

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>PERMIT ISSUED</b>		CBL: <b>41</b>
Permit No: <b>02-1141</b>	Issue Date: <b>NOV 5 2002</b>	217 A011001

<b>Location of Construction:</b> River's Edge Drive <b>Lot #11</b>	<b>Owner Name:</b> Stroudwater Farm Assoc.	<b>Owner Address:</b> 18 Carrdl St	<b>Phone:</b> 207-229-6649
<b>Business Name:</b> n/a	<b>Contractor Name:</b> LNS Properties	<b>Contractor Address:</b> PO Box 412 Saco	<b>Phone:</b> 2072296649
<b>Lessee/Buyer's Name:</b> n/a	<b>Phone:</b> n/a	<b>Permit Type:</b> Single Family	<b>Zone:</b> <b>R-3</b>

<b>Past Use:</b> Vacant	<b>Proposed Use:</b> New Single Family / Build 36' x 28' home with 2 car attached garage and 12' x 12' deck.	<b>Permit Fee:</b> \$1,218.00	<b>Cost of Work:</b> \$160,000.00	<b>CEO District:</b> 3	<b>INSPECTION:</b> Use Group: <b>R-3</b> Type: <b>SB</b>
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**Proposed Project Description:**  
Build New Single Family 36' x 28' with 2 car 24' x 24' attached garage and 12' x 12' deck

**Signature:** \_\_\_\_\_ **Signature:** \_\_\_\_\_

**PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.):**

Action:  Approved  Approved w/Conditions  Denied

**Signature:** \_\_\_\_\_ **Date:** \_\_\_\_\_

<b>Permit Taken By:</b> gg	<b>Date Applied For:</b> 10/04/2002	<b>Zoning Approval</b>
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <b>N/A</b> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <b>Panel 12 Zoned</b> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <b>#2002-0216</b> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <b>ok with conditions</b> Date: <b>12/16/02</b>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date: _____	Date: _____	Date: _____

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

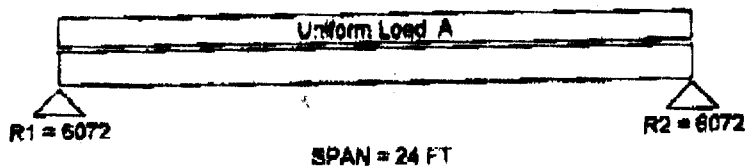
Lot #11  
Rivers edge, Portland, Me

Date: 3/22/04 BeamChk 2.2

<b>Choice</b>	W 12x 26 A36 Wide Flange Steel		Lateral Support at: Lc = 8.9 ft max.	
<b>Conditions</b>	Actual Size is 6-1/2 x 12-1/4 in., Min Bearing Length R1= 0.9 in. R2= 0.9 in. DL Def 0.18 in Suggested Camber 0.28 in			
<b>Date</b>	Beam Span 24.0 R	Reaction 1 6072 #	Reaction 1 LL 4320 #	
	Beam Wt per ft 26.0 #	Reaction 2 6072 #	Reaction 2 LL 4320 #	
	Beam Weight 624 #	Maximum V 6072 #		
	Max Moment 36432 #	Max V (Reduced) N/A		
	TL Max Def L / 240	TL Actual Def L / 452		
	LL Max Def L / 360	LL Actual Def L / 635		
<b>Attributes</b>	Section (in <sup>2</sup> )	Shear (in <sup>2</sup> )	TL Def (in)	LL Def
Actual	33.40	2.61	0.64	0.45
Critical	18.40	0.42	1.20	0.80
Status	OK	OK	OK	OK
Ratio	55%	15%	63%	57%
<b>Values</b>	Base Value Fy 36000	Fv (psi) 36000	E (psi x 10 <sup>6</sup> ) 29.0	
	Base Adjusted 23760	14400	29.0	
<b>Adjustments</b>	YP Factor, Lc 0.86	0.40		

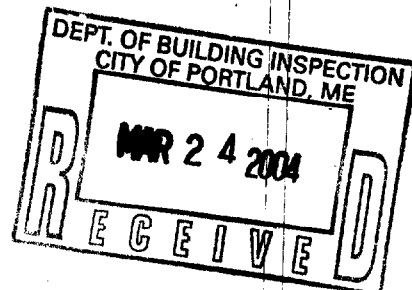
BeamChk has automatically added the beam self-weight into the calculations.

**Loads** Uniform TL: 480 = A Uniform LL: 360



Uniform and partial uniform loads are lbs per linear ft.

*Attn: Mark*



# STATE OF MAINE CHIMNEY OR FIREPLACE DISCLOSURE

Dear Consumer: State law, specifically 32 M.R.S.A., Chapter 33, requires chimney or fireplace installers, as of January 1, 1992, to provide you with this Disclosure prior to the installation work being done on your chimney or fireplace. The purpose of this Disclosure is to help you, as a consumer, make an informed decision as to the abilities of the installer and under what requirements the installation must comply. It is important to note that the State of Maine does not require registration or licensure of chimney or fireplace installers; however, it is just as important to realize that many fires are caused each year by improperly constructed fireplaces and chimneys. For further information about this law, call the Division of Licensing & Registration at 624-8629 or write to the Division at #35 State House Station, Augusta, Maine 04333.

## INSTALLER INFORMATION

Name of Installer Nathaniel Libby  
D.B.A. Nate Libby's masonry  
Name of Installer (if incorporated) \_\_\_\_\_  
D.B.A. \_\_\_\_\_  
Legal Address 45 Kyle Dr \_\_\_\_\_  
(Street and No.) (City or Town)  
\_\_\_\_\_  
(State) (County) (Zip Code)  
Home Telephone 207 1499-1796 Business Telephone 207 1332-1223  
Years of experience doing fireplace or chimney installations 8 yrs

## CONSUMER IDENTIFICATION

Consumer's Name DOUGLAS & BAYARD DOUTH PARTNERS  
Mailing Address 96 RIVERS EDGE PORTLAND  
(Street and No.) (City or Town)  
MAINE LUMBERLAND 04103  
(State) (County) (Zip Code)  
Home Telephone 207 1767 1472 Business Telephone 207 1773 1282

Installer, please give a brief description of installation being offered.

SINGLE FIRE PLACE + CHIMNEY OUTSIDE SIDE WALL

I, NATHANIEL LIBBY, the installer, hereby attest that the preceding information provided is true to the best of my knowledge. I also understand that if I fail to conform with the standards as outlined in NFPA 211 that I shall be subject to penalties as outlined under Title 32, Chapter 33, Oil and Solid Fuel Board.

Signature Nath Libby Date 3-23-04



TO: Inspections Department  
FROM: Jay Reynolds, Development Review Coordinator  
DATE: March 24, 2004  
RE: C. of O. for 96 River's Edge Drive, Lot 11  
(CBL 217A011) (ID 2002-0216)

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After visiting the site, I have the following comments:

Site work complete:

**At this time, I recommend issuing a permanent Certificate of Occupancy.**

Please contact me if you have any questions or comments.

Cc: Sarah Hopkins, Development Review Services Manager  
Mike Nugent, Inspection Services Manager

File: O:\plan\drc\riversedgelot11a.doc

# PLUMBING APPLICATION

Department of Human Sciences  
Division of Health Engineering

2003-8010

## PROPERTY ADDRESS

Town or Plantation: Portland  
 Street Subdivision Lot #: Lot 11 River Bypass Edge

## PROPERTY OWNERS NAME

Last: Leady First: Richard  
 Applicant Name: James Sheehan  
 Mailing Address of Owner/Applicant (If Different): James St Saco

PORTLAND Date Permit Issued: 10/16/03 8318 TOWN COPY \$ 814.00  If Double Fee Charged  
 L.P.I. # 3,601  
 Local Plumbing Inspector Signature: [Signature]  
217 A 041

## Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit.

Signature of Owner/Applicant

Date

## Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature

Date Approved

## PERMIT INFORMATION

<b>This Application is for</b> 1. <input checked="" type="checkbox"/> NEW PLUMBING 2. <input type="checkbox"/> RELOCATED PLUMBING	<b>Type of Structure To Be Served:</b> 1. <input checked="" type="checkbox"/> SINGLE FAMILY DWELLING 2. <input type="checkbox"/> MODULAR OR MOBILE HOME 3. <input type="checkbox"/> MULTIPLE FAMILY DWELLING 4. <input type="checkbox"/> OTHER - SPECIFY _____	<b>Plumbing To Be Installed By:</b> 1. <input checked="" type="checkbox"/> MASTER PLUMBER 2. <input type="checkbox"/> OIL BURNERMAN 3. <input type="checkbox"/> MFG'D. HOUSING DEALER/MECHANIC 4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE 5. <input type="checkbox"/> PROPERTY OWNER LICENSE # <u>19545</u>
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Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Number	Column 2 Type of Fixture	Number	Column 1 Type of Fixture
HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.  <b>OR</b>  HOOK-UP: to an existing subsurface wastewater disposal system.  PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.  <b>OR</b>  TRANSFER FEE [\$6.00]	2	Hosebibb / Sillcock	2	Bathtub (and Shower)
		Floor Drain	1	Shower (Separate)
		Urinal	1	Sink
		Drinking Fountain	3	Wash Basin
		Indirect Waste	3	Water Closet (Toilet)
		Water Treatment Softener, Filter, etc.	1	Clothes Washer
		Grease / Oil Separator		Dish Washer
		Dental Cuspidor		Garbage Disposal
		Bidet		Laundry Tub
		Other: _____		Water Heater
		Fixtures (Subtotal) Column 2	11	Fixtures (Subtotal) Column 1
			2	Fixtures (Subtotal) Column 2
			13	Total Fixtures
				Fixture Fee
				Transfer Fee
				Hook-Up & Relocation Fee
				Permit Fee (Total)

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

TOWN COPY

84  
15  
78.20  
214  
711

# ELECTRICAL PERMIT

## City of Portland, Me.



BP

To the Chief Electrical Inspector, Portland Maine:  
 The undersigned hereby applies for a permit to make electrical installations  
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,  
 National Electrical Code and the following specifications:

Date 12-20-02  
 Permit # 0002505  
 CBL# 217 A045

LOCATION: LOT #11 RIVERS EDGE  
 CMP ACCOUNT # \_\_\_\_\_  
 TENANT \_\_\_\_\_

METER MAKE & # 200 Amp Meter/Disc Milbank  
 OWNER Dick Dougherty  
 PHONE # \_\_\_\_\_

						TOTAL EACH FEE		
<b>OUTLETS</b>	Receptacles	50	Switches	30	Smoke Detector	7	.20	17.40
<b>FIXTURES</b>	Incandescent	15	Fluorescent		Strips	4	.20	3.80
<b>SERVICES</b>	Overhead	✓	Underground		TTL AMPS	<800	15.00	15.00
	Overhead		Underground			>800	25.00	
<b>Temporary Service</b>	Overhead		Underground		TTL AMPS		25.00	
							25.00	
<b>METERS</b>	(number of)						1.00	1.00
<b>MOTORS</b>	(number of)						2.00	
<b>RESID/COM</b>	Electric units						1.00	
<b>HEATING</b>	oil/gas units		Interior		Exterior		5.00	
<b>APPLIANCES</b>	Ranges		Cook Tops		Wall Ovens		2.00	2.00
	Insta-Hot		Water heaters	1	Fans		2.00	2.00
	Dryers	1	Disposals	1	Dishwasher		2.00	4.00
	Compactors		Spa		Washing Machine		2.00	
	Others (denote)						2.00	
<b>MISC. (number of)</b>	Air Cond/win						3.00	
	Air Cond/cent				Pools		10.00	
	HVAC		EMS		Thermostat		5.00	
	Signs						10.00	
	Alarms/res						5.00	
	Alarms/com						15.00	
	Heavy Duty(CRKT)						2.00	
	Circus/Carnv						25.00	
	Alterations						5.00	
	Fire Repairs						15.00	
	E Lights						1.00	
	E Generators						20.00	
<b>PANELS</b>	Service		Remote		Main		4.00	
<b>TRANSFORMER</b>	0-25 Kva						5.00	
	25-200 Kva						8.00	
	Over 200 Kva						10.00	
						TOTAL AMOUNT DUE		
						MINIMUM FEE/COMMERCIAL 45.00	MINIMUM FEE 35.00	45.20

CONTRACTORS NAME MAC ELEC MASTER LIC. # MS60016684  
 ADDRESS 24 GORHAM ST. BOWDOIN ME LIMITED LIC. # \_\_\_\_\_  
 TELEPHONE 207-282-8082

SIGNATURE OF CONTRACTOR [Signature]  
 White Copy - Office Yellow Copy - Applicant

Applicant: LNS Properties

Date: 10/9/02

Address: ~~1097 Congress St.~~

C-B-L: 217-A-11

Lot 11 RIVERS EDGE DRIVE

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

# 02-1141

Zone Location - R-3 Contract Zone

Interior or corner lot -

Proposed Use/Work - Construct new single family 20' x 36' w/ attached 24' x 24' and 12' x 12' deck

Sewage Disposal - City

4' x 10' covered front porch

Lot Street Frontage - 50' req. - 147' scaled

Front Yard - 25' req. - 51' scaled

Rear Yard - 25' req. - 59' scaled

Side Yard - 16' req. - 18' & 54' shown

Projections - 2 1/2 stories shown REAR bulkhead - REAR deck w/ side chimney 4' x 10' front porch

Width of Lot - 75' req. - 135' shown

Height - 35' MAX - 26' scaled

Lot Area - 10,000<sup>sq ft</sup> min 18000<sup>sq ft</sup> per Assessor

Lot Coverage/Impervious Surface - 20% MAX = 3600<sup>sq ft</sup> MAX

Area per Family - 10,000<sup>sq ft</sup>

Off-street Parking - 2 spcs Req. - 2 shown stage

Loading Bays - N/A

Site Plan - minor/minor 2002-0216

Shoreland Zoning/Stream Protection - N/A

Flood Plains - Panel 12 zone X

Revised plans received 10/16/02

20 x 36 = 1008<sup>sq ft</sup>  
 24 x 24 = 576<sup>sq ft</sup>  
 12 x 12 = 144<sup>sq ft</sup>  
 4 x 10 = 40<sup>sq ft</sup>  
 1760<sup>sq ft</sup>



# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read  
Application And  
Notes, If Any,  
Attached

BUILDING DEPARTMENT

## PERMIT

Permit Number: 021141

This is to certify that Stroudwater Farm Assoc./LN Properties  
has permission to Build New Single Family 36' x 28' with 24' x 24' attached garage and 12' x 12' deck  
AT River's Edge Drive (lot #11) City of Portland, Oregon 97217 A011001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State of Oregon and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work in progress must be reported to the inspector before this building or part thereof is occupied or closed-in. 48 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

*[Signature]*  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

02-1141

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

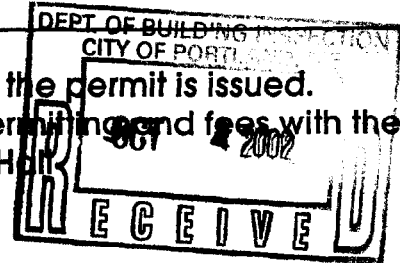
Location/Address of Construction: <b>LOT 11 Rivers Edge Portland, Maine</b>		
Total Square Footage of Proposed Structure <b>2,600</b>	Square Footage of Lot <b>23,235</b>	
Tax Assessor's Chart, Block & Lot Chart# <b>217</b> Block# <b>A</b> Lot# <b>011</b>	Owner: <b>Stroudwater Farm Ass.</b>	Telephone: <b>781-2071</b>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <b>Douglas + Bayard Dooty Partners 70 Portland Fish Pier Portland, Me, 04101</b>	Cost Of Work: \$ <b>100,000.00</b> Fee: \$ <b>Bldg Fee 1,143.</b>
Current use: <b>Vacant</b>	<b>(207) 773-2829 Site area 300,</b>	
If the location is currently vacant, what was prior use: <b>Farm</b>	<b>COFO 75.</b>	
Approximately how long has it been vacant: <b>FOREVER</b>	<b>Total 1,518.00</b>	
Proposed use: <b>SINGLE FAMILY HOME</b>	<b>attached</b>	
Project description: <b>36' x 28' 2 car 24' x 24' 12' x 12'</b>		
Contractor's name, address & telephone: <b>CNS PROPERTIES PO BOX 412 SACO, MAINE 04072 (207) 229-6649</b>		
Who should we contact when the permit is ready: <b>DICK DOOTY - BUTCH -</b>		
Mailing address: <b>10 PORTLAND FISH PIER PORTLAND, ME. 04101 CALL 590 0708</b>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <b>(207) 773-2829</b>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <b>Bayard Dooty</b>	Date:
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permit fees with the Planning Department on the 4th floor of City Hall



2-1141

Zoning

Approved

Marge Schmuckal

10/09/02 left a message with Dick Douty - the site plan and structural do not match. What exactly is being built for a front porch and rear deck?  
10/10/02 spoke to Butch - they aren't going by the site plan - I told him that we need the site plan that they are

10/16/2002

10/08/2002

Marge Schmuckal

10/16/2002

10/04/2002

gg

10/16/2002

mes

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Building Copy**

2002-0216  
Application I. D. Number  
  
10/4/2002  
Application Date

**Masonic Trustees Of Portland**  
Applicant  
**415 Congress St, Portland, ME 04101**  
Applicant's Mailing Address  
**Douty, Dick**  
Consultant/Agent  
**Agent Ph: (207)773-2829      Agent Fax:**  
Applicant or Agent Daytime Telephone, Fax

**Lot # 11 Rivers Edge Drive**  
Project Name/Description  
**Part of New Subdivision**  
~~4107-1007 Congress St, Portland, Maine~~  
Address of Proposed Site  
**217 A011001**  
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building     Building Addition     Change Of Use     Residential     Office     Retail  
 Manufacturing     Warehouse/Distribution     Parking Lot     Other (specify) \_\_\_\_\_  
**2,600 sq. Ft.**      ~~23,235 sq. Ft.~~ **18,000**      ~~23,235 **23,235**  
Proposed Building square Feet or # of Units      Acreage of Site      Zoning~~

**Check Review Required:**

- |   |  |  |  |
|---|--|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                       | <input type="checkbox"/> Shoreland                   | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance             |  | <input type="checkbox"/> Other _____             |

Fees Paid:    Site Pla    **\$50.00**    Subdivision    Engineer Review    **\$250.00**    Date    **10/8/2002**

**Building Approval Status:**

Approved       Approved w/Conditions See Attached       Denied      Reviewer \_\_\_\_\_

Approval Date \_\_\_\_\_      Approval Expiration \_\_\_\_\_      Extension to \_\_\_\_\_       Additional Sheets Attached

Condition Compliance      \_\_\_\_\_ signature      \_\_\_\_\_ date

**Performance Guarantee**       Required\*       Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____ date	_____ amount	_____ expiration date
<input type="checkbox"/> Inspection Fee Paid	_____ date	_____ amount	
<input type="checkbox"/> Building Permit Issue	_____ date		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date	_____ remaining balance	_____ signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date
<input type="checkbox"/> Final Inspection	_____ date	_____ signature	
<input type="checkbox"/> Certificate Of Occupancy	_____ date		
<input type="checkbox"/> Performance Guarantee Released	_____ date	_____ signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date	_____ amount	_____ expiration date
<input type="checkbox"/> Defect Guarantee Released	_____ date	_____ signature	

<b>Header Schedule</b>		
<b>Type of Heating System</b>		
<b>Stairs</b>		
Number of Stairways	3	WHAT IS THE NET TREAD
Interior		
Exterior		
Treads and Risers (Section 314)		
Width		
Headroom		
Guardrails and Handrails (Section 315)	- BALUSTERS MUST BE LESS THAN	4' 9"
Smoke Detectors Location and type/Interconnected		
Plan Reviewer Signature		

See Chimney Summary Checklist

DECK CONSTRUCTION - BAND JOIST  
 5 8" SUNK TUBES SPACING OF COLUMNS,  
 2-2x10 5' SPACING - NO GUARDS

Attic or additional Floor Joist Species Dimensions and Spacing (Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1))	2 x 10's 16.0c	
Roof Rafter; Pitch, Span, Spacing & Dimension (Table 802.3.2(7))	2 x 10's 16.0c.	
Sheathing; Floor, Wall and roof (Table 503.2.1(1))	FLOORS - 3/4 T&G ULTRAFLEX 5/8 SHEATHING	NEED INFO.
Fastener Schedule (Table 602.3(1) & (2))		
<b>Private Garage</b> Section 309 and Section 407 1999 BOCA) Living Space ? (Above or beside)		
Fire separation	NEED ON ALL WALLS - FIRE SEPARATION ON GARAGE WALLS	
Fire rating of doors to living space Door Sill elevation (407.5 BOCA)	WHAT KIND OF DOOR.	
Egress Windows (Section 310)	<u>YES</u>	
Roof Covering (Chapter 9)	? <del>ASPHALT</del> ONLY BLK.	
Safety Glazing (Section 308)	YES.	
Attic Access (BOCA 1211.1)	STAIRS -	
Draft Stopping around chimney	NOT SHOWN	

INTERIOR VAPOR BARRIERS

Soil type/Presumptive Load Value (Table 401.4.1)		
Component	Plan Reviewer	Inspector/Date
<b>STRUCTURAL</b> Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2)	8" x 16"	
Foundation Drainage Dampproofing (Section 406)	P.V.C. w/ SOCK + STONE?	
Ventilation (Section 409.1) Crawls Space ONLY	N/A	
Anchor Bolts/Straps (Section 403.1.4)	BOLTS 6" O.C.	WHAT SIZE
Lally Column Type, Spacing and footing sizes (Table 502.3.4(2))	3/4" STEEL 7'6" 24' x 24" FOOT	HOW FAR FROM CORNERS
Built-Up Wood Center Girder Dimension/Type (Table 502.3.4(2))	3 - 2x10s	
Sill/Band Joist Type & Dimesions	2x6 P.T. STEEL	
First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))	2" x 10" 16.0.C. 14' SPAN	
Second Floor Joist Species Dimensions and Spacing Table(503.3.1(1) & Table 503.3.2(1))	2" x 10" 16.0.C. 14' SPAN	

Delete	Schedule	Add	End	Images	Print Permit	Print C of O	Blnt Inso
Print	Text193	29112	Constr Type	New	Num1		
Permit Nbr	02-1141	Location of Construction	58	River's Edge Drive	Appl. Date		
Status	Hold	Permit Type	Single Family	Issue Date			
CBL	217 A011001	Territory Nbr	3	Estimated Cost	\$160,000.00	Date Closed	

Comment/Date	Comment	Add	Delete	Save
10/21/2002	Plans Need to be more specific . Met w/ owner at the counter and gave him a list.			
10/25/2002	received new plans			Completed
11/01/2002	Left message /need some final details			Completed

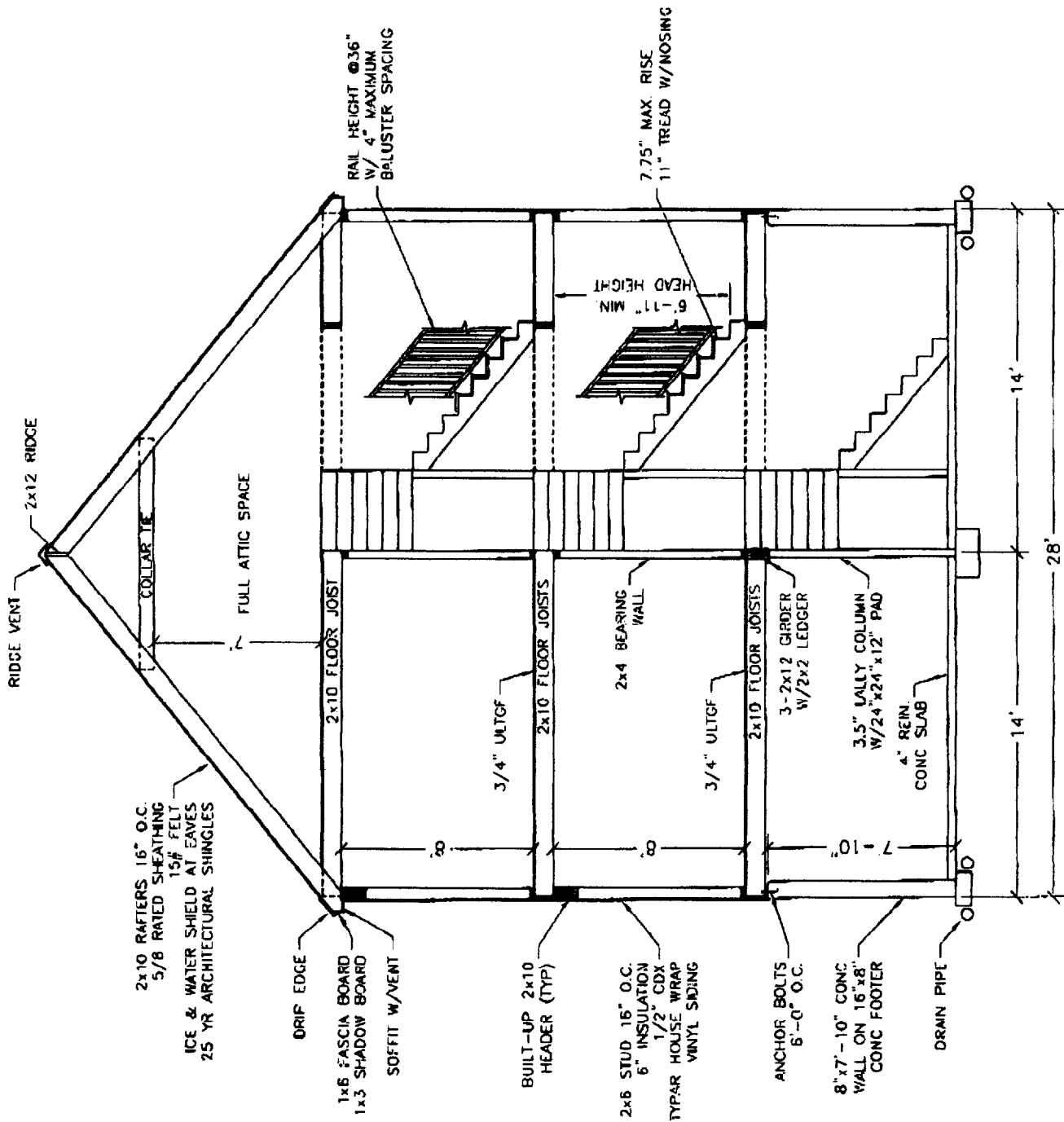
  

CreatedBy	gg	CreateDate	10/04/2002	ModBy	mjn	ModDate	11/01
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HOUSE CROSS SECTION

