

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM**

2005-0181

Application I. D. Number

DRC Copy

8/5/2005

Application Date

**Stroudwater Farms Assoc**

Applicant

18 Carroll St , Falmouth , ME 04105

Applicant's Mailing Address

**Gayle Allen**

Consultant/Agent

Agent Ph: (207)774-4000

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

**Jay Reynolds**

Rec'd  
8-15-05

**Single Family Home**

Project Name/Description

**Rivers Edge Dr , Portland, Maine**

Address of Proposed Site

**217 B049001**

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_

Proposed Building square Feet or # of Units 20800 Acreage of Site \_\_\_\_\_ Zoning \_\_\_\_\_

**Check Review Required:**

- Site Plan (major/minor)  Subdivision # of lots \_\_\_\_\_  PAD Review  14-403 Streets Review
- Flood Hazard  Shoreland  Historic Preservation  DEP Local Certification
- Zoning Conditional Use (ZBA/PB)  Zoning Variance  Other \_\_\_\_\_

Fees Paid: Site Pla \$50.00 Subdivision \_\_\_\_\_ Engineer Review \$250.00 Date 8/5/2005

**DRC Approval Status:**

Reviewer Jay Reynolds

- Approved  Approved w/Conditions See Attached  Denied

Approval Date 8-16-05

Approval Expiration \_\_\_\_\_

Extension to \_\_\_\_\_

Additional Sheets Attached

Condition Compliance

Jay Reynolds  
signature

8-16-05  
date

Performance Guarantee  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input checked="" type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input checked="" type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

Renee Fawcett  
From Plan...  
North Port City Arch.  
2-9

CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
DRC Copy

2006-0025  
Application I. D. Number  
2/7/2006  
Application Date  
Amendment SFH  
Project Name/Description

Allen Gayle H &  
Applicant  
Po Box 4813, Portland, ME 04112  
Applicant's Mailing Address

Jay Reynolds  
2-9

101 - 101 Rivers Edge Dr, Portland, Maine  
Address of Proposed Site  
217 B049001  
Assessor's Reference: Chart-Block-Lot

Consultant/Agent  
Agent Ph: \_\_\_\_\_ Agent Fax: \_\_\_\_\_  
Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply):  
 New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) amendment change house di

Proposed Building square Feet or # of Units \_\_\_\_\_ Acreage of Site \_\_\_\_\_ Zoning \_\_\_\_\_

Check Review Required:  
 Site Plan (major/minor)  Subdivision # of lots \_\_\_\_\_  PAD Review  14-403 Streets Review  
 Flood Hazard  Shoreland  Historic Preservation  DEP Local Certification  
 Zoning Conditional Use (ZBA/PB)  Zoning Variance  Other \_\_\_\_\_  
Fees Paid: Site Pla \_\_\_\_\_ Subdivision \_\_\_\_\_ Engineer Review \_\_\_\_\_ Date \_\_\_\_\_

DRC Approval Status: Reviewer \_\_\_\_\_  
 Approved  Approved w/Conditions See Attached  Denied  
Approval Date \_\_\_\_\_ Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets Attached  
 Condition Compliance \_\_\_\_\_ signature \_\_\_\_\_ date \_\_\_\_\_

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 Performance Guarantee Reduced \_\_\_\_\_ date \_\_\_\_\_ remaining balance \_\_\_\_\_ signature \_\_\_\_\_  
 Temporary Certificate of Occupancy \_\_\_\_\_ date \_\_\_\_\_  Conditions (See Attached) \_\_\_\_\_ expiration date \_\_\_\_\_  
 Final Inspection \_\_\_\_\_ date \_\_\_\_\_ signature \_\_\_\_\_  
 Certificate Of Occupancy \_\_\_\_\_ date \_\_\_\_\_  
 Performance Guarantee Released \_\_\_\_\_ date \_\_\_\_\_ signature \_\_\_\_\_  
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 Defect Guarantee Released \_\_\_\_\_ date \_\_\_\_\_ signature \_\_\_\_\_

5/2005

DEPARTMENT OF ENVIRONMENTAL PROTECTION  
PERMIT BY RULE NOTIFICATION FORM  
(For use with DEP Regulation, Chapter 305)

RECEIVED DEP - SMRC

2006 FEB 10 AM 11:07

PLEASE TYPE OR PRINT IN BLACK INK ONLY

Name of Applicant: (owner)		GAYLE & ROBERT ALLEN		Applicant Mailing Address:		81 WATKINS SHORE RD	
Town/City:		CASCO		State:		MAINE	
Zip Code:	04015	Daytime Telephone No: (include area code)	207-774-4000		Project Location: (town)	PORTLAND	
County:	CUMBERLAND	Map #:		Lot #:		Name of Wetland or Waterbody:	
Name of Agent:		MARK SENGELMANN		Agents Telephone No: (include area code)		207 761-9500	
Detailed Directions to Site:		FIRST RIGHT OFF CONGRESS ST PAST WESTBROOK ST / TAKE (R) ON RIVER'S EDGE DR. / NEAR END / NEXT TO MOSS GREEN HOUSE / 101 RIVER'S EDGE DR.					
Description of Project:		NEW SINGLE FAMILY HOUSE ON VACANT LOT #19		STROUDWATER FARMS SUBDIVISION		Part of a larger project?	
				X		Yes	
						No	

(CHECK ONE) This project: does  does not  involve work below mean low water.

I am filing notice of my intent to carry out work which meets the requirements for Permit By Rule (PBR) under DEP Rules, Chapter 305. I and my agents, if any, have read and will comply with all of the standards in the Sections checked below.

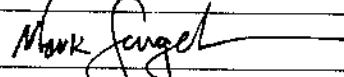
- Sec. (2) Act. Adjacent to Protected Natural Res.
- Sec. (3) Intake Pipes
- Sec. (4) Replacement of Structures
- Sec. (5) REPEALED
- Sec. (6) Movement of Rocks or Vegetation
- Sec. (7) Outfall Pipes
- Sec. (8) Shoreline stabilization
- Sec. (9) Utility Crossing
- Sec. (10) Stream Crossing
- Sec. (11) State Transportation Facilities
- Sec. (12) Restoration of Natural Areas
- Sec. (13) F&W Creation/Enhance/Water Quality Improvement
- Sec. (14) REPEALED
- Sec. (15) Public Boat Ramps
- Sec. (16) Coastal Sand Dune Projects
- Sec. (17) Transfers/Permit Extension
- Sec. (18) Maintenance Dredging

I authorize staff of the Departments of Environmental Protection, Inland Fisheries & Wildlife, and Marine Resources to access the project site for the purpose of determining compliance with the rules. I also understand that **this permit is not valid until approved by the Department or 14 days after receipt by the Department, whichever is less.**

I have attached the following required submittals. NOTIFICATION FORMS CANNOT BE ACCEPTED WITHOUT THE NECESSARY ATTACHMENTS:

- Attach a check for \$55 (non-refundable) made payable to: "Treasurer, State of Maine".
- Attach a U.S.G.S. topo map or Maine Atlas & Gazetteer map with the project site clearly marked.
- Attach all other required submissions as outlined in the PBR Sections checked above.

By signing this Notification Form, I represent that the project meets all applicability requirements and standards in the rule and that the applicant has sufficient title, right, or interest in the property where the activity takes place.

Signature of Agent or Applicant:		Date:	2-9-06
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Keep a copy as a record of permit. Send the form with attachments via certified mail to the Maine Dept. of Environmental Protection at the appropriate regional office listed below. The DEP will send a copy to the Town Office as evidence of the DEP's receipt of notification. No further authorization by DEP will be issued after receipt of notice. Permits are valid for two years. Work carried out in violation of any standard is subject to enforcement action.

AUGUSTA DEP  
STATE HOUSE STATION 17  
AUGUSTA, ME 04333-0017  
(207)287-2111

PORTLAND DEP  
312 CANO ROAD  
PORTLAND, ME 04103  
(207)822-6300

BANGOR DEP  
106 HOGAN ROAD  
BANGOR, ME 04401  
(207)941-4570

PRESQUE ISLE DEP  
1235 CENTRAL DRIVE  
PRESQUE ISLE, ME 04769  
(207)764-0477

OFFICE USE ONLY	Ck.# 6057	Staff	MPR	Staff	
PBR# 39832	FP 55.00	Date 02/10/06	Acc. Date 2.10.06	Def. Date	After Photos

DEPLW0309-12005

5/2005

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- |   |   |   |
|---|---|---|
| <input type="checkbox"/> Sec. (2) Act. Adjacent to Protected Natural Res. | <input type="checkbox"/> Sec. (8) Shoreline stabilization                         | <input type="checkbox"/> Sec. (14) REPEALED                   |
| <input type="checkbox"/> Sec. (3) Intake Pipes                            | <input type="checkbox"/> Sec. (9) Utility Crossing                                | <input type="checkbox"/> Sec. (15) Public Boat Ramps          |
| <input type="checkbox"/> Sec. (4) Replacement of Structures               | <input type="checkbox"/> Sec. (10) Stream Crossing                                | <input type="checkbox"/> Sec. (16) Coastal Sand Dune Projects |
| <input type="checkbox"/> Sec. (5) REPEALED                                | <input type="checkbox"/> Sec. (11) State Transportation Facilities                | <input type="checkbox"/> Sec. (17) Transfers/Permit Extension |
| <input type="checkbox"/> Sec. (6) Movement of Rocks or Vegetation         | <input type="checkbox"/> Sec. (12) Restoration of Natural Areas                   | <input type="checkbox"/> Sec. (18) Maintenance Dredging       |
| <input checked="" type="checkbox"/> Sec. (7) Outfall Pipes                | <input type="checkbox"/> Sec. (13) F&W Creation/Enhance/Water Quality Improvement |   |

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AUGUSTA, ME 04333-0017  
(207)287-2111

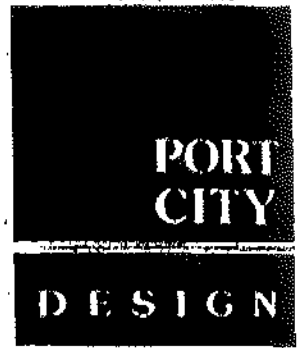
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PORTLAND, ME 04103  
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BANGOR, ME 04401  
(207)941-4570

PRESQUE ISLE DEP  
1235 CENTRAL DRIVE  
PRESQUE ISLE, ME 04769  
(207)784-0477

OFFICE USE ONLY	Ck.#	Date	Staff	Staff	After Photos
PBR #	FP		Acc. Date	Def. Date	

# Transmittal



To:

Jay Reynolds  
 Planning Department  
 City of Portland  
 756-8258

DATE: 2/9/06

VIA:

- FAX
- UPS / FEDEX
- USPS
- HAND
- E-MAIL
- COURIER

PROJECT *Allen Residence*

NUMBER OF PAGES: *2*

COPIES	DATE	DESCRIPTION	ACTION
1	2-9-06	DEP Permit by Rule Application	For Your Records

*Jay -*  
 For your records - PER should be in place by 2-27-06.

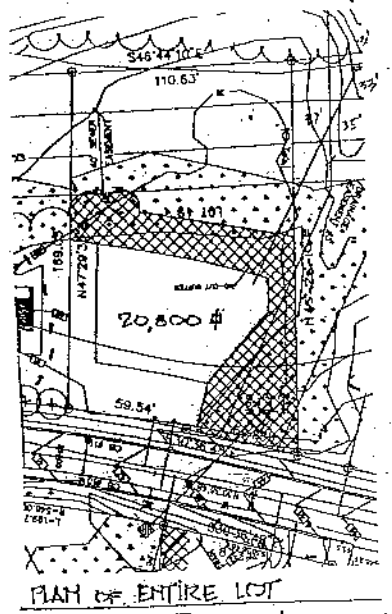
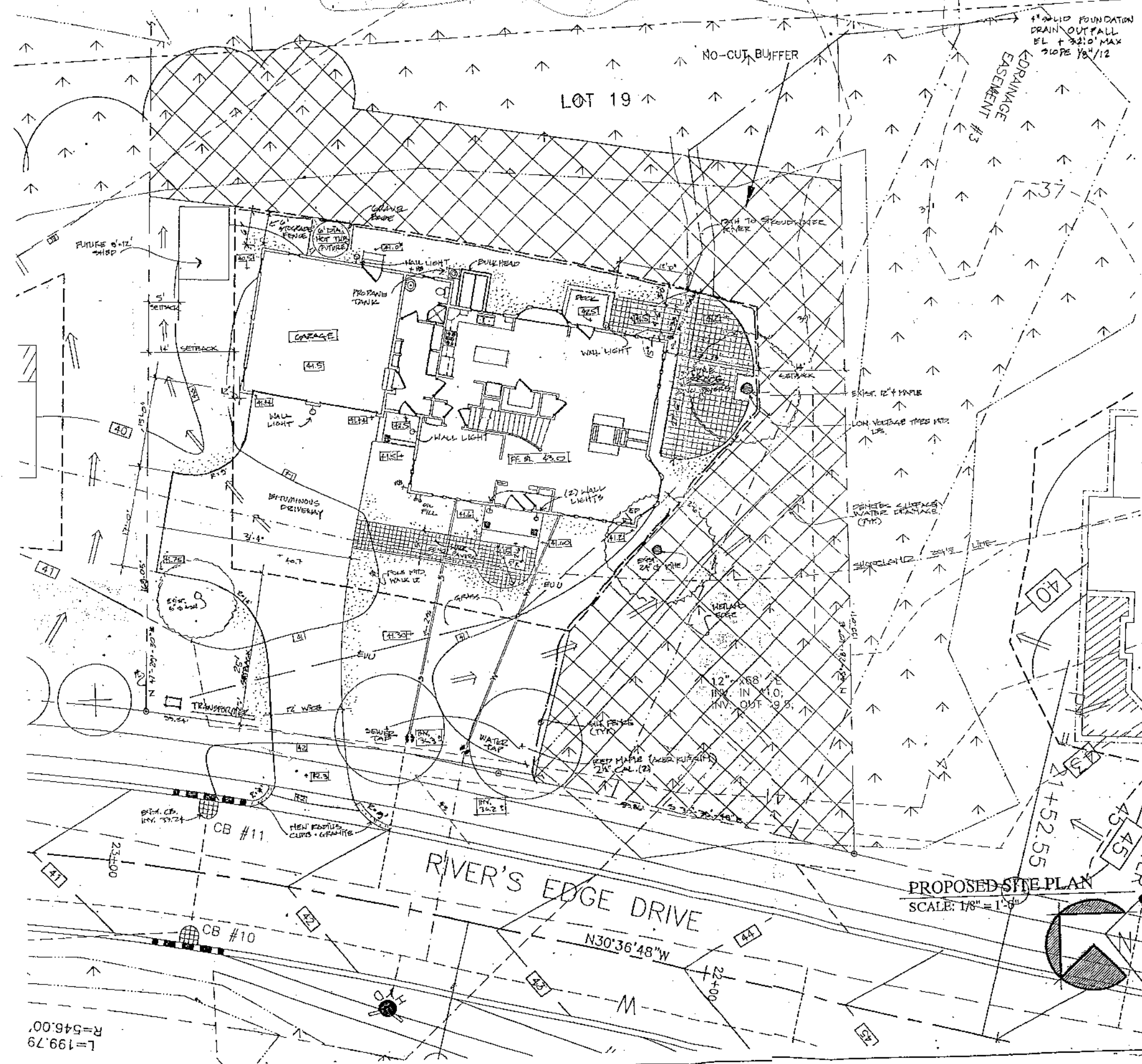
*Mark*

Mark Sengelmann NCARB NFPA  
 Owner Registered Architect



Orig. Point 05-1122 / 2173049 / 1st River edge

06-0189  
06-1206  
06-130



PLAN OF ENTIRE LOT  
CONTRACT ZONE C-B

**LAYOUT NOTES**

- Existing conditions information is from a plan filed.
- PLOTTED FROM: PHINNEY & GERRARD CORP. DOC. TITLED: "VALLEY DRIVE"
- Prior to any construction activities taking place, all dimensions shall be verified in the field by the contractor. Any discrepancies shall be reported immediately to the landscape architect.
- Do not scale the drawings. Any omissions in dimensioning shall be reported immediately to the Landscape Architect.
- All angles are 90 degrees unless otherwise shown.
- All dimensions from buildings are to outside face of building.
- All edges of paving shall be staked out by the contractor and reviewed by the landscape architect prior to construction.
- Provide a smooth transition where new work meets existing.
- All areas not otherwise treated shall be loamed and seeded.

**GRADING NOTES**

- Existing conditions information is from a plan filed.
- Contractor shall verify all dimensions and grades on the ground. Any discrepancies shall be reported immediately to the architect.
- All areas not requiring grading shall be left undisturbed. Contractor shall keep out of these areas and preserve the existing planting.
- All graded and disturbed areas not otherwise developed shall be seeded.
- Utility locations shown are approximate and shall be verified by contractor prior to construction.

**GENERAL NOTES**

- All work shall be in conformance with the City of Portland and other utility company standards.
- Contractor shall verify locations of existing utilities with appropriate utility companies prior to start of construction.
- Contractor shall secure all necessary permits for work shown on these plans.
- All work shall comply with all local, State and Federal safety regulations.
- Contractor shall coordinate work with respective utility companies in a timely fashion.
- The contractor shall be solely responsible for all means, methods and techniques employed to perform the work shown on these plans.

PROPOSED SITE PLAN  
SCALE: 1/8" = 1'-0"

L=199.79  
R=546.00

**PORT CITY DESIGN**

43 DEERING STREET  
PORTLAND, ME 04101  
PHONE: 207.761.9500  
FAX: 207.761.9595  
design@portcitydesign.net

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**ANTHONY MUENCH**  
LANDSCAPE ARCHITECT  
94 COMMERCIAL STREET  
PORTLAND, MAINE 04101

**Allen Residence**  
101 River's Edge Drive  
Portland, ME. 04101

JOB: 05008

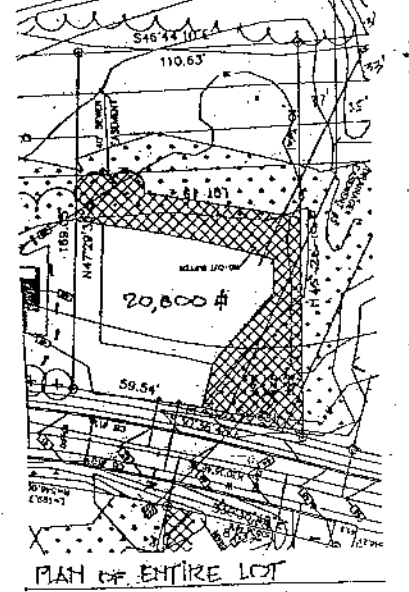
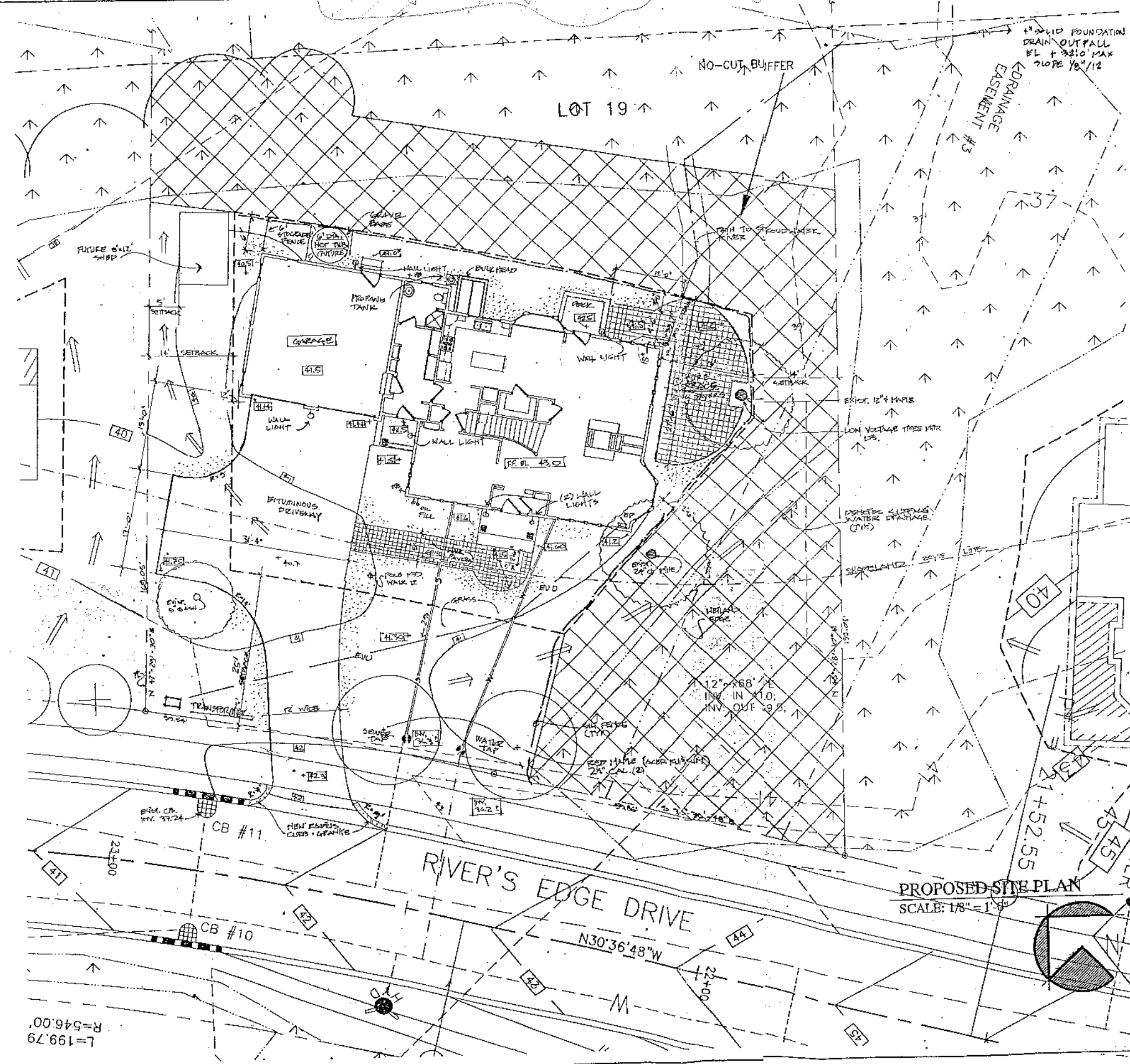
ISSUE DATE	
PRELIM.	05/06/05
BID	08/17/05
CD'S	-
REV. 1	-
REV. 2	-
PRINT	10/07/05
UPDATED	2-3-06

PROPOSED SITE PLAN  
**C-1**

50/70/01  
90/2  
UPDATED 2/3/06

orig. Permit 05-1122 / 2173049 / 101 River's Edge

06-017  
06-1366  
06-132



PLAN OF ENTIRE LOT  
CONTRACT ZONE C-8

LAYOUT NOTES

- Existing conditions information is from a plan filed:  
TOWN OF PORTLAND & GREER, 2004 DEC. 15, TITLED "TOWN'S EDGE."
- Prior to any construction activities taking place, all dimensions shall be verified in the field by the contractor. Any discrepancies shall be reported immediately to the landscape architect.
- Do not scale the drawings. Any omissions in dimensioning shall be reported immediately to the Landscape Architect.
- All angles are 90 degrees unless otherwise shown.
- All dimensions from buildings are to outside face of building.
- All edges of paving shall be staked out by the contractor and reviewed by the landscape architect prior to construction.
- Provide a smooth transition where new work meets existing.
- All areas not otherwise treated shall be loamed and seeded.

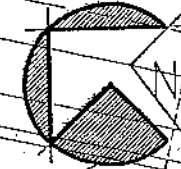
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SEE LAYOUT NOTES
- Contractor shall verify all dimensions and grades on the ground. Any discrepancies shall be reported immediately to the architect.
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SCALE: 1/8" = 1'-0"



L=199.79  
R=546.00

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**ANTHONY MUENCH**  
LANDSCAPE ARCHITECT  
94 COMMERCIAL STREET  
PORTLAND, MAINE 04101

**Allen Residence**  
101 River's Edge Drive  
Portland, ME. 04101

JOB: 05008

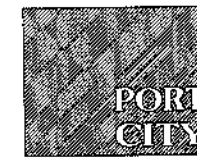
ISSUE DATE	
PRELIM.	05/06/05
BID	08/17/05
CD's	
REV. 1	
REV. 2	
PRINT	10/07/05

UPDATED 2-3-06  
PROPOSED SITE PLAN  
**C-1**

50/0/0 10/07/05  
2-3-06

# Allen Residence

101 River's Edge Drive, Portland, ME.



DESIGN

43 DEERING STREET  
PORTLAND, ME 04101  
PHONE: 207.761.9500  
FAX: 207.761.9696  
design@portcitydesign.net

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## LEGEND:

- INDICATES DETAIL
- DETAIL NUMBER
- SHEET WHERE DETAIL IS DRAWN
- INDICATES ELEVATION OR DETAIL SECTION
- ELEVATION OR DETAIL NUMBER/LETTER
- SHEET WHERE ELEVATION OR DETAIL IS DRAWN
- INDICATES BUILDING SECTION
- BUILDING SECTION NUMBER/LETTER
- SHEET WHERE BUILDING SECTION IS DRAWN
- EXTERIOR ELEVATION NUMBER
- SHEET WHERE ELEVATION IS DRAWN
- ROOM NAME AND NUMBER
- WINDOW TYPES
- DOOR NUMBER
- COLUMN GRID LINE
- ELEVATION TARGET
- WALL TYPE

## GENERAL NOTES:

1. ALL MATERIALS, COMPONENTS, EQUIPMENT AND WORK ARE NEW AND SHALL BE PROVIDED IN THIS CONTRACT BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
2. ALL WORK INCLUDED IN THE CONTRACT SHALL CONFORM TO ALL STATE, NATIONAL, AND OTHER CODES AND ORDINANCES WHICH APPLY TO THIS PROJECT.
3. ALL WORK SHALL BE COMPLETED TO INDUSTRY STANDARDS IN A PROFESSIONAL WORKMAN LIKE MANNER.
4. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCY(ES) IMMEDIATELY TO THE ARCHITECT.
5. AT THE END OF EACH WORKING DAY, THE CONSTRUCTION SITE SHALL BE LEFT IN A NEAT AND CLEAN MANNER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS WHICH ARE REQUIRED FOR THE SATISFACTORY COMPLETION OF THE WORK. (STATE FIRE MARSHALL PERMIT BY OWNER.)
7. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER FOR THE SEQUENCE AND TIMING OF OPERATIONS PRIOR TO COMMENCING WORK. AREAS FOR STAGING ETC. MUST BE APPROVED BY THE OWNER.
8. THE CONTRACTOR SHALL DISPOSE OF AND/OR RECYCLE ANY CONSTRUCTION DEBRIS FROM THE PROJECT SITE AS REQUIRED BY THE STATE OF MAINE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DISPOSAL PERMITS WHICH ARE REQUIRED. CONSTRUCTION DEBRIS FROM THE PROJECT SITE SHALL BE DISPOSED OF IN A STATE APPROVED LANDFILL.
9. ALL WALLS & FLOORS ARE TO BE INSULATED AS SHOWN. CAVITIES ARE TO BE FILLED W/ R-13, R-19 AND R-38 FOR 2x4 WALLS, 2x8 WALLS & ROOF RESPECTIVELY.
10. MAINTAIN A SAFE AND CLEAR PATH FREE FROM DUST AND DEBRIS BETWEEN OCCUPIED AREAS AND THE MEANS OF EGRESS. PROVIDE DUST PARTITIONS AS SPECIFIED, OR IF NOT SPECIFIED, AS DIRECTED BY THE ARCHITECT TO PROVIDE THIS ACCESS. REVIEW LOCATION AND SEQUENCING OF DUST PARTITIONS WITH THE ARCHITECT PRIOR TO INSTALLATION. EXISTING WALLS MAYBE SEALED TO UNDERSIDE OF SLAB ABOVE IN LIEU OF CONSTRUCTING NEW DUST PARTITIONS WHERE APPROVED BY ARCHITECT.
11. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION. IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
12. DUTY OF COOPERATION: RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, THE CONTRACTOR, THE ARCHITECT AND THEIR CONSULTANTS. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE OWNER. FAILURE TO NOTIFY THE OWNER COMPOUNDS MISUNDERSTANDING AND MAY INCREASE CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE OWNER SHALL RELIEVE THE OWNER AND THE ARCHITECT FROM RESPONSIBILITY FOR ALL COST.
13. CONSTRUCTION SAFETY: THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.
14. BACKPRIME ALL TRIM, PROVIDE KERFS AT BACKS OF ALL MEMBERS TO PREVENT WARPING, TYP.
15. THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.
16. ALL MATERIALS AND WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE DATE OF FINAL PAYMENT.
17. DO NOT SCALE DRAWINGS

& AND  
ANG ANGLE  
@ AT  
ADA AMERICAN DISABILITIES ACT  
ADJ ADJUST OR ADJACENT  
AFF ABOVE FINISH FLOOR  
ALUM ALUMINUM  
ARCH ARCHITECT OR ARCHITECTURAL  
AVG AVERAGE  
BD BOARD  
BLDG BUILDING  
BLKG BLOCKING  
BM BEAM  
BO BOTTOM OF  
C CENTER LINE  
CAB CABINET  
CLG CEILING  
CLR CLEAR  
CLO CLOSET  
CMU CONCRETE MASONRY UNIT  
CNTR COUNTER  
COL COLUMN  
CONC CONCRETE  
CONT CONTINUOUS  
COORD COORDINATE  
CPT CARPET  
DBL DOUBLE  
DEG DEGREE  
DIA DIAMETER  
DIM DIMENSION  
DN DOWN  
DR DOOR  
DS DOWN SPOUT  
D/W DISH WASHER  
DWG DRAWING  
EA EACH  
EJ EXPANSION JOINT  
ELEC ELECTRIC  
ELEV ELEVATION

## TYPICAL ABBREVIATIONS:

ENCL ENCLOSE  
ENT ENTRY or ENTRANCE  
EQ EQUAL  
EQUIP EQUIPMENT  
EWC ELECTRIC WATER COOLER  
EXH EXHAUST  
EXIST EXISTING  
EXP EXPANSION  
EXT EXTERIOR  
FDN FOUNDATION  
FF FINISH FLOOR  
FFE FINISH FLOOR ELEVATION  
FIN FINISH  
FIXT FIXTURE  
FLG FLOORING  
FLR FLOOR  
FLUOR FLUORESCENT  
FP FIRE PLACE  
FT FOOT or FEET  
GA GAUGE  
GALV GALVANIZED  
GC GENERAL CONTRACTOR  
GL GLASS  
GWB GYPSUM WALL BOARD  
HT HEIGHT  
HM HOLLOW METAL  
HR HORIZONTAL  
HVAC HEATING, VENTILATION & AIR CONDITION  
IBC INSTALLED BY CONTRACTOR  
IN INCHES  
INSUL INSULATION  
INT INTERIOR  
JT JOINT  
LAM LAMINATED  
LB POUNDS  
LF LINEAR FEET  
LL LIVE LOAD

MAX MAXIMUM  
MECH MECHANICAL  
MFO MANUFACTURE  
MH MAN HOLE  
MIL MILLIMETER  
MIN MINIMUM  
MSB MAIN SWITCH BOARD  
MTO MOUNTED  
MTL METAL  
MW MICROWAVE  
N NORTH  
N/A NOT APPLICABLE  
NAT NATURAL  
NIC NOT IN CONTRACT  
# NUMBER  
NTS NOT TO SCALE  
OC ON CENTER  
OH OVER HEAD  
PAR PARALLEL  
PERF PERFORATED  
PERP PERPENDICULAR  
PL PLATE  
P-LAM PLASTIC LAMINATE  
PLAS PLASTER  
PLBG PLUMBING  
PLYND PLYWOOD  
PSI POUNDS PER SQUARE INCH  
PT PRESSURE TREATED  
PTD PAINT  
QTY QUANTITY  
R RISER or RADIUS  
RAD RADIUS  
RCP REFLECTED CEILING PLAN  
RD ROOF DRAIN  
REF REFRIGERATOR  
REINF REINFORCED  
REQD REQUIRED

RO ROUGH OPENING  
RM ROOM  
RTU ROOF TOP UNIT  
S SOUTH  
SCHED SCHEDULE  
SD STORM DRAIN  
SECT SECTION  
SF SQUARE FEET  
SIM SIMILAR  
SP SHELL PACKAGE  
SPEC SPECIFICATIONS  
SS STAINLESS STEEL  
SQ SQUARE  
STD STANDARD  
STL STEEL  
STRUC STRUCTURAL  
SUSP SUSPENDED  
SYMM SYMMETRICAL  
T THERMOSTAT  
T & B TOP AND BOTTOM  
TEL TELEPHONE  
TOL TEMPERED GLASS  
THICK THICKNESS  
T.O. TOP OF  
TYP TYPICAL  
UL UNDERWRITERS LABORATORIES, INC  
UNL UNLESS NOTED OTHERWISE  
VB VINYL BASE  
VCT VERTICAL  
VERT VINYL COMPOSITE TILE  
VIF VERIFY IN FIELD  
W WIDE or WEST  
WD WOOD  
WC WATER COOLER  
W/ WITH  
W/D WITHOUT

## LIST OF DRAWINGS:

- T-1 TITLE SHEET
- A-1 EXTERIOR FRONT ELEVATION
- A-2 EXTERIOR ELEVATIONS
- A-3 FOUNDATION PLAN
- A-4 FIRST FLOOR PLAN
- A-5 SECOND FLOOR PLAN
- A-6 BUILDING SECTIONS
- A-7 BUILDING DETAILS

LOCUS MAP:

08/01/05

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TITLE SHEET  
**T-1**



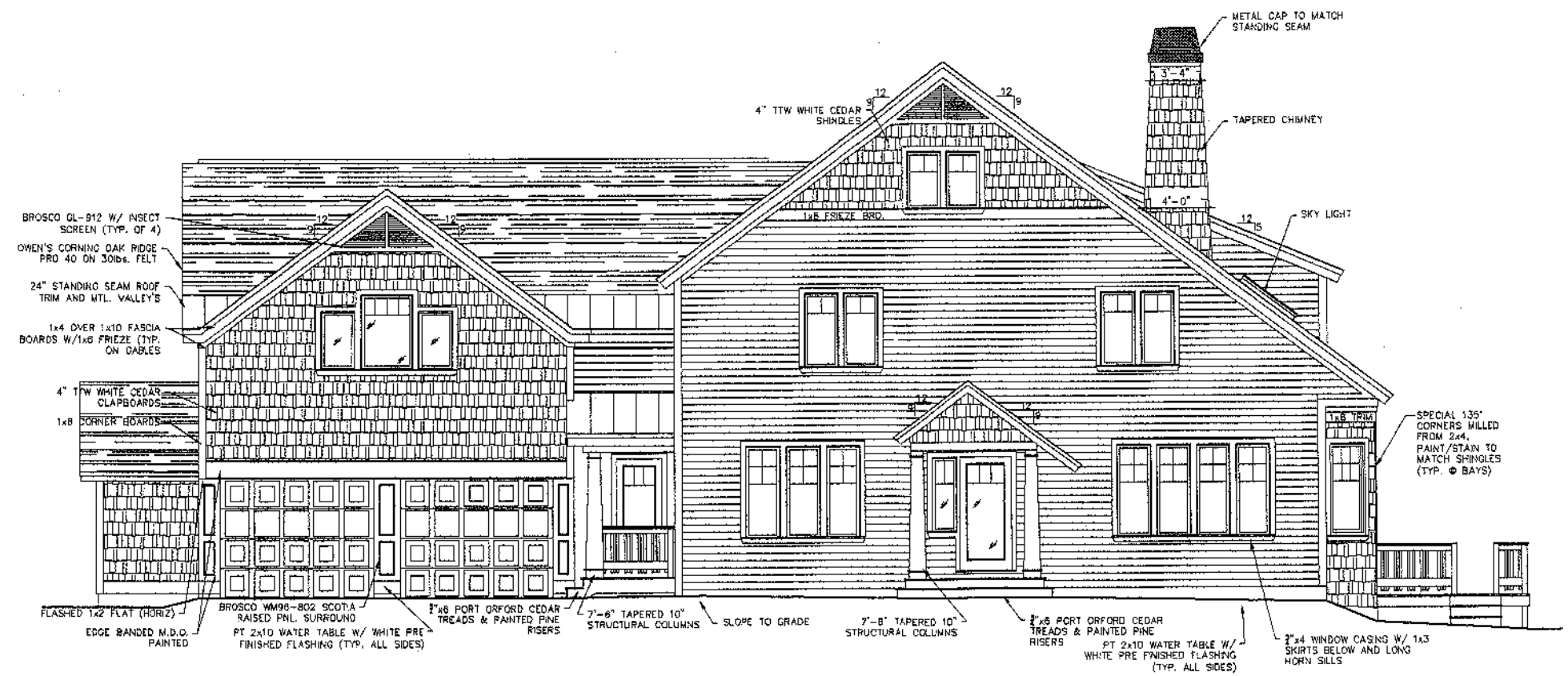


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**1 FRONT ELEVATION**  
1/4" = 1'-0"

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EXTERIOR  
ELEVATION  
**A-1**

08/01/05



1 REAR ELEVATION  
1/4" = 1'-0"



2 LEFT SIDE ELEVATION  
1/4" = 1'-0"

10x12 4 LIGHT SQUARE 55B 2"x3"  
TRIM W/ LONG HORN SILLS



3 RIGHT SIDE ELEVATION  
1/4" = 1'-0"

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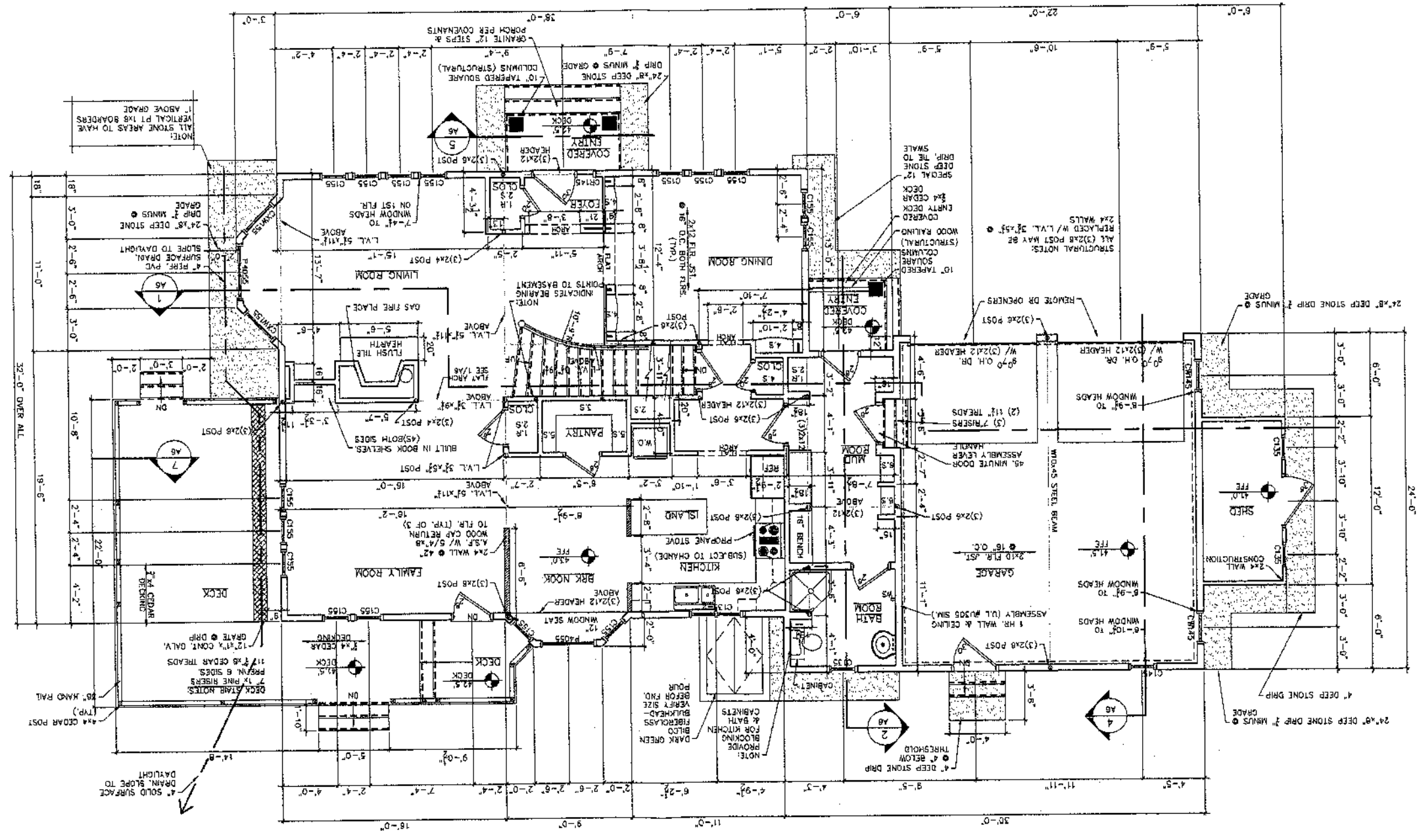
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EXTERIOR  
ELEVATIONS  
A-2

08/01/05

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1 FIRST FLOOR PLAN 1/4" = 1'-0"



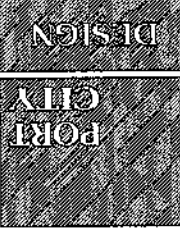
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FIRST FLOOR PLAN  
A-4

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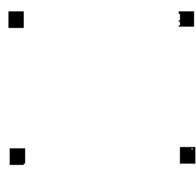
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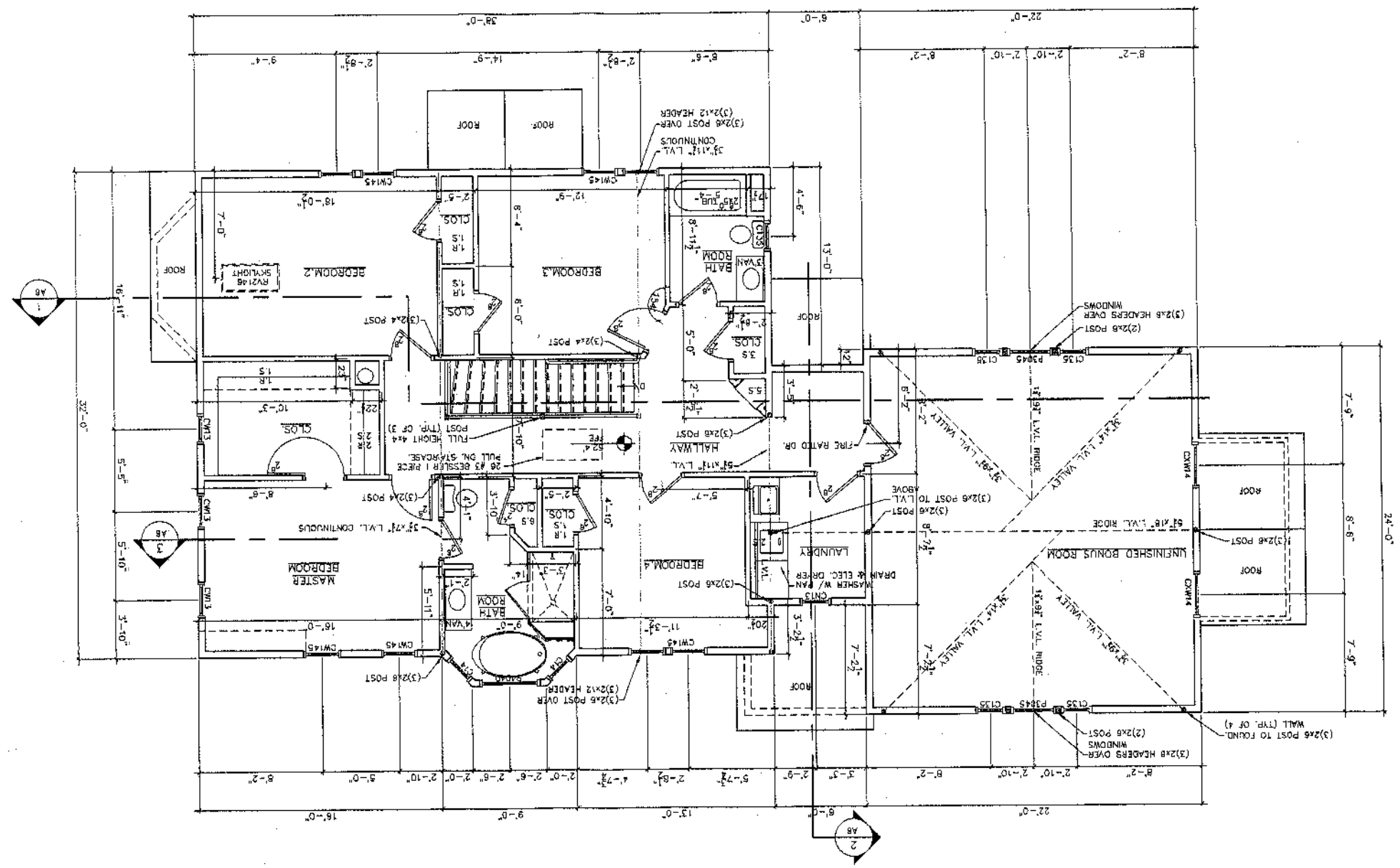
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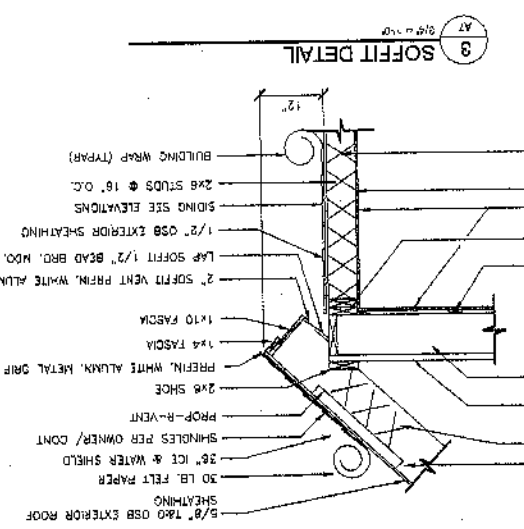
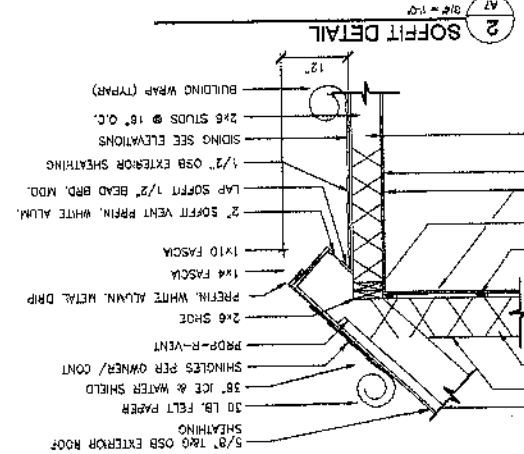
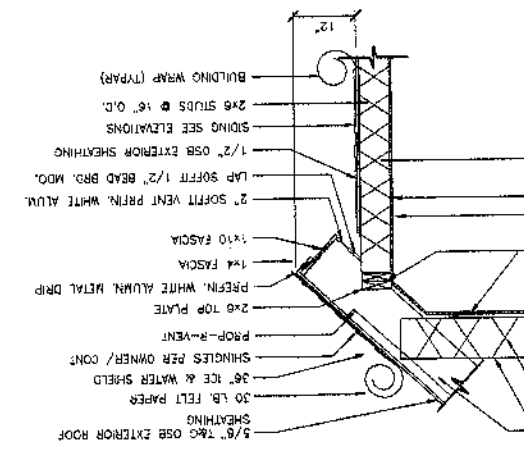
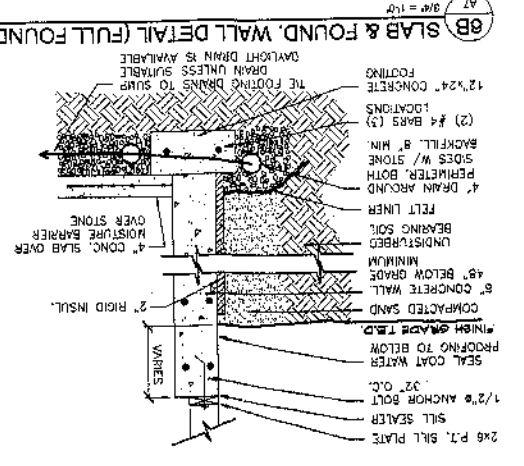
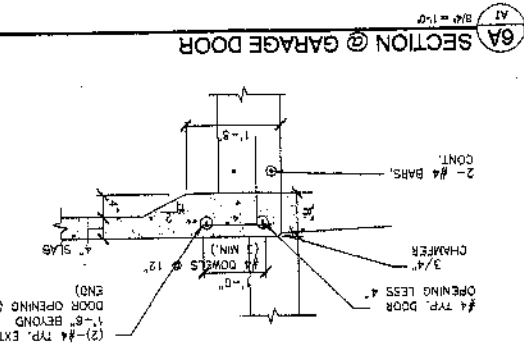
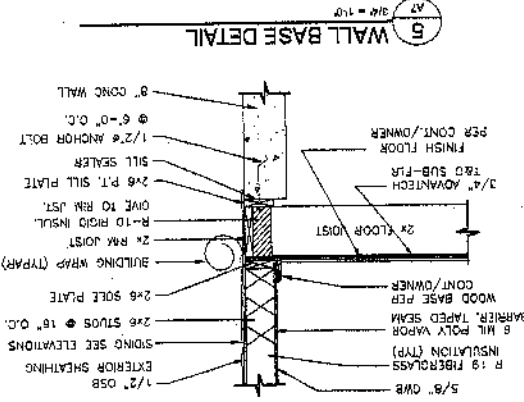
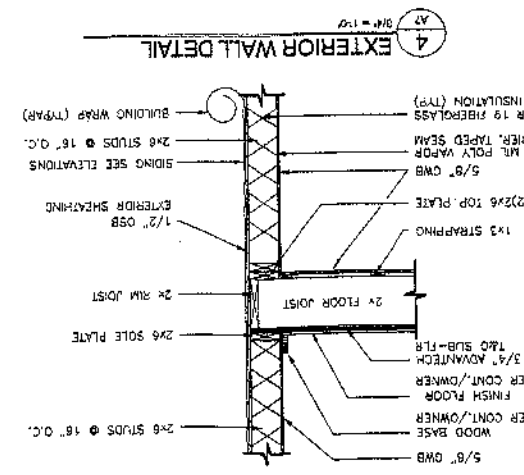
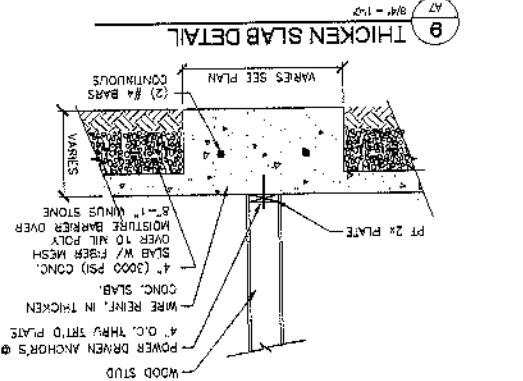
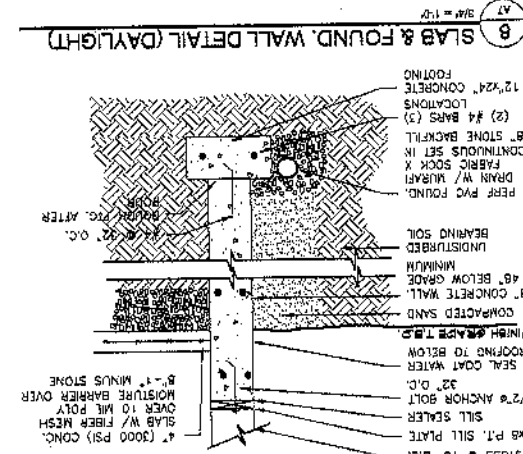
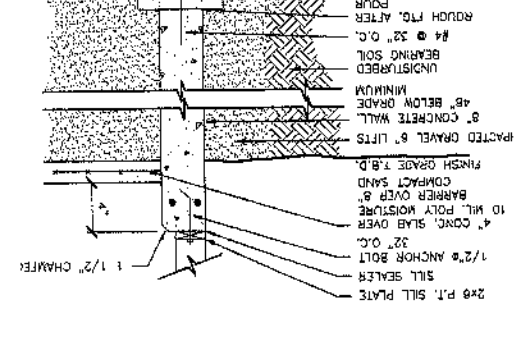
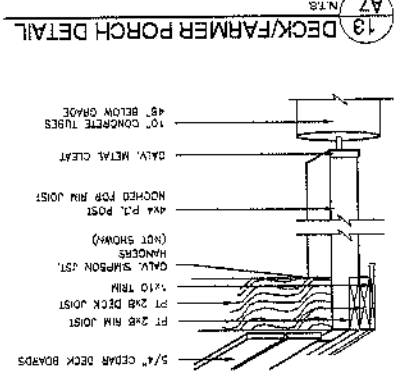
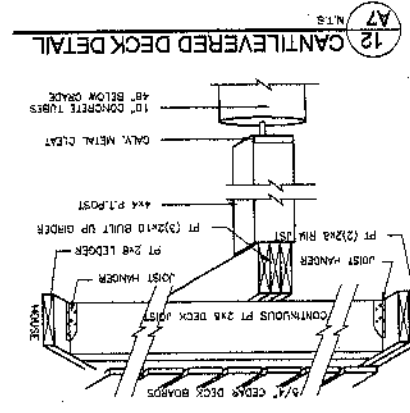
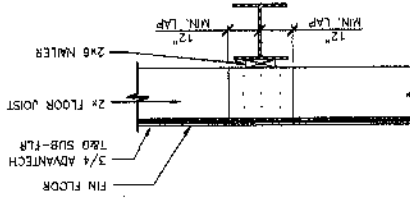
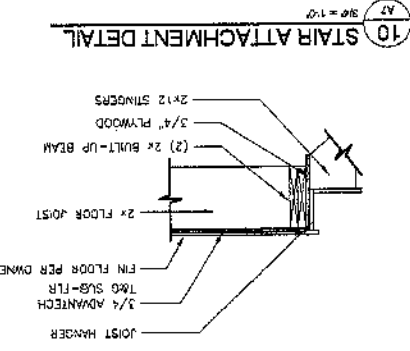
SECOND  
FLOOR  
PLAN  
**A-5**

08/01/05



1 SECOND FLOOR PLAN





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**A-7**  
 BUILDING  
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