

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

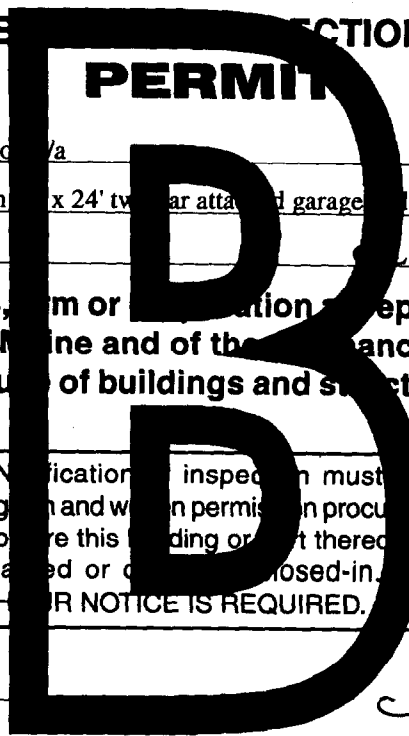
BUILDING DEPARTMENT

PERMIT

Permit Number: 021179

This is to certify that Stroudwater Farm Association, Inc.
has permission to New 28' x 43' two story with 12' x 24' two car attached garage and 14' x 20' deck.
AT 88 Rivers Edge Drive lot #10 Permit No. 217 A010001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.



Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work in permit must be completed before this building or part thereof is occupied or closed-in. 48 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-1179	Issue Date:	CBL: 217-A-40 217 A010001
-----------------------	-------------	---------------------------------

Location of Construction: 88 Rivers Edge Drive lot #10	Owner Name: Stroudwater Farm Association	Owner Address: 18 Carroll Street	Phone: 207-781-2071
Business Name: n/a	Contractor Name: n/a	Contractor Address: Portland	Phone:
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Single Family	Zone: R3

Past Use: Vacant	Proposed Use: New Single Family / 28' x 43' home with 24' x 24' two car attached garage and 14' x 20' deck.	Permit Fee: \$1,078.00	Cost of Work: \$140,000.00	CEO District: 3	CONTRACT
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied NA	INSPECTION: Use Group: R-4 Type: SA BOCA 99		

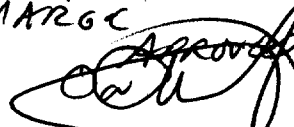
Proposed Project Description:
New 28' x 43' two story with 24' x 24' two car attached garage and 14' x 20' deck.

Signature: _____ Signature: _____

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
 Action: Approved Approved w/Conditions Denied
 Signature: _____ Date: _____

Permit Taken By: gg	Date Applied For: 10/11/2002	Zoning Approval
------------------------	---------------------------------	------------------------

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>MMA</i> SFD Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date: 10/17/02	Date:	Date:

MARGG


CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
------------------------	---------	------	-------

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
---	------	-------

Applicant: STONDWATER ASSOC. Date: 3/5/03
 Address: LOT 10 88 RIVERS EDGE C-B-L: 217-A-40

CHECK-LIST AGAINST ZONING ORDINANCE

Date - 3/5/03

Zone Location - R3 CONTRACT.

Interior or corner lot - INTERIOR

Proposed Use/Work - SINGLE FAMILY HOME

Sevage Disposal - PUBLIC

Lot Street Frontage - 169'

Front Yard - 50'

Rear Yard - 45'

Side Yard - R 75' | 4' | 23'

Projections - N/A

Width of Lot - 174'

Height - 26'

Lot Area - 25,500 SQ FT

Lot Coverage/ Impervious Surface -

Area per Family -

Off-street Parking - NA

Loading Bays -

Site Plan YES

Shoreland Zoning/ Stream Protection - NOT

Flood Plains - NO

REQUIRE
 50'
 25'
 25'
 14'
 75'
 35'
 6,500
 25%

BE CAREFUL DR.
 NO COT ZONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-1179	Date Applied For: 10/11/2002	CBL: 217 A040001
------------------------------	--	----------------------------

Location of Construction: 88 Rivers Edge Dr	Owner Name: Stroudwater Farms Assoc	Owner Address: 18 Carroll St	Phone: 207-781-2071
Business Name: n/a	Contractor Name: n/a	Contractor Address: Portland	Phone:
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Single Family	

Proposed Use: New Single Family / 28' x 43' home with 24' x 24' two car attached garage and 14' x 20' deck.	Proposed Project Description: New 28' x 43' two story with 24' x 24' two car attached garage and 14' x 20' deck.
---	--

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 10/17/2002

Note: Rivers Edge Drive - lot #10

Ok to Issue:

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved **Reviewer:** Tammy Munson **Approval Date:** 03/04/2003

Note: rec'd additional plans 03/04/2003

Ok to Issue:

Comments:

10/29/02-tmm: need more info - faxed copy of review sheets to Karen Walsh outlining items.

11/25/02-gg: received additional site plan and building plans. /gg

11/26/02-mjn: still incomplete

3/4/03-tm: rec'd new plans - need sheet A6 & A7 on 11' x 17' - called Karen Walsh regarding this.

2/4/03-gg: received additional plans, that were missing. /gg

2/6/03-tm: New plans reviewed - missing some info - went over w/applicant. - need 11"x17" plans, need beam info, guardrail height needs to be 36", need temp glass in baths and near entrance doors, need 26" x 26" min footings for lallys, need ridge sizes, need deck framing details.

Application ID Number: 2-1179

Department: Zoning

Status: Approved with Conditions

Reviewer: Marge Schmuckal

Comments: Rivers Edge Drive - lot #10

Approval Date: 10/17/2002

Given On Date: 10/16/2002

OK to Issue Permit Name: Marge Schmuckal Date: 10/17/2002 Date 2:

Conditions Section:
This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
Separate permits shall be required for future decks, sheds, pools, and/or garages.

Create Date: 10/15/2002 By: gad Update Date: 10/17/2002 By: mes

Application ID Number: 20020223

Department: DRC Status: Approved with Conditions Reviewer: Jay Reynolds

Approval Date: 12/06/2002

Comments:

Given On Date: [Redacted]

OK to Issue Permit Name: Jay Reynolds Date: 12/06/2002 Date 2: [Redacted]

Conditions Section:

1. Arrange to sidewalk curb, street, or public utility work be reported to City of Portland standards prior to issuance of Certificate of Occupancy.

2. City of Portland approved species and size trees must be planted on your street frontage prior to issuance of Certificate of Occupancy.

[Redacted]

[Redacted]

[Redacted]

[Redacted]

[Redacted]

The site contractor shall establish finish grades of the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FF) and all elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.



The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.



Create Date:

12/06/2002

By:

layjr

Update Date:

12/06/2002

By:

layjr

Prmt	Text193	0	Constr Type	New	Num1	21179	
Permit Nbr	02-1179	Location of Construction	88	Rivers Edge Dr	Appl. Date	10/11/2002	
Status	Hold	Permit Type	Single Family		Issue Date		
CBL	217 A040001	Territory Nbr	3	Estimated Cost	\$140,000.00	Date Closed	

Comment Date	Comment	Name	Follow Up Date	Completed
10/29/2002	need more info - faxed copy of review sheets to Karen Walsh outlining items.	irm		<input type="checkbox"/>
11/25/2002	received additional site plan and building plans. /gg	gg		<input type="checkbox"/>
11/26/2002	still incomplete	mjn		<input type="checkbox"/>
02/04/2003	received additional plans, that were missing. /gg	gg		<input type="checkbox"/>
02/06/2003	New plans reviewed - missing some info - went over w/applicant - need 11'x17' plans, need beam info, guardrail height needs to be 36", need temp glass in baths and near entrance doors, need 26" x 26" min footings for tallys, need ridge sizes, need deck framing details.	irm		<input type="checkbox"/>

Sheets - A6
A7

GRAPHIC SCALE



(IN FEET)

1 inch = 30 ft.

LOAM & SEED ALL DISTURBED AREAS.

NF
PORTLAND LODGE NO. 188
BENEVOLENT AND PROTECTIVE
ORDER OF ELKS OF THE UNITED
STATES OF AMERICA
6157/31

EAVE LINE
EDGE OF FOUNDATION

BUFFER ZONE TO BE LEFT IN IT'S
NATURAL CONDITION EXCEPT THAT
CLEARING OF THE UNDERSTORY FOR A
5' WIDE WALKING TRAIL IS PERMITTED.

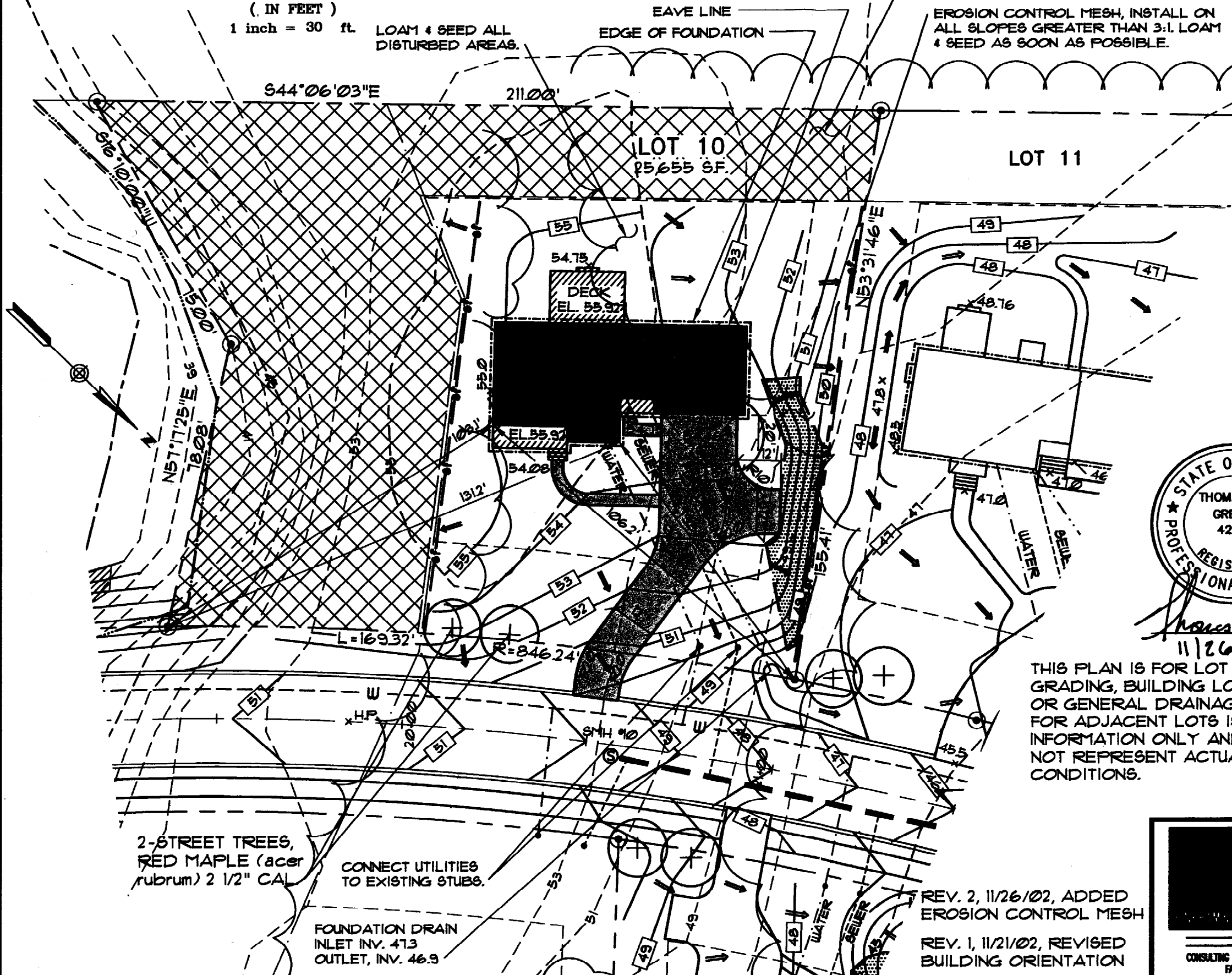
EROSION CONTROL MESH, INSTALL ON
ALL SLOPES GREATER THAN 3:1. LOAM
& SEED AS SOON AS POSSIBLE.

OWNER: STROUDWATER FARMS ASSOCIATES
18 CARROLL STREET
FALMOUTH, MAINE 04105

BUILDER: KENNEDY & WALSH
CONSTRUCTION
18 CARROLL STREET
FALMOUTH, MAINE 04105

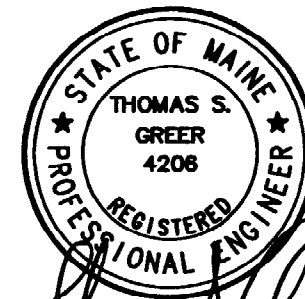
ENGINEER: PINKHAM & GREER
CONSULTING ENGINEERS
FALMOUTH, MAINE

TOPOGRAPHY & BOUNDARY:
OWEN HASKELL ASSOC.
PORTLAND, MAINE



LEGEND

- LOT LINES
- - - - - ADJACENT PROPERTY
- - - - - BUILDING SETBACK
- - - - - EXISTING CONTOUR
- - - - - PROPOSED CONTOUR
- x 100.5 SPOT GRADE
- WETLAND BOUNDARY
- SHORELAND ZONE LINE
- - - - - EASEMENT
- - - - - BUFFER LINE
- - - - - FLOOD HAZARD LINE
- STREAM
- EDGE OF PAVEMENT
- VERTICAL GRANITE CURB
- SLOPED BITUMINOUS CURB
- 18" SANITARY SEWER
- 8" SANITARY SEWER & MANHOLE
- STORM DRAIN & MANHOLE
- CATCH BASIN
- 8" WATER LINE
- HYDRANT
- UNDERDRAIN
- FOUNDATION DRAIN
- SEWER HOUSE SERVICE
- WATER HOUSE SERVICE
- BOUND FOUND
- IRON PIPE FOUND
- GRANITE MONUMENT TO BE SET
- 5/8" IRON PIPE TO BE SET
- TREELINE
- PATH OF SURFACE DRAINAGE
- SILT FENCE
- NATURAL CONDITION BUFFER ZONE



11/26/02

THIS PLAN IS FOR LOT 10 ONLY.
GRADING, BUILDING LOCATION
OR GENERAL DRAINAGE SHOWN
FOR ADJACENT LOTS IS FOR
INFORMATION ONLY AND MAY
NOT REPRESENT ACTUAL FIELD
CONDITIONS.

SITE PLAN LOT 10

2-STREET TREES,
RED MAPLE (acer
rubrum) 2 1/2" CAL

CONNECT UTILITIES
TO EXISTING STUBS.

FOUNDATION DRAIN
INLET INV. 47.3
OUTLET, INV. 46.9

REV. 2, 11/26/02, ADDED
EROSION CONTROL MESH

REV. 1, 11/21/02, REVISED
BUILDING ORIENTATION

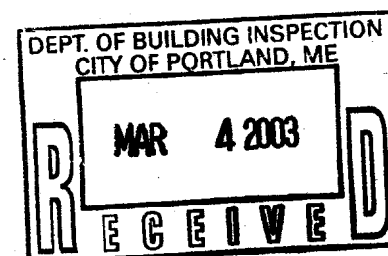
RIVER'S EDGE
RIVER'S EDGE DRIVE

SCALE: 1"=30'
DATE: OCT. 2002
DESG BY: TSG
PROJECT: 02110

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
RECEIVED
FEB 4 2003
01



FRONT ELEVATION



Kennedy & Walsh Construction Falmouth, Maine	
MORIN DRAFTING GORHAM, ME. 893-2462	
River's Edge, Portland, Lot #10	
ELEVATIONS	
DRAWN: J. MORIN	A1
SCALE: 1/4"=1'-0"	
DATE: 09-15-02	



REAR ELEVATION

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

R MAR 4 2003 **D**

RECEIVED

Kennedy & Walsh Construction Falmouth, Maine	
MORIN DRAFTING GORHAM, ME. 893-2462	
River's Edge, Portland, Lot #10	
ELEVATIONS	
DRAWN: J. MORIN	A2
SCALE: 1/4"=1'-0"	
DATE: 09-15-02	



LEFT SIDE ELEVATION

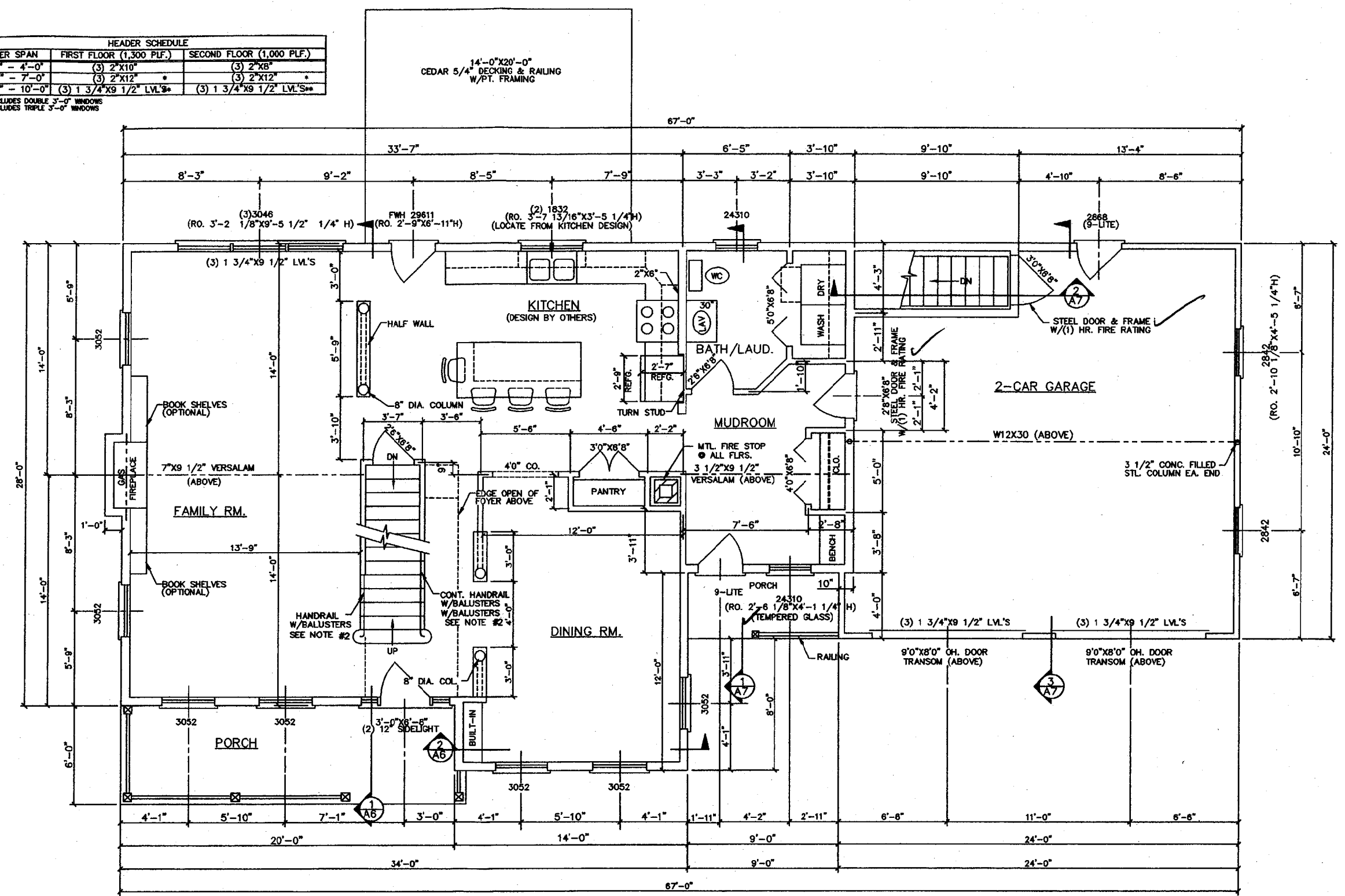
RIGHT SIDE ELEVATION

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
MAR 4 2003
RECEIVED

Kennedy & Walsh Construction Falmouth, Maine	
MORIN DRAFTING GORHAM, ME. 893-2462	
River's Edge, Portland, Lot #10	
ELEVATIONS	
DRAWN: J. MORIN	A3
SCALE: 1/4"=1'-0"	
DATE: 09-15-02	

HEADER SCHEDULE		
HEADER SPAN	FIRST FLOOR (1,300 PLF.)	SECOND FLOOR (1,000 PLF.)
0'-0" - 4'-0"	(3) 2"x10"	(3) 2"x8"
4'-1" - 7'-0"	(5) 2"x12"	(3) 2"x12"
7'-1" - 10'-0"	(3) 1 3/4"x9 1/2" LVL'S*	(3) 1 3/4"x9 1/2" LVL'S**

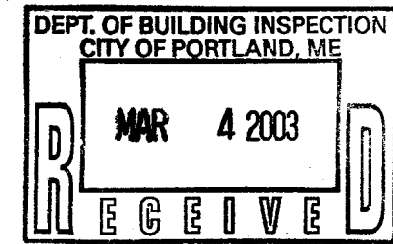
* - INCLUDES DOUBLE 3'-0" WINDOWS
 ** - INCLUDES TRIPLE 3'-0" WINDOWS



FIRST FLOOR

- GENERAL NOTES: (PER BOCA 1999 BUILDING CODE)
1. ALL FASTENED CONNECTIONS SHALL COMPLY WITH THE BOCA 1999 FASTENER SCHEDULE. REVIEW BEFORE CONSTRUCTION BEGINS.
 2. ALL STAIRS SHALL COMPLY WITH BOCS 1999 STAIR CODE. HANDRAILS SHALL NOT BE MORE THAN 36" ABOVE SURFACE OF TREAD. OPENINGS BETWEEN BALLUSTERS SHALL BE LESS THAN 4".
 3. ALL ENTRANCE DOORS FROM GARAGE TO HOUSE SHALL BE (1) FIRE-RATED DOORS.
 4. ALL CHIMNEY CONSTRUCTION SHALL HAVE A 2" MIN. SPACE TO ALL COMBUSTIBLE MATERIALS AND INCLUDE FIRE STOPS AT EACH FLOOR OR CEILING PER BOCA REQUIREMENTS.
 5. THIS RESIDENCE SHALL BE HEATED WITH AN OIL FIRED, FORCED HOT WATER SYSTEM.
 6. ONE SMOKE DETECTORS SHALL BE INSTALLED IN ALL COMMON AREAS & ONE IN EACH BEDROOM, INTER CONNECTED AND HARD WIRED WITH A BATTERY BACK-UP.

ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL MAINE CODES. NONE OF THE EMPLOYEES OF MORIN DRAFTING AND DESIGN ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL LOAD BEARING REQUIREMENTS AND CODES SHALL BE VERIFIED BY REGISTERED PROFESSIONAL, IF NOT IT SHALL BE RESPONSIBILITY OF CONTRACTOR. ALL DIMENSIONS, SPECIFICATIONS, CONSTRUCTION TECHNIQUES AND OMISSIONS SHALL BE REVIEWED BY CLIENT/CONTR. IF THESE ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE CONSTRUCTION BEGINS MORIN DRAFTING AND DESIGN SHALL BE HELD HARMLESS. MORIN DRAFTING AND DESIGN ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS TO PLANS BY CLIENT AND/OR CONTRACTOR.



Kennedy & Walsh Construction
 Falmouth, Maine

MORIN DRAFTING GORHAM, ME. 893-2462

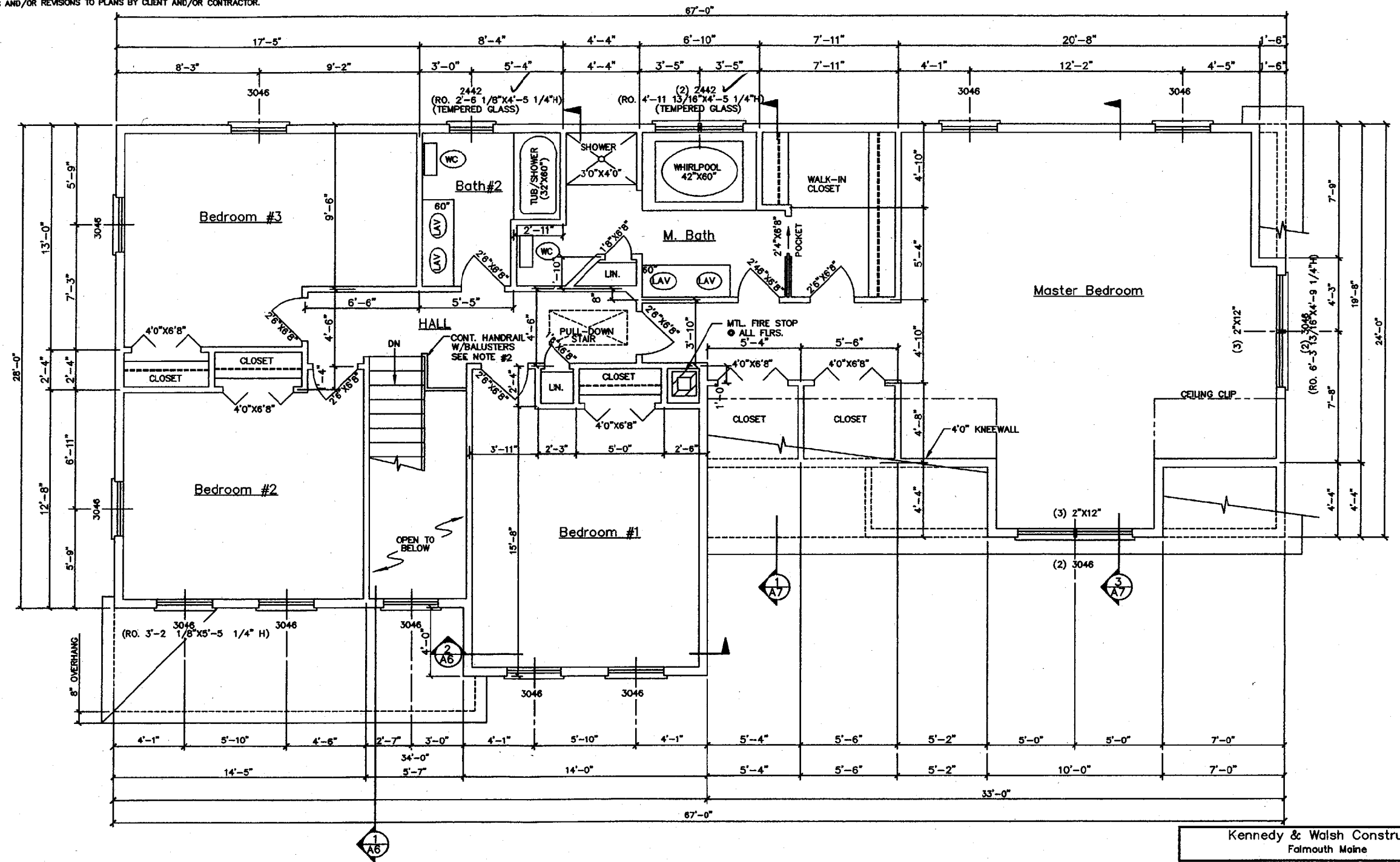
River's Edge, Portland Lot #10

FLOOR PLAN-1ST FLR.

DRAWN: J. MORIN
 SCALE: 1/4"=1'-0"
 DATE: 09-15-02

A4

ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL MAINE CODES. NONE OF THE EMPLOYEES OF MORIN DRAFTING AND DESIGN ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL LOAD BEARING REQUIREMENTS AND CODES SHALL BE VERIFIED BY REGISTERED PROFESSIONAL, IF NOT IT SHALL BE RESPONSIBILITY OF CONTRACTOR. ALL DIMENSIONS, SPECIFICATIONS, CONSTRUCTION TECHNIQUES AND OMISSIONS SHALL BE REVIEWED BY CLIENT/CONTR. IF THESE ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE CONSTRUCTION BEGINS MORIN DRAFTING AND DESIGN SHALL BE HELD HARMLESS. MORIN DRAFTING AND DESIGN ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS TO PLANS BY CLIENT AND/OR CONTRACTOR.



GENERAL NOTES: (PER BOCA 1999 BUILDING CODE)

1. ALL FASTENED CONNECTIONS SHALL COMPLY WITH THE BOCA 1999 FASTENER SCHEDULE. REVIEW BEFORE CONSTRUCTION BEGINS.
2. ALL STAIRS, HANDRAILS & GUARDRAILS SHALL COMPLY WITH BOCS 1999 STAIR CODE. HANDRAILS SHALL NOT BE MORE THAN 36" ABOVE SURFACE OF TREAD. OPENINGS BETWEEN BALLUSTERS SHALL BE LESS THAN 4". GUARDRAILS SHALL BE A MIN. 36" ABOVE SURFACE W/OPENINGS BETWEEN BALLUSTERS LESS THAN 4".
3. ALL ENTRANCE DOORS FROM GARAGE TO HOUSE SHALL BE (1) FIRE-RATED DOORS.
4. ALL CHIMNEY CONSTRUCTION SHALL HAVE A 2" MIN. SPACE TO ALL COMBUSTIBLE MATERIALS AND INCLUDE FIRE STOPS AT EACH FLOOR OR CEILING PER BOCA REQUIREMENTS.
5. THIS RESIDENCE SHALL BE HEATED WITH AN OIL FIRED, FORCED HOT WATER SYSTEM.
6. ONE SMOKE DETECTORS SHALL BE INSTALLED IN ALL COMMON AREAS & ONE IN EACH BEDROOM, INTER CONNECTED AND HARD WIRED WITH A BATTERY BACK-UP.

SECOND FLOOR

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

RECEIVED
MAR 4 2003

HEADER SCHEDULE		
HEADER SPAN	FIRST FLOOR (1,300 PLF.)	SECOND FLOOR (1,000 PLF.)
0'-0" - 4'-0"	(3) 2"x10"	(3) 2"x8"
4'-1" - 7'-0"	(3) 2"x12"	(3) 2"x12"
7'-1" - 10'-0"	(3) 1 3/4"x9 1/2" LVL'S*	(3) 1 3/4"x9 1/2" LVL'S**

* - INCLUDES DOUBLE 3'-0" WINDOWS
** - INCLUDES TRIPLE 3'-0" WINDOWS

Kennedy & Walsh Construction
Falmouth Maine

MORIN DRAFTING GORHAM, ME. 893-2462

River's Edge, Portland Lot #10

FLOOR PLAN-2ND FLR.

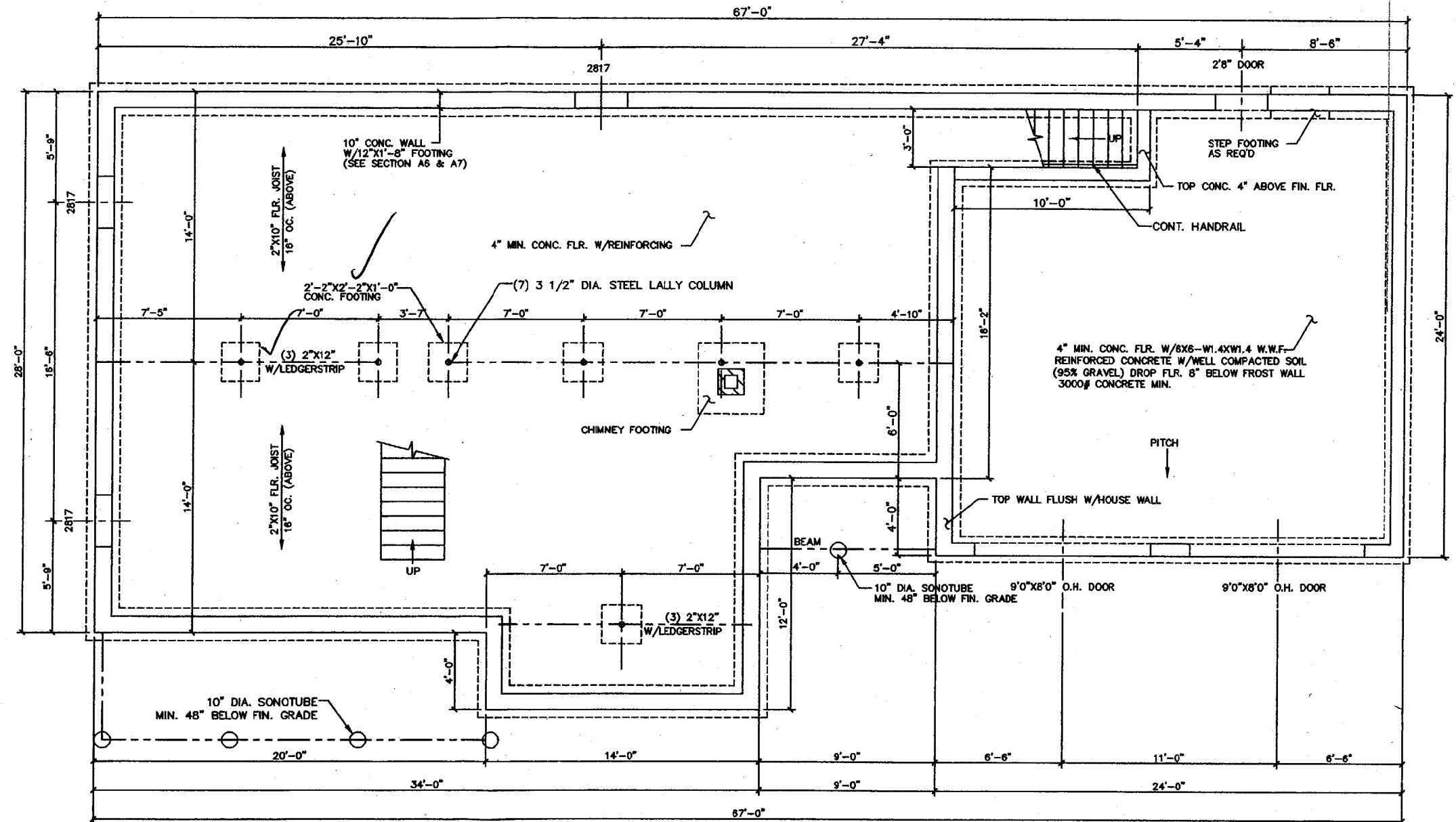
DRAWN: J. MORIN

SCALE: 1/4"=1'-0"

DATE: 09-15-02

A5

ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL MAINE CODES. NONE OF THE EMPLOYEES OF MORIN DRAFTING ARE REGISTERED ARCHITECTS, STRUCTURAL ENGINEERS OR LAND SURVEYORS. ALL LOAD BEARING REQUIREMENTS AND CODES SHALL BE APPROVED BY APPROPRIATE REGISTERED PROFESSIONALS, IF NOT, SHALL BE RESPONSIBILITY OF CONTRACTOR. ALL DIMENSIONS, SPECIFICATIONS, CONSTRUCTION TECHNIQUES AND OMISSIONS SHALL BE REVIEWED BY CLIENT/CONTR. IF THESE ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE CONSTRUCTION BEGINS MORIN DRAFTING AND DESIGN SHALL BE HELD HARMLESS. MORIN DRAFTING AND DESIGN ASSUMES NO LIABILITY FOR CONSTRUCTION DEFECTS OR CHANGES AND/OR REVISIONS TO PLANS BY CLIENT AND/OR CONTRACTOR.

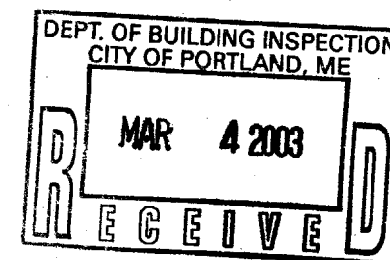


FOUNDATION PLAN

NOTES:

1. ALL FINISH WALL & FOOTING HEIGHTS SHALL BE DETERMINED IN THE FIELD WITH CONTRACTOR.
2. BASEMENT WINDOW LOCATIONS & AND ROUGH OPNGS. SHALL BE CHECKED & VERIFIED IN FIELD WITH CONTRACTOR, OTHERWISE IF NOT SHOWN SHALL BE DETERMINED IN FIELD BY CONTRACTOR.
3. ALL ANCHOR BOLTS SHALL BE 1/2" X 1'-0" HOOKED OR EQUIVALENT. 4'-0" MAX. OC. & 1'-0" MIN. FROM ALL CORNERS.
4. ALL LALLY COLUMNS, FOOTINGS, WALLS & BEAMS SHALL BE CHECKED & ENGINEERED BY CONTRACTOR BEFORE FORMS HAVE BEEN SET.
5. ALL DAYLIGHT BASEMENT CONSIDERATIONS TO BE DETERMINED IN FIELD BY CONTRACTOR IF APPLICABLE.
6. ALL CONSIDERATIONS FOR UTILITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR.

7. CONTRACTOR SHALL CHECK ALL DIMENSIONS WITH FLOOR PLAN OR ANY ADDITIONAL EQUIP. (IE. BULKHEAD ETC.) OR PRODUCT DIMENSIONS OR SPECS. ALSO MUST CHECK ALL STRUCTURAL FRAMING FOR LOAD BEARING @ FOUNDATION BEFORE FORMS ARE SET.
8. CONTRACTOR SHALL ADJUST WALL AND FOOTINGS SIZES TO SOIL BEARING CAPACITIES AS REQ'D.
9. (DO NOT) BACKFILL MORE THAN 3'-0" BEFORE 1ST FLR. FRAMING-JOIST & SUBFLOOR IS COMPLETE.
10. DRAIN TILE SHALL BE PLACED ON INTERIOR AND EXTERIOR OF FOUNDATION FOOTINGS. ALL DRAIN TILE PIPE SHALL BE WRAPPED IN FILTER FABRIC & SURROUNDED WITH A MIN. OF 6" DEEP ON ALL SIDES OF 3/4"-1" CRUSHED STONE.



Kennedy & Walsh Construction Falmouth, Maine	
MORIN DRAFTING GORHAM, ME. 893-2462	
River's Edge, Portland, Lot #10	
FOUNDATION PLAN	
DRAWN: J. MORIN	S1
SCALE: 1/4"=1'-0"	
DATE: 09-15-02	