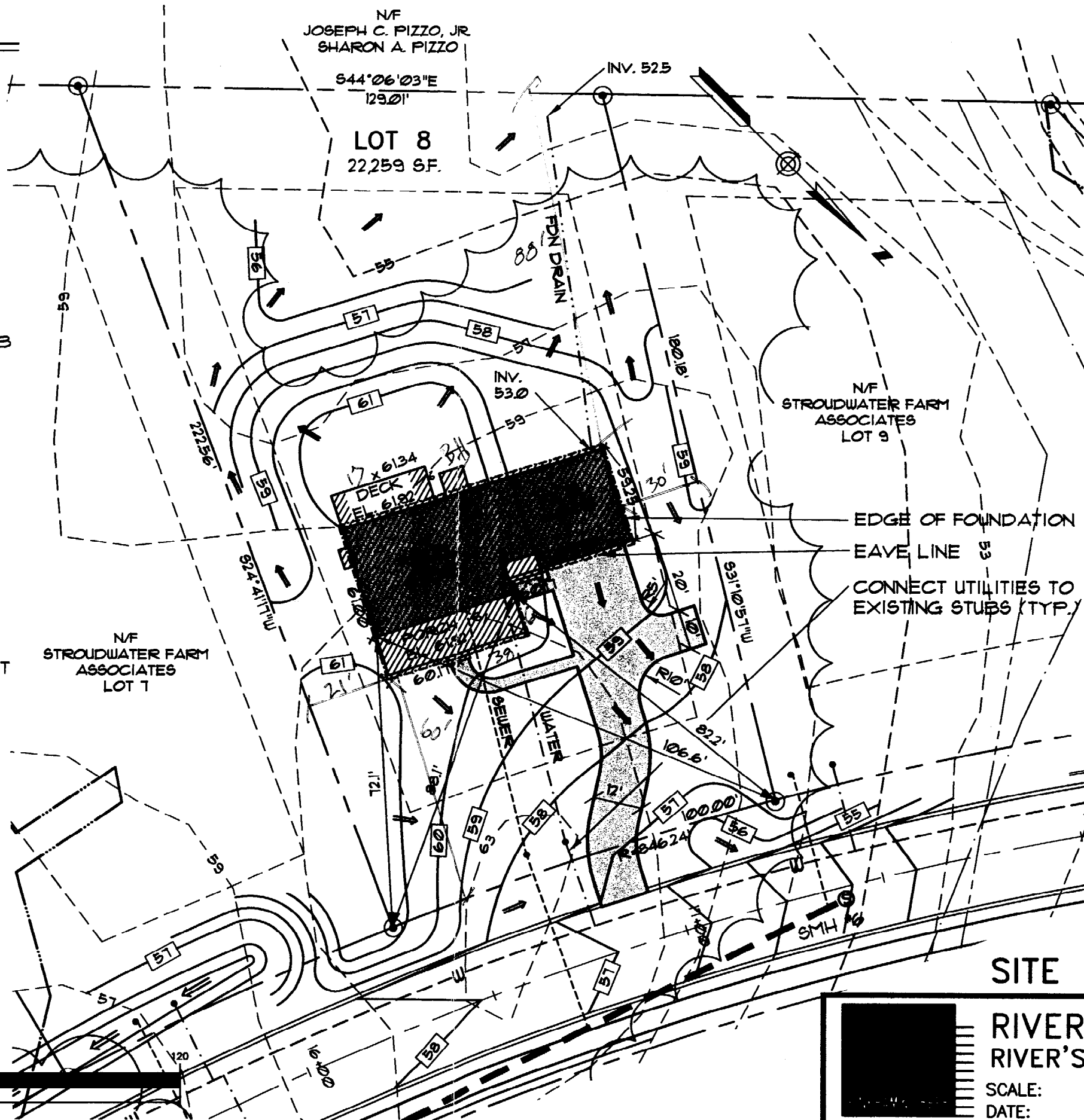


LEGEND

- LOT LINES
- - - ABUTTERS PROPERTY
- - - BUILDING SETBACK
- - - EXISTING CONTOUR
- - - PROPOSED CONTOUR
- - - SPOT GRADE
- - - WETLAND BOUNDARY
- - - SHORELAND ZONE LINE
- - - EASEMENT
- - - BUFFER LINE
- - - FLOOD HAZARD LINE
- - - STREAM
- - - EDGE OF PAVEMENT
- - - VERTICAL GRANITE CURB
- - - SLOPED BITUMINOUS CURB
- - - ROAD CENTERLINE
- - - 18" SANITARY SEWER
- - - 8" SANITARY SEWER & MANHOLE
- - - STORMDRAIN & MANHOLE
- - - CATCH BASIN
- - - 8" WATER LINE
- - - HYDRANT
- - - UNDERDRAIN
- - - FOUNDATION DRAIN
- - - SEWER HOUSE SERVICE
- - - WATER HOUSE SERVICE
- - - BOUND FOUND
- - - IRON PIPE FOUND
- - - GRANITE MONUMENT TO BE SET
- - - 5/8" IRON PIPE TO BE SET
- - - TREELINE
- - - PATH OF SURFACE DRAINAGE



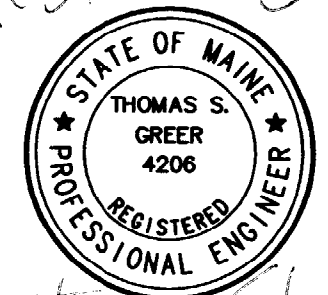
OWNER: DOUGLAS & BAYARD DOUTY PARTNERS
 10 PORTLAND FISH PIER
 PORTLAND, MAINE 04101

BUILDER: C4S PROPERTIES
 P.O. BOX 262
 SACO, MAINE 04072

ENGINEER: PINKHAM & GREER
 CONSULTING ENGINEERS
 FALMOUTH, MAINE

TOPOGRAPHY & BOUNDARY:
 OWEN HASKELL ASSOC.
 PORTLAND, MAINE

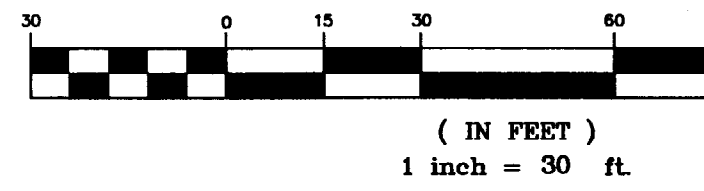
This lot is not in Historic District



Not on Shoreland

SITE PLAN LOT 8

GRAPHIC SCALE



RIVER'S EDGE RIVER'S EDGE DRIVE

SCALE: 1"=30'
 DATE: FEB. 21, 2002
 DESG BY: TSG
 PROJECT: 02110

CONSULTING ENGINEERS, INC.
 FALMOUTH, MAINE

BUFFER ZONE TO BE LEFT IN ITS NATURAL CONDITION EXCEPT THAT CLEARING OF THE UNDERSTORY FOR A 5' WIDE WALKING TRAIL IS PERMITTED.

N/F JOSEPH C. PIZZO, JR.
SHARON A. PIZZO

LOT 8
22,259 S.F.

LOCATE THE FOUNDATION DRAIN OUTLET IN THE PERMITTED CLEARING AREA, INV. 52.5.

OWNER: DOUGLA
DOUTY PARTNER
10 PORTLAND FLD
PORTLAND, MAINE

BUILDER: C&S PR
P.O. BOX 262
SACO, MAINE 04072

ENGINEER: PINKHAM & G
CONSULTING ENGINEERS
FALMOUTH, MAINE

TOPOGRAPHY & BOUNDA
OWEN HASKELL ASSOC.
PORTLAND, MAINE

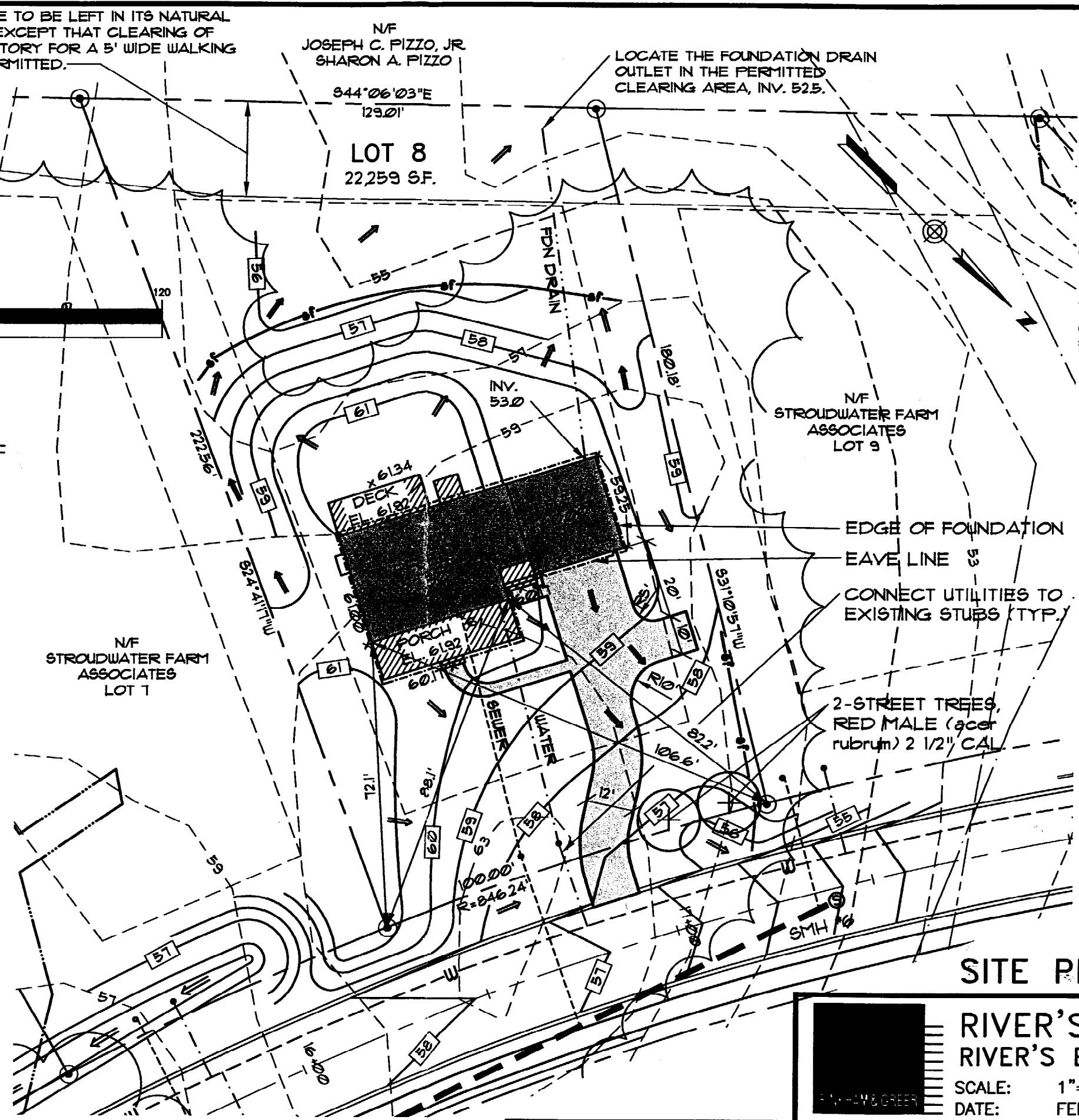
GRAPHIC SCALE



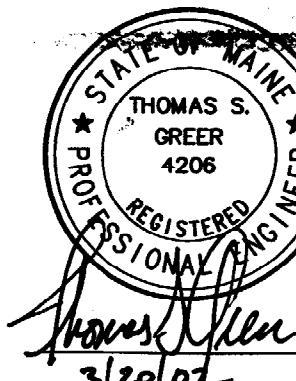
(IN FEET)
1 inch = 30 ft.

LEGEND

- LOT LINES
- - - ABUTTERS PROPERTY
- - - BUILDING SETBACK
- - - EXISTING CONTOUR
- - - PROPOSED CONTOUR
- - - SPOT GRADE
- - - WETLAND BOUNDARY
- - - SHORELAND ZONE LINE
- - - EASEMENT
- - - BUFFER LINE
- - - FLOOD HAZARD LINE
- - - STREAM
- - - EDGE OF PAVEMENT
- - - VERTICAL GRANITE CURB
- - - SLOPED BITUMINOUS CURB
- - - ROAD CENTERLINE
- - - 18" SANITARY SEWER
- - - 8" SANITARY SEWER & MANHOLE
- - - SD - - - STORMDRAIN & MANHOLE
- - - CATCH BASIN
- - - W - - - 8" WATER LINE
- - - HYDRANT
- - - UD - - - UNDERDRAIN
- - - FOUNDATION DRAIN
- - - SEWER HOUSE SERVICE
- - - WATER HOUSE SERVICE
- - - BOUND FOUND
- - - IRON PIPE FOUND
- - - GRANITE MONUMENT TO BE SET
- - - 5/8" IRON PIPE TO BE SET
- - - TREETLINE
- - - PATH OF SURFACE DRAINAGE
- - - SILT FENCE



CITY OF PORTLAND
APPROVED SITE PLAN
SUBJECT TO DEPARTMENTAL
CONDITIONS
DATE OF APPROVAL 3-20-02



SITE PLAN LOT 8

RIVER'S EDGE
RIVER'S EDGE DRIVE

SCALE: 1"=30'
DATE: FEB. 21, 2002
DESIGNED BY: TSG
PROJECT: 02110

1 3/21/02 REV'D PER CITY REVIEW

CONSULTING ENGINEERS, INC.
FALMOUTH, MAINE

FILE SCALE: 1"=30'
CAD FILE: 01124

BUFFER ZONE TO BE LEFT IN ITS NATURAL CONDITION EXCEPT THAT CLEARING OF THE UNDERSTORY FOR A 5' WIDE WALKING TRAIL IS PERMITTED.



LEGEND

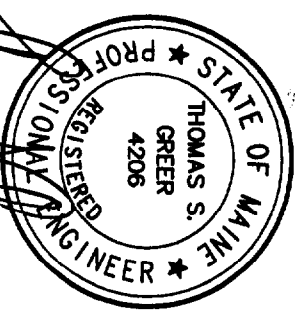
- LOT LINES
- ABUTTERS PROPERTY
- BUILDING SETBACK
- EXISTING CONTOUR
- PROPOSED CONTOUR
- x 2915 SPOT GRADE
- WETLAND BOUNDARY
- SHORELAND AND ZONE LINE
- EASEMENT
- BUFFER LINE
- FLOOD HAZARD LINE
- STREAM
- EDGE OF PAVEMENT
- VERTICAL GRANITE CURB
- SLOPED BITUMINOUS CURB
- ROAD CENTERLINE
- 18" SANITARY SEWER
- 8" SANITARY SEWER
- 8" MANHOLE
- SD --- STORMDRAIN & MANHOLE
- CATCH BASIN
- 8" WATER LINE
- HYDRANT
- UNDERDRAIN
- FOUNDATION DRAIN
- SEWER HOUSE SERVICE
- WATER HOUSE SERVICE
- BOUND FOUND
- IRON PIPE FOUND
- GRANITE MONUMENT TO BE SET
- 5/8" IRON PIPE TO BE SET
- TREELINE
- PATH OF SURFACE DRAINAGE
- SILT FENCE

N/E JOSEPH C. PIZZO, JR
SHARON A. PIZZO
644'06"03"E
129'01"
LOT 8
22,259 S.F.

LOCATE THE FOUNDATION DRAIN OUTLET IN THE PERMITTED CLEARING AREA, INV. 525.

OWNER: DOUGLAS & BAYARD
DOLTY PARTNERS
10 PORTLAND FISH PIER
PORTLAND, MAINE 04101
BUILDER: C&S PROPERTIES
P.O. BOX 262
SACO, MAINE 04072
ENGINEER: PINKHAM & GREER
CONSULTING ENGINEERS
FALMOUTH, MAINE
TOPOGRAPHY & BOUNDARY:
OWEN HASKELL ASSOC.
PORTLAND, MAINE

CITY OF PORTLAND
APPROVED SITE PLAN
SUBJECT TO DEPARTMENTAL CONDITIONS
DATE OF APPROVAL: 3/20/02

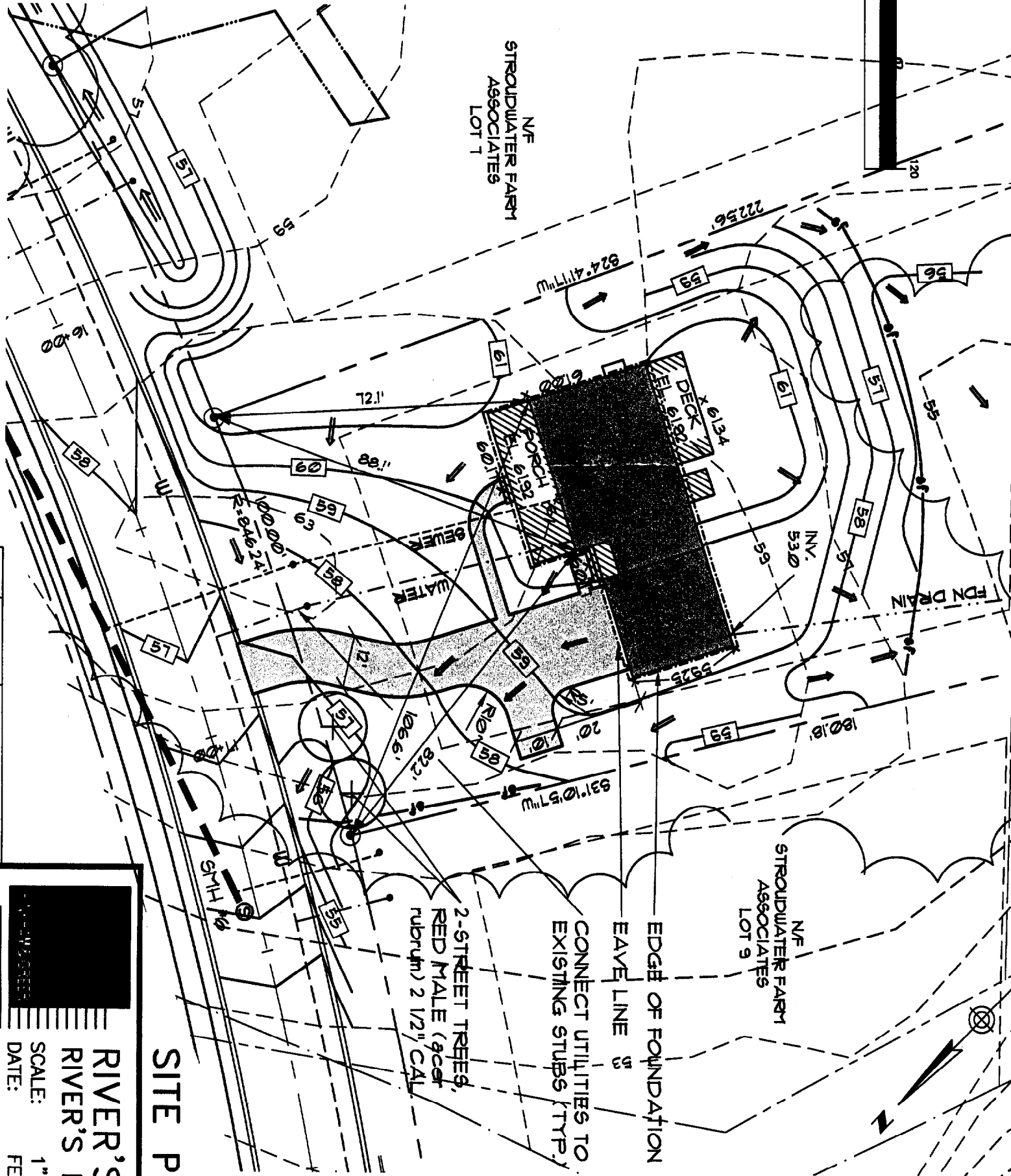


SITE PLAN LOT 8

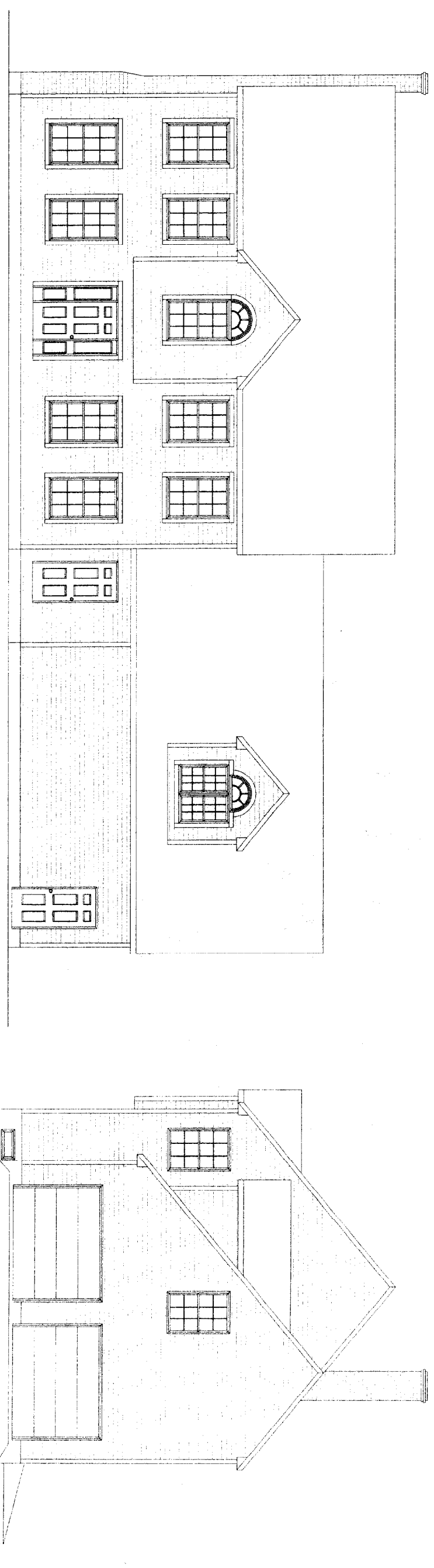
RIVER'S EDGE
RIVER'S EDGE DRIVE

SCALE: 1"=30'
DATE: FEB. 21, 2002
DESIGNED BY: TSG
PROJECT: 02110

1	3/21/02	REV'D PER CITY REVIEW
---	---------	-----------------------

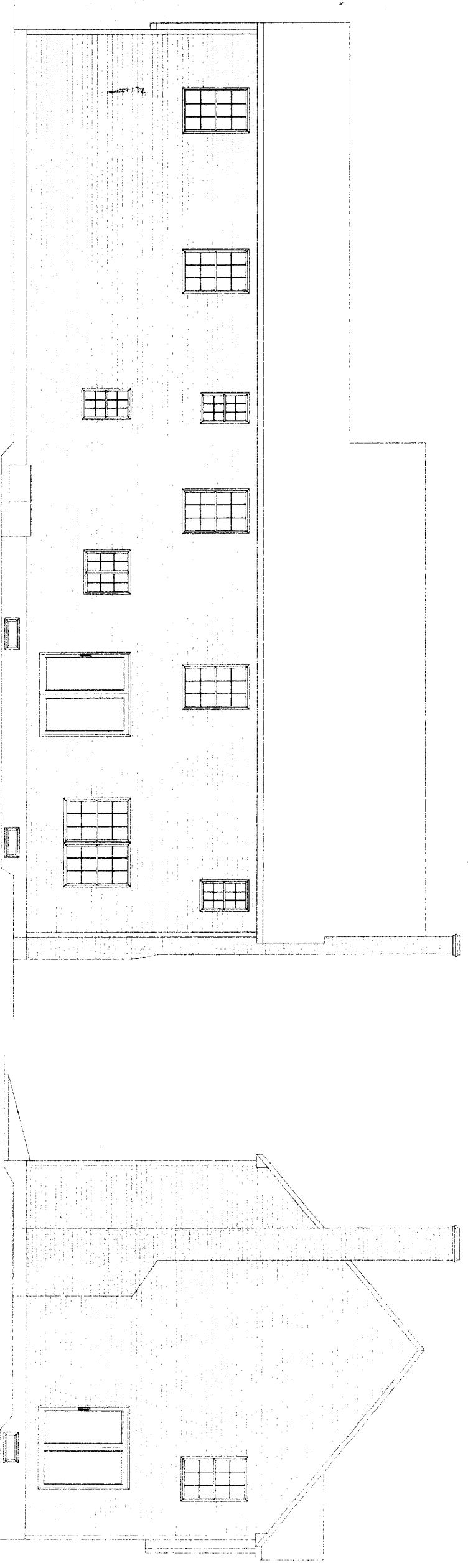


THIS INFORMATION IS PROVIDED TO OUR CUSTOMERS AS A SERVICE OF HANCOCK LUMBER. CUSTOMERS SHOULD APPRECIATE, HOWEVER, THAT THIS INFORMATION IS NOT THE WORK PRODUCT OF ANY ARCHITECT. NEITHER HANCOCK LUMBER NOR ANY OF ITS EMPLOYEES ARE REGISTERED ARCHITECTS WITHIN THE STATE OF MAINE, AND CUSTOMERS SHOULD CONSULT WITH AN ARCHITECT BEFORE TAKING FINAL ACTION WITH REGARD TO ANY BUILDING OR STRUCTURE. CUSTOMERS SHOULD ALSO APPRECIATE THAT, BY PROVIDING CUSTOMERS WITH THIS INFORMATION, HANCOCK LUMBER DOES NOT GUARANTEE THE SOUNDNESS OR SUITABILITY OF THE INFORMATION FOR ANY PURPOSE OF THE CUSTOMER.



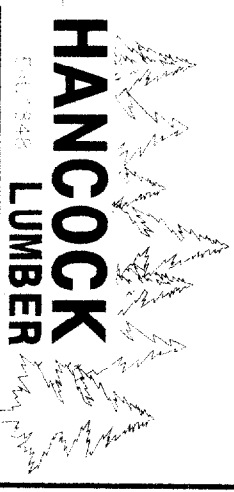
FRONT ELEVATION

RIGHT ELEVATION



REAR ELEVATION

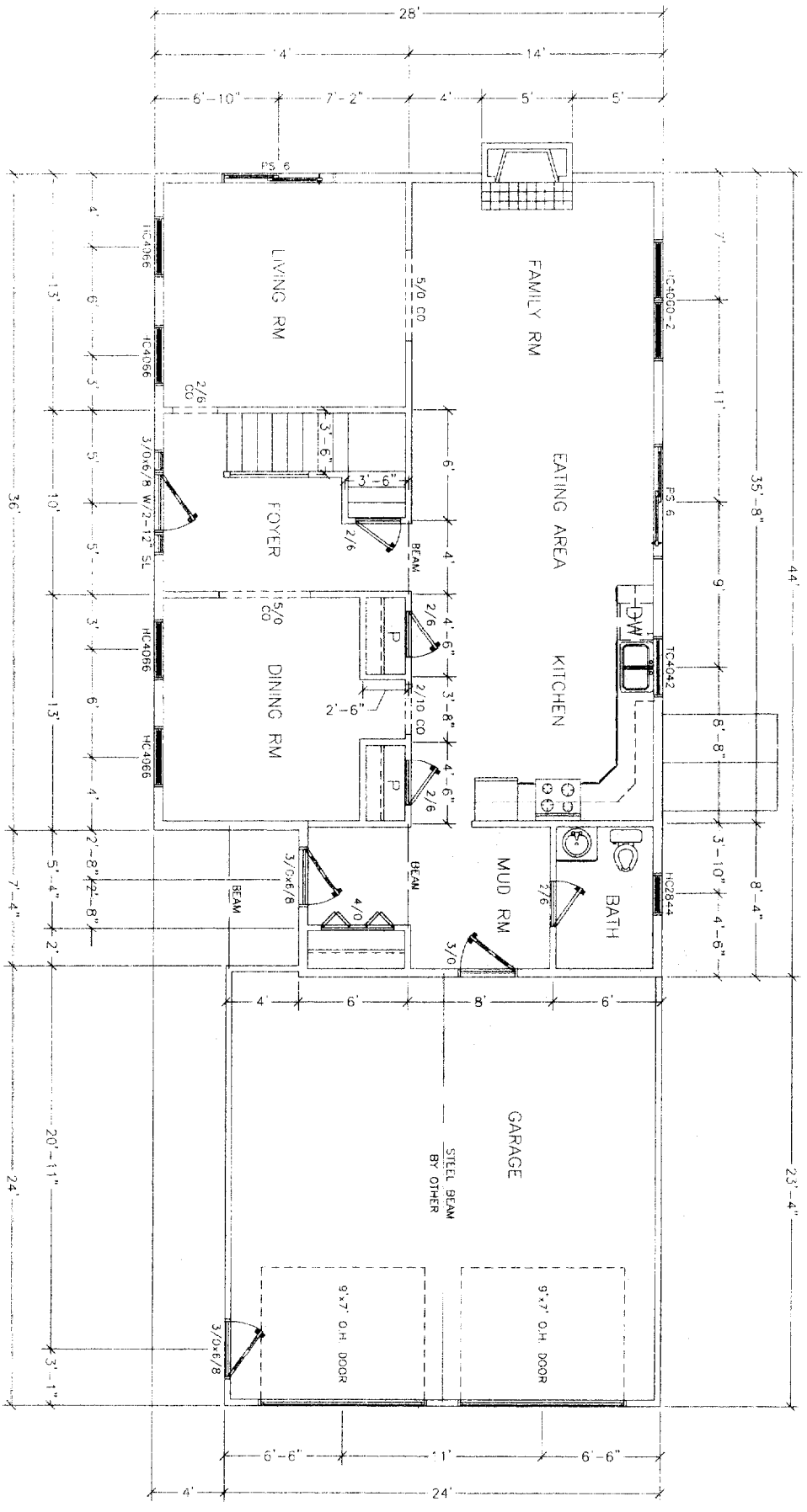
LEFT ELEVATION



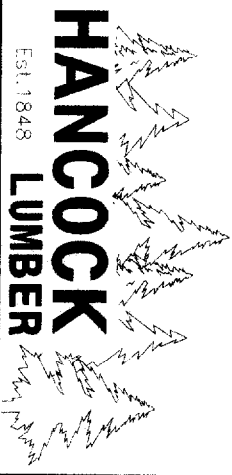
HANCOCK LUMBER

PROJECT NO.	DATE	DESIGNED BY	DRAWN BY
001-202N	01-202N		
SHEET NUMBER		DRAWING NUMBER	
1		001-202N	

THIS INFORMATION IS PROVIDED TO OUR CUSTOMERS AS A SERVICE OF HANCOCK LUMBER. CUSTOMERS SHOULD APPRECIATE, HOWEVER, THAT THIS INFORMATION IS NOT THE WORK PRODUCT OF ANY ARCHITECT. NEITHER HANCOCK LUMBER NOR ANY OF ITS EMPLOYEES ARE REGISTERED ARCHITECTS WITHIN THE STATE OF MAINE. AND WE DO NOT INTEND TO CONSULT WITH AN ARCHITECT BEFORE THE FINAL ACTION OF THE ARCHITECT IN BUILDING OR STRUCTURE. CUSTOMERS SHOULD ALSO APPRECIATE THAT, BY PROVIDING CUSTOMERS WITH THIS INFORMATION, HANCOCK LUMBER DOES NOT GUARANTEE THE SOUNDNESS OR SUITABILITY OF THE INFORMATION FOR ANY PURPOSE OF THE CUSTOMER.



FIRST FLOOR PLAN

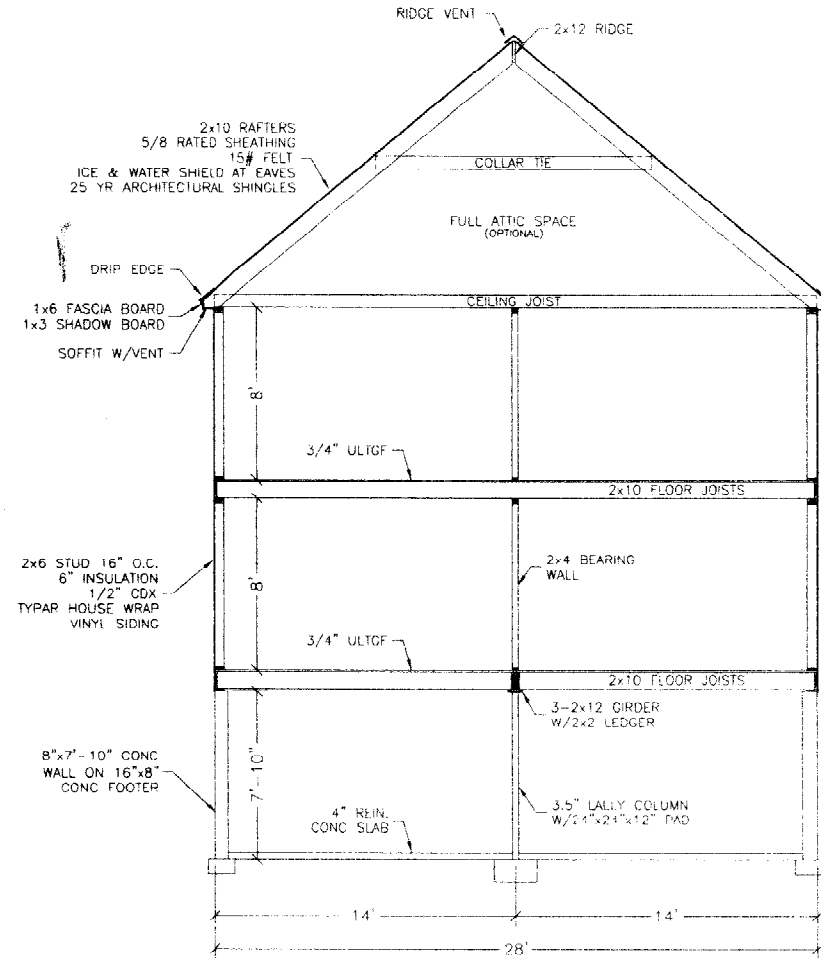


Est. 1848

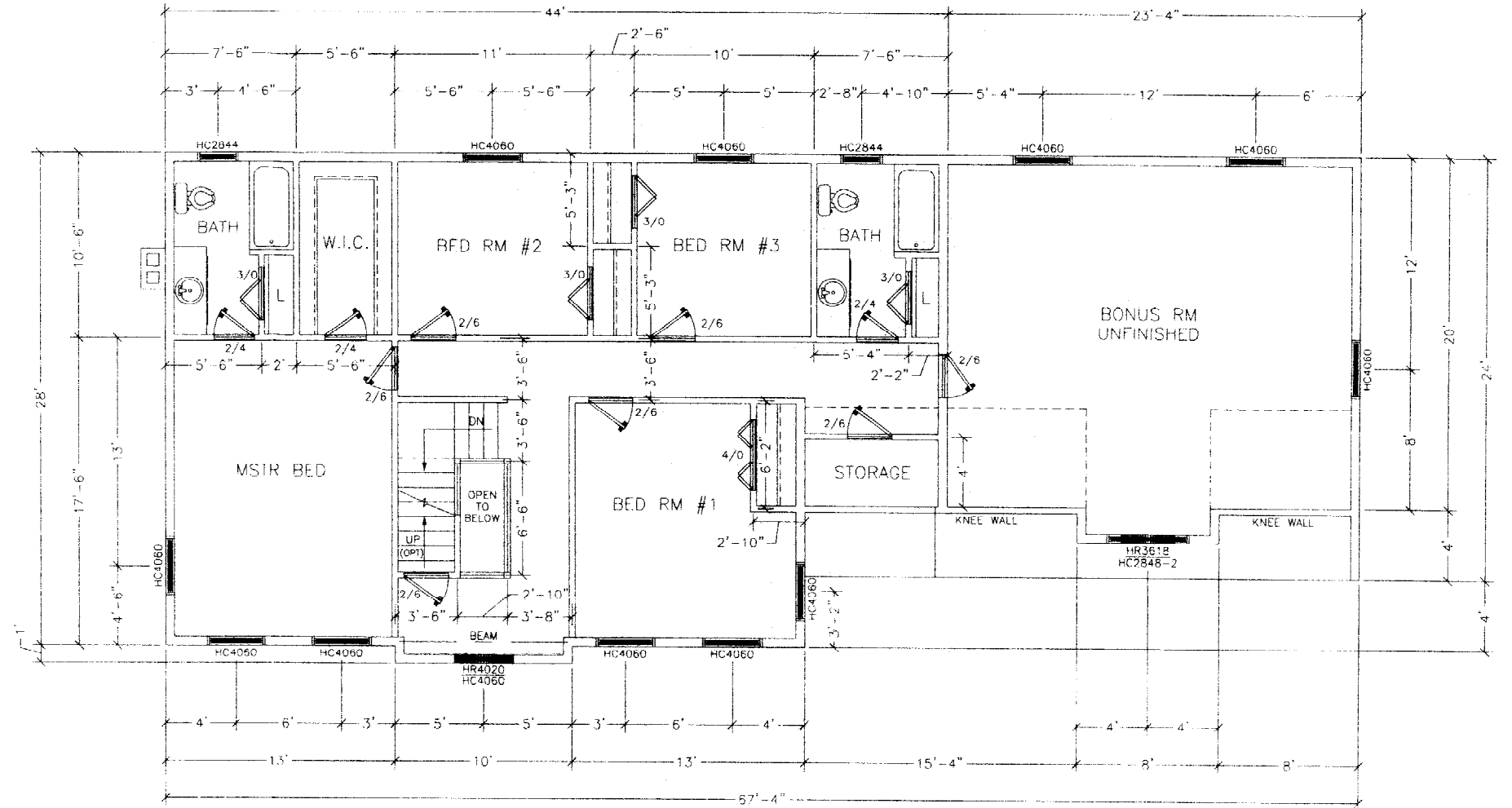
Est. 1848

SCALE: 1/4" = 1'-0"	DATE: 2/25/02	DRAWN BY: EBF
COLUMBIAN W/GARAGE	DRAWING NUMBER: C1-202N	REVISION:
DICK DOUTY	PAGE NUMBER: 2 OF 4	

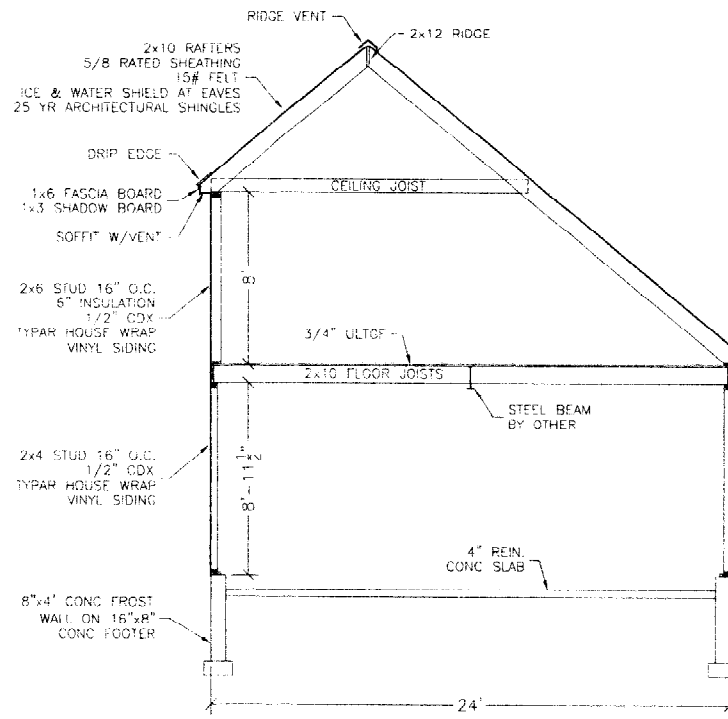
THIS INFORMATION IS PROVIDED TO OUR CUSTOMERS AS A SERVICE OF HANCOCK LUMBER. CUSTOMERS SHOULD APPRECIATE, HOWEVER, THAT THIS INFORMATION IS NOT THE WORK PRODUCT OF ANY ARCHITECT. NEITHER HANCOCK LUMBER NOR ANY OF ITS EMPLOYEES ARE REGISTERED ARCHITECTS WITHIN THE STATE OF MAINE, AND CUSTOMERS MAY WANT TO CONSULT WITH AN ARCHITECT BEFORE TAKING FINAL ACTION WITH REGARD TO ANY BUILDING OR STRUCTURE. CUSTOMERS SHOULD ALSO APPRECIATE THAT, BY PROVIDING CUSTOMERS WITH THIS INFORMATION, HANCOCK LUMBER DOES NOT GUARANTEE THE SOUNDNESS OR SUITABILITY OF THE INFORMATION FOR ANY PURPOSE OF THE CUSTOMER.



HOUSE CROSS SECTION



SECOND FLOOR PLAN

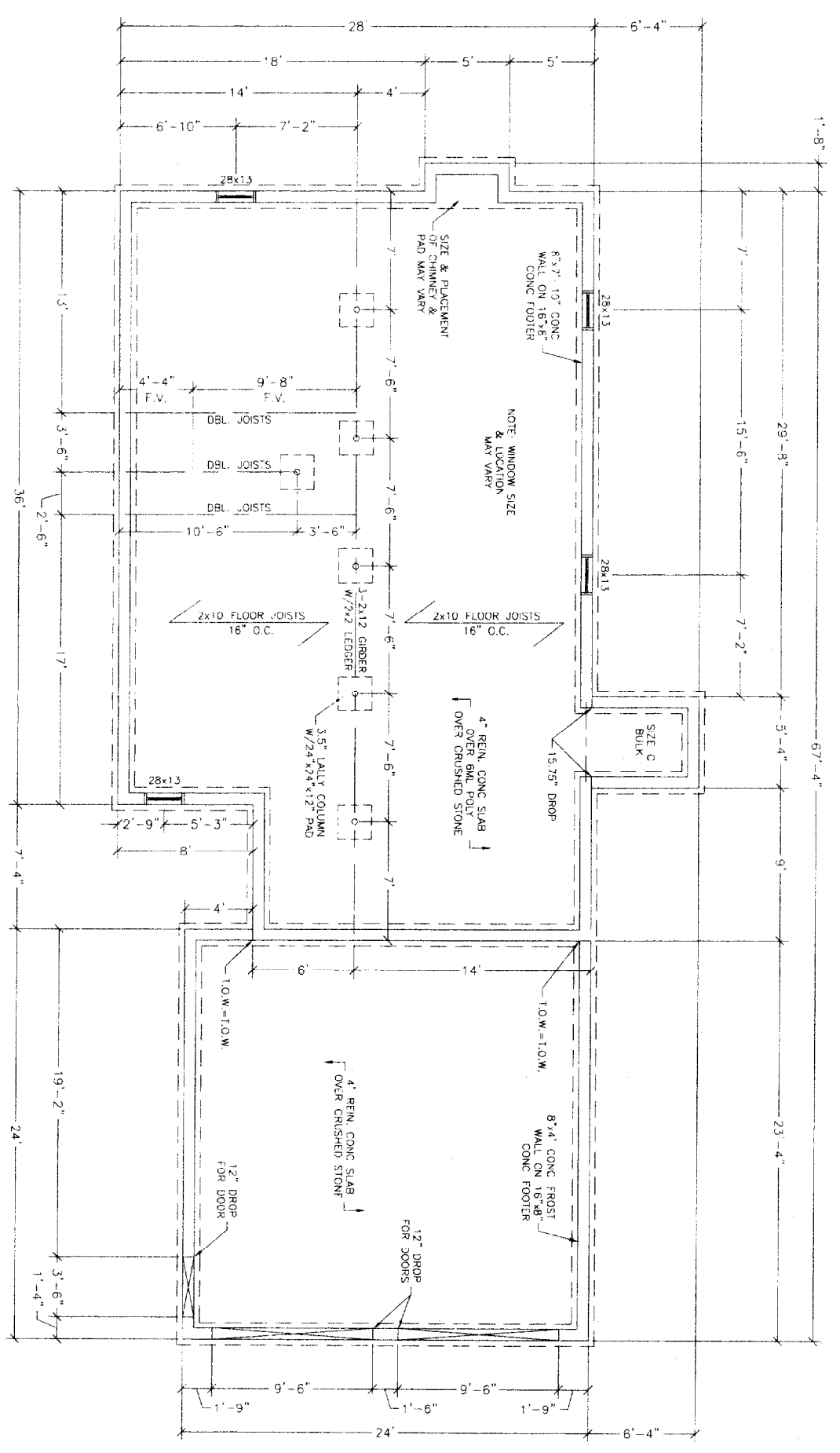


GARAGE/BONUS RM SECTION

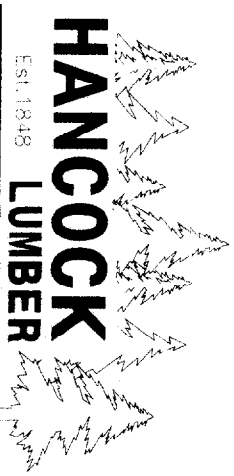


SCALE: 1/4" = 1'-0"	COLONIAL W/GARAGE	DRAWN BY: CDP
DATE: 2/25/02		REVISED
	DICK DOUTY	DRAWING NUMBER: CL 202N
		PAGE NUMBER: 3 OF 4

THIS INFORMATION IS PROVIDED TO OUR CUSTOMERS AS A SERVICE OF HANCOCK LUMBER. CUSTOMERS SHOULD CONSULT WITH AN ARCHITECT OR ENGINEER BEFORE THE WORK PROVIDED BY ANY ARCHITECT OR ENGINEER. HANCOCK LUMBER NOR ANY OF ITS EMPLOYEES ARE REGISTERED ARCHITECTS WITHIN THE STATE OF MAINE, AND CUSTOMERS MAY WANT TO CONSULT WITH AN ARCHITECT BEFORE TAKING FINAL ACTION WITH REGARD TO ANY BUILDING OR STRUCTURE. CUSTOMERS SHOULD ALSO CONSULT WITH AN ARCHITECT OR ENGINEER BEFORE TAKING ANY ACTION WITH REGARD TO THE SOUNDNESS OR SUITABILITY OF THE INFORMATION FOR ANY PURPOSE OF THE CUSTOMER.



FOUNDATION PLAN



EST. 1848
 SOLELY A COLONIAL W/GARAGE
 DATE: 2/25/02
 DRAWING NUMBER: CL-202N
 DICK DOUTY
 SCALE: 1/4" = 1'-0"