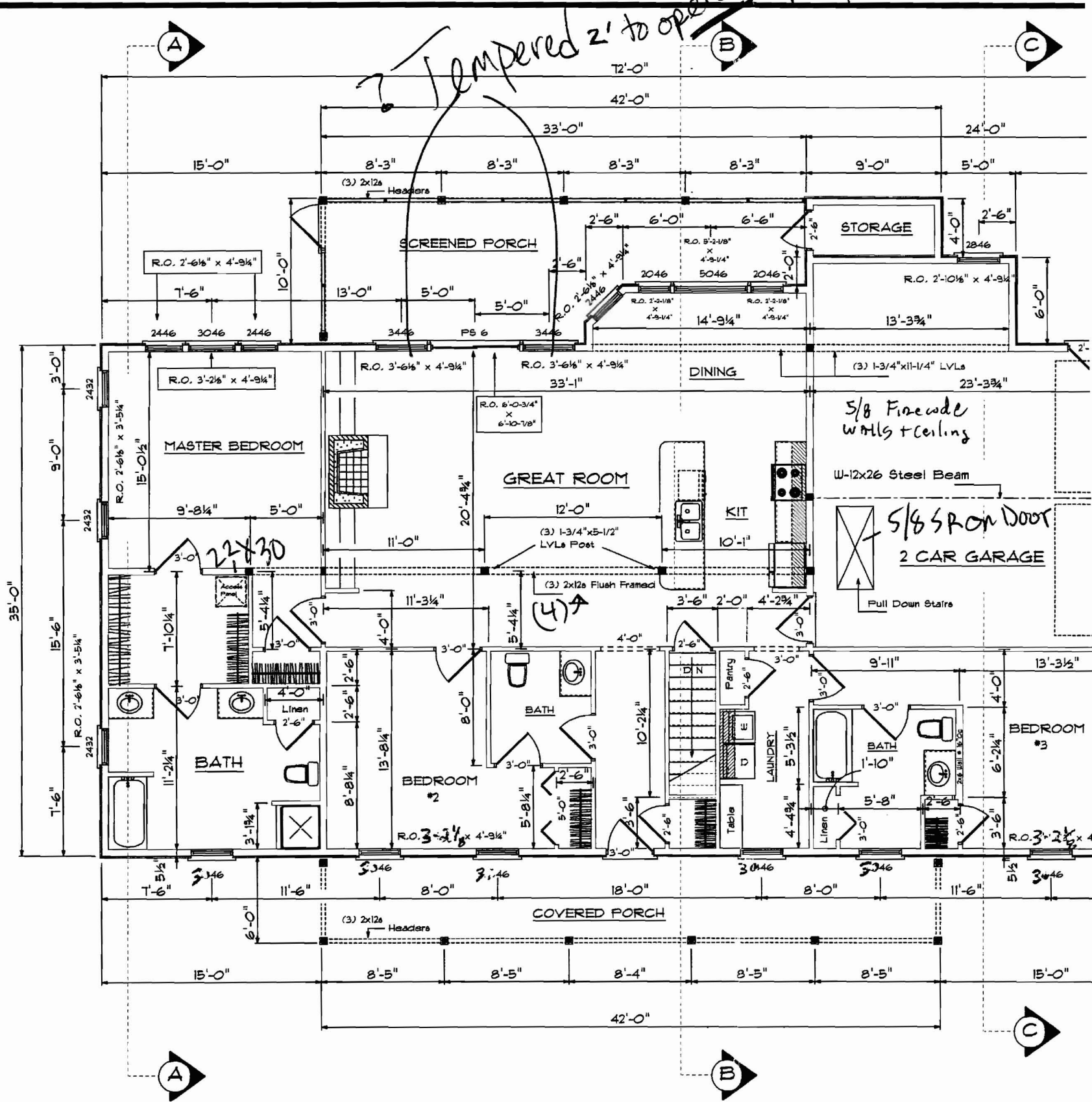
Front Elevation
3/16" = 1'-0"



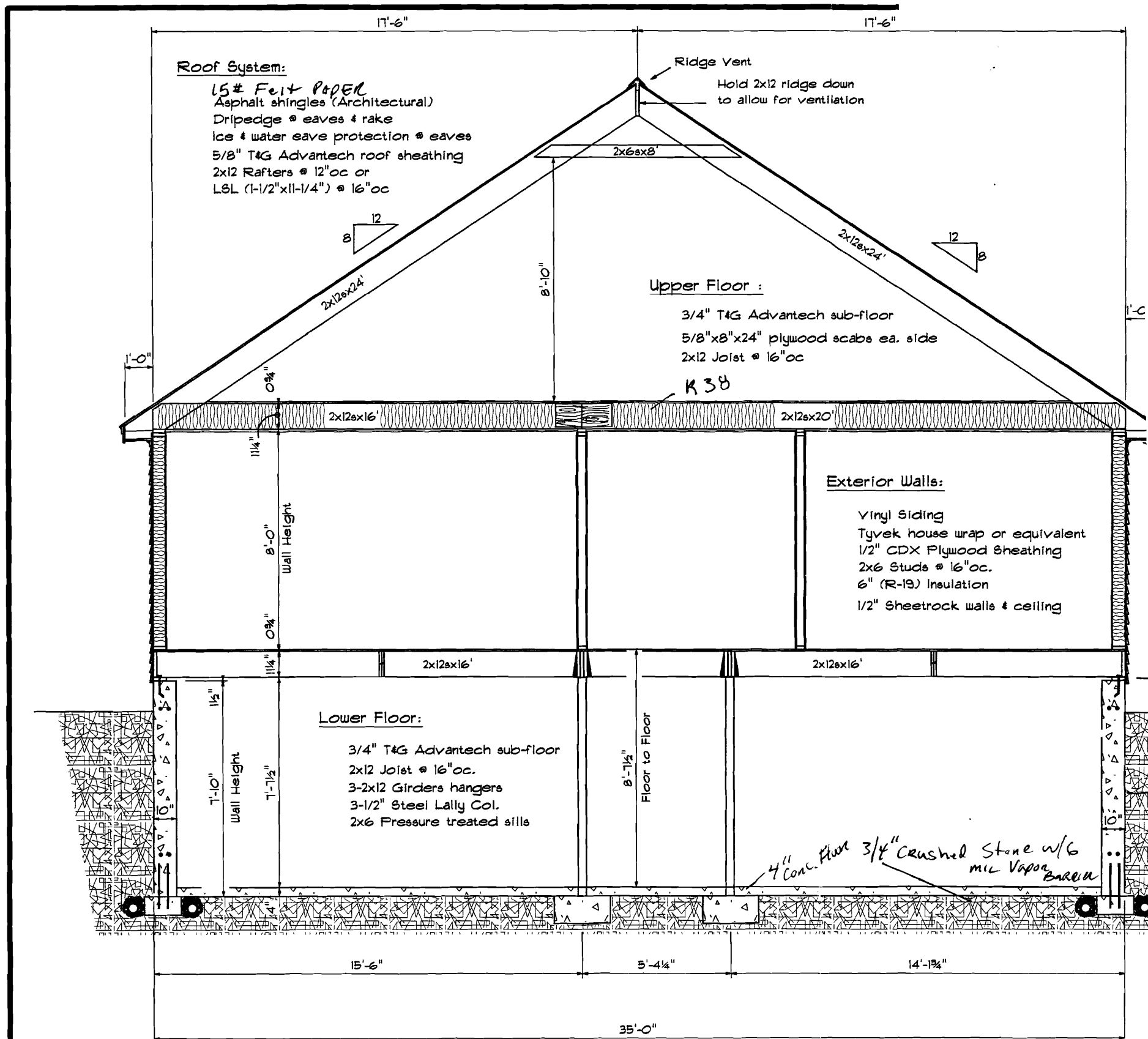
Rear Elevation
1/8" = 1'-0"



Tempered 2' to operable panel

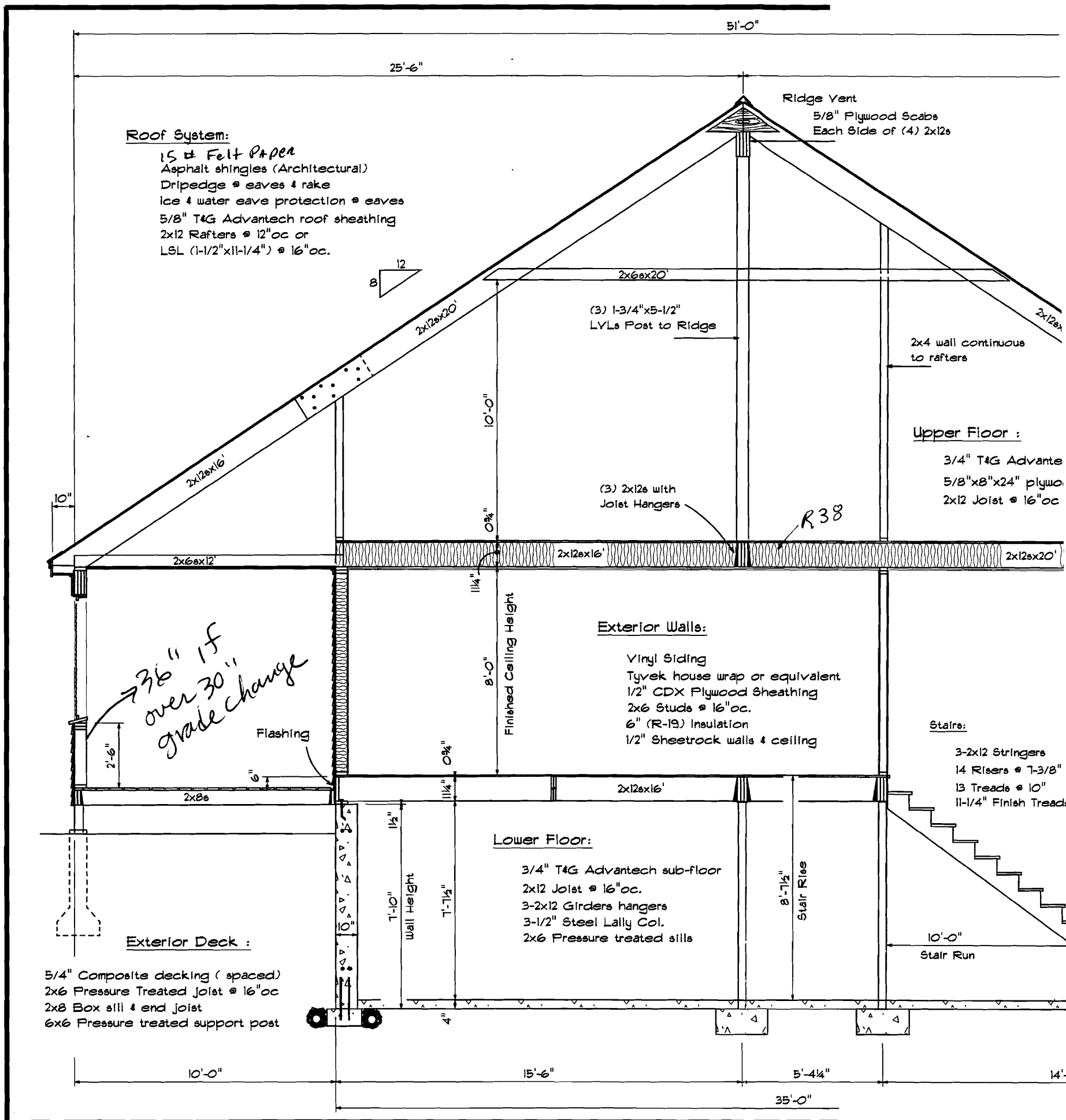


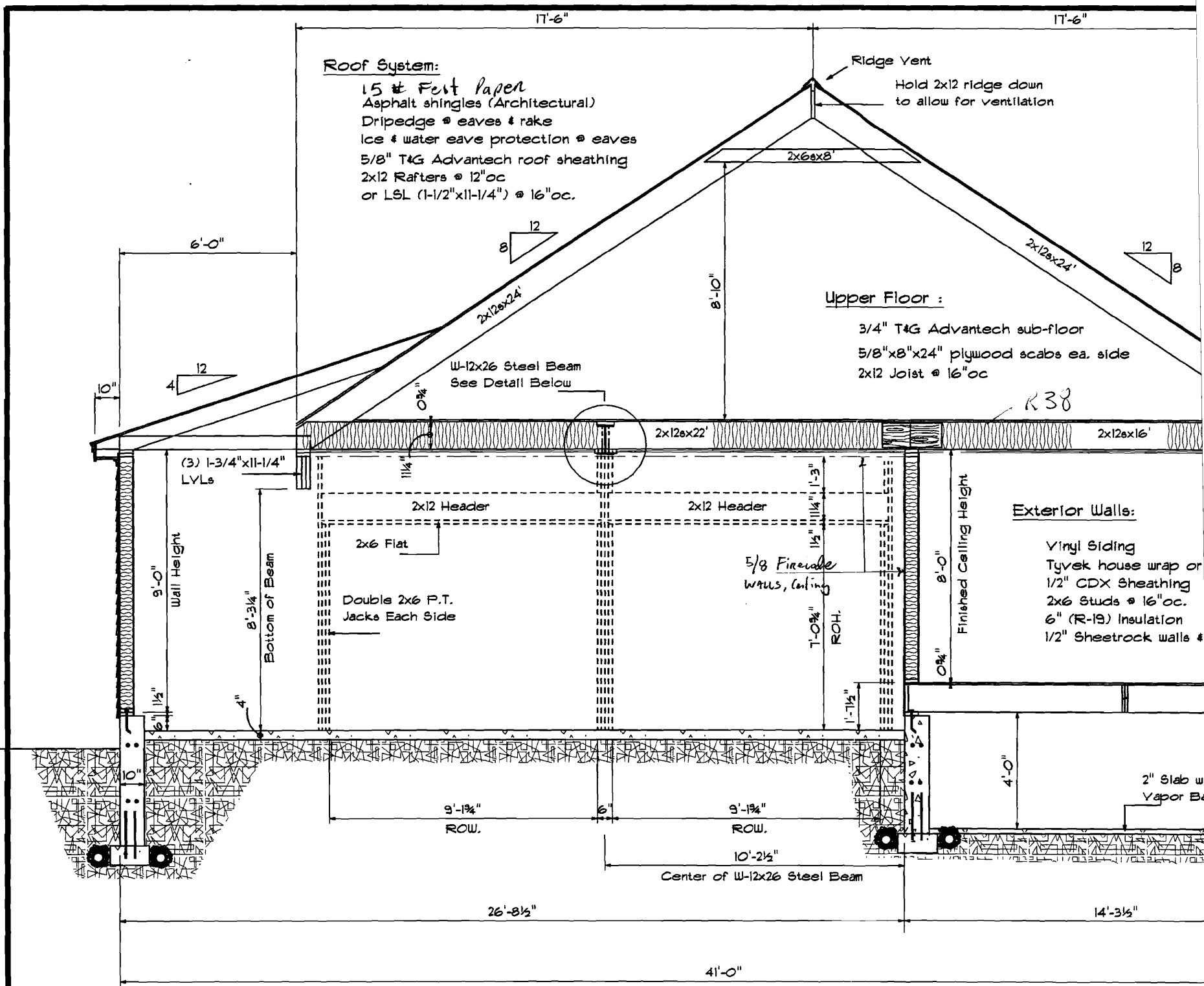
Lower Floor Plan
3/16" = 1'-0"



Section " A "

3/8" = 1'-0"





Roof System:

- 15 # Felt Paper
- Asphalt shingles (Architectural)
- Drip edge @ eaves & rake
- Ice & water eave protection @ eaves
- 5/8" T&G Advantech roof sheathing
- 2x12 Rafters @ 12"oc
- or LSL (1-1/2"x11-1/4") @ 16"oc.

Upper Floor :

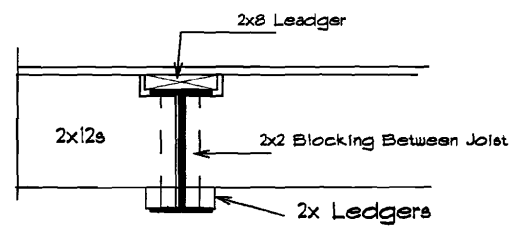
- 3/4" T&G Advantech sub-floor
- 5/8"x8"x24" plywood scabs ea. side
- 2x12 Joist @ 16"oc

Exterior Walls:

- Vinyl Siding
- Tyvek house wrap or 1/2" CDX Sheathing
- 2x6 Studs @ 16"oc.
- 6" (R-19) Insulation
- 1/2" Sheetrock walls &

Section " C "

3/8" = 1'-0"



W-12x26 Steel Beam

1" = 1'-0"

