

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 061312

Please Read Application And Notes, If Any, Attached

This is to certify that ALLEN GAYLE H & ROBERT F ALLEN JTS/Gayle Allen

has permission to Ammendment to permit #06129 change into work

AT 101 RIVERS EDGE DR

217 B049001

PERMIT ISSUED
OCT - 6 2006
CITY OF PORTLAND

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission proceeds before this building or part thereof is occupied or services closed-in. 24 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____
Department Name

Thomas N. Mahoney 6/29/06
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1312	Issue Date:	CBL: 217 B049001
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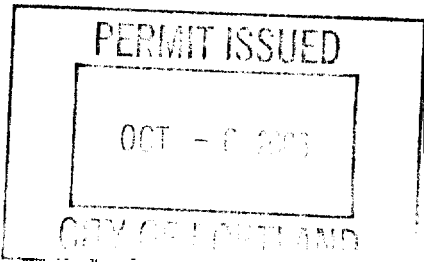
Location of Construction: 101 RIVERS EDGE DR	Owner Name: ALLEN GAYLE H & ROBERT F	Owner Address: PO BOX 4813	Phone:
Business Name:	Contractor Name: Gayle Allen	Contractor Address: 183 Watkins Shore Casco	Phone: 2077744000
Lessee/Buyer's Name	Phone:	Amendment to Single Family C-8	

Past Use: Single Family Home	Proposed Use: Single Family Home/ Amendment to permit # 060189 change patio to deck 2nd	Permit Fee: \$30.00	Cost of Work: \$30.00	CEO District: 3	using R-3 Req. R-3
		<input type="checkbox"/> Denied		Use Group: R3	Type: SB

Proposed Project Description: Amendment to permit #060189 change patio to deck	Signature:	Signature: <i>Jm</i> 6/29/06
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Permit Taken By: ldobson	Date Applied For: 09/07/2006
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Zoning Approval		
Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>9/21/06</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1312	Date Applied For: 09/07/2006	CBL: 217 B049001
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Location of Construction: 101 RIVERS EDGE DR	Owner Name: ALLEN GAYLE H & ROBERT F A	Owner Address: PO BOX 4813	Phone:
Business Name:	Contractor Name: Gayle Allen	Contractor Address: 183 Watkins Shore Casco	Phone (207) 774-4000
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	

Single Family Home/ 2nd Amendment to permit # 060189 change patio to deck	2nd Amendment to permit #060189 change patio to deck
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 09/21/2006

Note: **Ok to Issue:**

- 1) all previous conditions are still in force

Dept: Building **Status:** Approved **Reviewer:** Tom Markley **Approval Date:** 09/29/2006

Note: **Ok to Issue:**

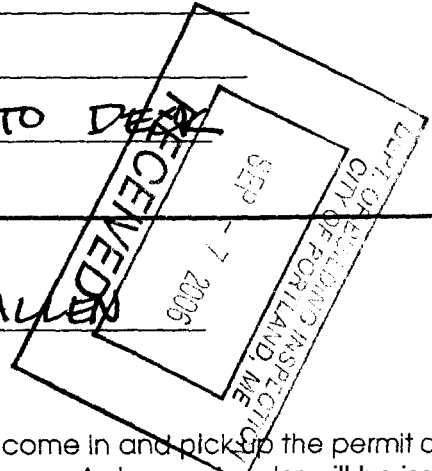
- 1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

AMENDMENT To 060189

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property Within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>101 RIVER'S EDGE DRIVE</u>		
Total Square Footage of Proposed Structure <u>2900 SF</u>	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>217</u> Block# <u>B</u> Lot# <u>049</u>	Owner: <u>Gayle & Bob Allen</u>	Telephone:
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>Gayle Allen</u> <u>183 Watkins Shore Rd</u> <u>C200 ME 04015</u>	cost Of Work: \$ <u>-2000,-</u> Fee: \$
Current use: <u>SINGLE FAMILY RESIDENCE</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>REVISE PERMITTED PATIO TO DECK</u>		
Project description: _____		
Contractor's name, address & telephone: _____		
Who should we contact when the permit is ready: <u>GAYLE ALLEN</u>		
Mailing address: <u>183 Watkins Shore Rd</u> <u>C200 ME 04015</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>774-4008</u>		



IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Mark J. [Signature]</u>	Date: <u>9-7-06</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

Applicant: Gayla & Robert Allen

Date: 2/10/06

Address: 101 Riversedge Dr. (lot #19) C-B-L: 217-B-049

CHECK-LIST AGAINST ZONING ORDINANCE

Date - Altering approved permit #05-1122 #06-0189 #06-1312 → New Deck

Zone Location - C-B Contract Zone using regular R-3 requirements

Interior or corner lot -

Proposed Use/Work - change approved site plan & placement of home with attached garage - delete attached shed -

Sewage Disposal - City #06-1312 New deck in place of proposed patio

Lot Street Frontage - 50' min - 119' + shown ~ 465'

Front Yard - 25' min - 37.5' shown

Rear Yard - 25' min - 32' shown

Side Yard - 14' min - 15' & 29' shown

Projections - 2 story front entry - rear bay window - rear deck 6'x8' - rear bulkhead rear stairs

Width of Lot - 65' min - 100' + shown

Height - 35' max - 26.5' sided to 1/2 way

Lot Area - 6,500 sq ft min - 20,800 sq ft given

Lot Coverage Impervious Surface - 35% max = 7280 sq ft max

Area per Family - 6,500 sq ft

Off-street Parking - 2 req - 2 car garage

Loading Bays - N/A

Site Plan - minor/minor # 2006-0025

Shoreland Zoning/ Stream Protection - in shore (and but well over 75' from HWM (150'+)

Flood Plains - Panel 12 - Zone X Not in historic No cut zone on property

* future 6' diam. hot tub not part of permit * future 8x12 shed not part of permit

